







1 3D View 1

3 3D View 3



2 3D View 2



Job No.	Revision	Notes	Date
Hsu & Hudson	A	NatHERS & BASIX Assessment	22/12/2023
Thermal Comfort Specifications			
Glazing: Doors/Windows	Default codes modelled which are not brand specific. You can use any brand/manufacturer and type of glass and frame; these are maximum U-values, and there is a flexibility of +/- 10% (as stated below) with the SHGC value.  Group A – bifold and casement doors: PVC-005-01: U-Value: 2.60 (equal to or lower than) SHGC: 0.50 (±10%)  Group B – sliding doors/windows + fixed glazing: PVC-006-01: U-Value: 2.60 (equal to or lower than) SHGC: 0.53 (±10%)  Given values are AFRC, total window system values (glass and frame)		
Skylights	Double glazed with timber or aluminium frame		
Roof	Concrete roof with waterproof membrane Colour: Light (0.475-SA)		
Ceiling	Plasterboard ceiling with R4.0 insulation (insulation only value) where roof above No insulation required for Garage ceiling Ground Floor ceiling is concrete between levels		
Ceiling penetrations	Sealed LED downlights to Ground Floor, modelled: One per 3m <sup>2</sup>		
External Walls	Concrete with R2.7 insulation (insulation only value) No insulation required to Garage walls Default Medium colour modelled (0.475<SA<0.7)		
Internal walls	Plasterboard on studs <i>Note: tested also with single skin masonry which performs 0.1 Stars better. Have applied worst case scenario with plasterboard on studs. Single skin masonry can be installed as an alternative.</i>		
Floors	Concrete slab on ground with R1.8 under slab insulation (insulation only value) Concrete to First Floor (between levels) with R2.0 insulation (insulation only value) to any suspended floor with open subfloor Floor coverings: Tiles to Ground Floor and the wet areas of First Floor, carpet to upstairs bedrooms, timber elsewhere upstairs		
Ceiling fans	Three Ceiling Fans: one to Upper Sitting Room, one to Dining Room, and one to either the GF Sitting Room or Living Room		
External Shading	Covered Alfresco and Balconies. Shading screens to Ensuite 1 and Study windows. Eaves as shown on drawings		
BASIX Water Commitments			
Fixtures	Install showerheads minimum rating of 4 stars (>6.0 and <= 7.5 Litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with minimum rating of 4 stars in the kitchen Install taps with minimum rating of 4 stars in each bathroom		
Alternative Water	Install rainwater tank with minimum 10,000L capacity, connected to – At least one outdoor tap and toilets, and used to top up spa and pool Rainwater harvest collected from a min. 215m <sup>2</sup> roof area		
Pool and Spa	Volume of Pool: 74kL, Volume of Spa: 6kL. Both Pool and Spa are to have a cover.		
BASIX Energy Commitments			
Hot water System	Gas instantaneous with minimum performance of 6 Stars		
Cooling system	3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5		
Heating system	3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5		
Ventilation	Kitchen - Individual fan, externally ducted to roof or façade, manual on/off switch Bathrooms - Individual fan, externally ducted to roof or façade, manual on/off switch Laundry - Individual fan, externally ducted to roof or façade, manual on/off switch		
Pool and Spa	Pool Heating System: solar (electric boosted), controlled by timer, dual speed pool pump with minimum performance of 6 Stars. Spa Heating System: solar (electric boosted), controlled by timer		
Alternative Energy	Minimum 5.5kW of solar/PV, with panels sloped between >0° to <=10°, and facing North West		
Other	Gas cooktop & electric oven Outdoor clothes drying line		

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R SQUARED STUDIOS

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VMDC PLANNING

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DONOVAN ASSOCIATES

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C	17.05.2024	ISSUE FOR DA	TI	RR

LEGEND

Proj. Arch

RR

Date

MAY 2024

Do not scale drawings. Verify All dimensions on site. Notify architect of all discrepancies.

Drawn

TI

Scale

Project

FRESHWATER HOUSE

31 Kooloora Avenue, Freshwater

Drawing Title

PERSPECTIVE VIEWS

Drawing No.

