

CLIENT JUDY HSU & **CHRIS HUDSON** **DESIGN ARCHITECT** SURVEYOR R SQUARED STUDIOS **DONOVAN ASSOCIATES** STRUCTURAL & HYDRAULIC ENGINEER PLANNER VMDC PLANNING **BMY BUILDING CONSULTANTS** LANDSCAPE CONSULTANT **ENERGY CONSULTANT GREEN FUTURE GROUP**

Drawn Auth. LEGEND Description P1 9.11.2023 ISSUE FOR COORDINATION TI P2 28.11.2023 ISSUE FOR COORDINATION TI P3 1.12.2023 ISSUE FOR COORDINATION TI 20.12.2023 ISSUE FOR DA RR 25.03.2024 ISSUE FOR DA RR C 17.05.2024 ISSUE FOR DA

Proj. Arch MAY 2024 1:100 Do not scale drawings. Verify All dimensions on site. Notify architect of all discrepancies.

FRESHWATER HOUSE

31 Kooloora Avenue, Freshwater

SITE AND ROOF PLAN Drawing No. AR.DA. 0000

Project Architect







3D View 1



Certificate No. 0009167644-02 Assessor name Danielle Grumont Accreditation No. HERA10134 Property Address 31 Kooloora Avenue,FRESHWATER NSW,2096 hstar.com.au/QR/Generate?p=KsaEMySxs

CLIENT
JUDY HSU &
CHRIS HUDSON

ESIGN ARCHITECT	SURVEYOR
SQUARED STUDIOS	DONOVAN ASSOCIATES
LANNER	STRUCTURAL & HYDRAULIC ENGINE
MDC PLANNING	BMY BUILDING CONSULTANTS
ANDSCAPE CONSULTANT	ENERGY CONSULTANT
CGD	GREEN FUTURE GROUP

	Rev	Date	Description	Drawn	Auth.	LEGEND
	P1	9.11.2023	ISSUE FOR COORDINATION	TI	RR	
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	С	17.05.2024	ISSUE FOR DA	TI	RR	

Date Scale MAY 2024	RR	1.1	
MAY 2024	Date	Scale	
	MAY 2024		

	PVC-005-01: U-Value: 2.60 (equal to or lower than) SHGC: 0.50 (±10%)			
	Group B – sliding doors/windows + fixed glazing:			
	PVC-006-01: U-Value: 2.60 (equal to or lower than) SHGC: 0.53 (±10%)			
	Given values are AFRC, total window system values (glass and frame)			
Skylights	Double glazed with timber or aluminium frame			
Roof	Concrete roof with waterproof membrane			
	Colour: Light (0.475>SA)			
Ceiling	Plasterboard ceiling with R4.0 insulation (insulation only value) where roof above			
	No insulation required to Garage ceiling			
	Ground Floor ceiling is concrete between levels			
Ceiling penetrations	Sealed LED downlights to Ground Floor, modelled; One per 3m ²			
External Walls	Concrete with R2.7 insulation (insulation only value)			
	No insulation required to Garage walls			
	Default Medium colour modelled (0.475 <sa<0.7)< td=""></sa<0.7)<>			
Internal walls	Plasterboard on studs			
	Note: tested also with single skin masonry which performs 0.1 Stars better. Have applied worst case scenario with plasterboard			
	on studs. Single skin masonry can be installed as an alternative.			
Floors	Concrete slab on ground with R1.8 underslab insulation (insulation only value			
	Concrete to First Floor (between levels) with R2.0 insulation (insulation only value) to any suspended floor with open subfloor			
0 - 11 1	Floor coverings: Tiles to Ground Floor and the wet areas of First Floor, carpet to upstairs bedrooms, timber elsewhere upstairs			
Ceiling fans	Three Ceiling Fans: one to Upper Sitting Room, one to Dining Room, and one to either the GF Sitting Room or Living Room			
External Shading	Covered Alfresco and Balconies. Shading screens to Ensuite 1 and Study windows. Eaves as shown on drawings			
	BASIX Water Commitments			
Fixtures	Install showerheads minimum rating of 4 stars (>6.0 and <= 7.5 Litres/min)			
	Install toilet flushing system with a minimum rating of 4 stars in each toilet			
	Install tap with minimum rating of 4 stars in the kitchen			
A16 - 12 - 187 - 1	Install taps with minimum rating of 4 stars in each bathroom			
Alternative Water	Install rainwater tank with minimum 10,000L capacity, connected to – At least one outdoor tap and toilets, and used to top up spa			
	and pool Point water hangest collected from a min 245m² roof area			
Rainwater harvest collected from a min. 215m² roof area Pool and Spa Volume of Pool: 74kL, Volume of Spa: 6kL. Both Pool and Spa are to have a cover.				
1 ooi and opa				
	BASIX EDERGY COMMITMENTS			
Hot water System	BASIX Energy Commitments Gas Instantaneous with minimum performance of 6 Stars			
Hot water System	Gas Instantaneous with minimum performance of 6 Stars			
Cooling system	Gas Instantaneous with minimum performance of 6 Stars 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5			
Cooling system Heating system	Gas Instantaneous with minimum performance of 6 Stars 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5			
Cooling system	Gas Instantaneous with minimum performance of 6 Stars 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5 Kitchen - Individual fan, externally ducted to roof or façade, manual on/off switch			
Cooling system Heating system	Gas Instantaneous with minimum performance of 6 Stars 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5 Kitchen - Individual fan, externally ducted to roof or façade, manual on/off switch Bathrooms - Individual fan, externally ducted to roof or façade, manual on/off switch			
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Cooling system Heating system Ventilation	Gas Instantaneous with minimum performance of 6 Stars 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5 Kitchen - Individual fan, externally ducted to roof or façade, manual on/off switch Bathrooms - Individual fan, externally ducted to roof or façade, manual on/off switch Laundry - Individual fan, externally ducted to roof or façade, manual on/off switch Pool Heating System: solar (electric boosted), controlled by timer, dual speed pool pump with minimum performance of 6 Stars. Spa Heating System: solar (electric boosted), controlled by timer			
Cooling system Heating system Ventilation Pool and Spa	Gas Instantaneous with minimum performance of 6 Stars 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5 Kitchen - Individual fan, externally ducted to roof or façade, manual on/off switch Bathrooms - Individual fan, externally ducted to roof or façade, manual on/off switch Laundry - Individual fan, externally ducted to roof or façade, manual on/off switch Pool Heating System: solar (electric boosted), controlled by timer, dual speed pool pump with minimum performance of 6 Stars.			

