

Development Application

43 - 45 & 49 Warriewood Rd Warriewood NSW 2102

DWG	DWG NAME	SCALE
TP000	SITE ANALYSIS	
TP001	DEVELOPMENT SUMMARY	
TP001	EXISTING SITE PLAN & DEMOLITION PLAN	1:250
TP002	MATERIALS + REFERENCES	
TP002	SITE & CONSTRUCTION WASTE PLAN	1:250
TP003	CONTEXT	
TP003	CUT AND FILL PLAN	1:250
TP100	LOT 1 + 2 GROUND AND FIRST FLOOR PLAN	1:100
TP101	LOT 1 + 2 ROOF PLAN	1:100
TP102	LOT 3, 4 + 5 GROUND AND FIRST FLOOR PLAN	1:100
TP103	LOT 3, 4 + 5 ROOF PLAN	1:100
TP104	LOT 6, 7 + 8 GROUND FLOOR PLAN	1:100
TP105	LOT 6, 7 + 8 FIRST FLOOR PLAN	1:100
TP106	LOT 6, 7 + 8 ROOF FLOOR PLAN	1:100
TP107	LOT 9, 10 + 11 GROUND FLOOR PLAN	1:100
TP108	LOT 9, 10 + 11 FIRST FLOOR PLAN	1:100
TP109	LOT 9, 10 + 11 ROOF PLAN	1:100
TP200	STREET ELEVATIONS	1:100
TP201	REAR ELEVATIONS	1:100
TP202	LOT 01, 02 + 03 SIDE ELEVATIONS	1:100
TP203	LOT 04, 05 + 06 SIDE ELEVATIONS	1:100
TP204	LOT 07, 08 + 09 SIDE ELEVATIONS	1:100
TP205	LOT 10 + 11 SIDE ELEVATIONS	1:100
TP301	SECTION DD	1:100
TP302	SECTIONS EE, FF + GG	1:100
TP303	SECTION HH	1:100
TP400	WINDOW & DOOR SCHEDULE	
TP500	SHADOW DIAGRAM 9AM	1:250
TP501	SHADOW DIAGRAM 10AM	1:250
TP502	SHADOW DIAGRAM 11AM	1:250
TP503	SHADOW DIAGRAM 12PM	1:250
TP504	SHADOW DIAGRAM 1PM	1:250
TP505	SHADOW DIAGRAM 2PM	1:250
TP506	SHADOW DIAGRAM 3PM	1:250

Lot	Area Type	Area (sqm)
Lot 01	Terrace	4.36
	GFA	175.09
	Garage	21.85
Lot 02	Terrace	3.68
	GFA	170.13
	Garage	19.50
Lot 03	Terrace	2.47
	GFA	198.99
	Garage	36.07
Lot 04	Terrace	20.32
	GFA	182.84
	Garage	19.50
Lot 05	Terrace	9.72
	GFA	190.03
	Garage	23.55
Lot 06	Terrace	6.11
	GFA	263.63
	Garage	38.45
Lot 07	Terrace	14.01
	GFA	209.83
	Garage	35.60
Lot 08	Terrace	11.45
	GFA	204.99
	Garage	36.16
Lot 09	Terrace	8.70
	GFA	219.15
	Garage	33.00
Lot 10	Terrace	10.02
	GFA	219.07
	Garage	37.79
Lot 11	Terrace	22.44
	GFA	222.73
	Garage	35.25

Deep Soil				
Lot #	Deep Soil (sqm)	Lot Area (sqm)	% of Lot Area	Requirement
Lot 01	144	302.4	48	Min. 25% of Lot Area (Pittwater 21 DCP)
Lot 02	161	315	51	
Lot 03	199	400	50	
Lot 04	138	303.1	45	
Lot 05	111	279.5	40	
Lot 06	214	454.9	47	
Lot 07	182	414.3	44	
Lot 08	213	424	50	
Lot 09	200	414.6	48	
Lot 10	221	435.4	51	
Lot 11	209	442.8	47	