AR.DA. 0001

Project Architect

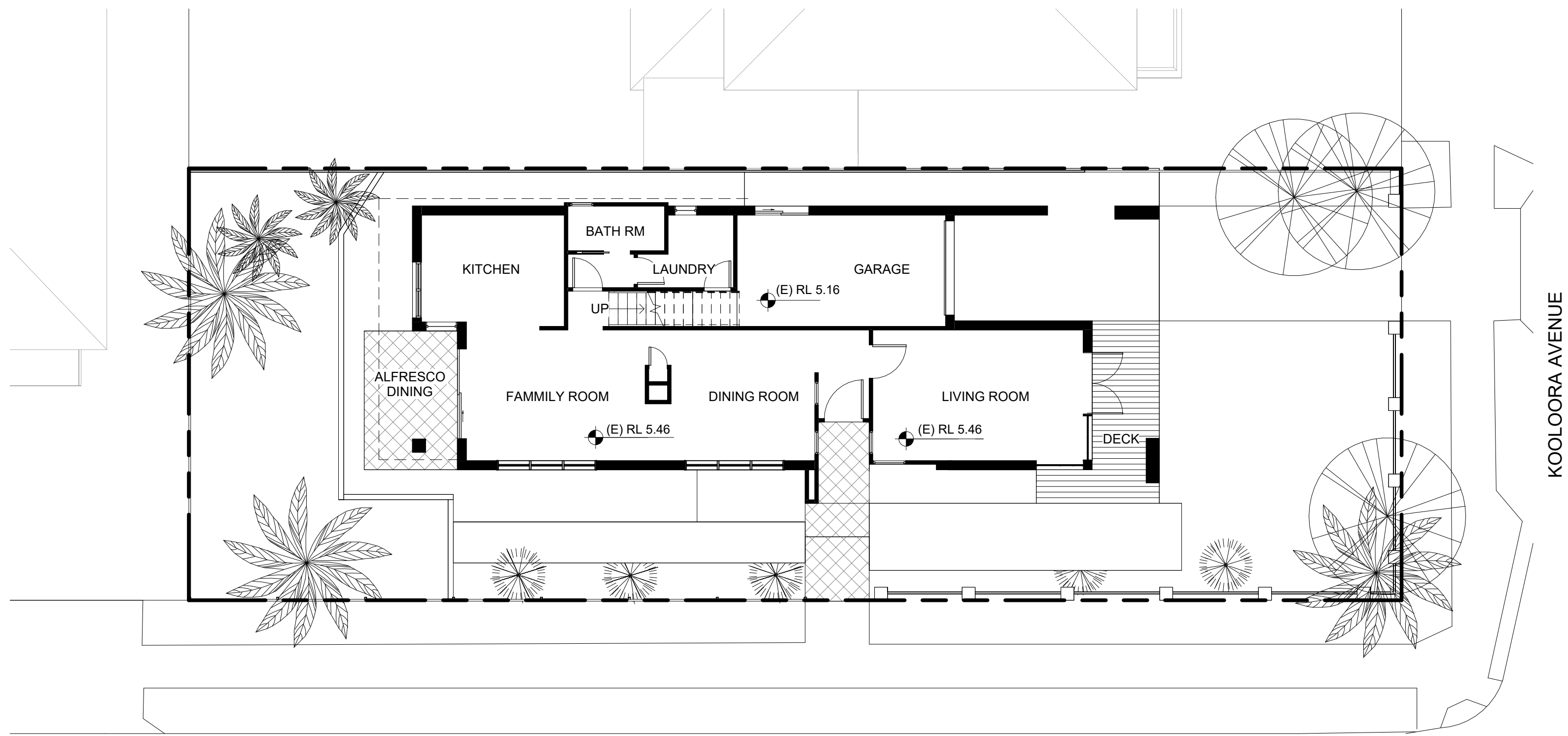
Revision

C

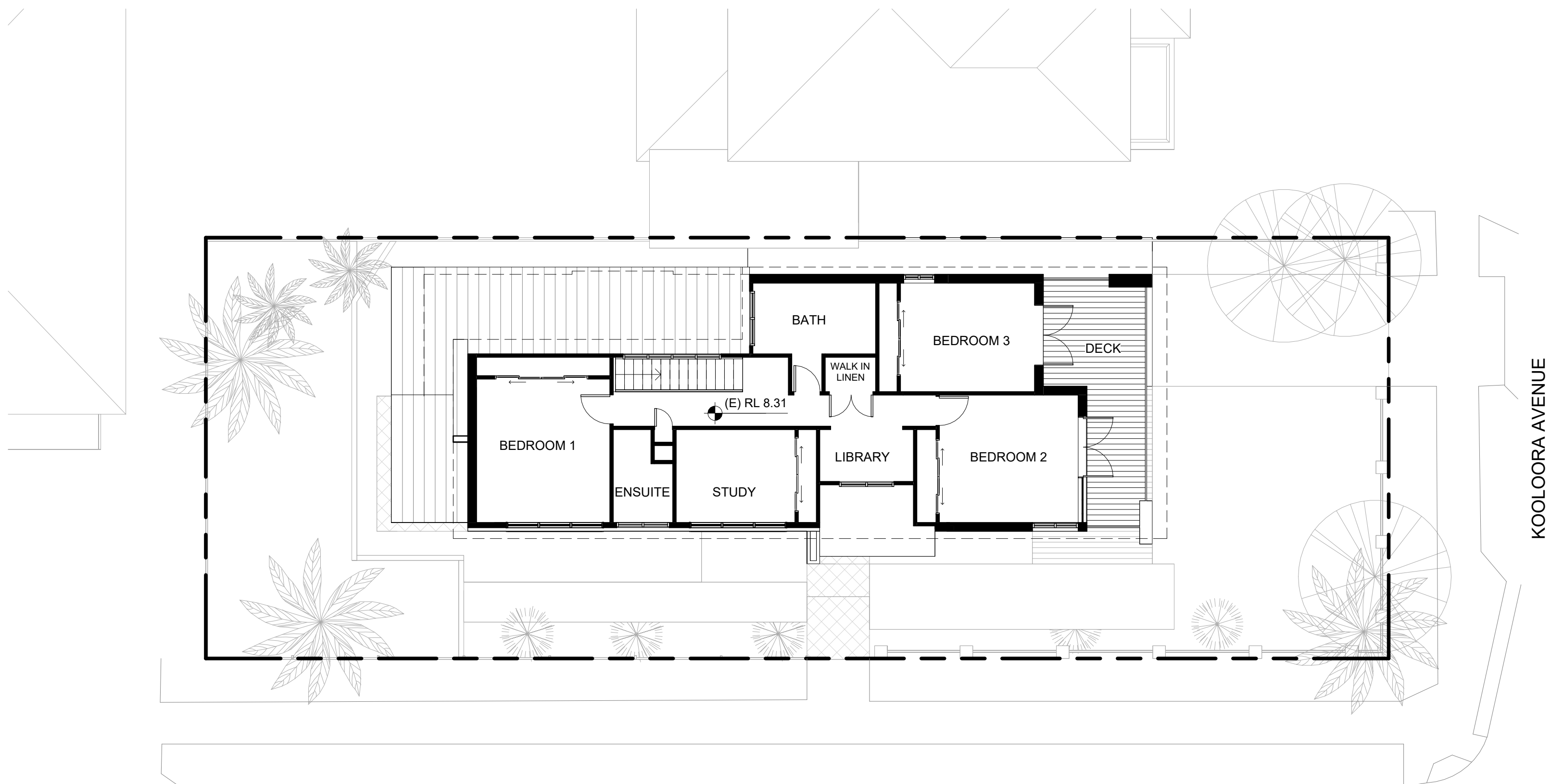
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1 (E) GROUND FLOOR  
1 : 100



2 (E) FIRST FLOOR  
1 : 100



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LEGEND

Proj. Arch	Drawn
RR	TI
Date	Scale
MAY 2024	1 : 100

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Project  
FRESHWATER HOUSE

31 Kooloora Avenue, Freshwater

Drawing Title  
(E) GROUND AND FIRST FLOOR

Drawing No.  
AR.DA. 0100

Revision  
C

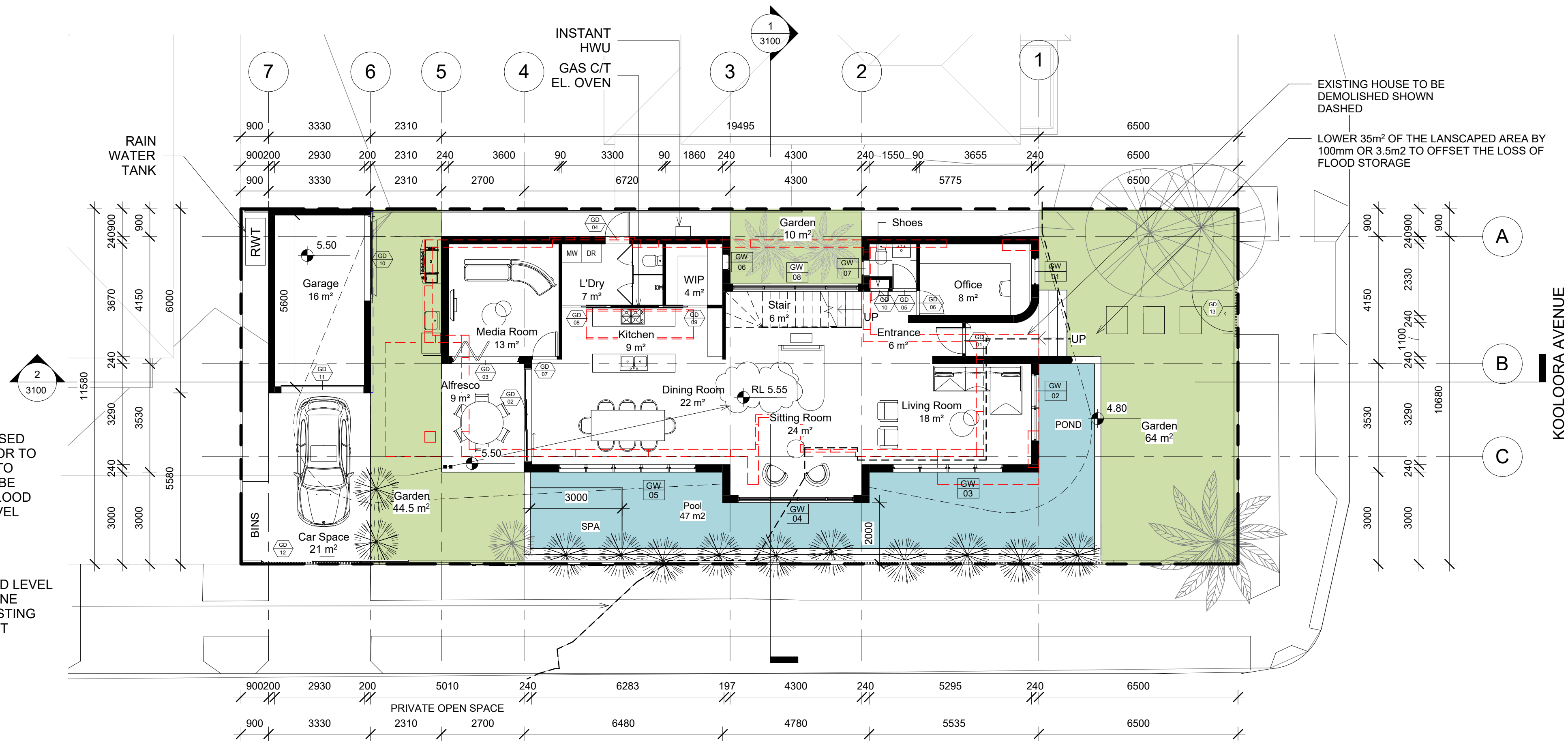
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RAISE PROPOSED GROUND FLOOR TO FFL 5.55 AHD TO COMPLY AND BE ABOVE THE FLOOD PLANNING LEVEL

