

PROPOSED NEW DWELLING

141 Riverview Road, Avalon Beach 2107
- Northern Beaches Council



RIVERVIEW ROAD STREETSCAPE

VISUAL INCLUDES TREES (AS PER HEIGHTS DENOTED IN THE ARBORIST REPORT) TO BE RETAINED IN THE EAST AND SOUTH-EAST CORNERS

DRAWING No.	DESCRIPTION
	SURVEY
DA01	COVER PAGE & BASIX/NATHERS
DA02	PROPOSED SITE PLAN
DA03	SITE ANALYSIS PLAN
DA04	LANDSCAPE PLAN
DA05	PROPOSED CUT & FILL PLAN
DA06	LOWER GROUND FLOOR PLAN
DA07	LIVING LEVEL FLOOR PLAN
DA08	ENTRY LEVEL FLOOR PLAN
DA09	ROOF PLAN
DA10	EAST & WEST PLAN
DA11	NORTH & SOUTH ELEVATION PLAN
DA12	A SECTION PLAN
DA13	MAX BUILDING ENVELOP DIAGRAM
DA14	MAX HEIGHT THRESHOLD DIAGRAM
DA15	SHADOW DIAGRAM 9AM
DA16	SHADOW DIAGRAM 10AM AND 11AM
DA17	SHADOW DIAGRAM 12PM & 3PM
DA18	DRIVEWAY SECTION AND WINDOW/ DOOR SCHEDULE
DA19	INDICATIVE MATERIALS SCHEDULE

DESIGNERS WORK HEALTH AND SAFETY STATEMENT

1. FALLS, SLIPS, TRIPS AND OBSTACLES
DURING CONSTRUCTION
 Whenever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall of more than two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable system of protection in accordance with relevant codes of practice, regulations or legislation.
DURING OPERATION OR MAINTENANCE
 For houses or other low-rise buildings where scaffolding is appropriate.
 Whenever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall of more than two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable system of protection in accordance with relevant codes of practice, regulations or legislation.

2. FALLING OBJECTS
LOADS, MATERIALS AND SMALL OBJECTS
 Construction, maintenance or demolition work on or around the building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below:
 1. Provide or install access to areas below where the work is being carried out.
 2. Provide barricades to cordoning off work platforms.
 3. Provide protective sheeting below the work areas.
 4. Ensure that all persons below the work areas have protective equipment (PPE).

BUILDING COMPONENTS
 During construction, maintenance or demolition of the building parts of the structure including fabricated steel work, heavy concrete and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other similar supports in place of all three where collapse, which may injure persons in the area, is a possibility. Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and the access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT
 For buildings on a major road, narrow road or heavily passing road.
 Penetration of vehicles or road-going machinery on the roadway may cause a traffic hazard. During construction, maintenance or demolition of the building, designated parking for workers and loading areas should be provided. Traffic management personnel should be responsible for the installation of these signs.

For buildings where on-site loading/unloading is restricted:
 Construction of the building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and traffic management personnel should be used to supervise loading/unloading operations.
 For all buildings:
 Road construction and demolition sites present a risk of collision where other traffic is moving within the site. Traffic management personnel supervised by trained traffic management personnel should be responsible for the work site.

4. SERVICES
GENERAL
 Activities of services during construction or other activity creates a variety of risks including release of hazardous materials. Existing services are located on or around the site. Where known, these should be identified on the plans to the exact location and extent of services may vary from their indicated location. Services should be located using appropriate methods such as CAT before the dig, appropriate identification plates should be used and, where necessary, specific contractors should be used. Coordinate with appropriate service providers.
 Underground power lines (UPL) should be located in accordance with the design. Where a change of use occurs or a new service is added to the site, the location of the UPL should be updated to include any new services or identified services.
 Locations with overhead power lines:
 Overhead power lines (OPL) may be overhead or on-site. These pose a risk of electrocution if struck or approached by living devices or other parts and persons working above ground level. Where there is a danger of the working, power lines should be, where practicable, disconnected or relocated; where this is not practicable, adequate warning in the form of bright coloured tape or signage should be used or a grid should be provided.
5. MANUAL TASK
 Consistent with the design with a minimum of 22 kilograms should be lifted by two or more workers or by mechanical lifting devices. Where this is not practicable, suppliers or fabricators should be required to limit the component mass.

HAZARDOUS SUBSTANCES
ASBESTOS
 For contractors for a building constructed prior to 1990:
 If the existing building was constructed prior to 1990, it therefore may contain asbestos. If it is necessary to break to contain asbestos either in cladding material or in the external insulation material, in either case, the builder should check with a registered asbestos abatement contractor before demolition, cutting, sanding, drilling or otherwise disturbing the existing structure.
POWDERED MATERIALS
 Many materials used in the construction of the building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment (PPE) including protective gear and eye protection while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

HEAVY LIFTING
 The design of this building may include materials for the inclusion of heavy timber within the structure. Dust or fumes from the material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment (PPE) including protective gear and eye protection while sanding, drilling, cutting or otherwise disturbing or creating powdered material. Do not burn treated timber.

HAZARDOUS CHEMICALS
 Many types of glue, solvents, epoxy products, paints, varnishes and some cleaning materials and adhesives should be used with care. Contractors should ensure that these are used in a well-ventilated area while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.
TOXIC SUBSTANCES
 Pesticides, herbicides, poisons and materials used for other thermal or sound insulation may contain toxic or hazardous substances. Contractors should ensure that these are used in a well-ventilated area while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SMOKE FLOORS
 This building may contain timber floor joists which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. COVERED SPACES
 Construction of this building and some maintenance of the building will require excavation and installation of earth walls or excavations. Where possible, excavations should be covered off using methods which do not require workers to enter the excavation. Where this is not practicable, adequate support for the excavated areas should be provided. Personal Protective Equipment should be worn by personnel in or near the excavation. Where this is not practicable, adequate support for the excavated areas should be provided. Personal Protective Equipment should be worn by personnel in or near the excavation or unexcavated areas to all excavations should be provided.

8. EXCAVATED SPACES
 For buildings with excavated spaces where maintenance or other access may be required:
 Excavated spaces within this building may present a risk to persons entering for construction, maintenance or other purposes. The design requires warning signs and barriers to be unobstructed. These should be maintained throughout the life of the building, where workers are required to enter excavated spaces, all safety equipment and Personal Protective Equipment should be provided.

SMALL SPACES
 For buildings with small spaces where maintenance may be required:
 Some small spaces within this building may require access by construction or maintenance workers. The design requires warning signs and barriers to be unobstructed. These should be maintained throughout the life of the building, where workers are required to enter small spaces they should be instructed to first access to the small spaces. Handrails and other means should be provided to assist in small spaces.

9. PUBLIC ACCESS
 Public access to construction and demolition sites and to areas under maintenance should be to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or tools are used or present they should be secured when not fully approved.

OPERATIONAL USE OF BUILDINGS/RESIDENTIAL BUILDINGS
 This building has been designed as a residential building. If at a later date, it is used or intended to be used for a purpose other than residential, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

10. NON-RESIDENTIAL BUILDINGS
 For non-residential buildings where the end use has not been identified:
 This building has been designed to meet the requirements of the occupation identified on the drawings. The specific use of the building should be identified on the drawings and any other statement of the workplace health and safety issues should be undertaken at the time of fit out for the end use.
 For residential buildings where the end use is known:
 This building has been designed to the specific use as identified on the drawings. Where a change of use occurs or a new service is added to the site, the location of the UPL should be updated to include any new services or identified services.

11. OVERHEAD POWER LINES
 All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risk of Workplaces - AS/NZS 3012 and all licensing requirements.
 All work under these should be carried out in accordance with Code of Practice: Managing Risk of Workplaces.
 All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work.
 Contractors with the design with a minimum of 22 kilograms should be lifted by two or more workers or by mechanical lifting devices. Where this is not practicable, suppliers or fabricators should be required to limit the component mass.



RIVERVIEW ROAD - SOUTH-EAST CORNER

VISUAL INCLUDES TREES (AS PER HEIGHTS DENOTED IN THE ARBORIST REPORT) TO BE RETAINED IN THE EAST AND SOUTH-EAST CORNERS



BASIX & THERMAL COMMITMENTS					
Date	16 March 2021	Lot Number	2	House Number	141
Street	Riverview Road	Suburb	Avalon	Post Code	2107
State	NSW				
FLOORS					
Ground	Slab on ground, Suspended concrete	1st Floor	Suspended concrete	2nd Floor	Suspended concrete
WALLS					
Ground	Cavity Brick	1st Floor	Cavity Brick	2nd Floor	Cavity Brick
Insulation External Walls	Foil Board to double brick excluding Store room	Internal Walls	to be Insulated	Laundry, Powder, WC, Store Room	Insulation Internal Walls R2.0
External Colours	Not yet selected				
CEILING					
Ceilings with cavity to roof	R5.0, R2.0 Guest Bed to Balcony.	Ceiling between Ground and 1st Floor	R2.0		
Ceiling between 1st Floor and 2nd Floor	Nil	Areas requiring insulation between levels	Can/leveled floors to outside air		
ROOF AREA					
Colours	Dark	Material	Metal (Colourbond)	Insulation	Anticon 50mm (R1.3)
WINDOWS (Refer to NATHERS Certificate for more detail)					
Upgraded windows, refer to NATHERS Certificate					
WATER					
Landscape Area	TBCm ²	Rainwater Tank	Garden, WC, Laundry	Rainwater Tank Size	3,000 L
Roof Area to Tank	80% of Roof	Toilets	4 Star	Basin Taps	4 Star
Showerheads	3 Star > 7.5 but less < or = 9.0 litres per minute	Swimming Pool	No	Kitchen Taps	4 Star
ENERGY					
Hot Water	Gas Instantaneous 6 Star	Air Conditioning	Single Phase	Air Conditioner EER	Heating & Cooling 3.0 - 3.5
VENTILATION					
Laundry	Natural Ventilation (has external window/door)	Bathroom	Ducted	Kitchen	Ducted
OTHER					
Solar Photovoltaic System	No	Cooking	Gas Cooktop/Electric Oven	Bedroom Ceiling Fans	No
Living Room Ceiling Fans	No	Other	Outdoor Clothes Line		
ADDITIONAL NOTES					

The project has been assessed under the simulation method of the BASIX Protocol. Downlights fitted after the assessment must be IC Rated and non-ventilated. All new residential buildings must be constructed in accordance with Building BCA Part 3, 12. 1, Build Sealing BCA Part 3, 12. 3. Insulation must be installed in accordance with AS3995.
 Frys Building Consultancy Pty Ltd Trading as Frys Energywise are Accredited Thermal Energy Assessors ABSA 20856, IDNAV 12/141, COLA 2011291

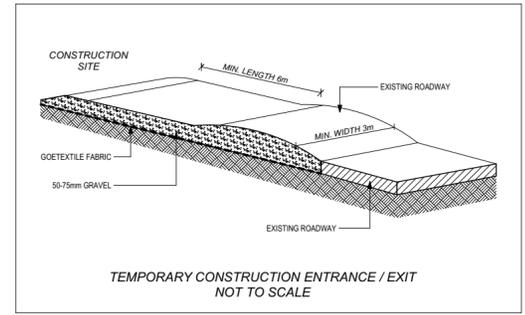
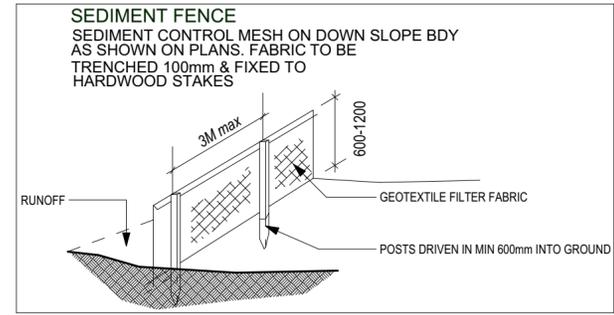
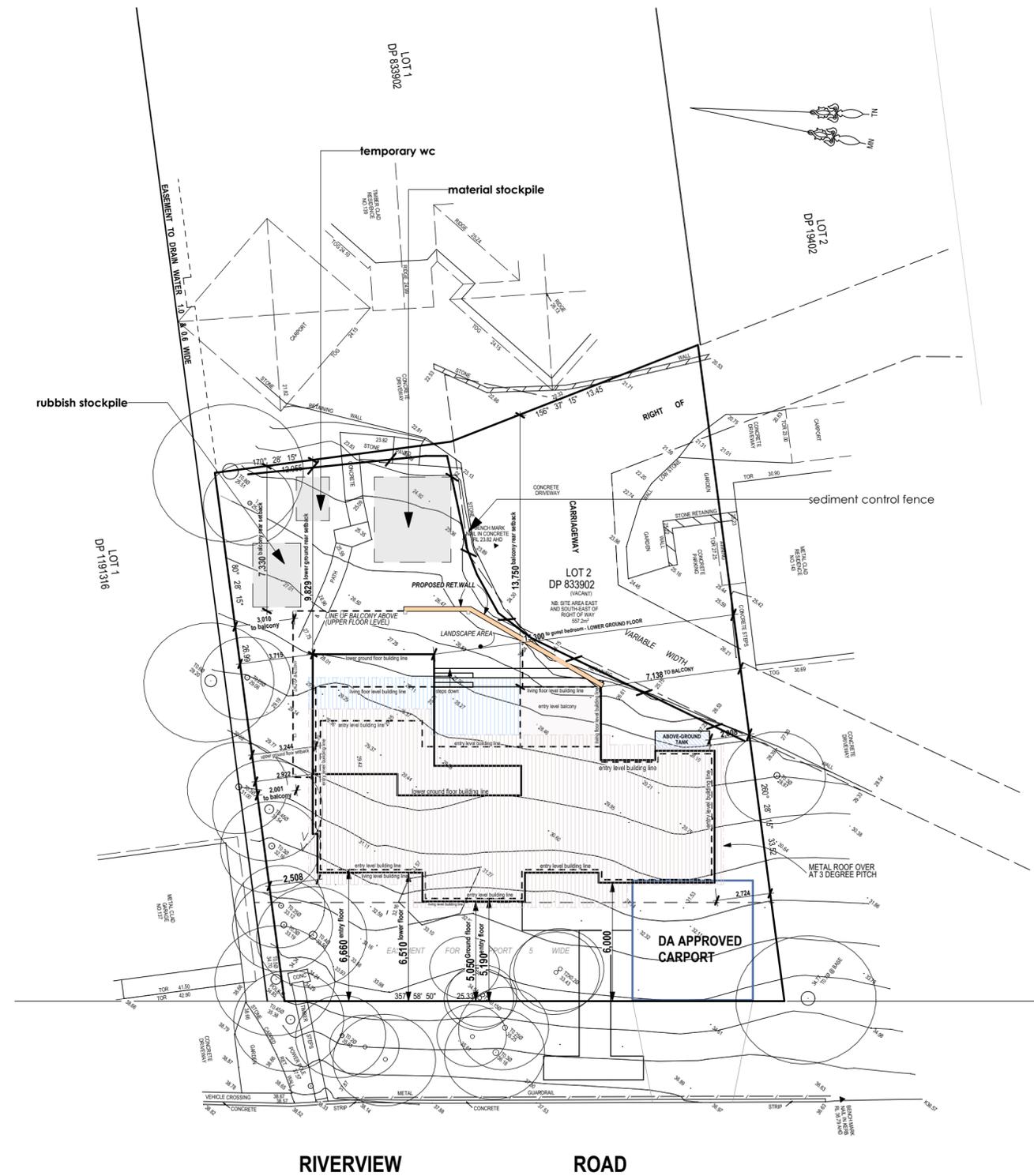
NOTES: THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.
 THIS INCLUDES BUT IS NOT RESTRICTED TO: THE OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, MAINTAINERS AND DEMOLITIONERS.