NatHERS & BASIX Assessment

Group A – bifold and casement doors:

Glazing: Oberault' codes modelled which are not brand specific. You can use any brand/manufacturer and type of glass and frame; these Doors/windows are maximum U-values, and there is a flexibility of +/- 10% (as stated below) with the SHGC value.

Project
FRESHWATER HOUSE

Hsu & Hudson A

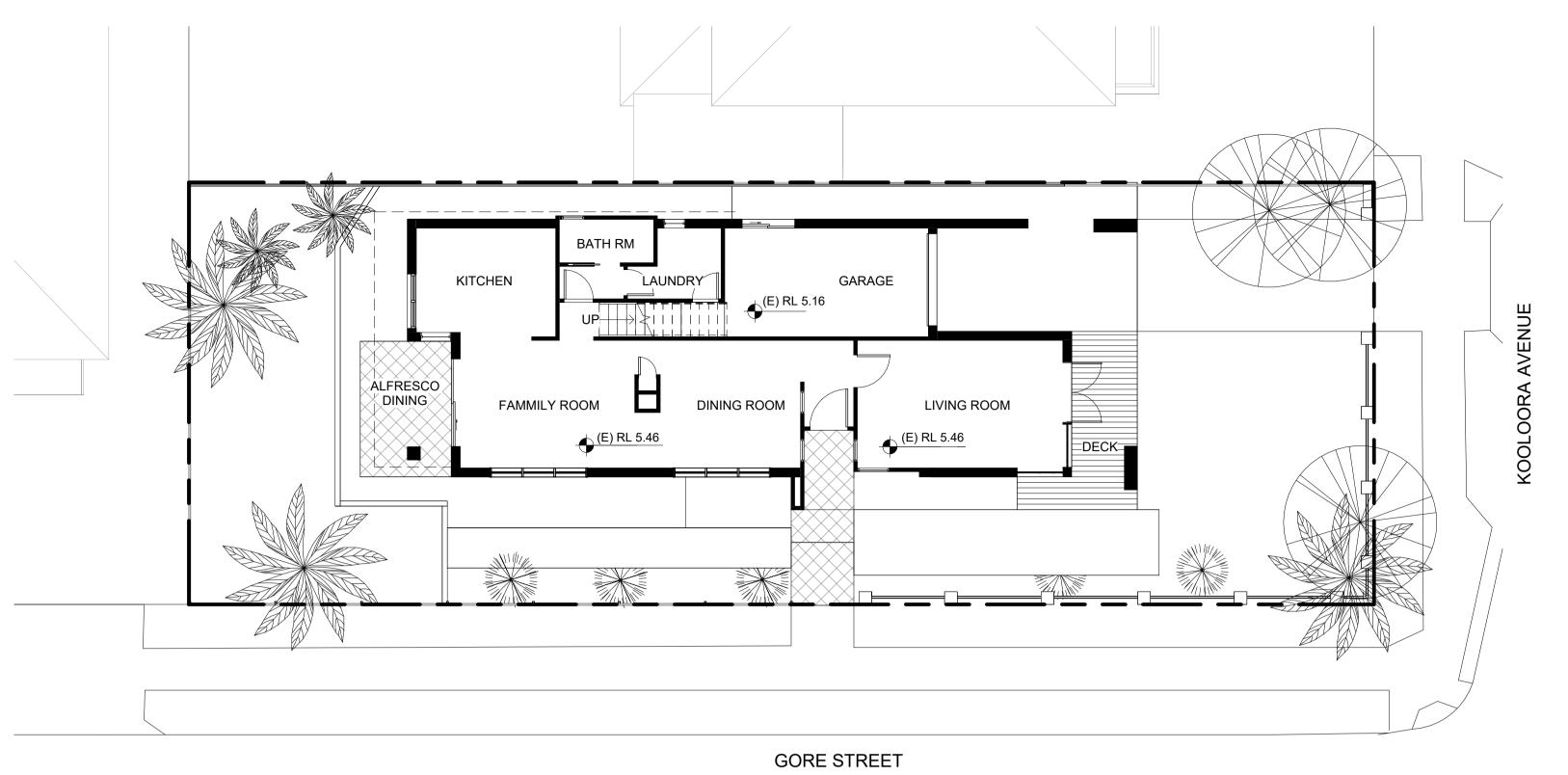
31 Kooloora Avenue, Freshwater Drawing Title