Impervious Area				
Lot #	Impervious Area (sqm)	Lot Area (sqm)	% of Lot Area	Requirement
Lot 01	159	302.4	52	Max. 60% of Lot Area (Title Covenants)
Lot 02	154	315	49	
Lot 03	201	400	50	
Lot 04	165	303.1	55	
Lot 05	168	279.5	60	
Lot 06	241	454.9	53	
Lot 07	233	414.3	56	
Lot 08	212	424	50	
Lot 09	216	414.6	52	
Lot 10	214	435.4	49	
Lot 11	234	442.8	53	

Landscaped Area					
Lot #	Landscaped Area w/ Min Dimension of 4m	Lot Area (sqm)	Lot Width	% of Lot Area	Requirement
Lot 01	115	302.4	13	38	Min. 35% of Lot Area (Lots 9m - 14m wide)
Lot 02	119	315	14	38	
Lot 03	142	400	20	36	Min. 45% of Lot Area (Lots > 14m wide)
Lot 04	108	303.1	11	36	
Lot 05	72	279.5	9	26	Min. 35% of Lot Area (Lots 9m - 14m wide)
Lot 06	140	454.9	12	31	
Lot 07	119	414.3	12	29	
Lot 08	170	424	14	40	
Lot 09	151	414.6	13	36	
Lot 10	173	435.4	13	40	
Lot 11	142	442.8	13	32	

Thermal Construction Details	
Glazing	
Sliding and Fixed Max U-value 2.06 SHGC 0.33 (± 5%) Thermally Broken Double Glazed Aluminium Frame – Low-E Clear	Awning and Bi fold Max U-value 2.58 SHGC 0.25 (± 5%) Thermally Broken Double Glazed Aluminium Frame – Low-E Clear
Louvre Max U-value 4.34 SHGC 0.40 (± 5%) Single Glazed Aluminium Frame – Low-E Clear	Skylight Max U-value 2.61 SHGC 0.21 (± 5%) Thermally Broken Double Glazed Aluminium Frame – Low-E Clear
External Walls	
External Walls of Units	Additional R2.50 insulation – if metal framed wall, sarking of R0.2 is required between stud and cladding as a thermal break <i>Note external walls to have an air gap between the external skin and metal frame, otherwise an R0.20 thermal break will be required.</i>
Internal Walls	
Between Garage	Additional R2.50 insulation <i>Note external walls to have an air gap between the external skin and metal frame, otherwise an R0.20 thermal break will be required.</i>
Intertenancy Walls	No additional insulation modelled
Internal Walls Inside Units	No additional insulation modelled
Dwelling Floors	
Floors To Internal Areas	Timber - No additional insulation
Ground Floor	Concrete - Additional R2.30 insulation board
Floors To Garage	Timber – Additional R3.00 insulation board
Floor Coverings	Kitchen/living and wet areas – Tiles Bedrooms and WIR – Carpet All other areas – Timber/laminate
Dwelling Roofs	
Metal Roofs	Metal - Additional R5.00 ceiling batt insulation + R1.30 reflective roof insulation
Other Roofs (to balconies)	Additional R5.00 ceiling insulation only
Other	
Ceiling Fans	Additional 1500mm ceiling fans to all bedrooms, lounges and Living rooms



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Client
S Loura
Project
WARRIEWOOD
Project Address
43-45&49 Warriewood Rd Warriewood NSW 2102
Australia