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DATE	AMENDMENTS	NO	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS		
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach	COVER PAGE & BASIX/NATHERS	DA SUBMISSION		
16/02/2021	working drawings	4	AW	Lot 2/-/DP833902				
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT	PROJECT	DRAWN BY	DATE	SCALE
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu		AW	21/06/21	1:1.43, 1:2 @ A2
21/05/2021	additional shadows & landscape calcs added	7	PC		PROPOSED NEW DWELLING	DWG NO	JOB NUMBER	ISSUE
07/06/2021	6.5m front setback compliance redesign	8	PC			DA01	20127	08



SEDIMENT NOTE :

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS. REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

DUST CONTROL :

TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

NOTE:
 STORMWATER DISPOSAL AS PER HYDRAULICS ENGINEER'S DESIGN No.24956-C2 PREPARED BY NASTASI & ASSOCIATES

NOTE:
 MINIMAL ADDITIONAL STORMWATER LOADING. STORMWATER TO BE DIRECTED TO EXISTING AND WORKING DISCHARGE POINT

NOTE:
 FRAMING TO AS 1685 - 2010
 CONCRETE FOOTING TO AS 2870 - 2011
 PLUMBING TO AS 3500 - 2003
 MASONRY TO AS 4773 & 3700
 TERMITE CONTROL TO AS2049
 DOORS AND WINDOWS TO AS 2047

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15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT Uday and Kavita Bonu	PROJECT PROPOSED NEW DWELLING	AW	21/06/21	1:200
18/03/2021	development application plans	6	PC			DWG NO	JOB NUMBER	ISSUE
21/05/2021	additional shadows & landscape calcs added	7	PC			DA02	20127	08
07/06/2021	6.5m front setback compliance redesign	8	PC					

**NOTE:
REFER TO LANDSCAPE PLAN FOR
TREES TO BE REMOVED INFORMATION**

Total Build Area

DWELLING	Area
Entry Floor Level	127.34
Front Porch (Entry Level)	16.12
Balcony (Living Floor Level)	47.87
Outdoor Living - Lower Floor Level	42.27
Guest Bed Area - Lower Floor Level	45.89
Living Floor Level	175.51
Balcony (Entry Level)	12.32
Total	467.32 m²

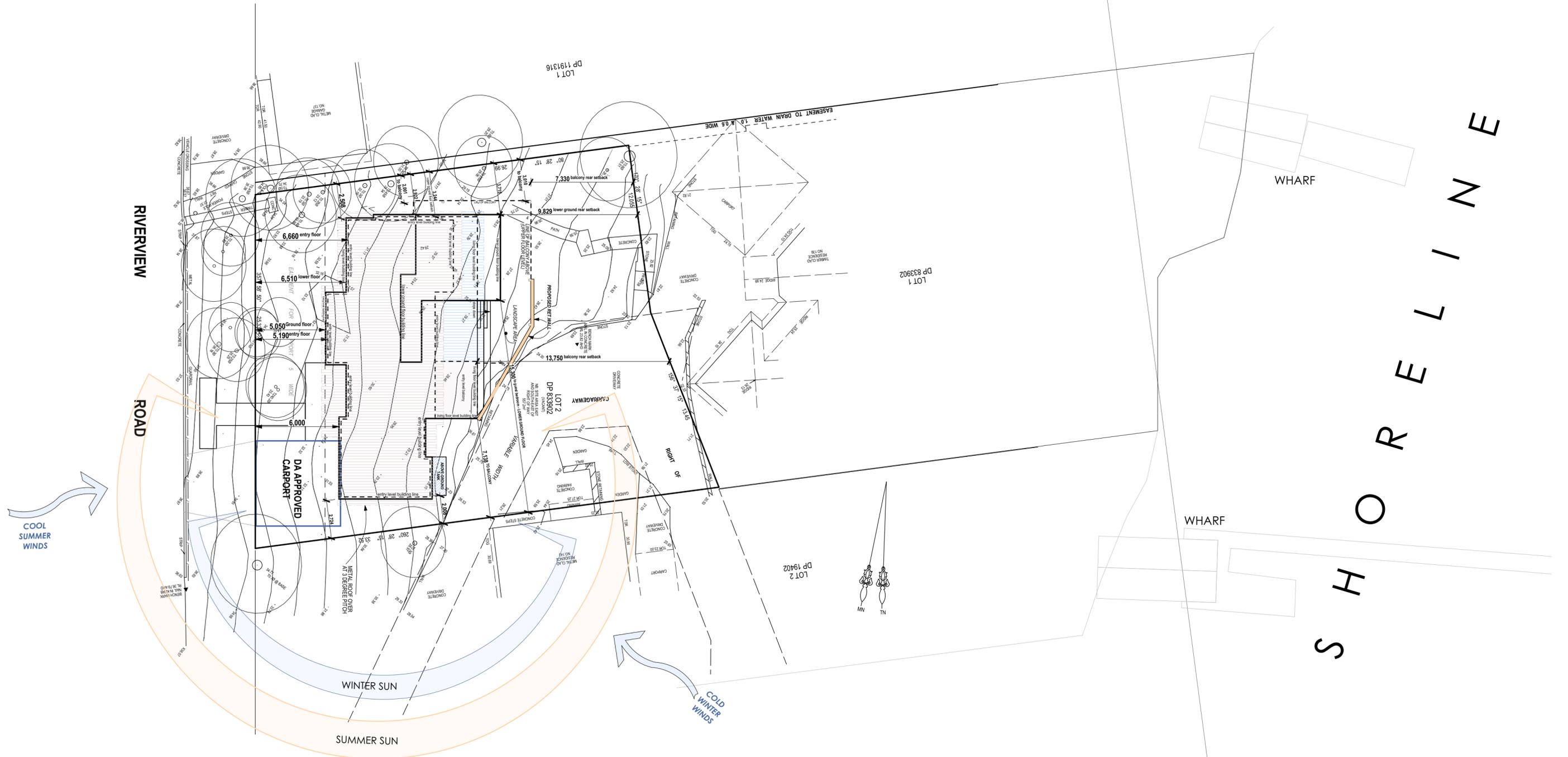
Carport = DA approved

DA Calculations

Site Area = 740.38m²
Carriageway = 133.55m²
Allowable FSR - N/A

GFA Calculations

Entry Floor Level	120.60
Living Floor Level	163.18
Lower Floor Level	40.43
Total	324.21 m²



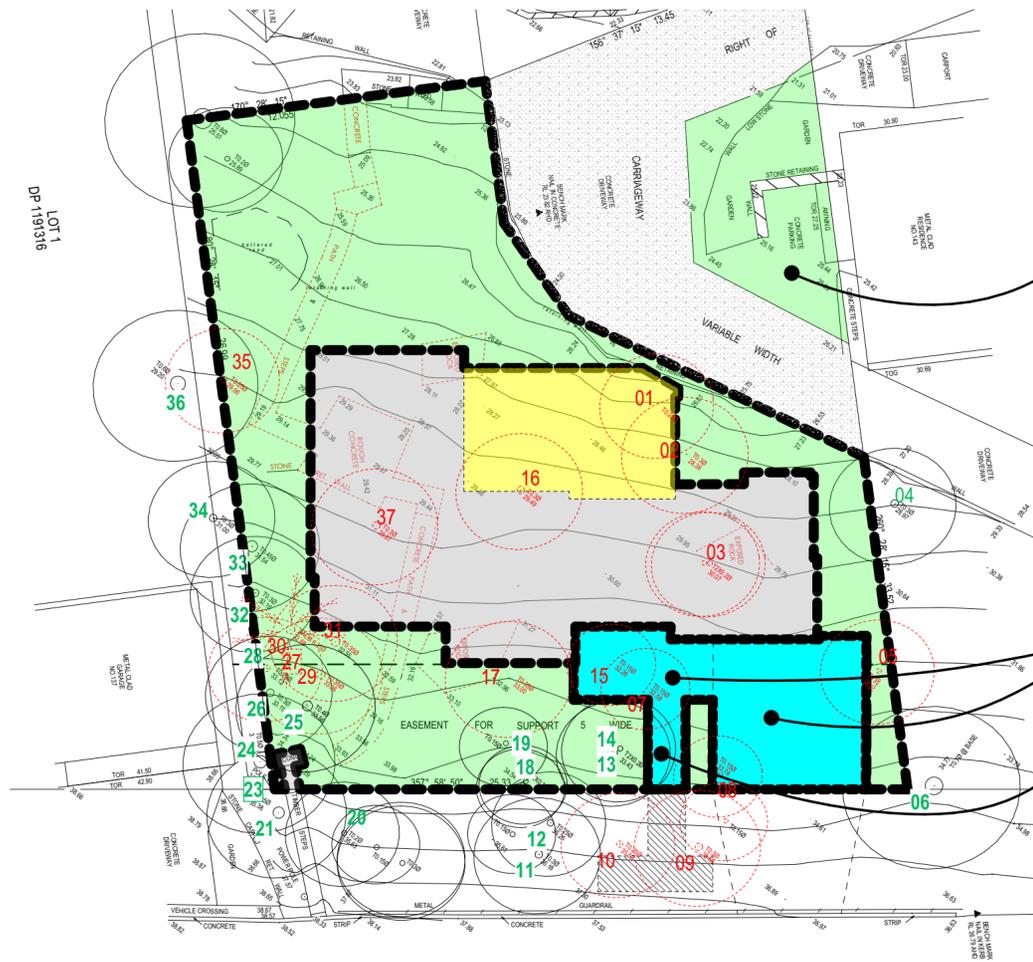
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No. 1672 - 14

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07/06/2021	6.5m front setback compliance redesign	8	PC	

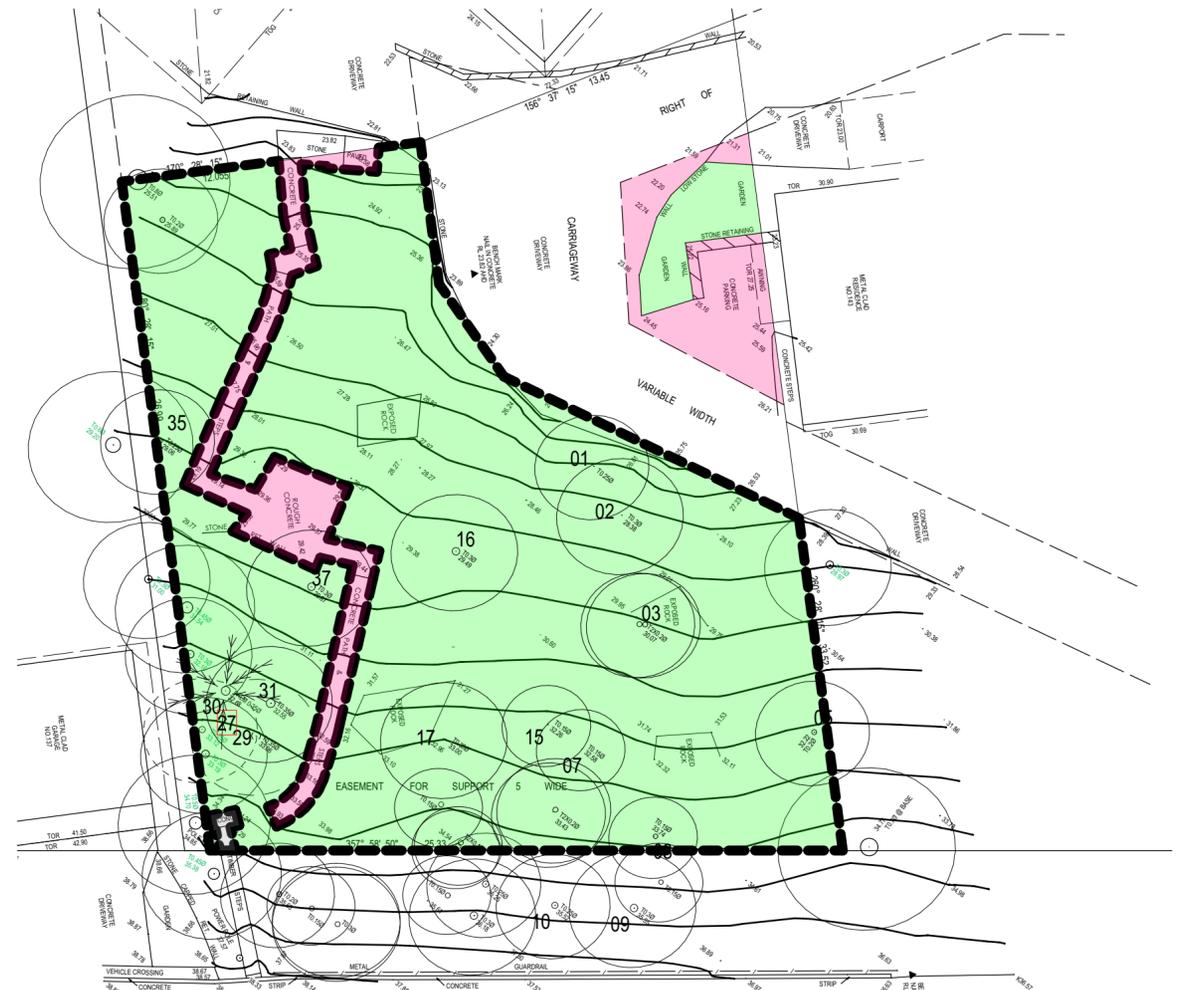
DRAWING TITLE	DRAWING STATUS
SITE ANALYSIS PLAN	DA SUBMISSION
PROJECT	DRAWN BY
PROPOSED NEW DWELLING	AW
	DATE
	21/06/21
	SCALE
	1:200, 1:1 @ A2
	DWG NO
	DA03
	JOB NUMBER
	20127
	ISSUE
	08