PERSPECTIVE VIEWS Drawing No. AR.DA. 0001

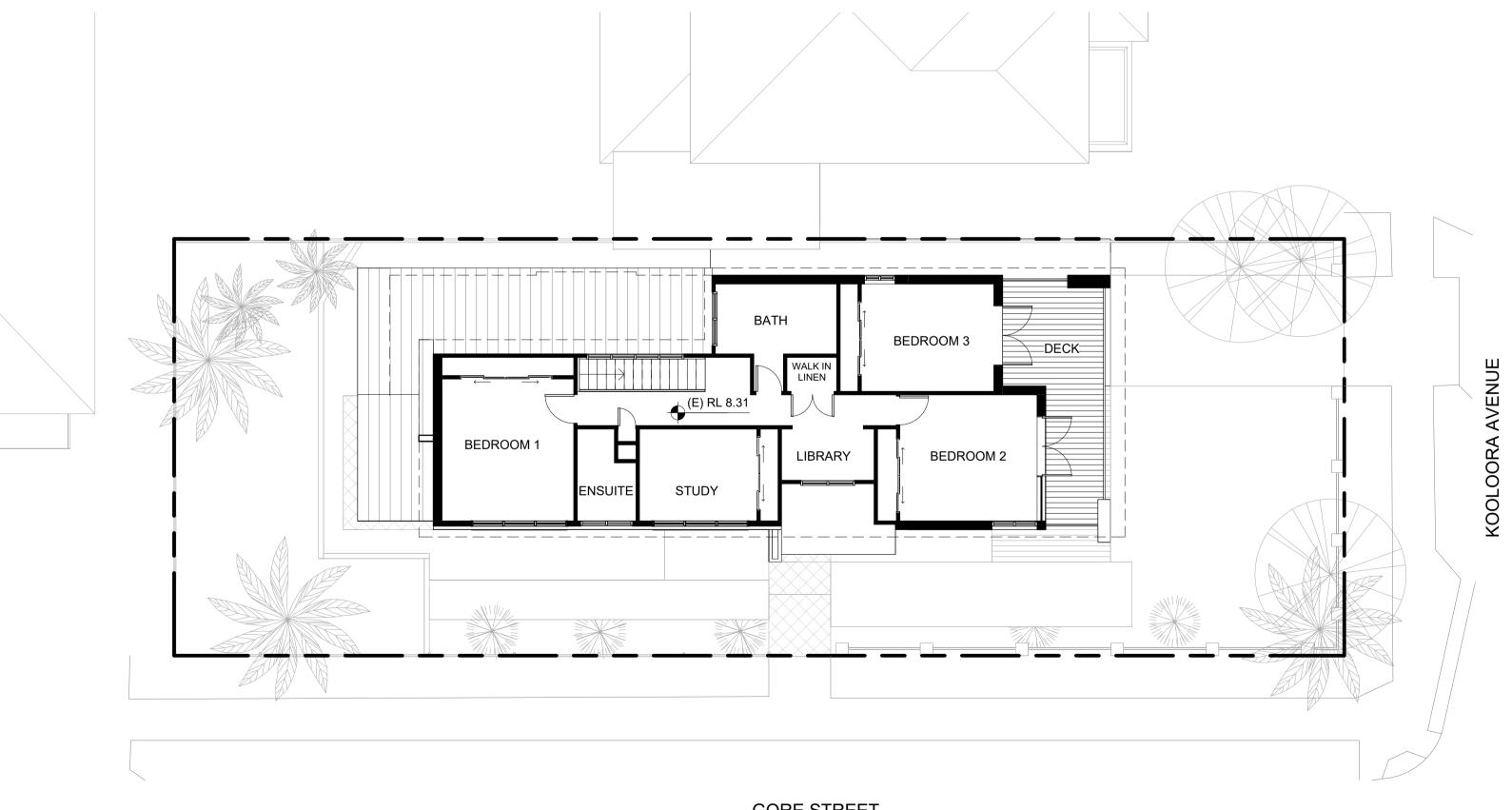


Project Architect

Date 22/12/2023



1 (E) GROUND FLOOR 1:100



Certificate No. 0009167644-02 Avenue,FRESHWATER NSW,2096 hstar.com.au/QR/Generate?p=KsaEMySxs

TCGD

GORE STREET

(E) FIRST FLOOR 1:100

CLIENT JUDY HSU & CHRIS HUDSON

DESIGN ARCHITECT SURVEYOR DONOVAN ASSOCIATES R SQUARED STUDIOS STRUCTURAL & HYDRAULIC ENGINEE PLANNER **BMY BUILDING CONSULTANTS** VMDC PLANNING LANDSCAPE CONSULTANT **ENERGY CONSULTANT**

GREEN FUTURE GROUP

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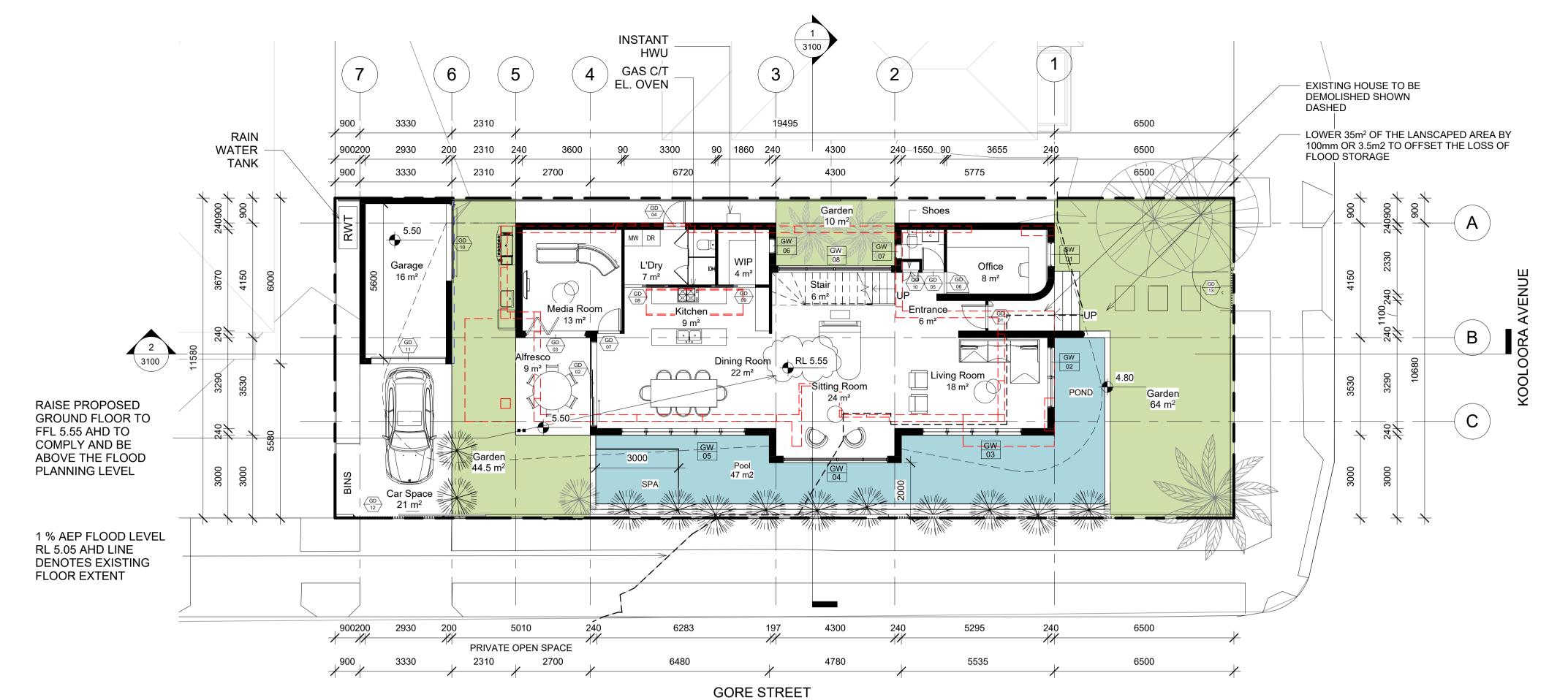
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	FRESHWATER HOUSE
	31 Kooloora Avenue, Freshwater
-	Drawing Title