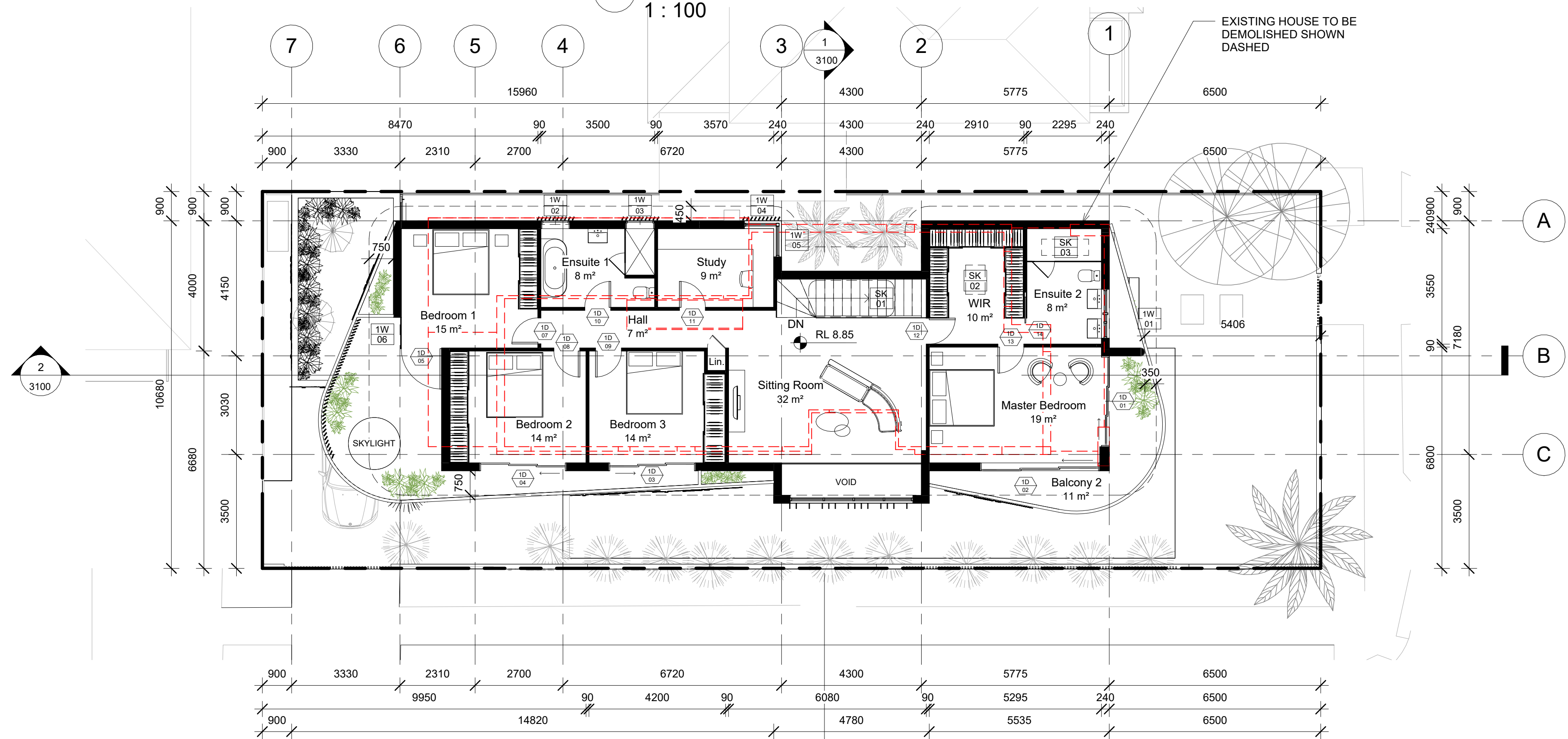
1% AEP FLOOD LEVEL RL 5.05 AHD LINE DENOTES EXISTING FLOOR EXTENT



Ground Floor Room Schedule	
Name	Area
Media Room	13 m²
Kitchen	9 m²
L'Dry	7 m²
WIP	4 m²
Sitting Room	24 m²
Entrance	6 m²
Office	8 m²
Powder Room	2 m²
Living Room	18 m²
Dining Room	22 m²
Stair	6 m²
	119 m²
Garage	16 m²
Alfresco	9 m²
Car Space	21 m²
	46 m²

Landscape Area Schedule	
Name	Area
Garden	34 m²
Garden	57 m²
Pool	48 m²
Garden	10 m²
	149 m²

## PROPOSED GROUND FLOOR



First Floor Room Schedule	
Name	Area
Balcony 1	21 m²
Bedroom 1	15 m²
Ensuite 1	8 m²
Study	9 m²
Bedroom 2	14 m²
Bedroom 3	14 m²
Hall	7 m²
WIR	10 m²
Ensuite 2	8 m²
Master Bedroom	19 m²
Balcony 2	11 m²
Sitting Room	32 m²
	170 m²

## PROPOSED FIRST FLOOR



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Proj. Arch  
RR  
Date  
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TI  
Scale  
1 : 100

Project  
FRESHWATER HOUSE

31 Kooloora Avenue, Freshwater

Drawing Title  
PROPOSED GROUND AND FIRST FLOOR PLAN

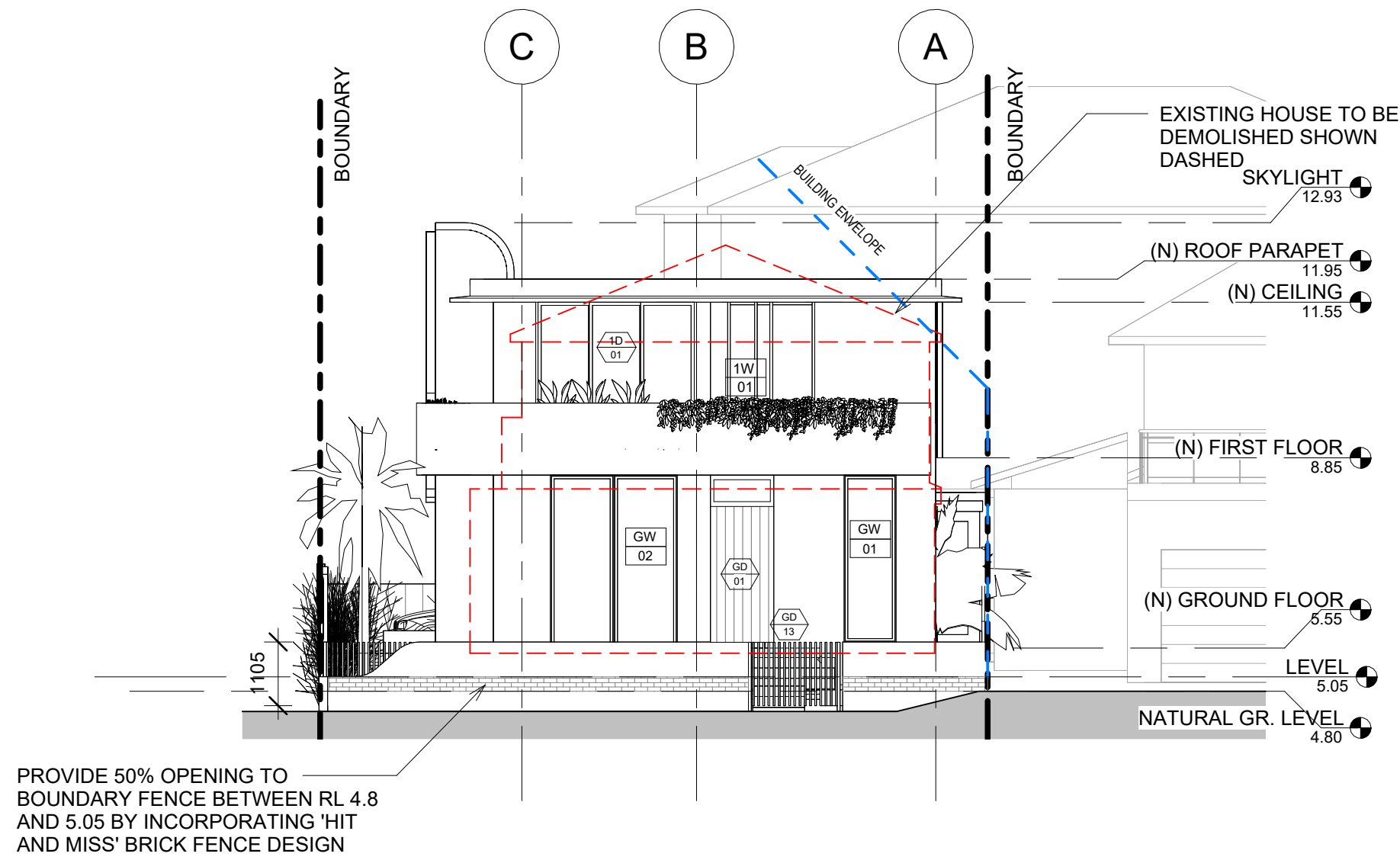
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Revision  
C