NOTE:
INTENTION OF LANDSCAPING
AREA BETWEEN THE
CARRIAGEWAY

**UNDERCROFT
AREA TO BE LANDSCAPED**

PROPOSED - LANDSCAPE PLAN 1:200



EXISTING - LANDSCAPE AREA 1:200

PROPOSED LANDSCAPE CALCULATIONS

Site Area = 740.4m²
 Hard Surface Areas to be Retained for Carriageway = 133.55m² = 18% of site area
 Proposed New Hard Surface Area = 155.93m² + 42.60m² (Outdoor Living Area) = 198.53m² or 26.9% of site area
Proposed Landscape Area Retained (incl Undercroft Area under carport & front walkway) = 377.6m² or 51%
Proposed Landscape Area New (incl area between the carriageway) = 30.72m²
PROPOSED TOTAL LANDSCAPE AREA = 408.32m² OR 55.1%

EXISTING LANDSCAPE CALCULATIONS

Site Area = 740.4m²
 Carriageway = 133.55m²
 Existing Hard Surface Areas including Carriageway = 39.72 + 31.9 + 133.55m² = 205.17m² or 27.7% of site area
 Existing Hard Surface Area to be removed = 39.72m² + 31.9m² = 71.62m²
 Existing Landscape Area = 531.83m² or 71.8% of site area

NOTE:
WITH EXCEPTION TO THE REMOVAL OF
TREES, THE LANDSCAPED AREA IS TO
REMAIN AS EXISTING

NOTE:
Landscape plan to be used in conjunction
with Abacus Tree Services Arborist Report
dated **16 February 2021**

LEGEND

- carriageway
- outdoor living area
- front porch, walkway and carport
- building footprint (excl. outdoor living)

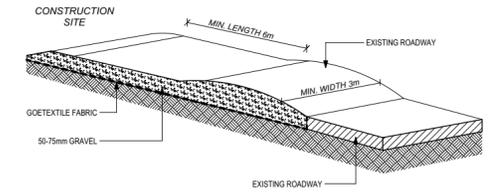
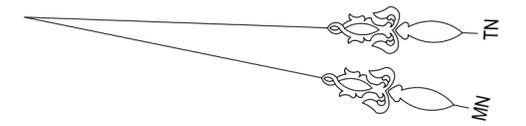
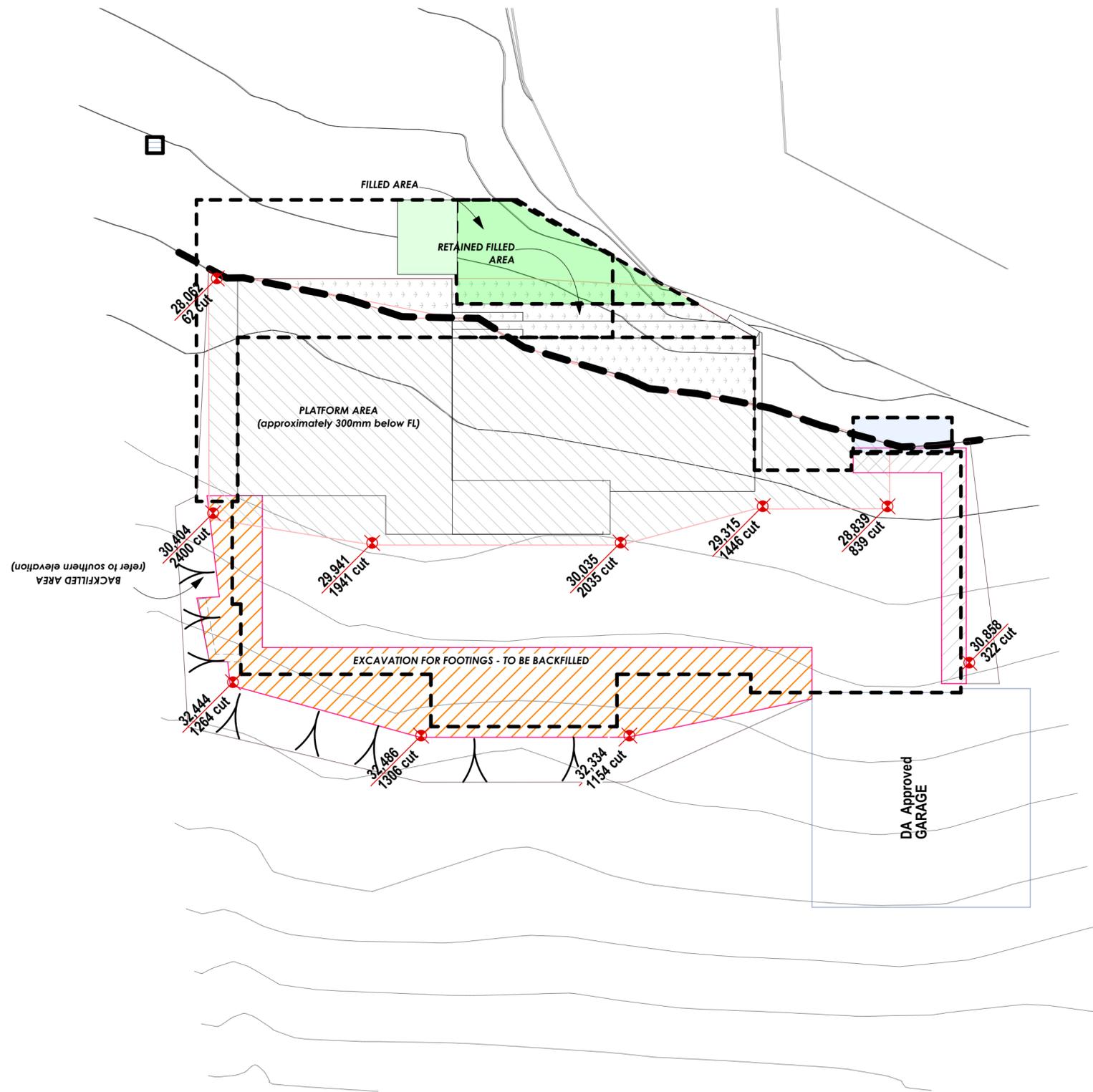
- 01 tree to be removed
- 01 tree to be retained/protected

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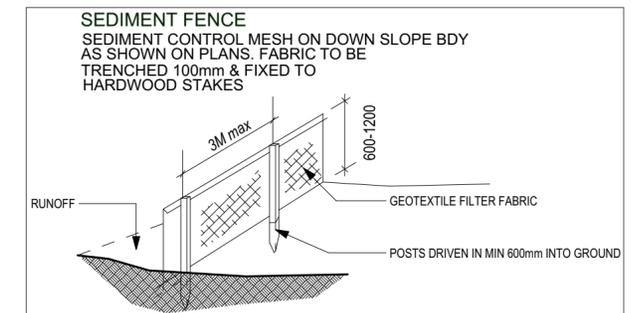
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TEMPORARY CONSTRUCTION ENTRANCE / EXIT
NOT TO SCALE



NOTE:
REFER TO FLOOR PLANS FOR RESPECTIVE RL'S FOR EACH FLOOR LEVEL

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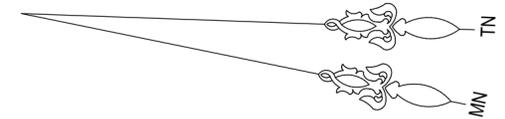
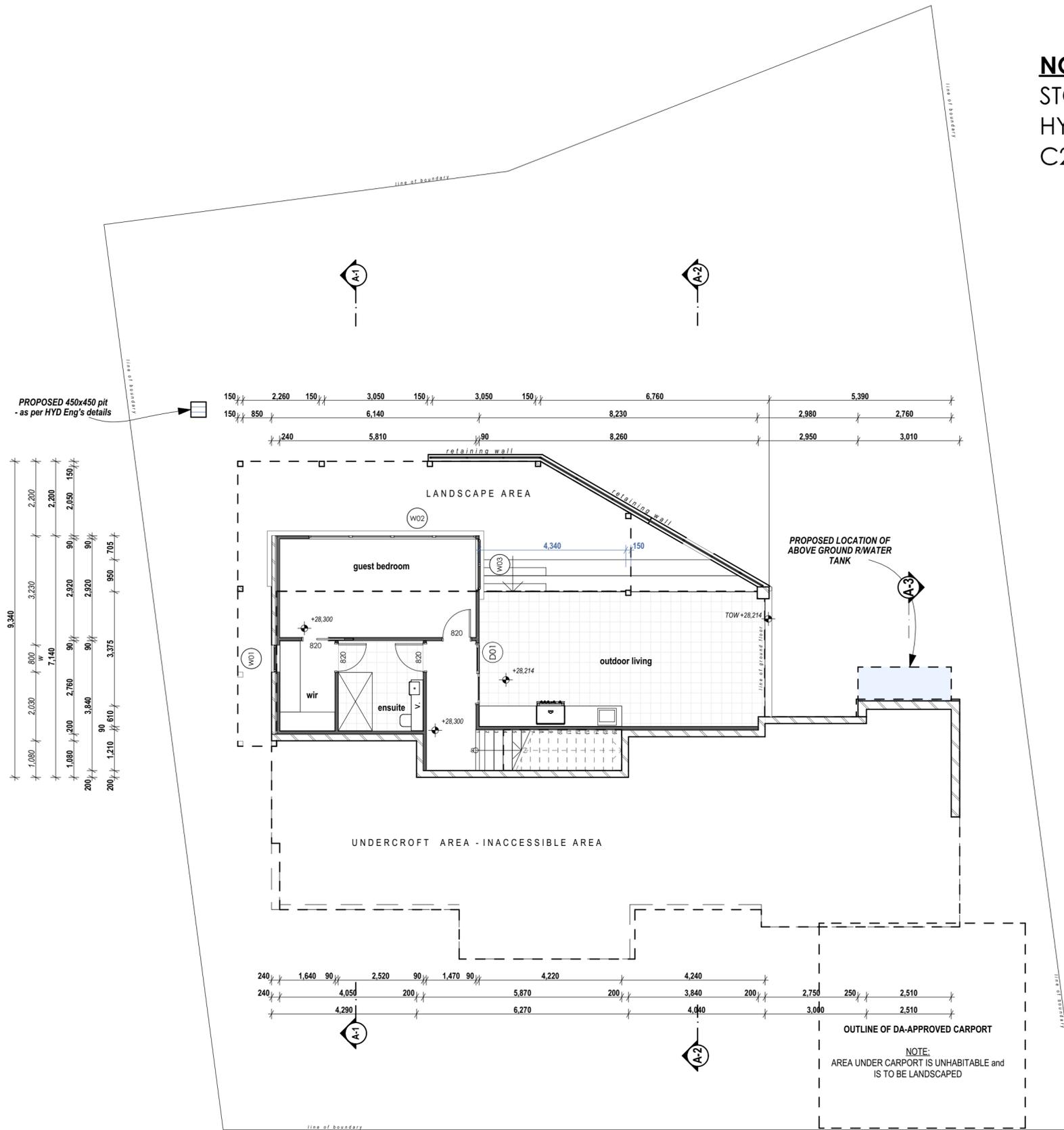
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DRAWING TITLE	PROJECT
PROPOSED CUT & FILL PLAN	PROPOSED NEW DWELLING

DRAWING STATUS		
DA SUBMISSION		
DRAWN BY	DATE	SCALE
AW	21/06/21	1:100 @ A2
DWG NO	JOB NUMBER	ISSUE
DA05	20127	08

NOTE:
 FRAMING TO AS 1685 - 2010
 CONCRETE FOOTING TO AS 2870 - 2011
 PLUMBING TO AS 3500 - 2003
 MASONRY TO AS 4773 & 3700
 TERMITE CONTROL TO AS2049
 DOORS AND WINDOWS TO AS 2047

NOTE:
 STORMWATER DISPOSAL AS PER
 HYDRAULICS ENGINEER'S DESIGN No.24956-
 C2 PREPARED BY NASTASI & ASSOCIATES



FYFFE DESIGN

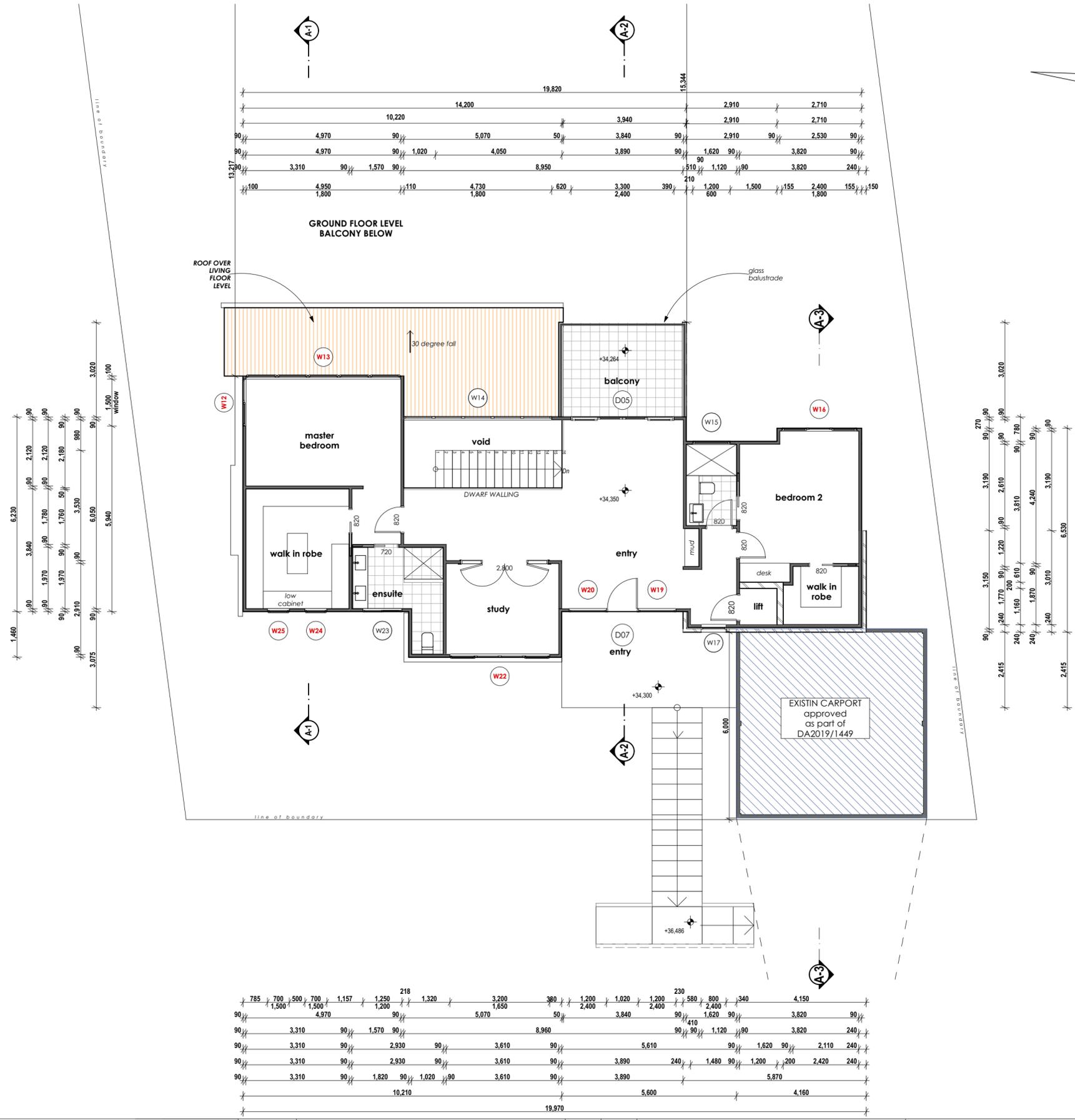
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DRAWING TITLE	DRAWING STATUS
LOWER GROUND FLOOR PLAN	DA SUBMISSION
PROJECT	DRAWN BY
PROPOSED NEW DWELLING	AW
	DATE
	21/06/21
	SCALE
	1:100 @ A2
	DWG NO
	DA06
	JOB NUMBER
	20127
	ISSUE
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 141 Riverview Road, Avalon Beach
 Lot 2/-/DP833902