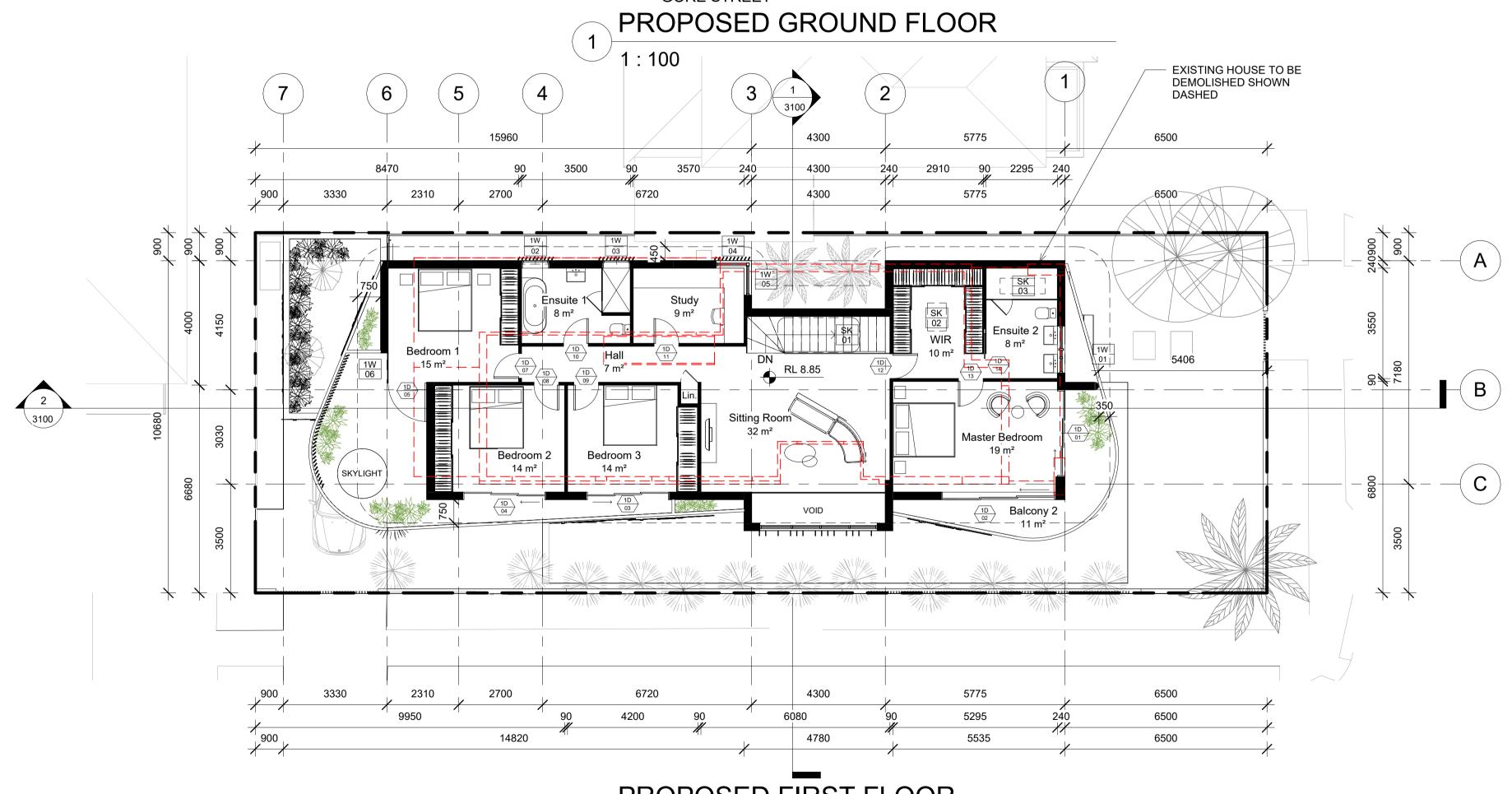
31 Kooloora Avenue, Freshwater	
Drawing Title (E) GROUND AND FIRST FL	.OOR
Drawing No. AR.DA. 0100	Revisio C

Project Architect contact@r2studios.com.au www.r2studios.com.au

R² STUDIOS



Name	Area
Media Room	13 m²
Kitchen	9 m²
L'Dry	7 m²
WIP	4 m²
Sitting Room	24 m²
Entrance	6 m²
Office	8 m²
Powder Room	2 m²
Living Room	18 m²
Dining Room	22 m²
Stair	6 m²
	119 m²
Garage	16 m²
Alfresco	9 m²
Car Space	21 m²
	46 m²
Lands	cape Area Schedule
Name	Area
Garden	34 m²
Garden	57 m²
Pool	48 m²
Garden	10 m²



First Floor Room Schedule				
Name	Area			
Balcony 1	21 m ²			
Bedroom 1	15 m ²			
Ensuite 1	8 m²			
Study	9 m²			
Bedroom 2	14 m²			
Bedroom 3	14 m²			
Hall	7 m ²			
WIR	10 m²			
Ensuite 2	8 m²			
Master Bedroom	19 m²			
Balcony 2	11 m²			
Sitting Room	32 m²			
	170 m²			

Certificate No. 0009167644-02

Scan QR code or follow website link for rating details. Avenue,FRESHWATER NSW,2096 hstar.com.au/QR/Generate?p=KsaEMySxs

PROPOSED FIRST FLOOR

CLIENT JUDY HSU & **CHRIS HUDSON**

DESIGN ARCHITECT	SURVEYOR
R SQUARED STUDIOS	DONOVAN ASSOCIATES
PLANNER	STRUCTURAL & HYDRAULIC ENGINEER
VMDC PLANNING	BMY BUILDING CONSULTANTS
LANDSCAPE CONSULTANT	ENERGY CONSULTANT
TCGD	GREEN FUTURE GROUP

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Date	Scale	$ ($ $^{\prime}$ $)$	3
MAY 2024	1:100		3