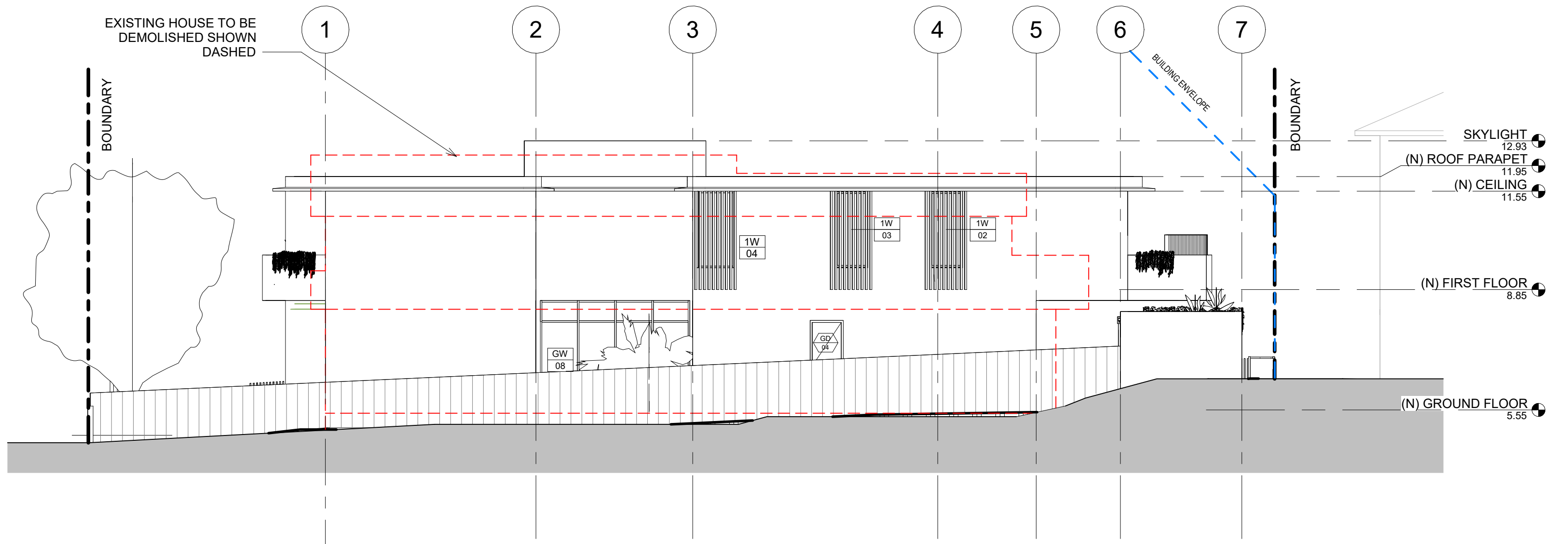
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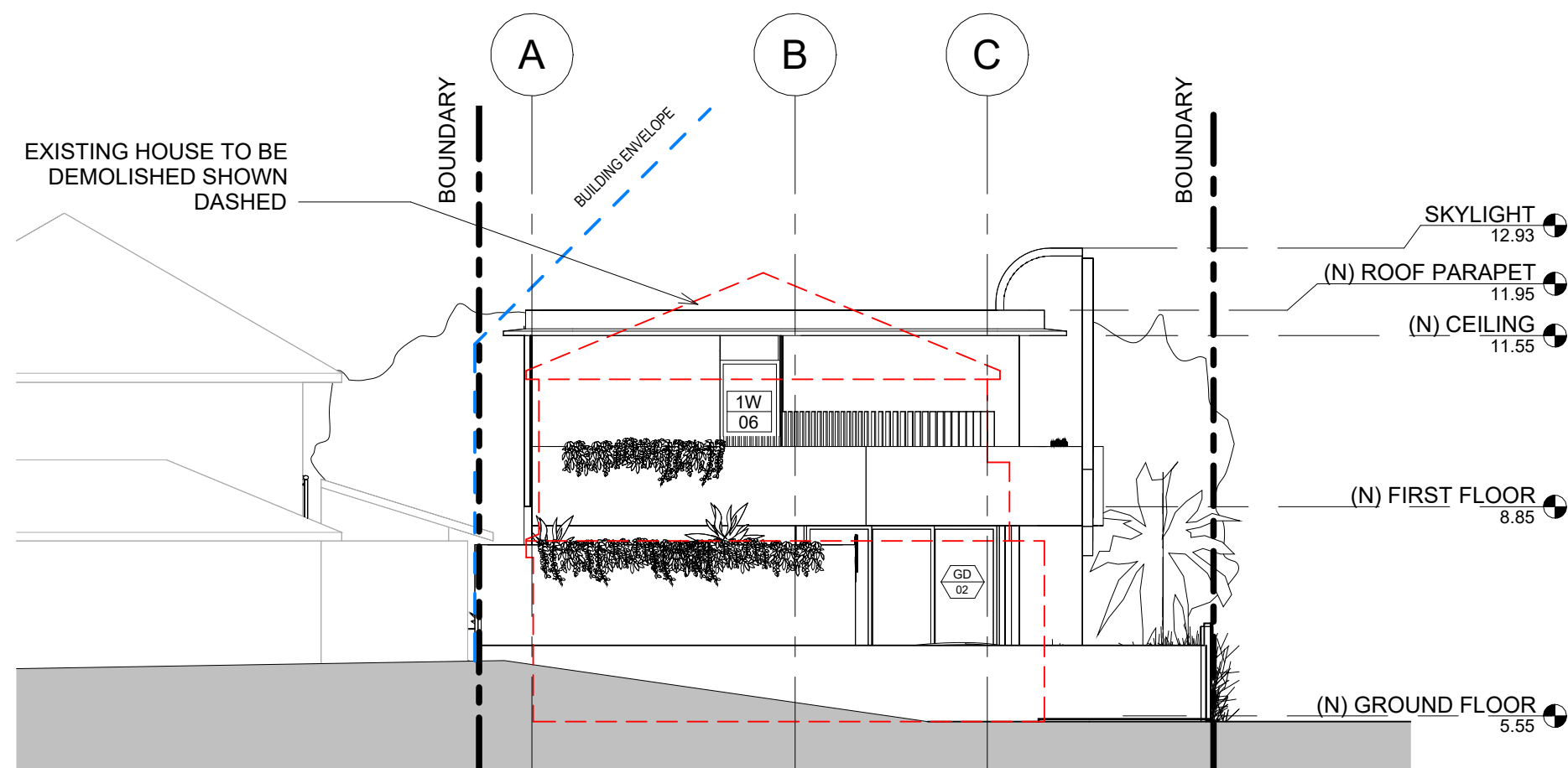




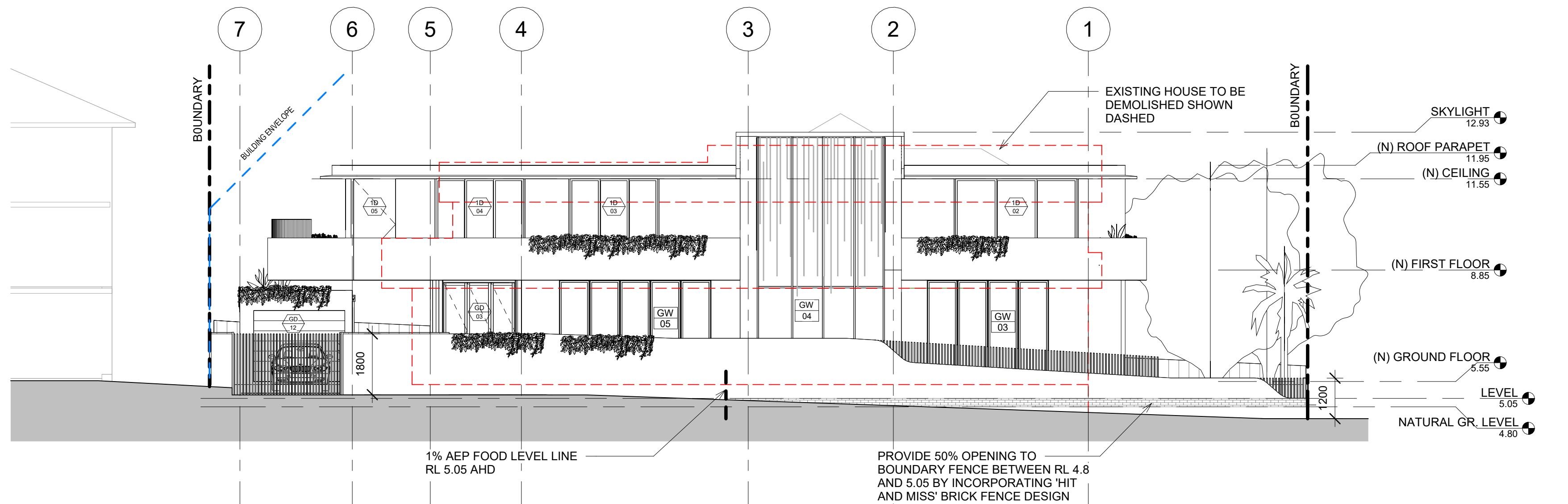
1 North Elevation  
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2 West Elevation  
1 : 100



4 South Elevation  
1 : 100



3 East Elevation  
1 : 100



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RR	TI
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MAY 2024	1 : 100