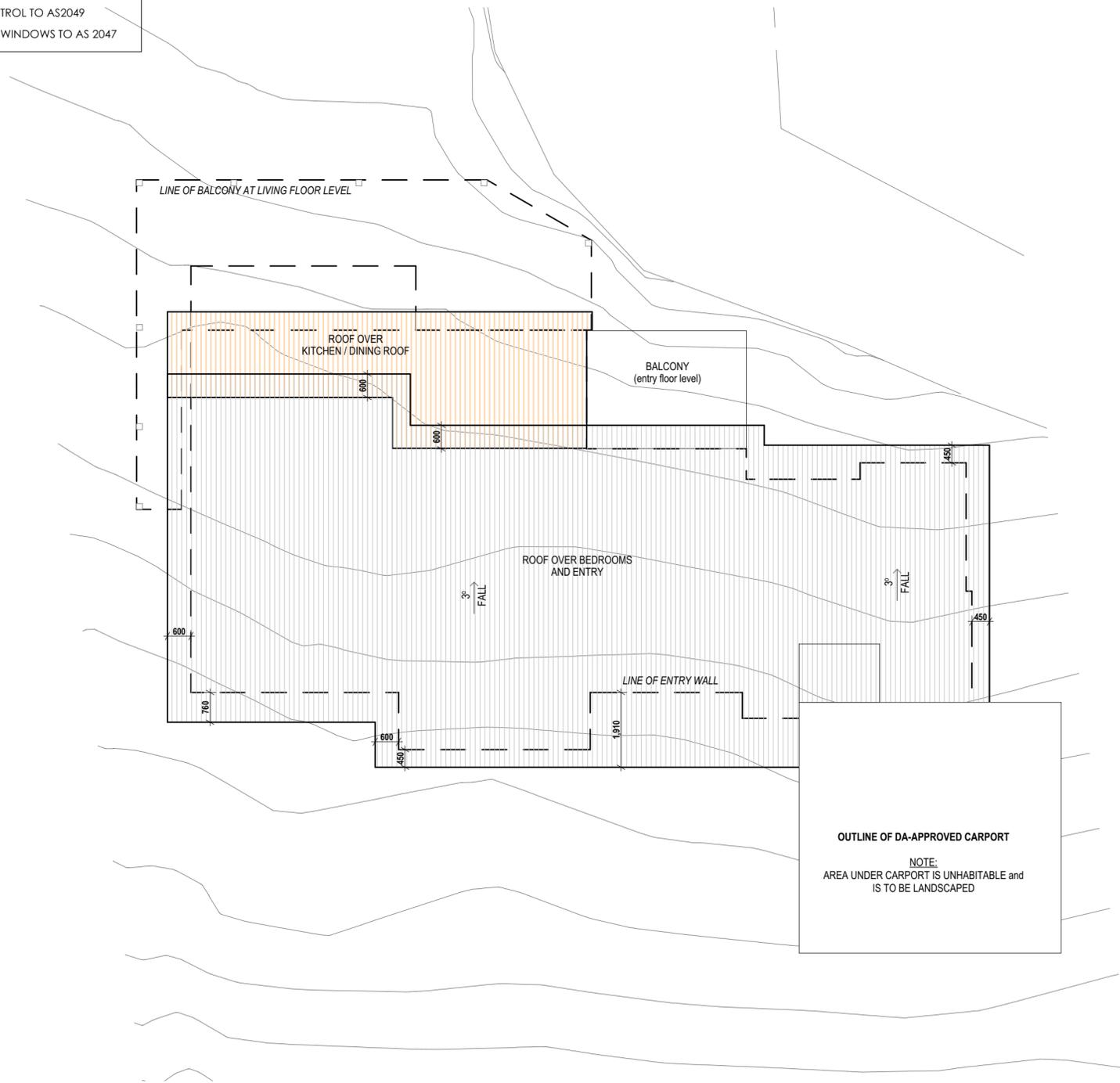
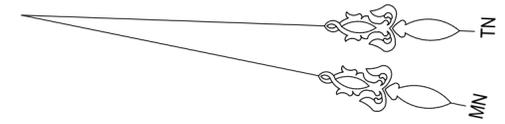
CLIENT
 Uday and Kavita Bonu

DRAWING TITLE
 ENTRY LEVEL FLOOR PLAN

PROJECT
 PROPOSED NEW DWELLING

DRAWING STATUS		
DA SUBMISSION		
DRAWN BY AW	DATE 21/06/21	SCALE 1:100 @ A2
DWG NO DA08	JOB NUMBER 20127	ISSUE 08

NOTE:
 FRAMING TO AS 1685 - 2010
 CONCRETE FOOTING TO AS 2870 - 2011
 PLUMBING TO AS 3500 - 2003
 MASONRY TO AS 4773 & 3700
 TERMITE CONTROL TO AS2049
 DOORS AND WINDOWS TO AS 2047



FYFFE DESIGN

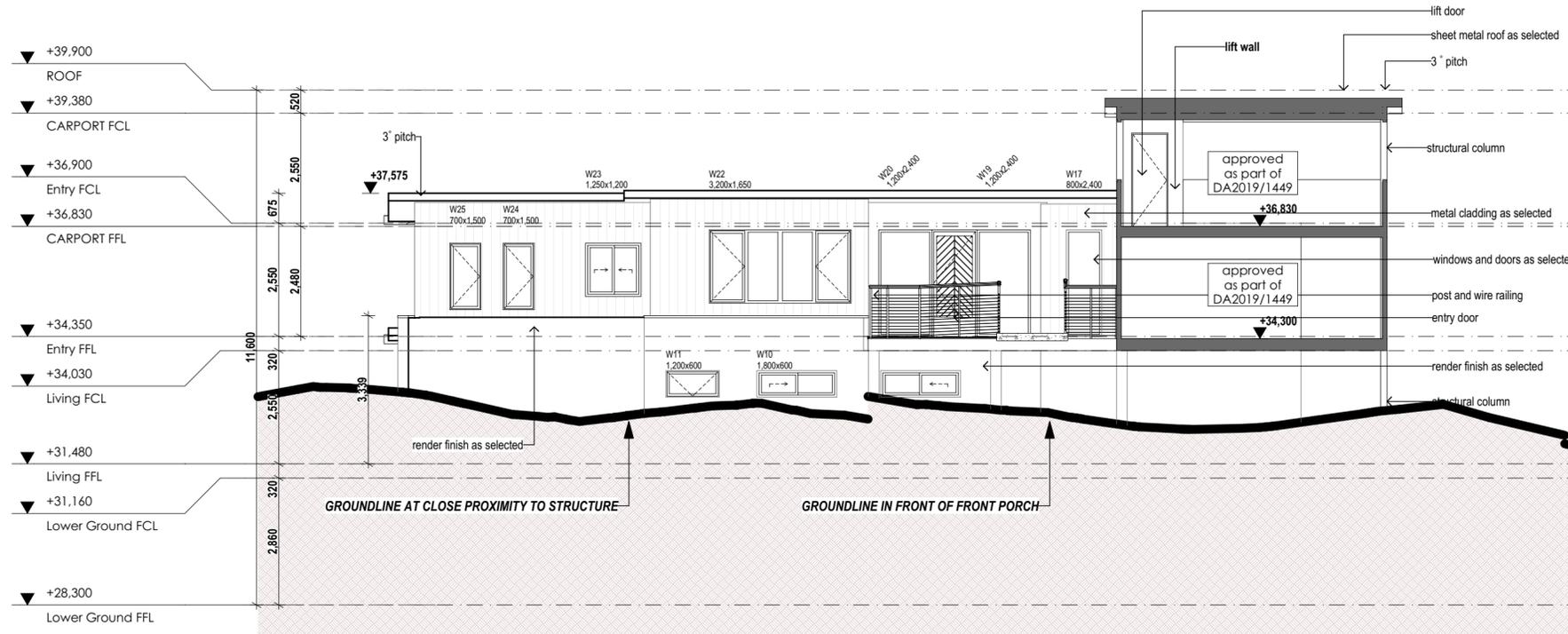
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bda Full Member
 No. 1672 - 14

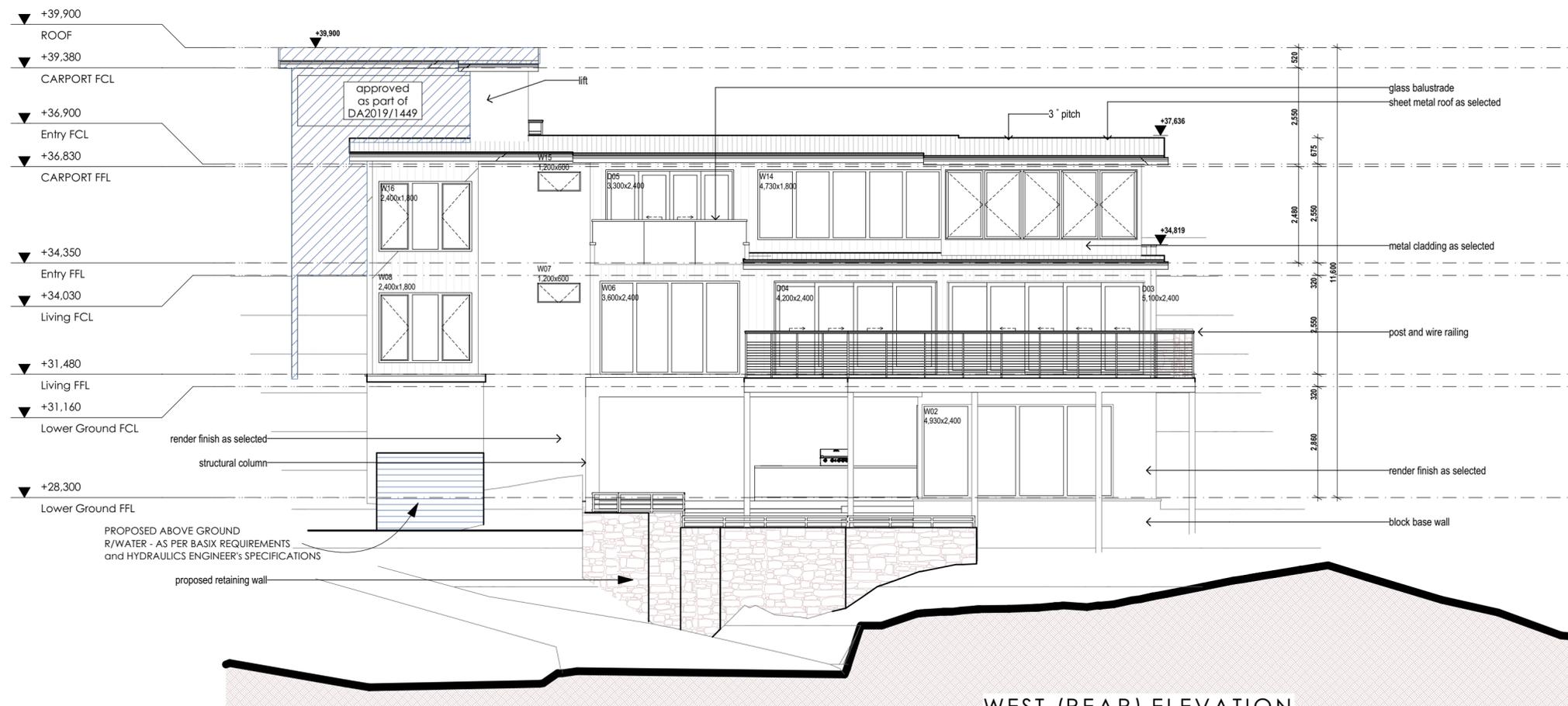
DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902
16/02/2021	working drawings	4	AW	
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT Uday and Kavita Bonu
18/03/2021	development application plans	6	PC	
21/05/2021	additional shadows & landscape calcs added	7	PC	
07/06/2021	6.5m front setback compliance redesign	8	PC	

DRAWING TITLE	DRAWING STATUS						
ROOF PLAN	DA SUBMISSION						
PROJECT PROPOSED NEW DWELLING	<table border="1"> <tr> <td>DRAWN BY AW</td> <td>DATE 21/06/21</td> <td>SCALE 1:100 @ A2</td> </tr> <tr> <td>DWG NO DA09</td> <td>JOB NUMBER 20127</td> <td>ISSUE 08</td> </tr> </table>	DRAWN BY AW	DATE 21/06/21	SCALE 1:100 @ A2	DWG NO DA09	JOB NUMBER 20127	ISSUE 08
DRAWN BY AW	DATE 21/06/21	SCALE 1:100 @ A2					
DWG NO DA09	JOB NUMBER 20127	ISSUE 08					

NOTE:
 FRAMING TO AS 1685 - 2010
 CONCRETE FOOTING TO AS 2870 - 2011
 PLUMBING TO AS 3500 - 2003
 MASONRY TO AS 4773 & 3700
 TERMITE CONTROL TO AS2049
 DOORS AND WINDOWS TO AS 2047