RESHWATER HOUSE

AR.DA. 1100

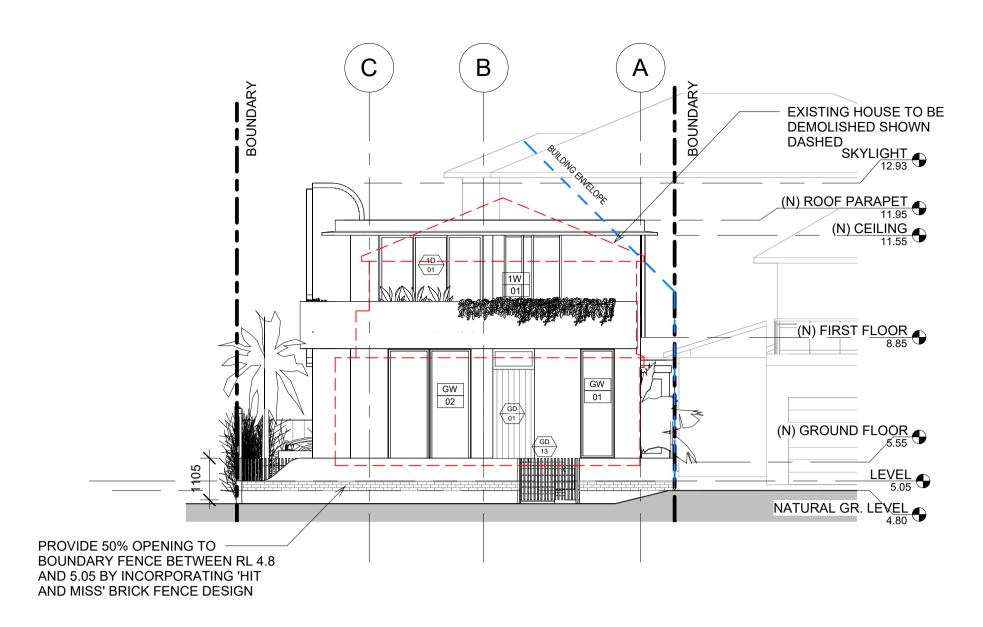
31 Kooloora Avenue, Freshwater

PROPOSED GROUND AND FIRST FLOOR PLAN Drawing No.

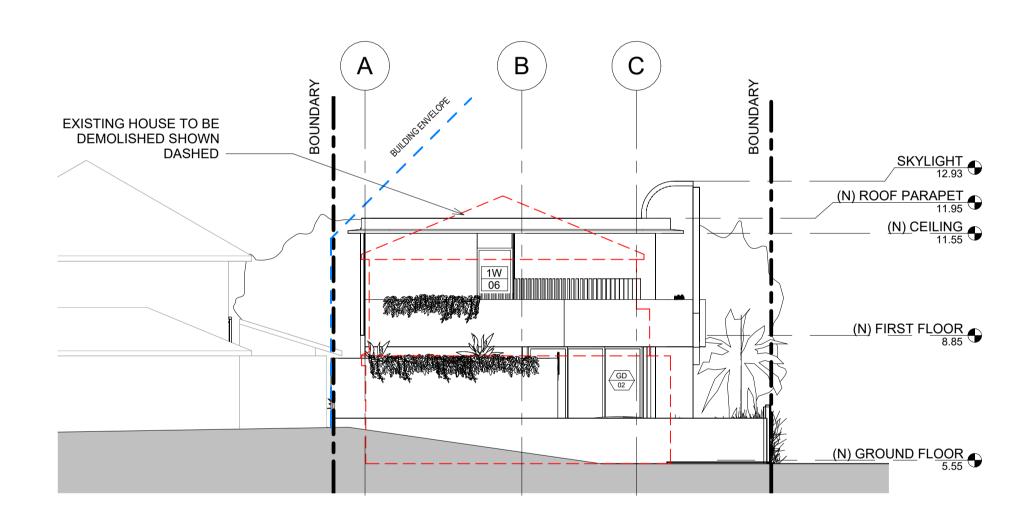
Project Architect

contact@r2studios.com.au www.r2studios.com.au





North Elevation



South Elevation

Certificate No. 0009167644-02 Assessor name Danielle Grumont

Avenue,FRESHWATER

NSW,2096

hstar.com.au/QR/Generate?p=KsaEMySxs

DESIGN ARCHITECT SURVEYOR CLIENT R SQUARED STUDIOS DONOVAN ASSOCIATES JUDY HSU & PLANNER **CHRIS HUDSON** VMDC PLANNING **BMY BUILDING CONSULTANTS** LANDSCAPE CONSULTANT **ENERGY CONSULTANT**

TCGD

GREEN FUTURE GROUP

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Proj. Arch Drawn MAY 2024 1:100 Do not scale drawings. Verify All dimensions on site. Notify architect of all discrepancies. Drawing No.