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FRESHWATER HOUSE

31 Kooloora Avenue, Freshwater

Drawing Title  
(N) ELEVATIONS

Drawing No.  
AR.DA. 3000

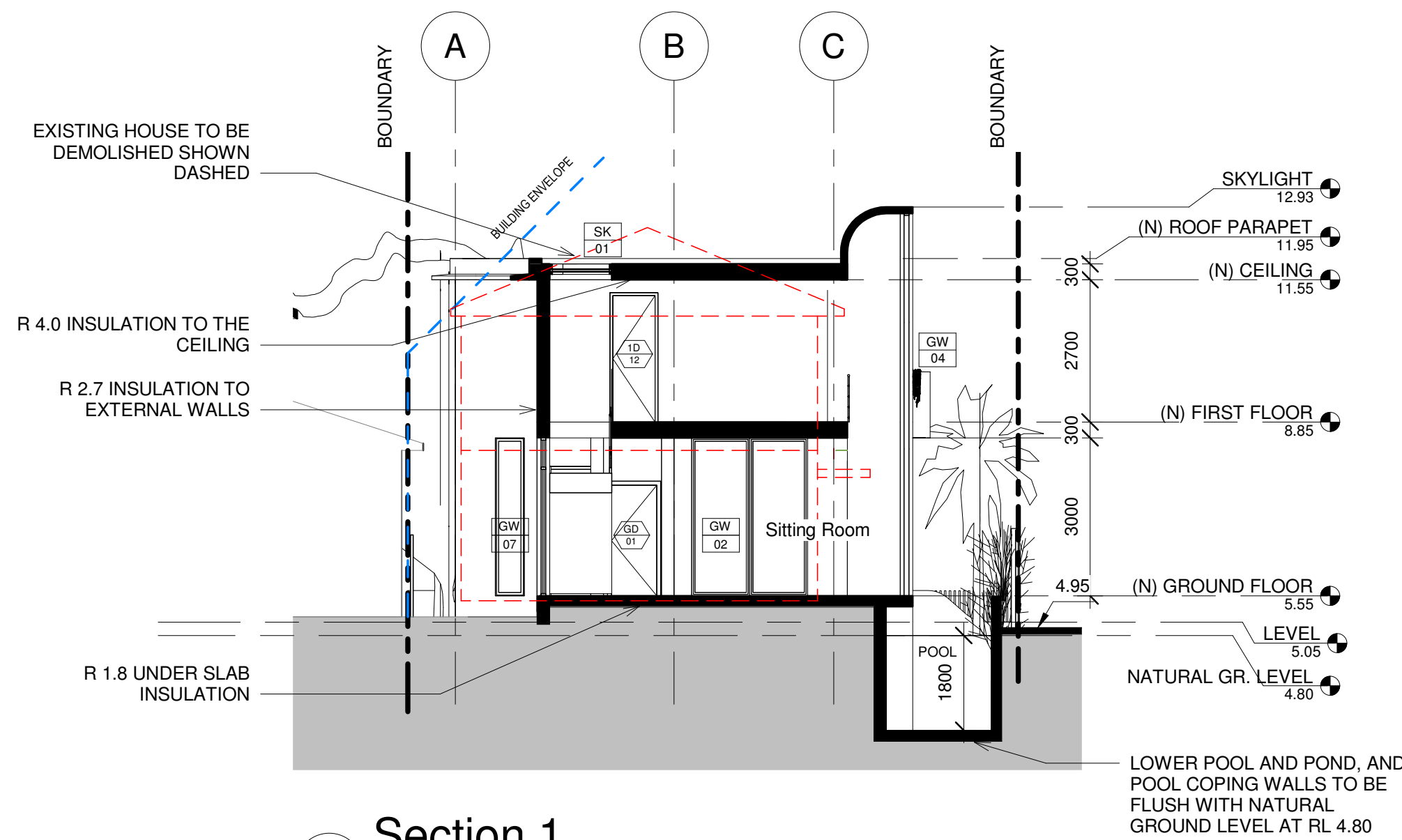
Revision  
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Project Architect

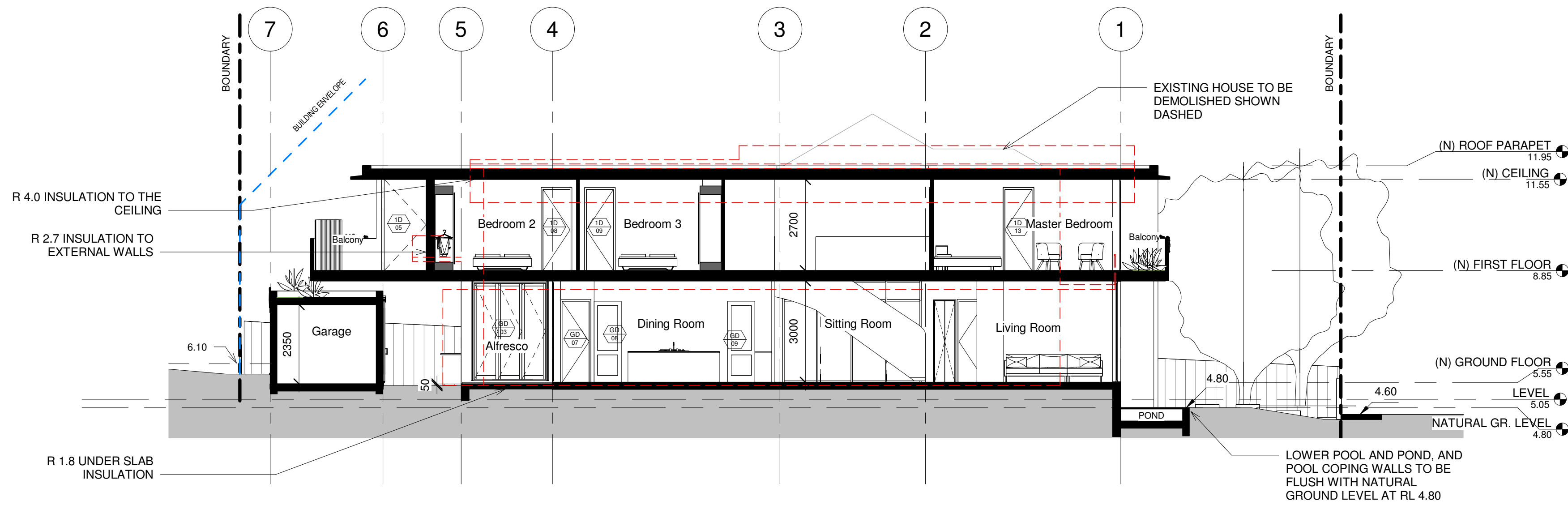
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1 Section 1  
1 : 100



2 Section 2  
1 : 100



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Pool and Spa	Volume of Pool: 74kL, Volume of Spa: 6kL. Both Pool and Spa are to have a cover.		
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Other	Gas cooktop & electric oven Outdoor clothes drying line		