Drawing Name
**DEVELOPMENT
SUMMARY**

Project Stage
Development Application
Scale

Date
8/08/2025
Drawn
LK

Project Number

2852

Drawing

TP001

Revision

I



Materiality



Brickwork



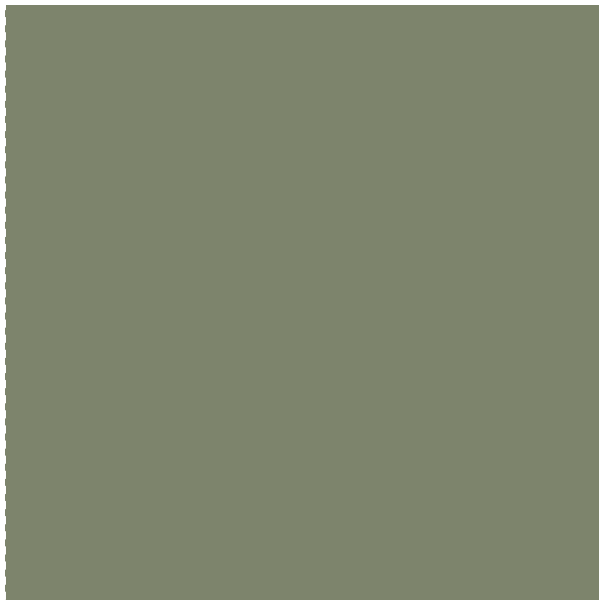
Render (Colour TBC)



Perforated Metal



Metal Roofing
(Gulley TBC)



Metal Roofing
(Pale Eucalypt TBC)



Sandstone Blockwork



V-Groove Cladding



Concrete Sleeper
Retaining

Materials Schedule

CO01	Concrete Colour: Natural/grey	
CO02	Concrete Retaining Wall Colour: Natural/grey	
AL01	Aluminium Window Frames Colour: Clear Anodised	
FC01	V-Groove Fibre Cement Cladding Paint Finish: TBC	
TM02	Timber Pergola Species: TBC	
TM03	Painted Timber Shiplap Fence	
MT01	Galvanised Steel Balustrades Product: Galvanised Steel Balustrades Colour: Raw Galvanised Steel	

MT02	Perforated Metal	
MT03	Metal Garage Door	
BR01	Brickwork	
BL01	Sandstone Blockwork	
RN01	Render Product: Rough Render Colour: TBC	
RF01	Roofing Product: Colorbond Roofing Colour: Pale Eucalypt	
RF02	Roofing Product: Colorbond Roofing Colour: Gulley	

Reference Images



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Drawing Name
**MATERIALS +
REFERENCES**

Project Stage
Development Application
Scale

Date
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TP002

Revision
I

Site Photos



Local Urban Fabric





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Project
WARRIEWOOD
Project Address
43-45&49 Warriewood Rd Warriewood NSW 2102
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Drawing Name
CONTEXT