FRESHWATER HOUSE 31 Kooloora Avenue, Freshwater **Drawing Title** (N) ELEVATIONS

AR.DA. 3000

5

Project Architect contact@r2studios.com.au www.r2studios.com.au

R² STUDIOS

SKYLIGHT 12.93

(N) <u>CEILING</u>
11.55

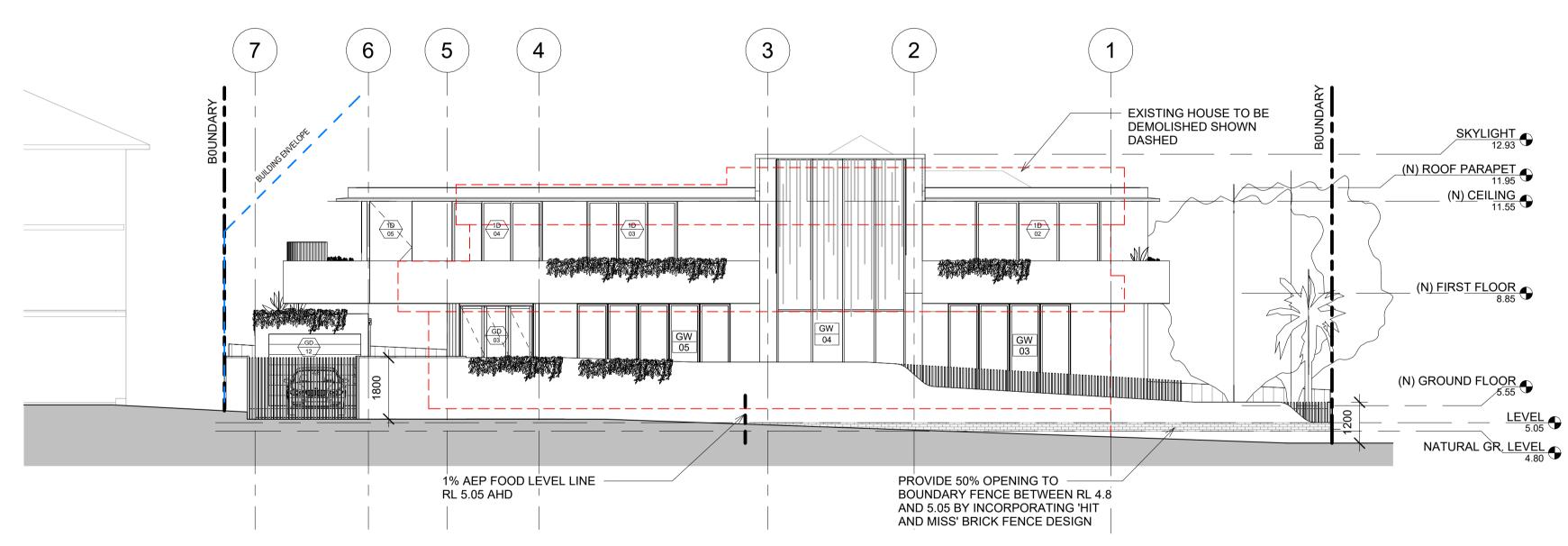
_ (N) FIRST FLOOR 8.85

(N) GROUND FLOOR 5.55

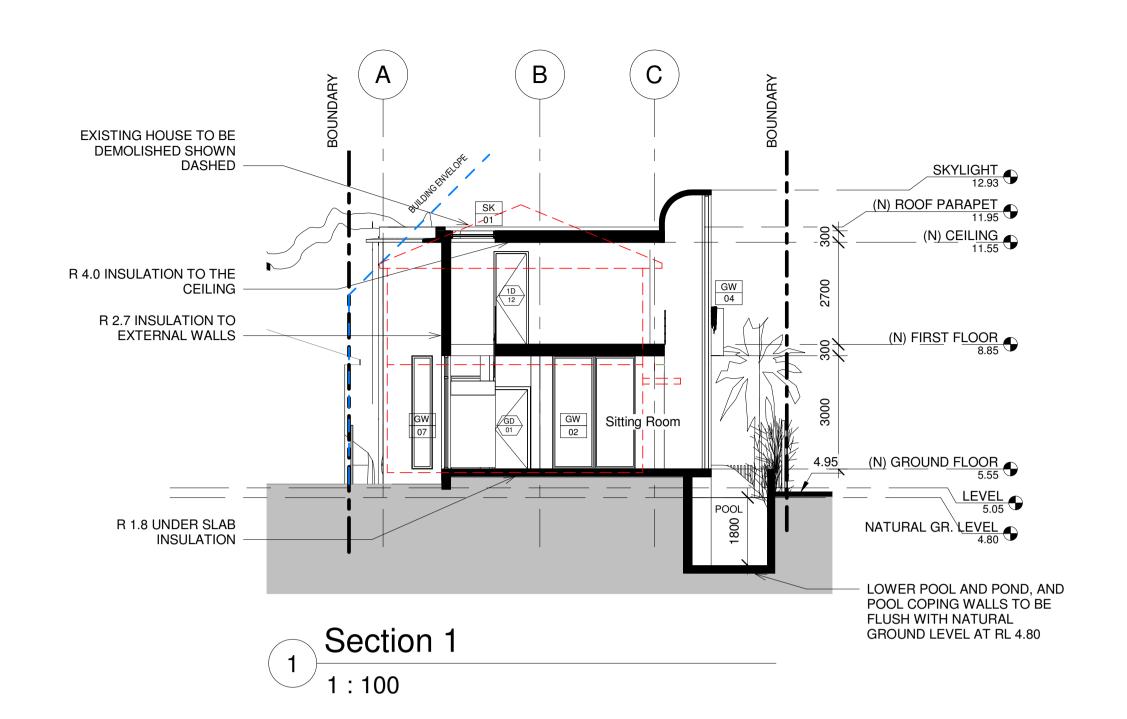
(N) ROOF PARAPET

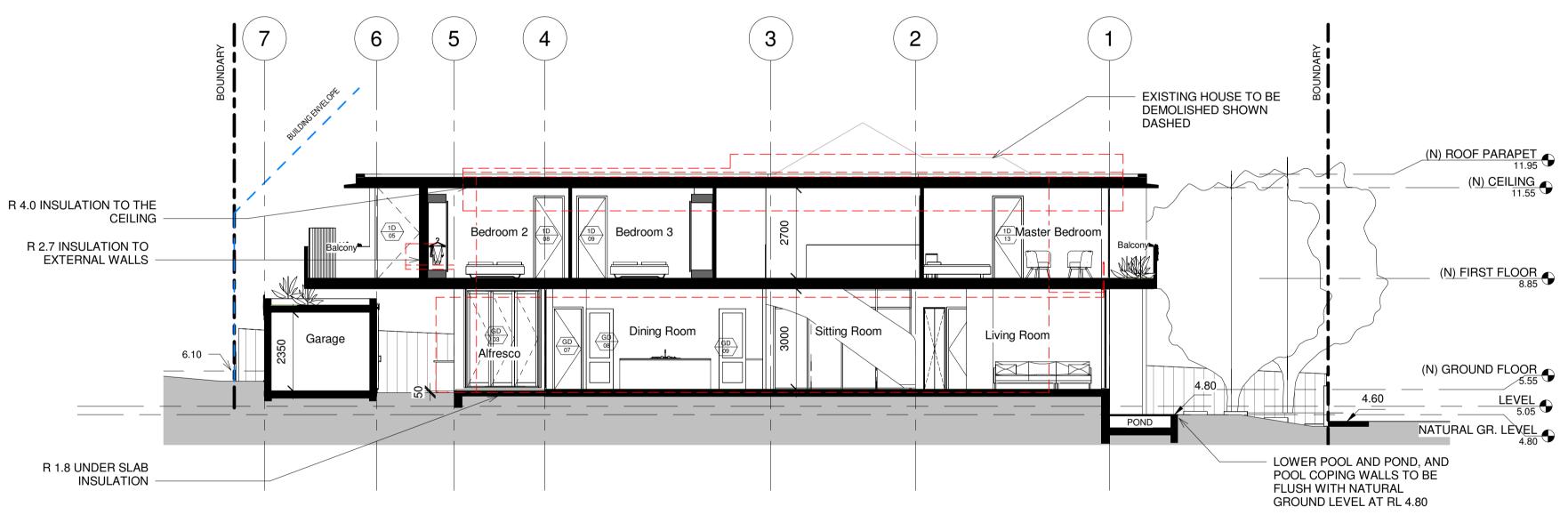
West Elevation

EXISTING HOUSE TO BE DEMOLISHED SHOWN DASHED -



East Elevation





Section 2



CLIENT JUDY HSU & CHRIS HUDSON

DESIGN ARCHITECT	SURVEYOR	Rev	Date	Description	Drawn	Auth.	LEGEND
R SQUARED STUDIOS	DONOVAN ASSOCIATES	P1	9.11.2023	ISSUE FOR COORDINATION	TI	RR	
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PLANNER	STRUCTURAL & HYDRAULIC ENGINEER	Α	20.12.2023	ISSUE FOR DA	TI	RR	
VMDC PLANNING	BMY BUILDING CONSULTANTS	В	25.03.2024	ISSUE FOR DA	TI	RR	
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ANDSCAPE CONSULTANT	ENERGY CONSULTANT						
rcgd	GREEN FUTURE GROUP						