Project  
FRESHWATER HOUSE

31 Kooloora Avenue, Freshwater

Drawing Title  
(N) SECTIONS

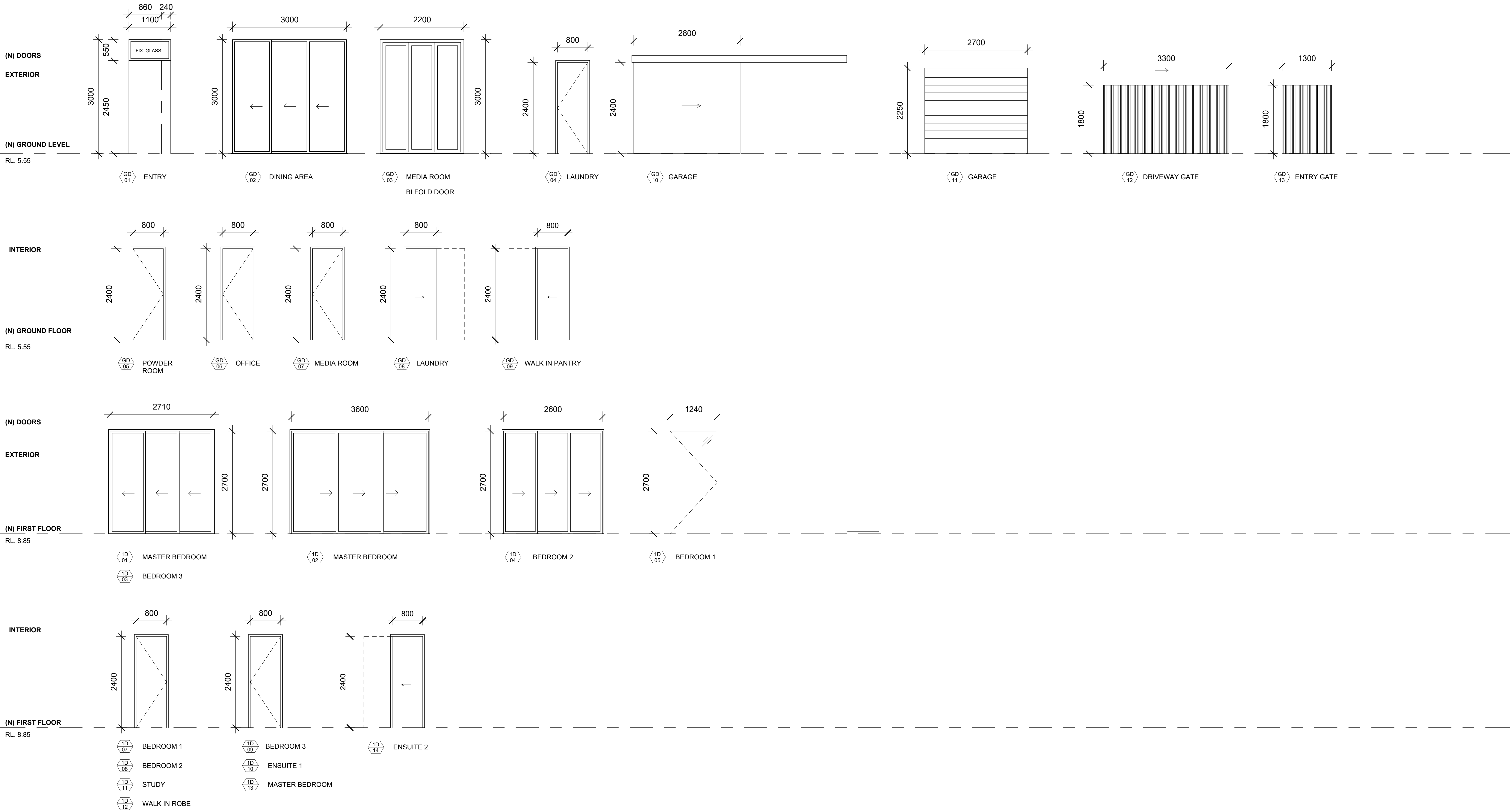
Drawing No.  
AR.DA. 3100

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C

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LEGEND

Proj. Arch	Drawn
RR	TI
Date	Scale
MAY 2024	1 : 50

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Project

FRESHWATER HOUSE

31 Kooloora Avenue, Freshwater

Drawing Title

DOOR SCHEDULE

Drawing No.

AR.DA. 3200

Revision

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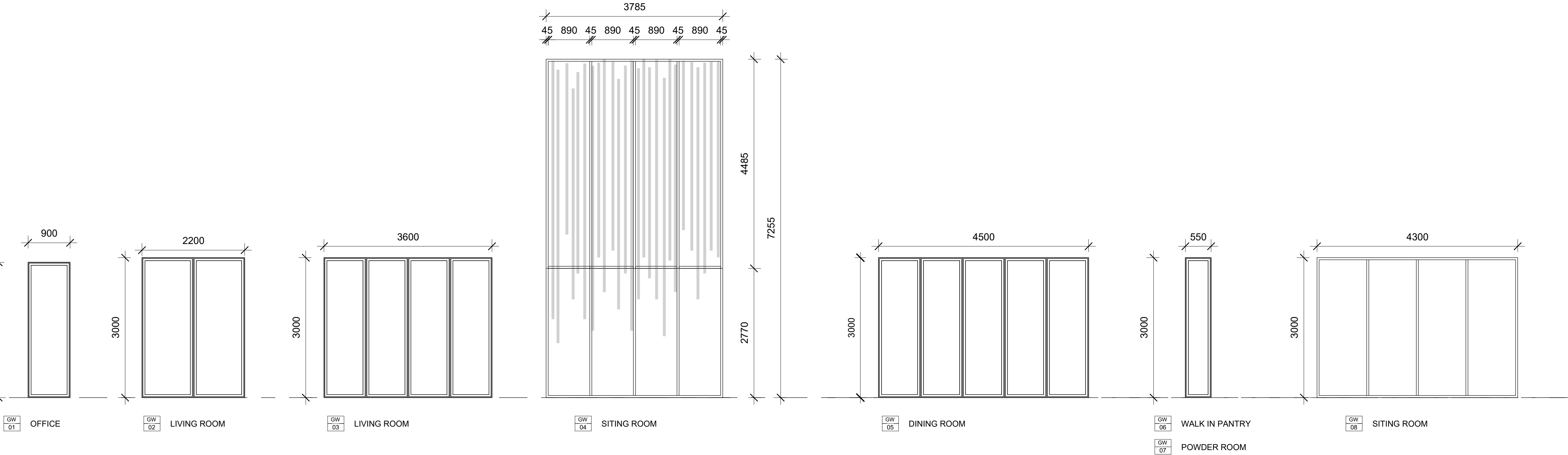




(N) WINDOWS

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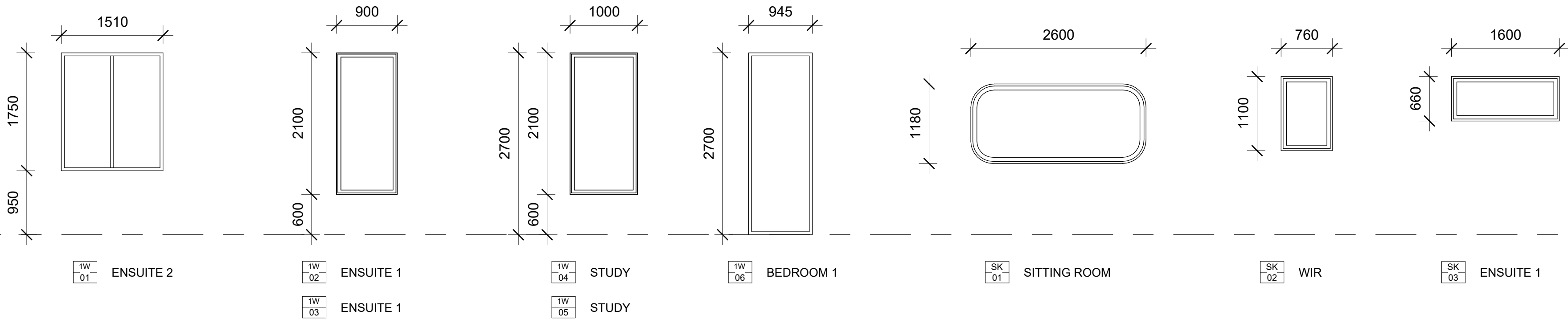
RL. 5.55



(N) WINDOWS

(E) FIRST FLOOR

RL. 8.85



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MAY 2024	1 : 50

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Project  
FRESHWATER HOUSE

31 Kooloorra Avenue, Freshwater

Drawing Title  
WINDOW SCHEDULE

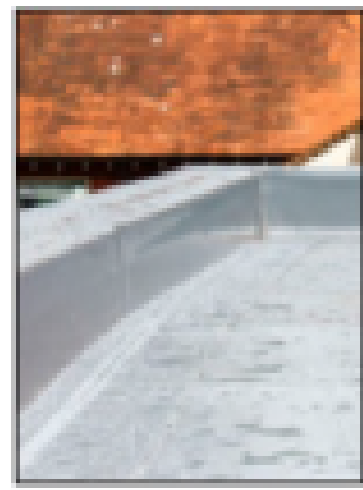
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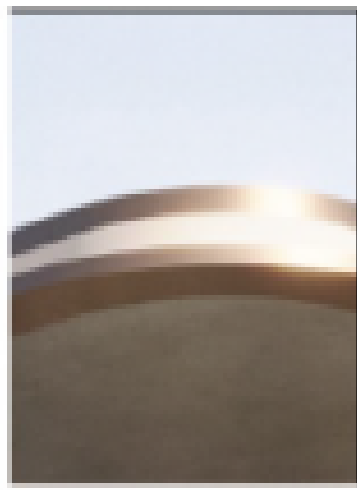
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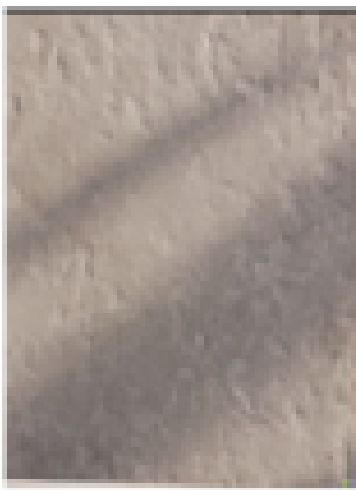