Project Stage
Development Application
Scale

Date
8/08/2025

Drawn
LK

Project Number

2852

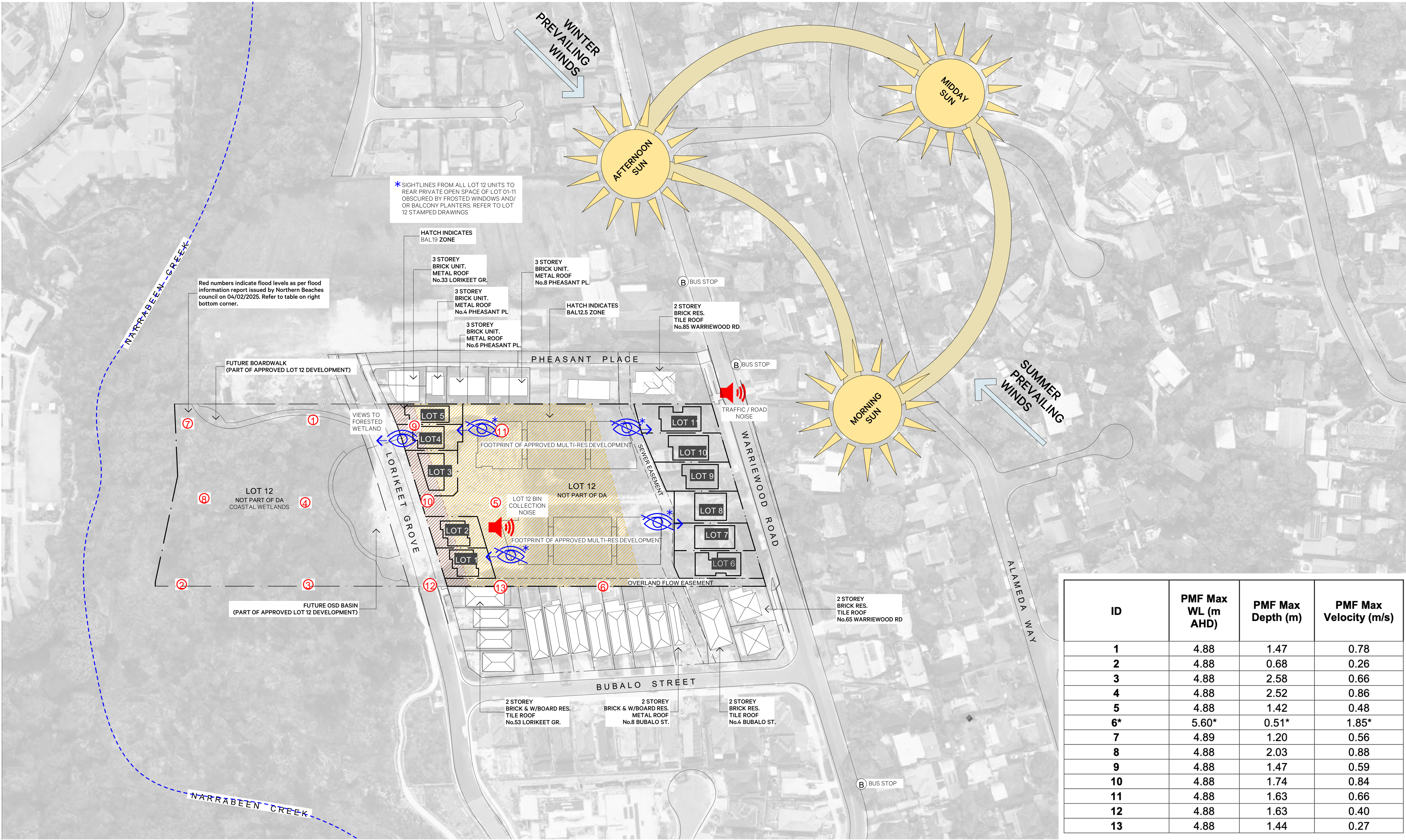