Proj. Arch	Drawn	
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Date	Scale	
MAY 2024	1:100	

RESHWATER HOUSE

Kooloora Avenue, Freshwater

awing Title (N) SECTIONS Drawing No. AR.DA. 3100

Other Gas cooktop & electric oven Outdoor clothes drying line



Date

22/12/2023

Project Architect

Notes

Group A - bifold and casement doors:

Skylights Double glazed with timber or aluminium frame

Roof Concrete roof with waterproof membrane

External Walls | Concrete with R2.7 insulation (insulation only value)

Internal walls Plasterboard on studs

and pool

No insulation required to Garage walls

Default Medium colour modelled (0.475<SA<0.7)

Fixtures Install showerheads minimum rating of 4 stars (>6.0 and <= 7.5 Litres/min)

Install tap with minimum rating of 4 stars in the kitchen Install taps with minimum rating of 4 stars in each bathroom

Rainwater harvest collected from a min. 215m² roof area Pool and Spa Volume of Pool: 74kL, Volume of Spa: 6kL. Both Pool and Spa are to have a cover.

Ventilation Kitchen - Individual fan, externally ducted to roof or façade, manual on/off switch

Spa Heating System: solar (electric boosted), controlled by timer

Alternative Energy Minimum 5.5kW of solar/PV, with panels sloped between >0° to <=10°, and facing North West

Bathrooms - Individual fan, externally ducted to roof or façade, manual on/off switch Laundry - Individual fan, externally ducted to roof or façade, manual on/off switch

Hot water System Gas Instantaneous with minimum performance of 6 Stars

Cooling system 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5

Heating system 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5

Install toilet flushing system with a minimum rating of 4 stars in each toilet

No insulation required to Garage ceiling
Ground Floor ceiling is concrete between levels
Ceiling penetrations Sealed LED downlights to Ground Floor, modelled; One per 3m²

Group B – sliding doors/windows + fixed glazing:

NatHERS & BASIX Assessment

Doors/windows are maximum U-values, and there is a flexibility of +/- 10% (as stated below) with the SHGC value.

PVC-005-01: U-Value: 2.60 (equal to or lower than) SHGC: 0.50 (±10%)

PVC-006-01: U-Value: 2.60 (equal to or lower than) SHGC: 0.53 (±10%)

Given values are AFRC, total window system values (glass and frame)

Colour: Light (0.475>SA)

Ceiling Plasterboard ceiling with R4.0 insulation (insulation only value) where roof above

Thermal Comfort Specifications

Glazing: Default' codes modelled which are not brand specific. You can use any brand/manufacturer and type of glass and frame; these

Note: tested also with single skin masonry which performs 0.1 Stars better. Have applied worst case scenario with plasterboard on studs. Single skin masonry can be installed as an alternative.

Floors
Concrete slab on ground with R1.8 underslab insulation (insulation only value)
Concrete to First Floor (between levels) with R2.0 insulation (insulation only value) to any suspended floor with open subfloor Floor coverings: Tiles to Ground Floor and the wet areas of First Floor, carpet to upstairs bedrooms, timber elsewhere upstairs
Ceiling fans
Three Ceiling Fans: one to Upper Sitting Room, one to Dining Room, and one to either the GF Sitting Room or Living Room

External Shading Covered Alfresco and Balconies. Shading screens to Ensuite 1 and Study windows. Eaves as shown on drawings

BASIX Water Commitments

Alternative Water Install rainwater tank with minimum 10,000L capacity, connected to – At least one outdoor tap and toilets, and used to top up spa

BASIX Energy Commitments

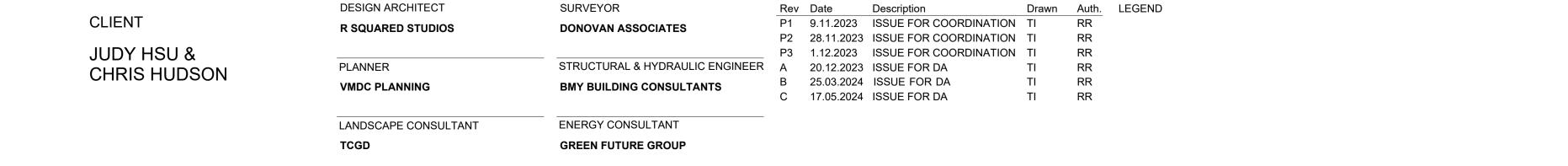
Pool and Spa Pool Heating System: solar (electric boosted), controlled by timer, dual speed pool pump with minimum performance of 6 Stars.