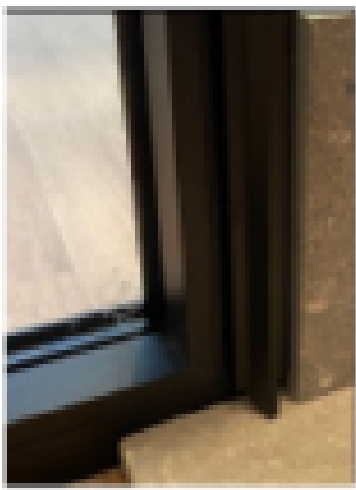
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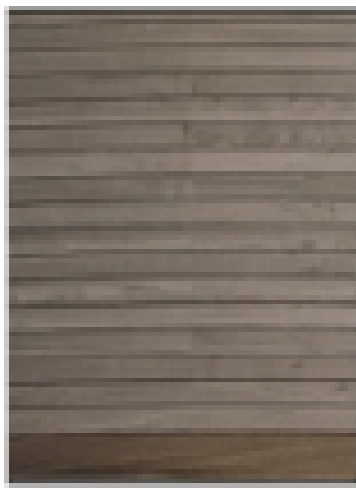
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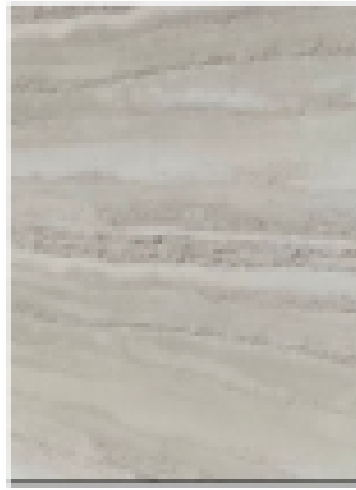
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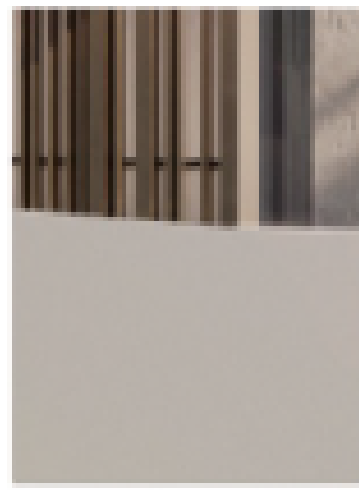
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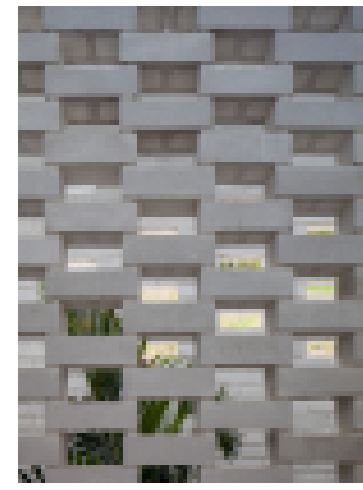
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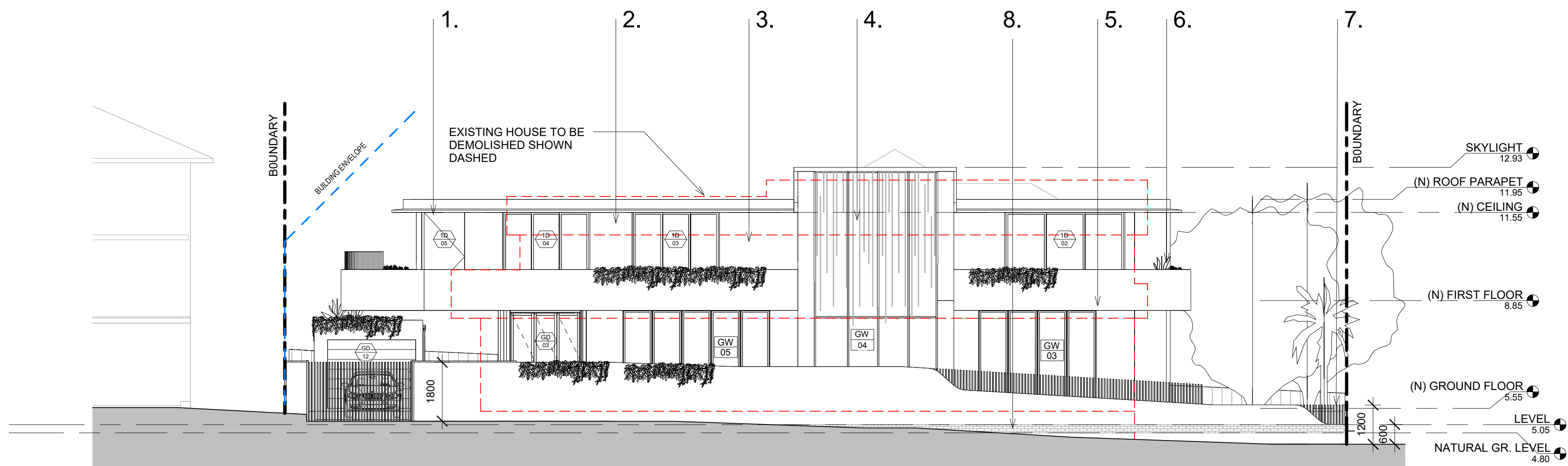
6. BLADE WALL



7. FENCE



8. HIT AND MISS BRICKWORK



1

External Finishes

1 : 100

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TI  
Scale  
As indicated

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FRESHWATER HOUSE  
31 Kooloora Avenue, Freshwater