EAST (FRONT) ELEVATION



WEST (REAR) ELEVATION

NOTE:
 W06 and STUDY WINDOW TO BE 45% OPANABLE AS PER NatHers REQUIREMENTS

FYFFE DESIGN

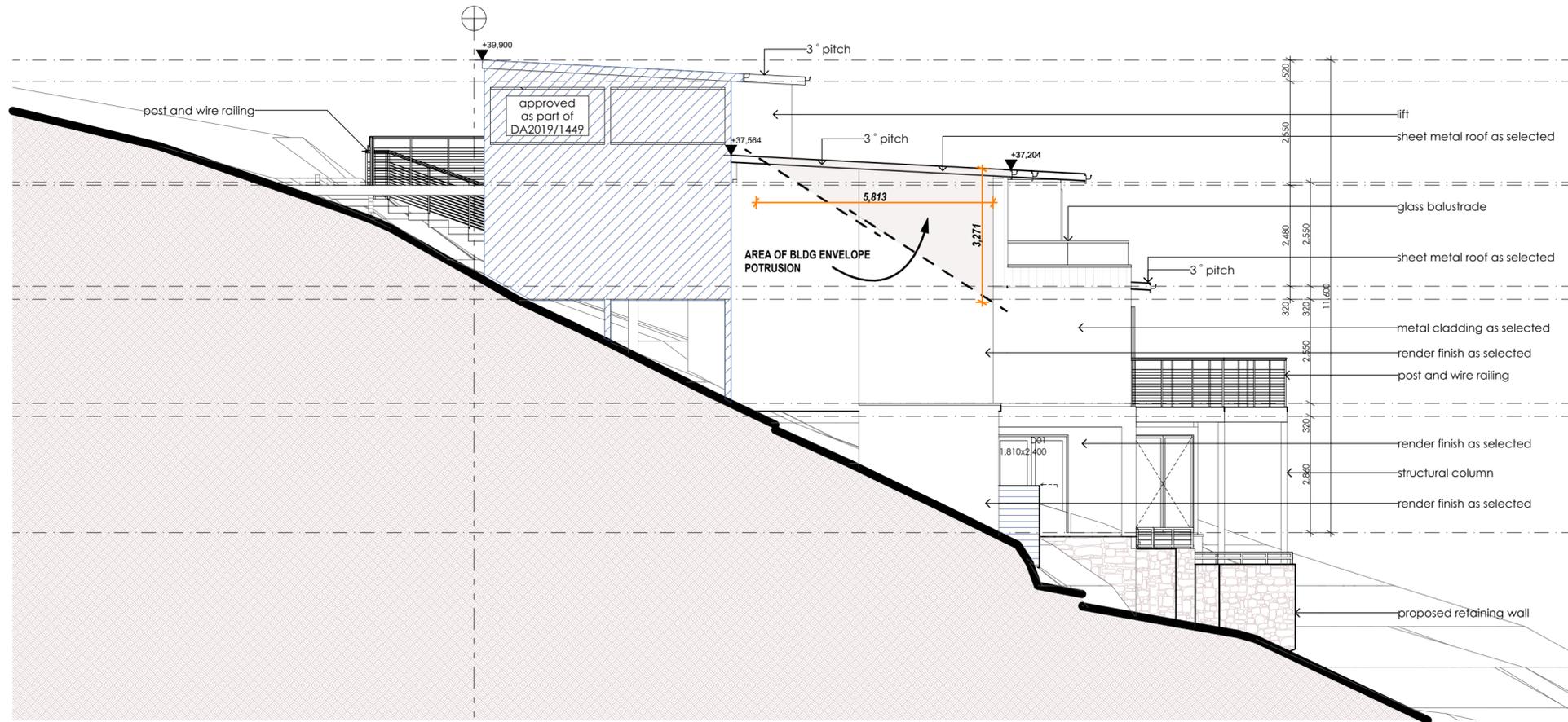
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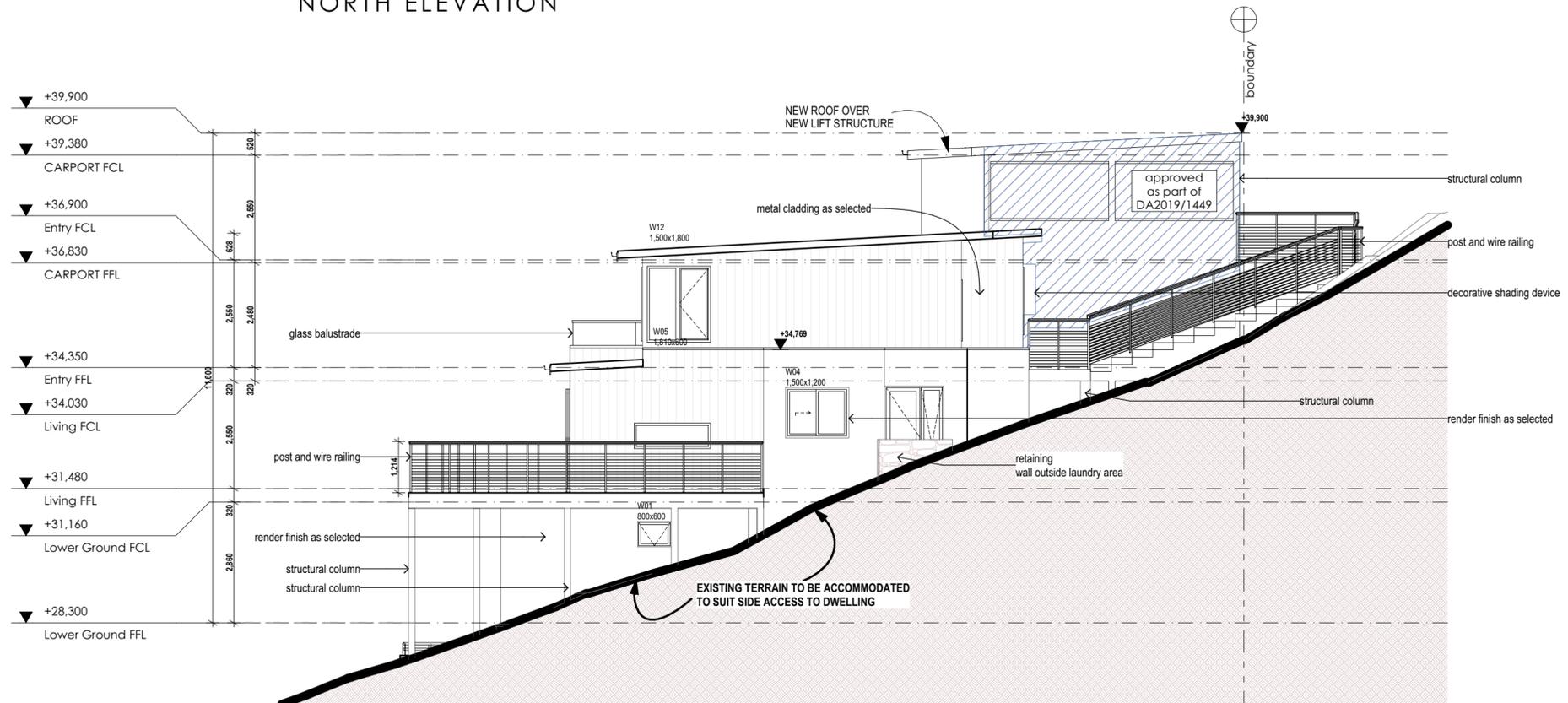
DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902
16/02/2021	working drawings	4	AW	
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu
21/05/2021	additional shadows & landscape calcs added	7	PC	
07/06/2021	6.5m front setback compliance redesign	8	PC	

DRAWING TITLE	DRAWING STATUS
EAST & WEST PLAN	DA SUBMISSION
PROJECT	DRAWN BY
PROPOSED NEW DWELLING	AW
	DATE
	21/06/21
	SCALE
	1:100
	DWG NO
	DA10
	JOB NUMBER
	20127
	ISSUE
	08

NOTE:
 FRAMING TO AS 1685 - 2010
 CONCRETE FOOTING TO AS 2870 - 2011
 PLUMBING TO AS 3500 - 2003
 MASONRY TO AS 4773 & 3700
 TERMITE CONTROL TO AS2049
 DOORS AND WINDOWS TO AS 2047



NORTH ELEVATION



SOUTH ELEVATION

FYFFE DESIGN

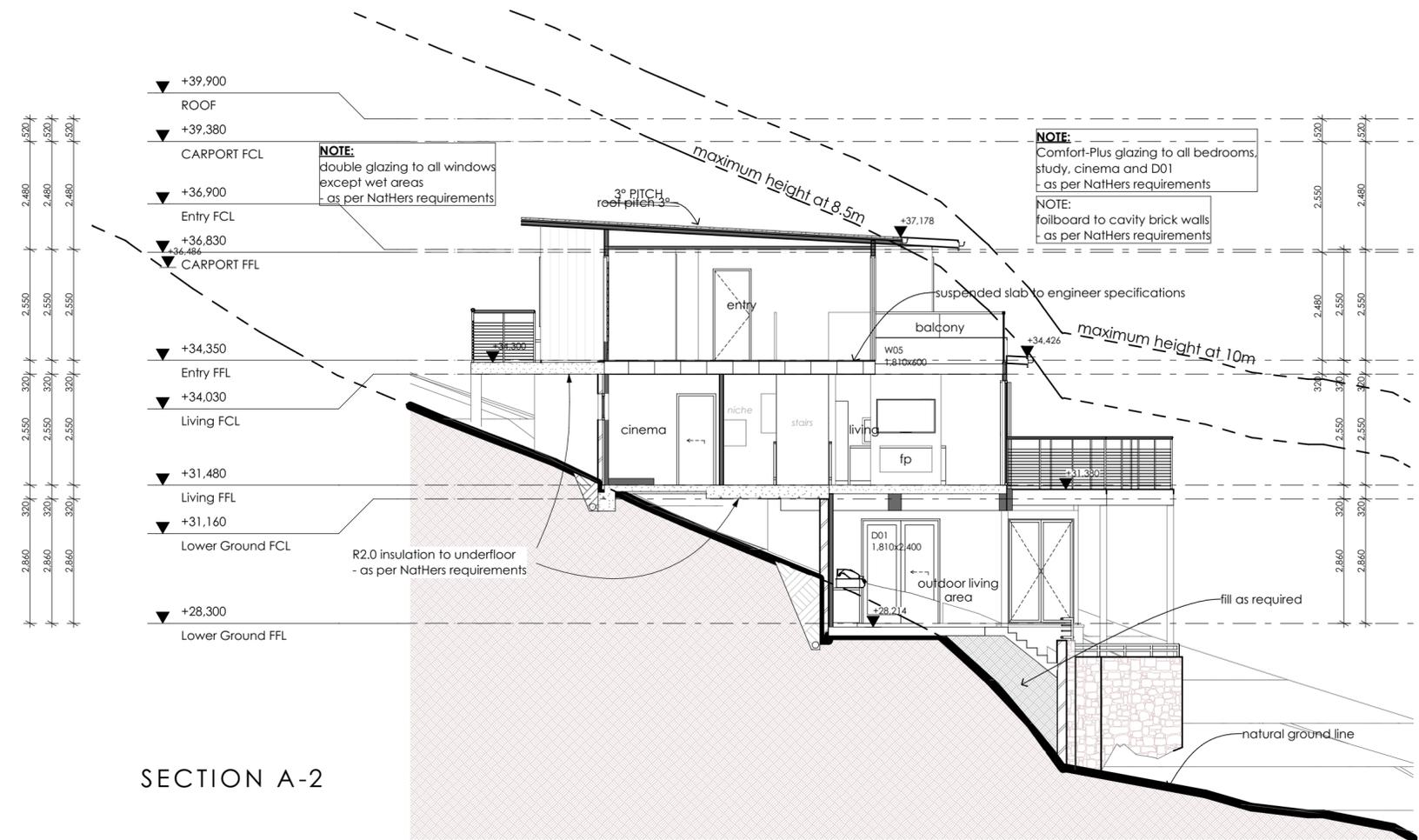
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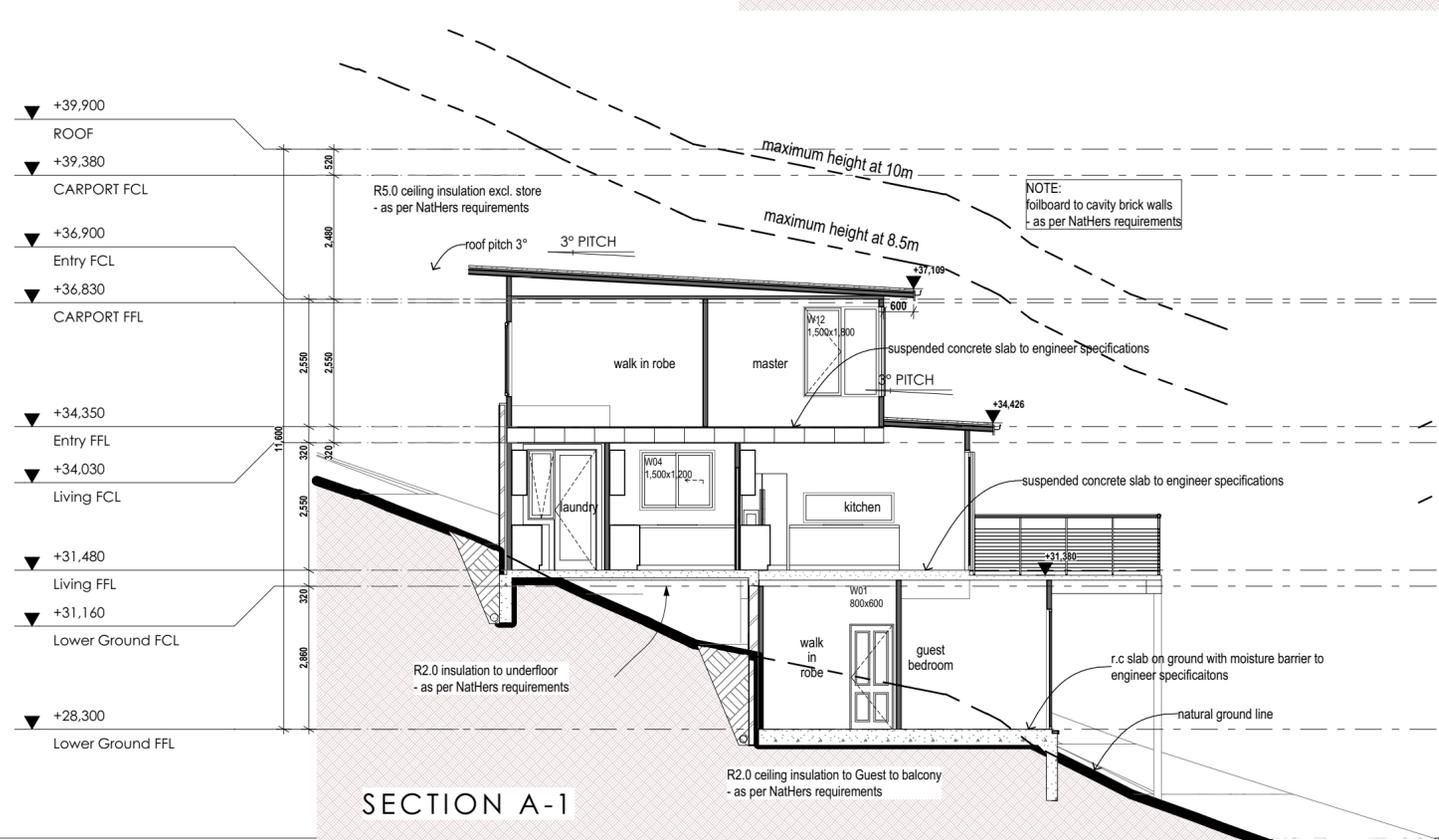
DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902
16/02/2021	working drawings	4	AW	
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	
18/03/2021	development application plans	6	PC	
21/05/2021	additional shadows & landscape calcs added	7	PC	
07/06/2021	6.5m front setback compliance redesign	8	PC	