Revision

Hsu & Hudson A

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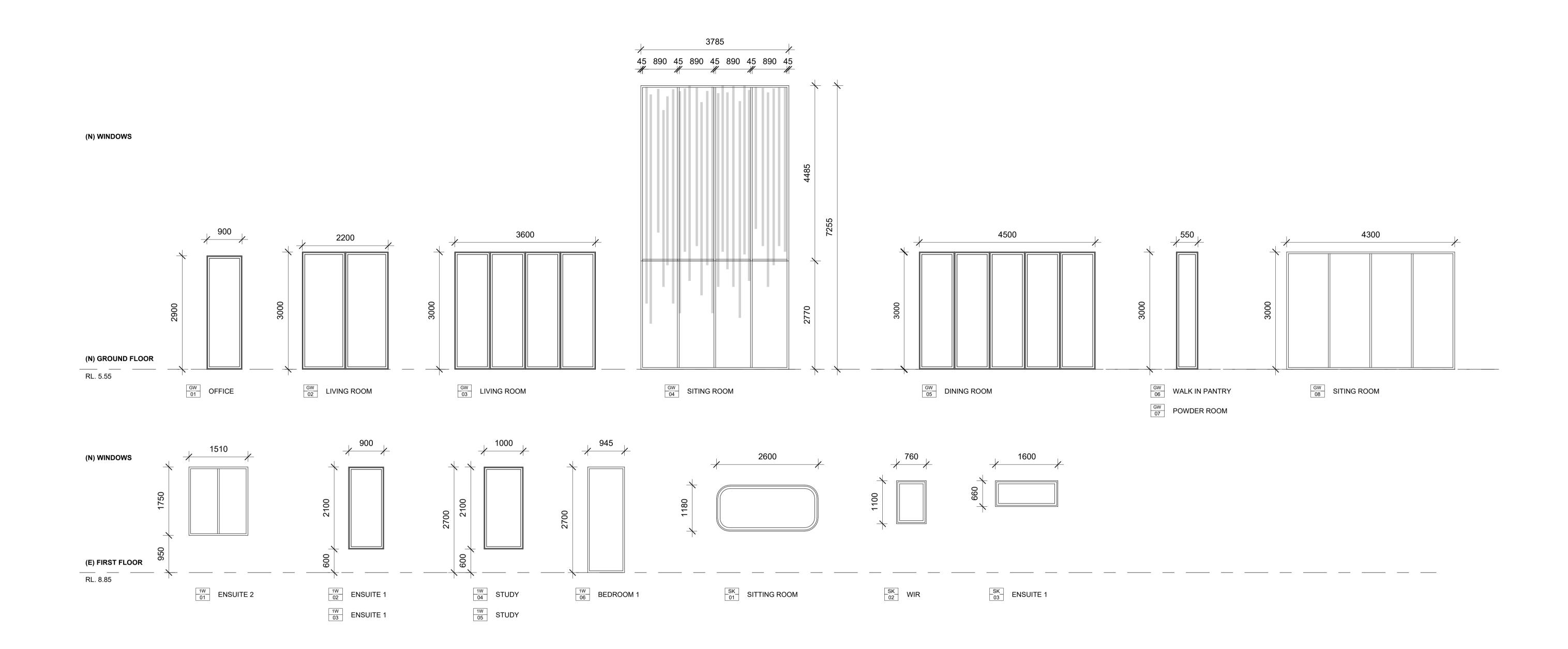
Drawn FRESHWATER HOUSE 31 Kooloora Avenue, Freshwater 1:50 MAY 2024 Do not scale drawings. Verify All dimensions on site. Notify architect of all discrepancies. DOOR SCHEDULE

Drawing No.

AR.DA. 3200

contact@r2studios.com.au www.r2studios.com.au R² STUDIOS

Project Architect





CLIENT
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CHRIS HUDSON

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Project FRESHWATER HOUSE	Project Architect
TRESTANTIERTISSE	
31 Kooloora Avenue, Freshwater	
Drawing Title	
WINDOW SCHEDULE	

Drawing No.

AR.DA. 3201

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1. ROOF

2. ROOF TRIM

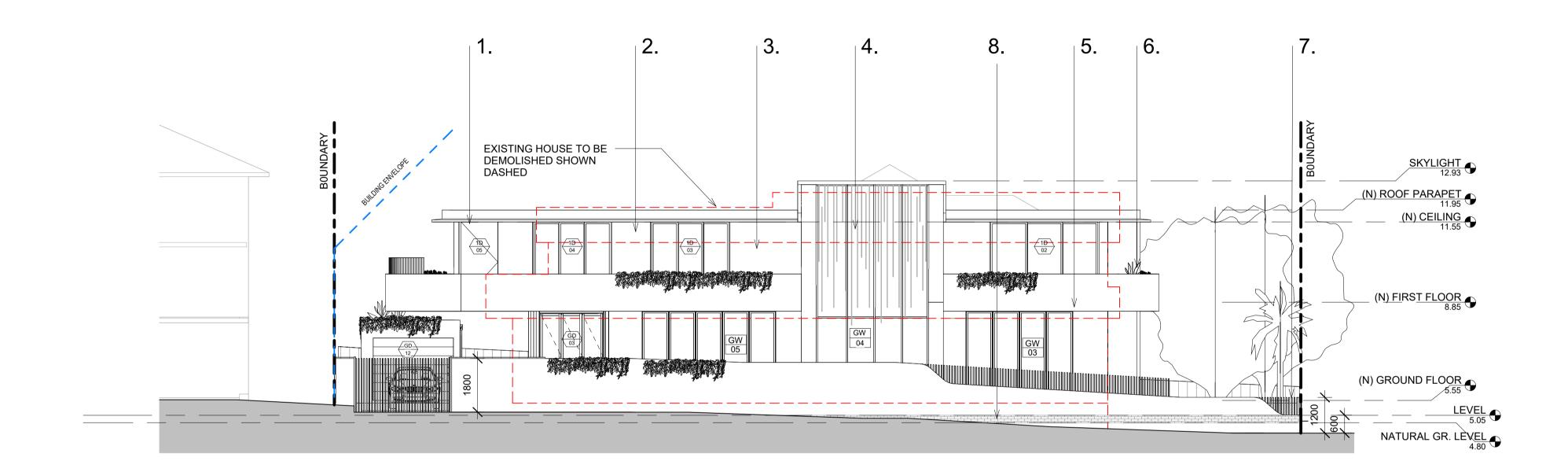
3. WALLS

4. WINDOWS

5. BALCONY 6. BLADE WALL

7. FENCE

8. HIT AND MISS BRICKWORK



External Finishes

[/] 1 : 100

CLIENT
JUDY HSU &
CHRIS HUDSON

TCGD

DESIGN ARCHITECT
R SQUARED STUDIOS
DONOVAN ASSOCIATES

PLANNER
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VMDC PLANNING
BMY BUILDING CONSULTANTS

LANDSCAPE CONSULTANT
ENERGY CONSULTANT

GREEN FUTURE GROUP

SURVEYOR

DONOVAN ASSOCIATES

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Drawn Auth. LEGEND

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Proj. Arch

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TI

Date

Scale

MAY 2024

As indicated

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Project

FRESHWATER H

31 Kooloora Avenue, Fresh

Drawing Title

EXTERNAL FINISHES



Drawing No.

AR.DA. 4000