Drawing Title  
EXTERNAL FINISHES

Drawing No.  
AR.DA. 4000

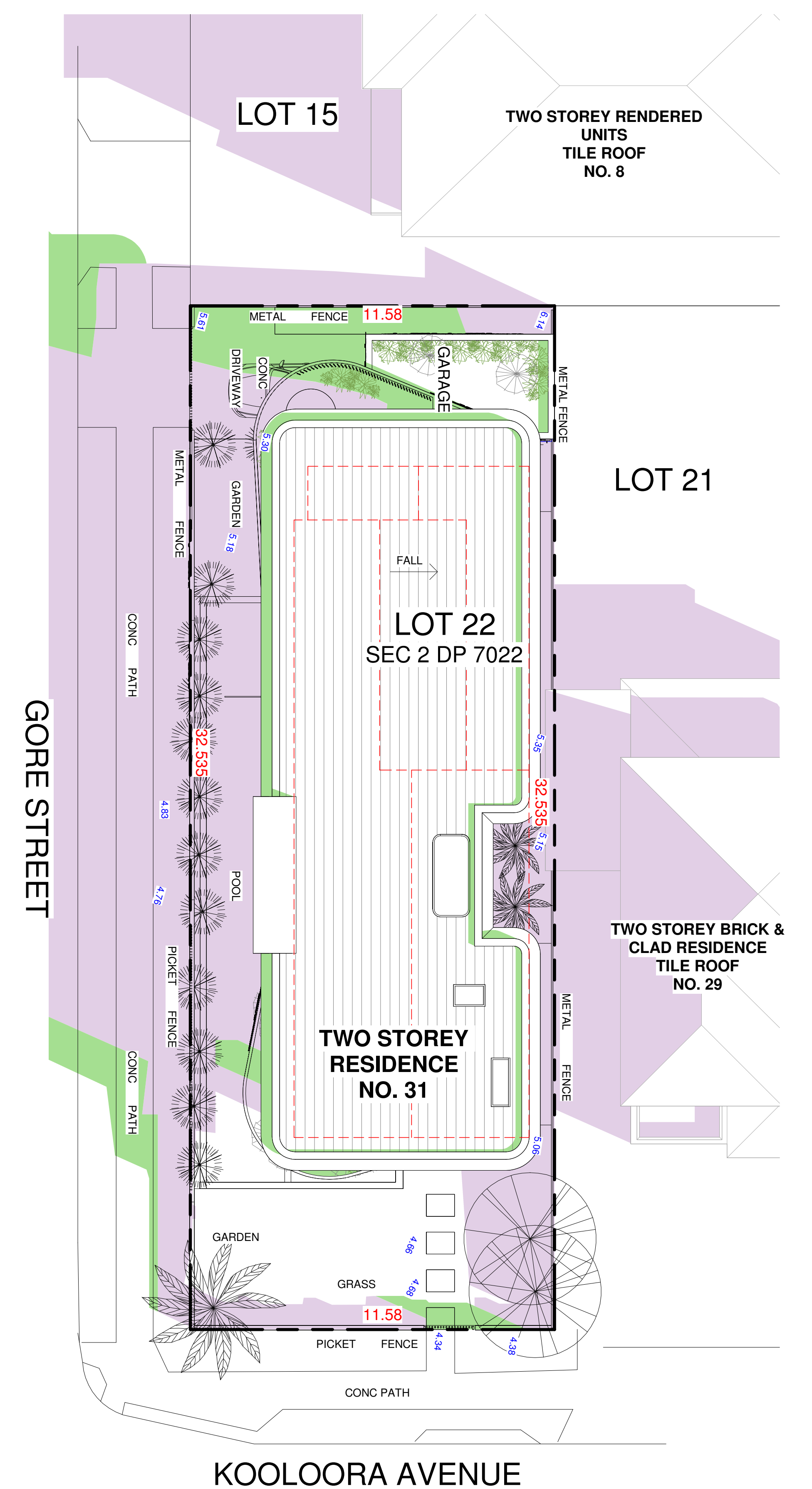
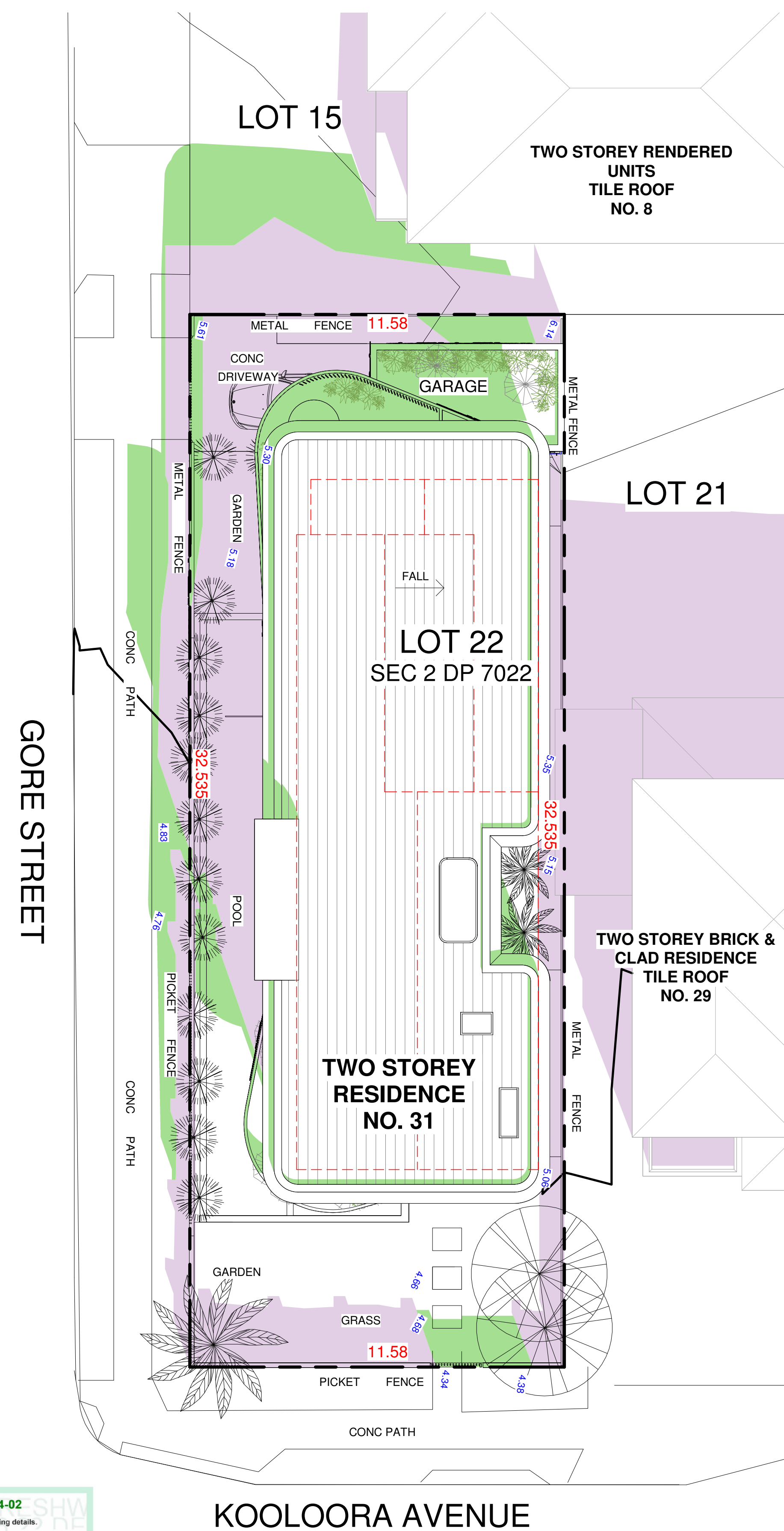
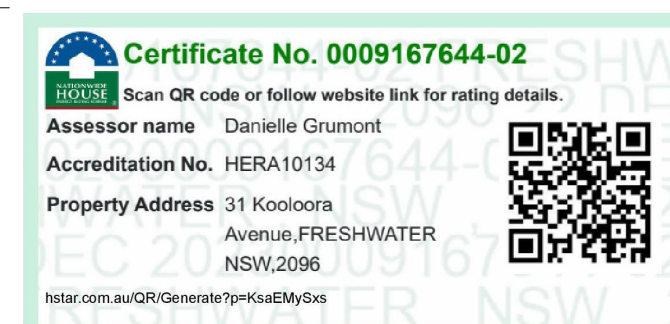
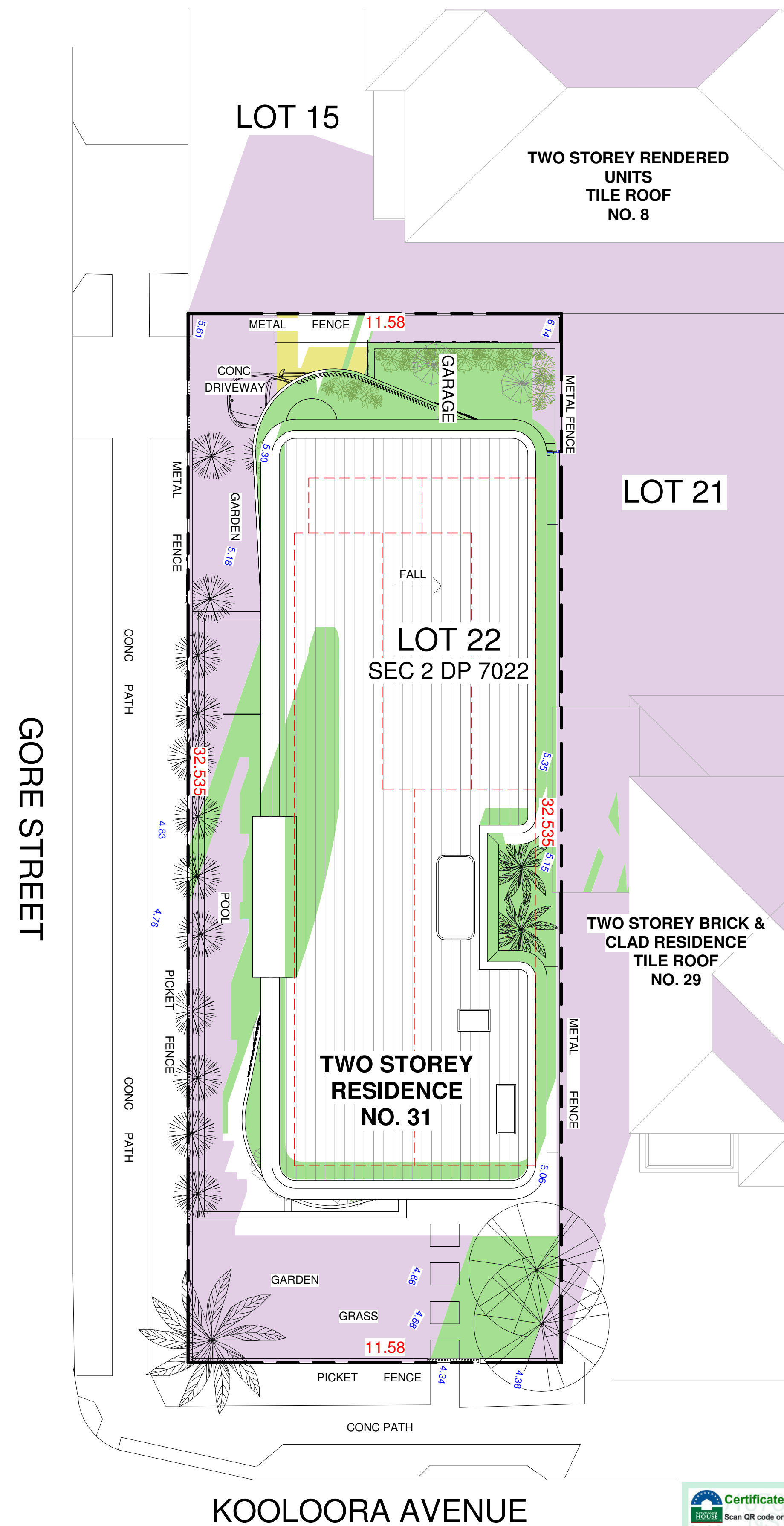
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SURVEYOR

DONOVAN ASSOCIATES

STRUCTURAL & HYDRAULIC ENGINEER

BMV BUILDING CONSULTANTS

ENERGY CONSULTANT

GREEN FUTURE GROUP

Rev	Date	Description	Drawn	Auth.
P1	9.11.2023	ISSUE FOR COORDINATION	TI	RR
P2	28.11.2023	ISSUE FOR COORDINATION	TI	RR
P3	1.12.2023	ISSUE FOR COORDINATION	TI	RR
A	20.12.2023	ISSUE FOR DA	TI	RR
B	25.03.2024	ISSUE FOR DA	TI	RR
C	17.05.2024	ISSUE FOR DA	TI	RR

LEGEND

EXISTING SHADOWS

INCREASE SHADOWS

DECREASE SHADOWS

Proj. Arch

RR

Date

MAY 2024

Do not scale drawings. Verify All dimensions on site. Notify architect of all discrepancies.

Drawn

TI

Scale

As indicated

Project

FRESHWATER HOUSE

31 Kooloora Avenue, Freshwater

Drawing Title

SUN SHADOWS STUDIES

Drawing No.

AR.DA. 7000

Revision

C

Project Architect

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