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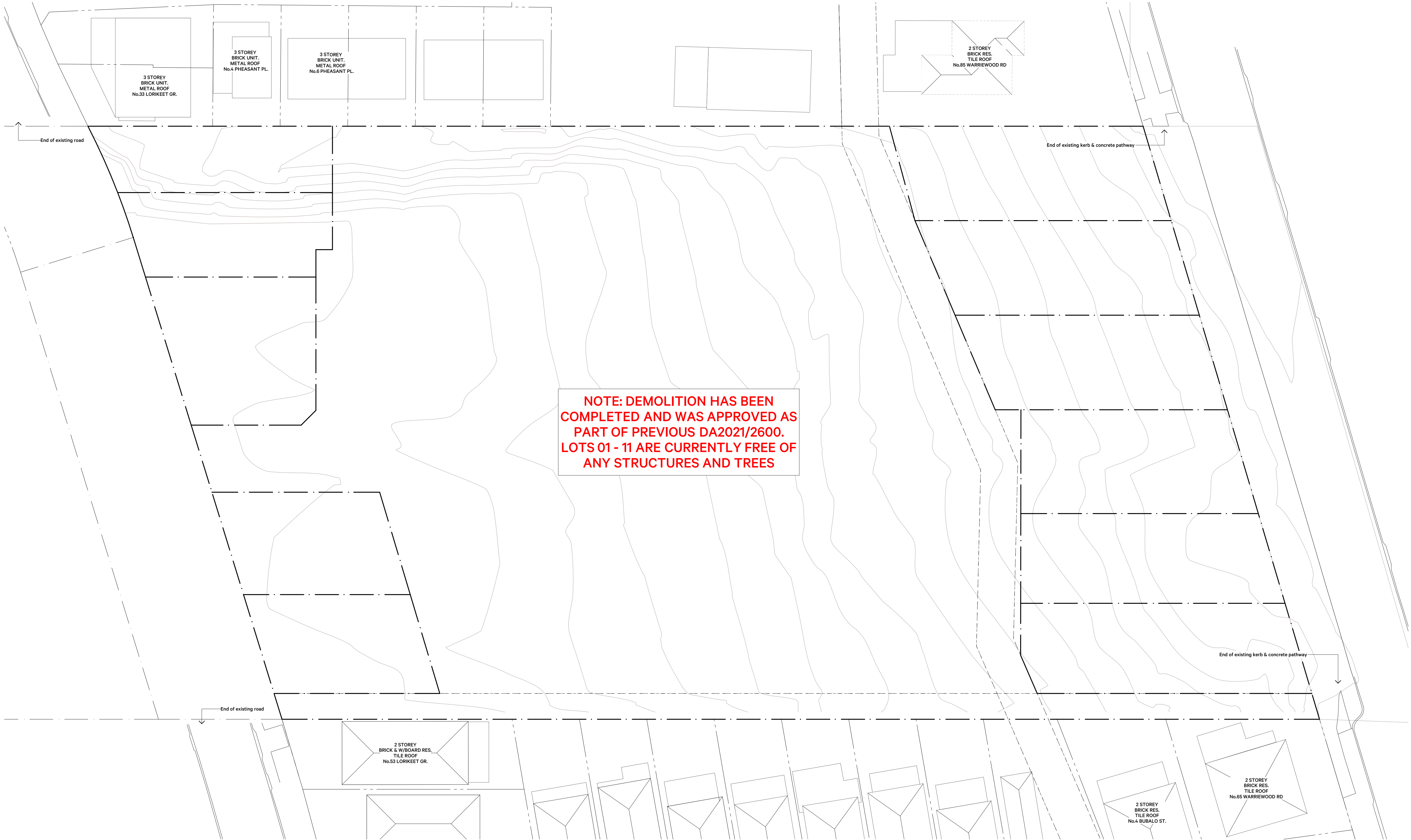
TP003