DRAWING TITLE	DRAWING STATUS
NORTH & SOUTH ELEVATION PLAN	DA SUBMISSION
PROJECT	DRAWN BY
PROPOSED NEW DWELLING	AW
	DATE
	21/06/21
	SCALE
	1:100 @ A2
	DWG NO
	DA11
	JOB NUMBER
	20127
	ISSUE
	08

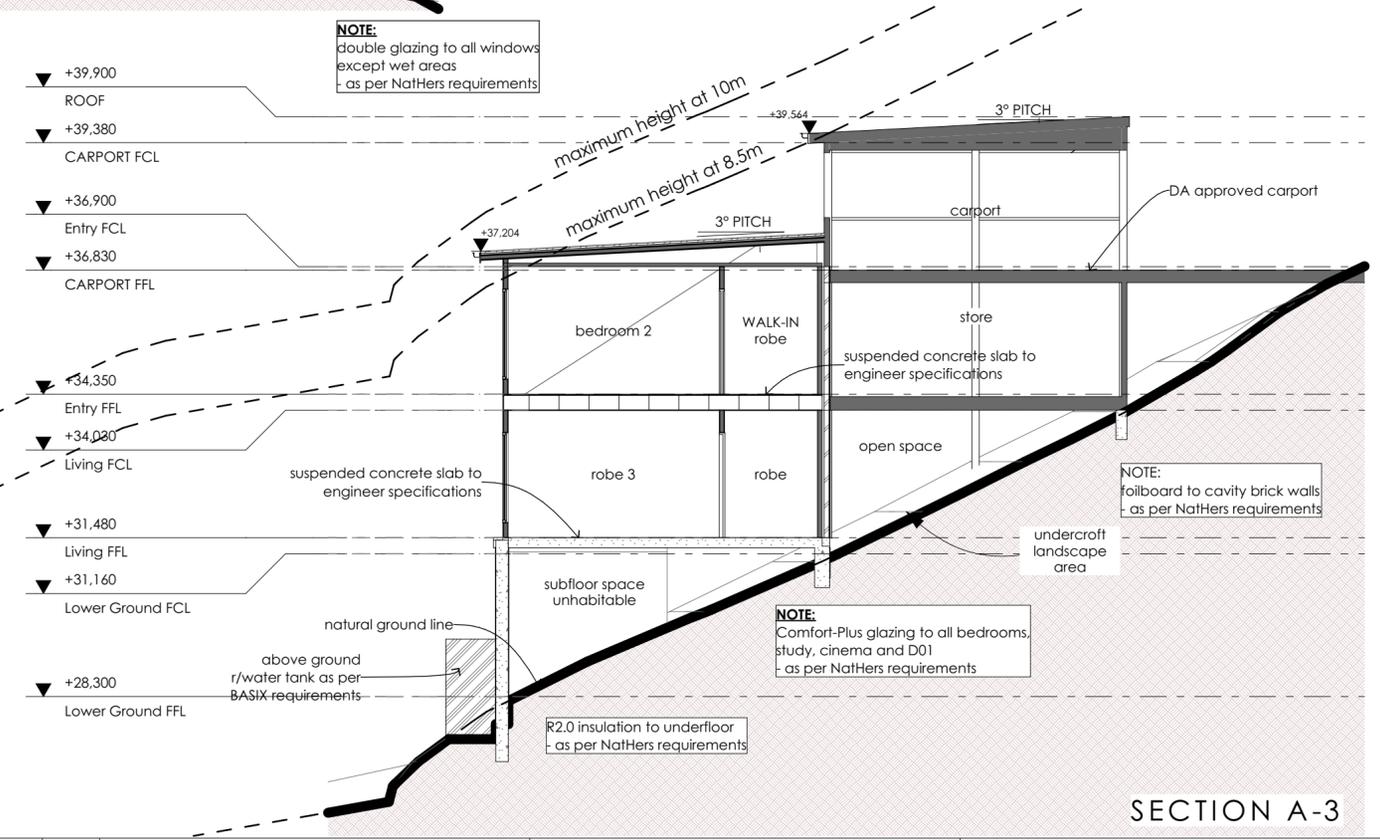
NOTE:
 FRAMING TO AS 1685 - 2010
 CONCRETE FOOTING TO AS 2870 - 2011
 PLUMBING TO AS 3500 - 2003
 MASONRY TO AS 4773 & 3700
 TERMITE CONTROL TO AS2049
 DOORS AND WINDOWS TO AS 2047



SECTION A-2



SECTION A-1



SECTION A-3



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DATE	AMENDMENTS	NO	BY
21/01/2021	design development	3	HH
16/02/2021	working drawings	4	AW
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC
18/03/2021	development application plans	6	PC
21/05/2021	additional shadows & landscape calcs added	7	PC
07/06/2021	6.5m front setback compliance redesign	8	PC

ADDRESS
 141 Riverview Road, Avalon Beach
 Lot 2/-/DP833902

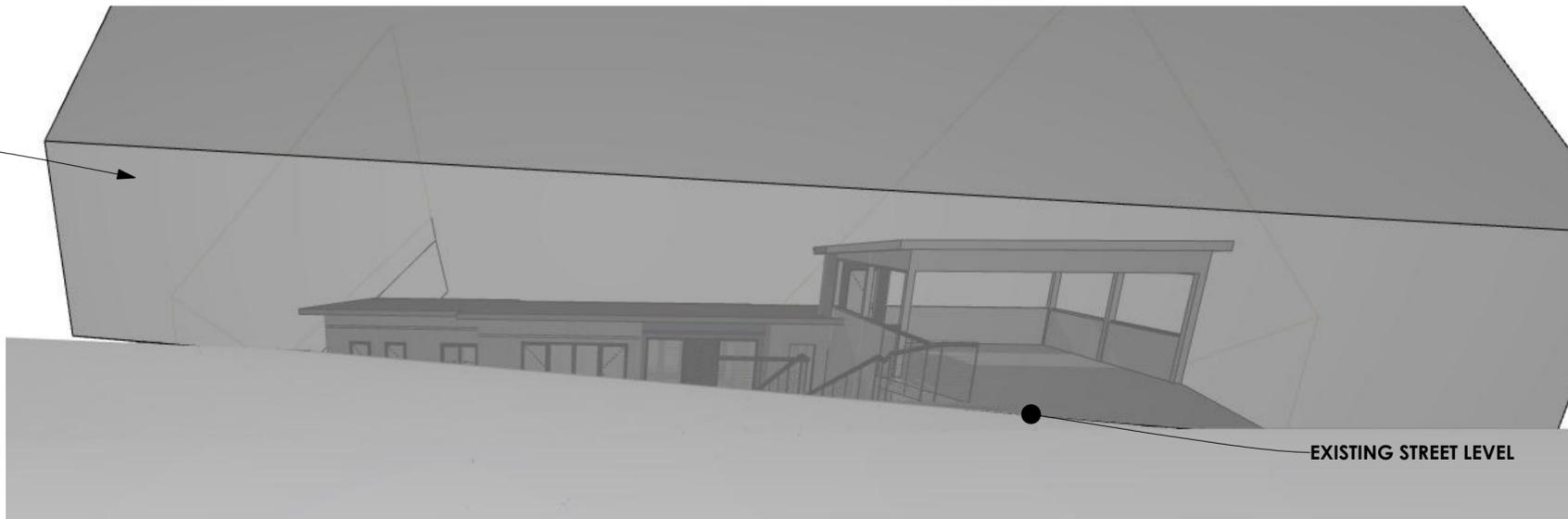
CLIENT
 Uday and Kavita Bonu

DRAWING TITLE
 A SECTION PLAN

PROJECT
 PROPOSED NEW DWELLING

DRAWING STATUS		
DA SUBMISSION		
DRAWN BY AW	DATE 21/06/21	SCALE 1:100 @ A2
DWG NO DA12	JOB NUMBER 20127	ISSUE 08

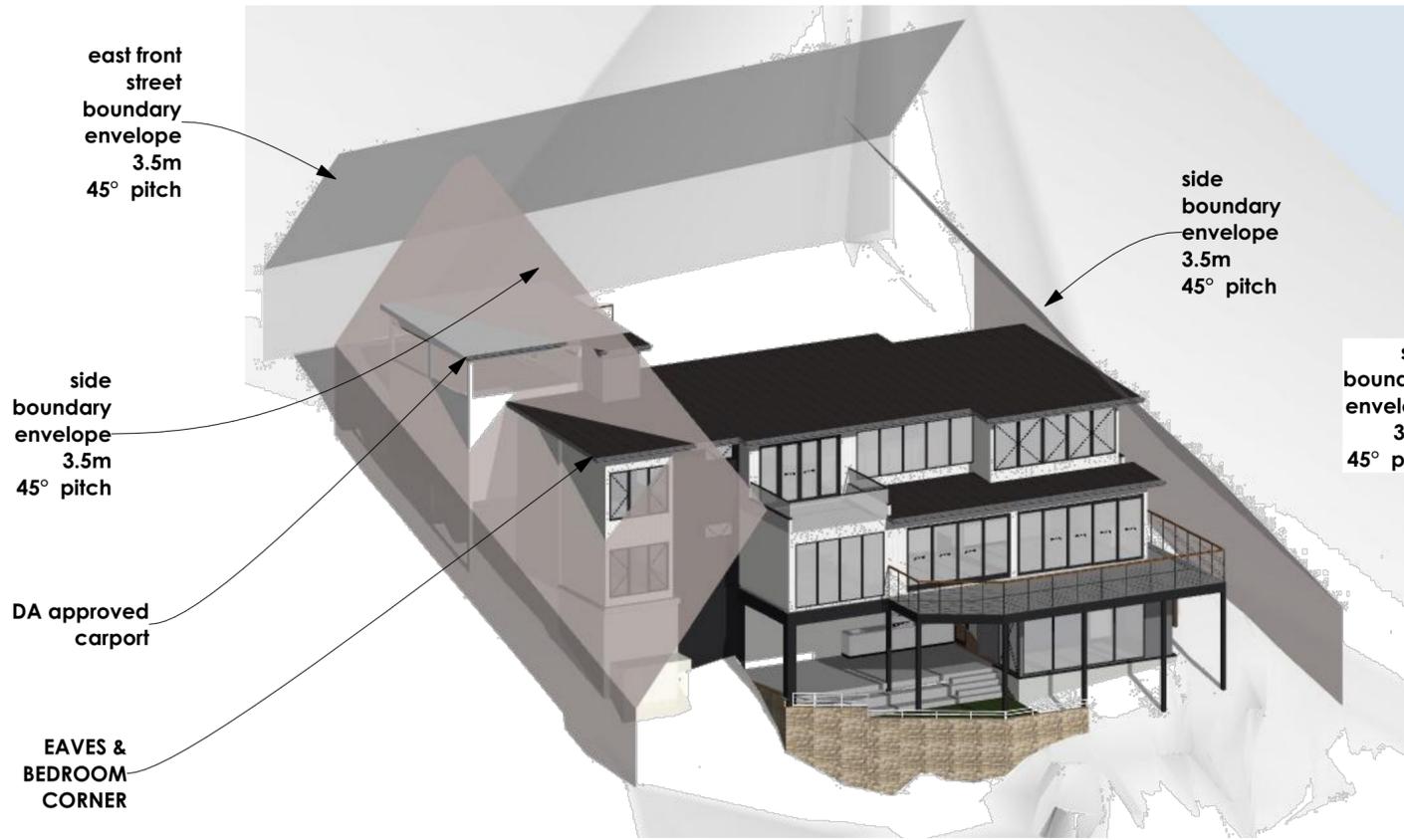
east front
street
boundary
envelope
3.5m
45° pitch



EXISTING STREET LEVEL

BUILDING HEIGHT ENVELOPE -RIVERVIEW STREET PERSPECTIVE

east front
street
boundary
envelope
3.5m
45° pitch



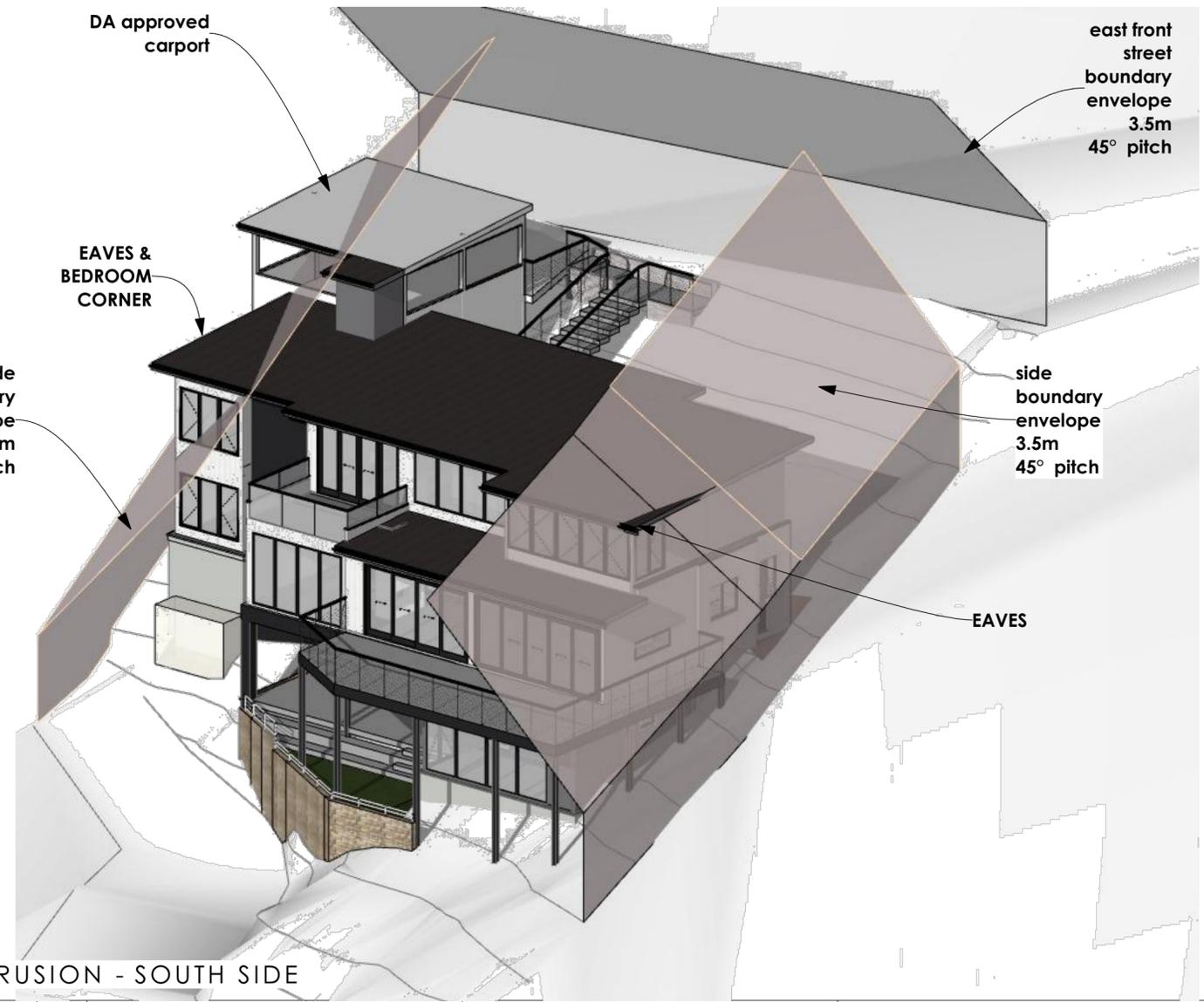
3D ENVELOP PROTRUSION - NORTH SIDE

side
boundary
envelope
3.5m
45° pitch

DA approved
carport

EAVES &
BEDROOM
CORNER

side
boundary
envelope
3.5m
45° pitch



3D ENVELOP PROTRUSION - SOUTH SIDE

east front
street
boundary
envelope
3.5m
45° pitch

side
boundary
envelope
3.5m
45° pitch

EAVES

FYFFE DESIGN

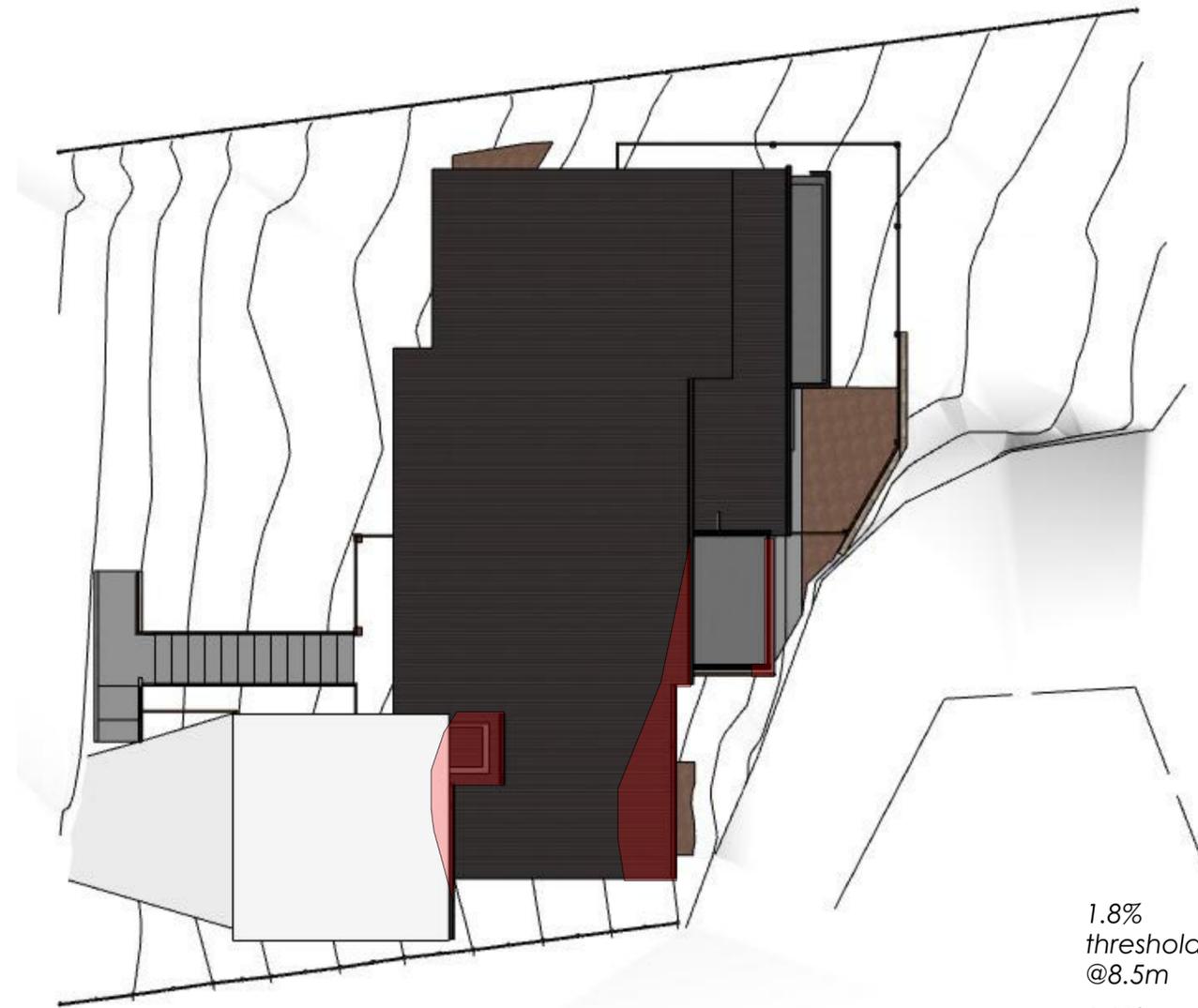
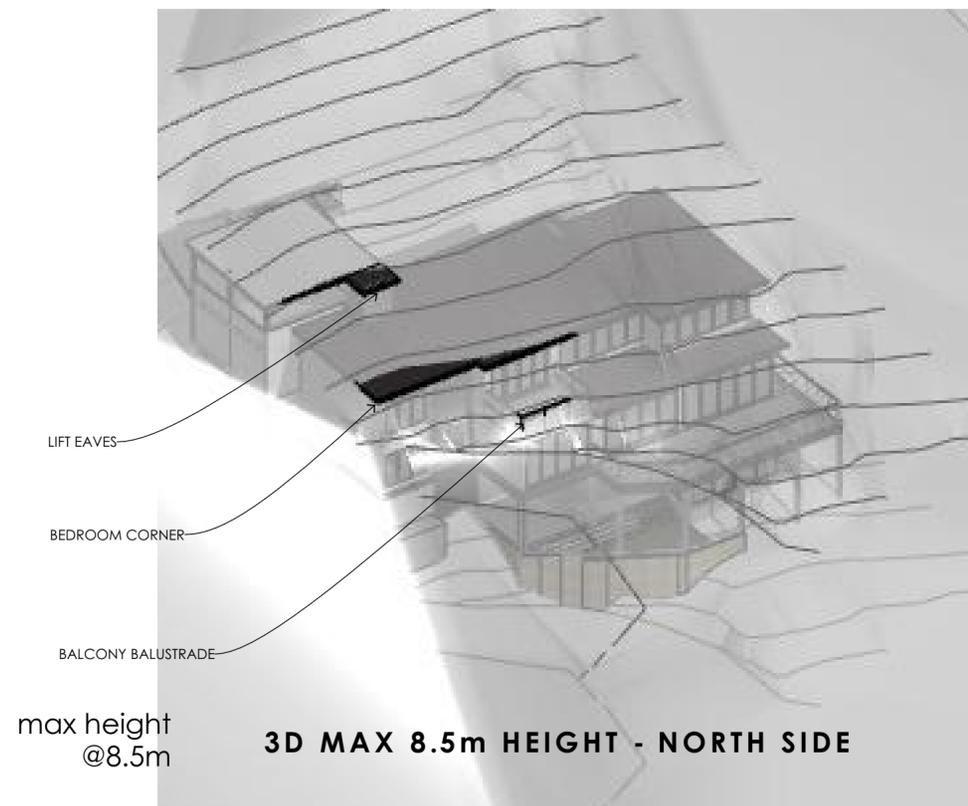
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DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902
16/02/2021	working drawings	4	AW	
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	
18/03/2021	development application plans	6	PC	
21/05/2021	additional shadows & landscape calcs added	7	PC	
07/06/2021	6.5m front setback compliance redesign	8	PC	

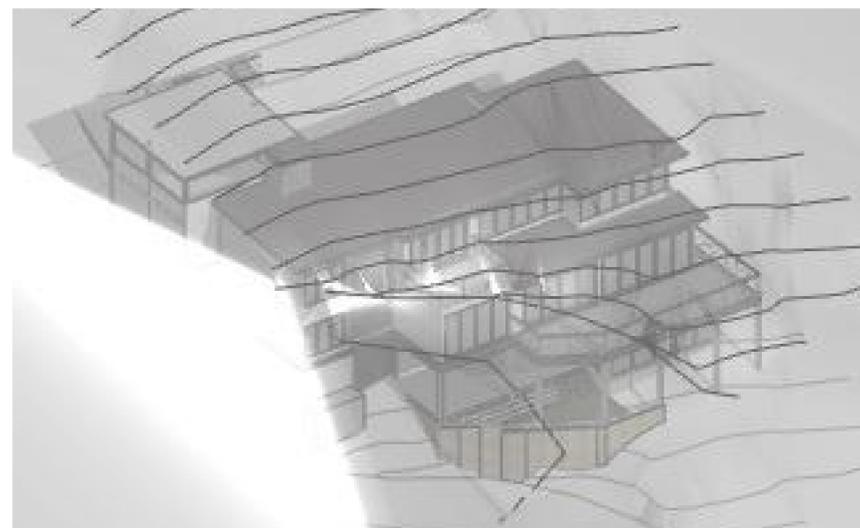
DRAWING TITLE	PROJECT
MAX BUILDING ENVELOP DIAGRAM	PROPOSED NEW DWELLING

DRAWING STATUS		
DA SUBMISSION		
DRAWN BY	DATE	SCALE
AW	21/06/21	@ A2
DWG NO	JOB NUMBER	ISSUE
DA13	20127	08



1.8%
threshold protrusion
@8.5m

0.0%
threshold protrusion
@10.0m



 residential and building design www.fyffedesign.com.au info@fyffedesign.com.au 02 9634 3600 5G/ 256 New Line Road Dural 2158	DATE	AMENDMENTS	NO	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS		
	21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902	MAX HEIGHT THRESHOLD DIAGRAM	DA SUBMISSION		
	16/02/2021	working drawings	4	AW	CLIENT Uday and Kavita Bonu	PROJECT PROPOSED NEW DWELLING	DRAWN BY	DATE	SCALE
	15/03/2021	windows changed as per client's email dated 12.03.21	5	PC			AW	21/06/21	@ A2
18/03/2021	development application plans	6	PC	DWG NO			JOB NUMBER	ISSUE	
21/05/2021	additional shadows & landscape calcs added	7	PC			DA14	20127	08	
07/06/2021	6.5m front setback compliance redesign	8	PC						



Disclaimer

The shadows shown are of the proposed building only. The study includes natural ground line/levels and takes into consideration height above AHD. The study omits trees, natural geographical features and other nearby natural features that will cause overshadowing.

RIVERVIEW ROAD



SHADOW DIAGRAM
9AM 21ST JUNE

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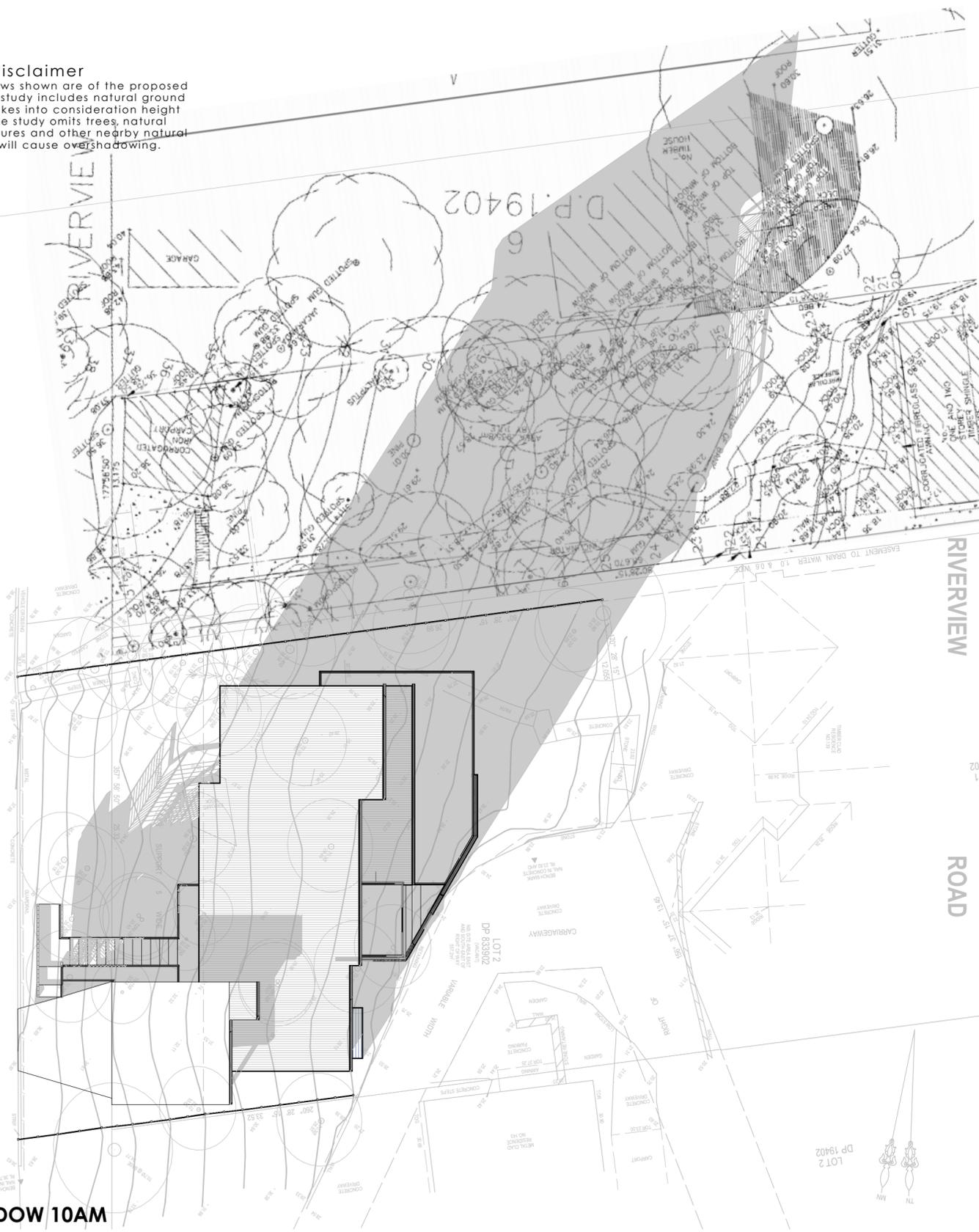
bda Full Member
No. 1672 - 14

DATE	AMENDMENTS	NO	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS		
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902	SHADOW DIAGRAM 9AM	DA SUBMISSION		
16/02/2021	working drawings	4	AW			DRAWN BY AW	DATE 21/06/21	SCALE 1:200 @ A2
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT Uday and Kavita Bonu	PROJECT PROPOSED NEW DWELLING	DWG NO DA15	JOB NUMBER 20127	ISSUE 08
18/03/2021	development application plans	6	PC					
21/05/2021	additional shadows & landscape calcs added	7	PC					
07/06/2021	6.5m front setback compliance redesign	8	PC					

disclaimer
 The shadows shown are of the proposed building only. The study includes natural ground line/levels and takes into consideration height above AHD. The study omits trees, natural geographical features and other nearby natural features that will cause overshadowing.

RIVERVIEW ROAD

SHADOW 10AM



SHADOW 11AM



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DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach
16/02/2021	working drawings	4	AW	Lot 2/-/DP833902
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	
18/03/2021	development application plans	6	PC	CLIENT
21/05/2021	additional shadows & landscape calcs added	7	PC	Uday and Kavita Bonu
07/06/2021	6.5m front setback compliance redesign	8	PC	

DRAWING TITLE	PROJECT
SHADOW DIAGRAM 10AM AND 11AM	PROPOSED NEW DWELLING

DRAWING STATUS		
DA SUBMISSION		
DRAWN BY	DATE	SCALE
AW	21/06/21	1:200
DWG NO	JOB NUMBER	ISSUE
DA16	20127	08

disclaimer
 The shadows shown are of the proposed building only. The study includes natural ground line/levels and takes into consideration height above AHD. The study omits trees, natural geographical features and other nearby natural features that will cause overshadowing.

disclaimer
 The shadows shown are of the proposed building only. The study includes natural ground line/levels and takes into consideration height above AHD. The study omits trees, natural geographical features and other nearby natural features that will cause overshadowing.

RIVERVIEW

ROAD

RIVERVIEW

ROAD

SHADOW DIAGRAM
12PM 21ST JUNE

SHADOW DIAGRAM
3PM 21ST JUNE

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DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach
16/02/2021	working drawings	4	AW	Lot 2/-/DP833902
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu
21/05/2021	additional shadows & landscape calcs added	7	PC	
07/06/2021	6.5m front setback compliance redesign	8	PC	

DRAWING TITLE	DRAWING STATUS
SHADOW DIAGRAM 12PM & 3PM	DA SUBMISSION
PROJECT	DRAWN BY
PROPOSED NEW DWELLING	AW
	DATE
	21/06/21
	SCALE
	1:200
	ISSUE
	08

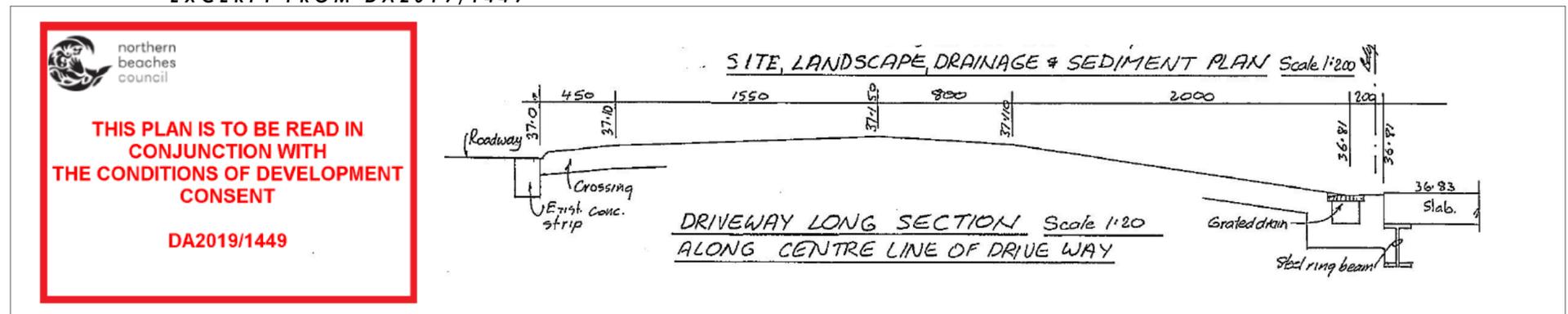
DRAWING STATUS	DRAWN BY	DATE	SCALE
DA SUBMISSION	AW	21/06/21	1:200
DWG NO	JOB NUMBER	ISSUE	
DA17	20127	08	

WINDOW LIST							
ID	D01	D02	D03	D04	D05	W01	W02
W x H	1,810x2,400	820x2,400	5,100x2,400	4,200x2,400	3,300x2,400	800x600	4,930x2,400
NOTES							
Elevation							
WINDOW LIST							
ID	W03	W04	W05	W06	W07	W08	W09
W x H	1,500x2,400	1,500x1,200	1,810x600	3,600x2,400	1,200x600	2,400x1,800	1,800x600
NOTES							
Elevation							
WINDOW LIST							
ID	W10	W11	W12	W13	W14	W15	W16
W x H	1,800x600	1,200x600	1,500x1,800	4,950x1,800	4,730x1,800	1,200x600	2,400x1,800
NOTES							
Elevation							
WINDOW LIST							
ID	W17	W19	W20	W22	W23	W24	W25
W x H	800x2,400	1,200x2,400	1,200x2,400	3,200x1,650	1,250x1,200	700x1,500	700x1,500
NOTES							
Elevation							

EXTERIOR WINDOW AND DOOR SCHEDULE

DOOR LIST	
ID	D07
W x H	1,020x2,400
NOTES	
Elevation	

EXCERPT FROM DA2019/1449



DRIVEWAY LONG SECTION

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DATE	AMENDMENTS	NO	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS		
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902	DRIVEWAY SECTION AND WINDOW/ DOOR SCHEDULE	DA SUBMISSION		
16/02/2021	working drawings	4	AW			DRAWN BY	DATE	SCALE
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	Uday and Kavita Bonu	PROJECT PROPOSED NEW DWELLING	AW	21/06/21	1:1
18/03/2021	development application plans	6	PC			DWG NO	JOB NUMBER	ISSUE
21/05/2021	additional shadows & landscape calcs added	7	PC			DA18	20127	08
07/06/2021	6.5m front setback compliance redesign	8	PC					



internal alfresco walls
 rendered blockwork
 dulux whitehaven
 or similiar



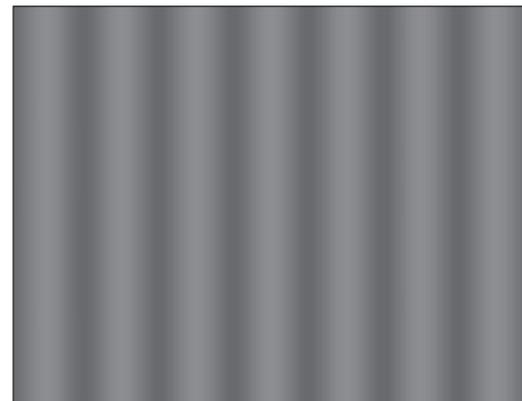
external walls
 selected brick walls
 dulux basalt
 or similar



external selected surfaces
 rendered brick/selected
 surfaces
 dulux monument
 or similar



light weight walls
 'Mid Grey' vertical
 aluminium cladding



roof gutter
 rendered blockwork
 astro metal sheet



all balustrades
 rendered blockwork
 steel wire balustrade



decking
 timber deck
 or similiar



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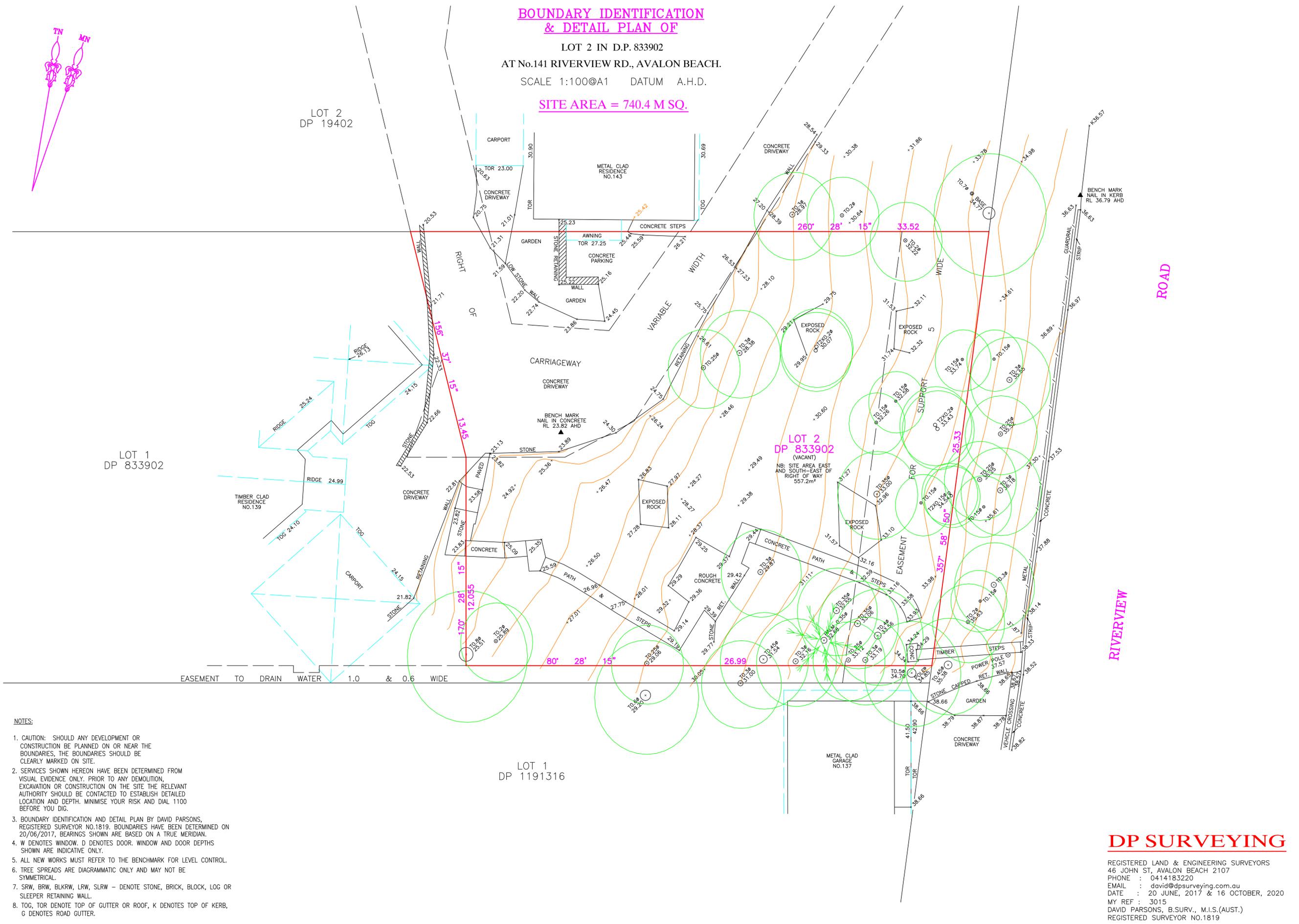


DATE	AMENDMENTS	NO	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS		
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902	INDICATIVE MATERIALS SCHEDULE	DA SUBMISSION		
16/02/2021	working drawings	4	AW			DRAWN BY AW	DATE 21/06/21	SCALE
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT Uday and Kavita Bonu	PROJECT PROPOSED NEW DWELLING	DWG NO DA19	JOB NUMBER 20127	ISSUE 08
18/03/2021	development application plans	6	PC					
21/05/2021	additional shadows & landscape calcs added	7	PC					
07/06/2021	6.5m front setback compliance redesign	8	PC					

**BOUNDARY IDENTIFICATION
& DETAIL PLAN OF**

LOT 2 IN D.P. 833902
AT No.141 RIVERVIEW RD., AVALON BEACH.
SCALE 1:100@A1 DATUM A.H.D.

SITE AREA = 740.4 M SQ.



NOTES:

1. CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
2. SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH. MINIMISE YOUR RISK AND DIAL 1100 BEFORE YOU DIG.
3. BOUNDARY IDENTIFICATION AND DETAIL PLAN BY DAVID PARSONS, REGISTERED SURVEYOR NO.1819. BOUNDARIES HAVE BEEN DETERMINED ON 20/06/2017, BEARINGS SHOWN ARE BASED ON A TRUE MERIDIAN.
4. W DENOTES WINDOW, D DENOTES DOOR. WINDOW AND DOOR DEPTHS SHOWN ARE INDICATIVE ONLY.
5. ALL NEW WORKS MUST REFER TO THE BENCHMARK FOR LEVEL CONTROL.
6. TREE SPREADS ARE DIAGRAMMATIC ONLY AND MAY NOT BE SYMMETRICAL.
7. SRW, BRW, BLKRW, LRW, SLRW - DENOTE STONE, BRICK, BLOCK, LOG OR SLEEPER RETAINING WALL.
8. TOG, TOR DENOTE TOP OF GUTTER OR ROOF, K DENOTES TOP OF KERB, G DENOTES ROAD GUTTER.

DP SURVEYING

REGISTERED LAND & ENGINEERING SURVEYORS
46 JOHN ST, AVALON BEACH 2107
PHONE : 0414183220
EMAIL : david@dpsurveying.com.au
DATE : 20 JUNE, 2017 & 16 OCTOBER, 2020
MY REF : 3015
DAVID PARSONS, B.SURV., M.I.S.(AUST.)
REGISTERED SURVEYOR NO.1819