Revision

I







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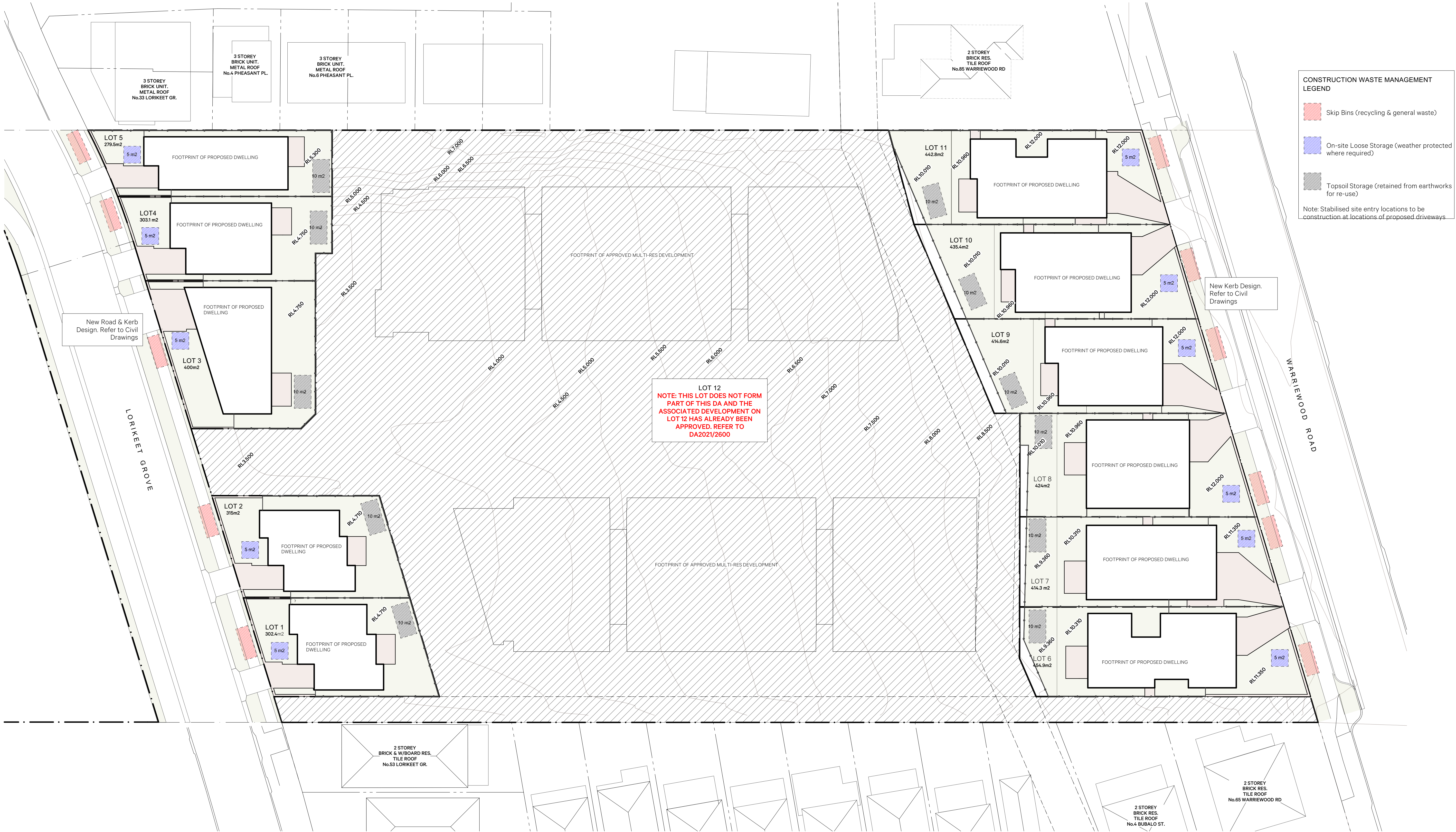
Client
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Project
WARRIEWOOD
Project Address
43-45&49 Warriewood Rd Warriewood NSW 2102
Australia
Drawing Name
**EXISTING SITE PLAN &
DEMOLITION PLAN**

Project Stage
Development Application
Scale
1:250
Date
8/08/2025
Drawn
LK
Project Number
2852

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Drawing
TP001

Revision
I



Revisions	#	Date	Description
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Project
WARRIEWOOD
Project Address
43-45 Warriewood Rd Warriewood NSW 2102
Australia
Drawing Name
**SITE & CONSTRUCTION
WASTE PLAN**

Project Stage
Development Application
Scale
1:250
Date
8/08/2025
Drawn
LK
Project Number
2852

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Drawing
TP002
Revision
I

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Cut & Fill Legend	
1 - RL4.600	
2 - RL4.710	
3 - RL4.750	
4 - RL5.150	
5 - RL5.300	
6 - RL9.360	
7 - RL10.010	
8 - RL10.250	
9 - RL10.310	
10 - RL10.900	
11 - RL10.960	
12 - RL11.100	
13 - RL11.350	
14 - RL11.750	
15 - RL12.000	
Area of Excavation	
Area of Fill	



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Project Address
43-45 Warriewood Rd Warriewood NSW 2102
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Drawing Name
CUT AND FILL PLAN

Project Stage
Development Application
Scale
1:250
Date
8/08/2025
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Drawing

TP003

Revision

I



GROUND FLOOR - LOT 1 + 2
1:100



GROUND FLOOR - LOT 1 + 2
1:100

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**LOT 1 + 2 GROUND AND
FIRST FLOOR PLAN**

Project Stage
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Scale
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TP100

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Drawing Name
LOT 1 + 2 ROOF PLAN

Project Stage
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Scale
1:100
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Project Number

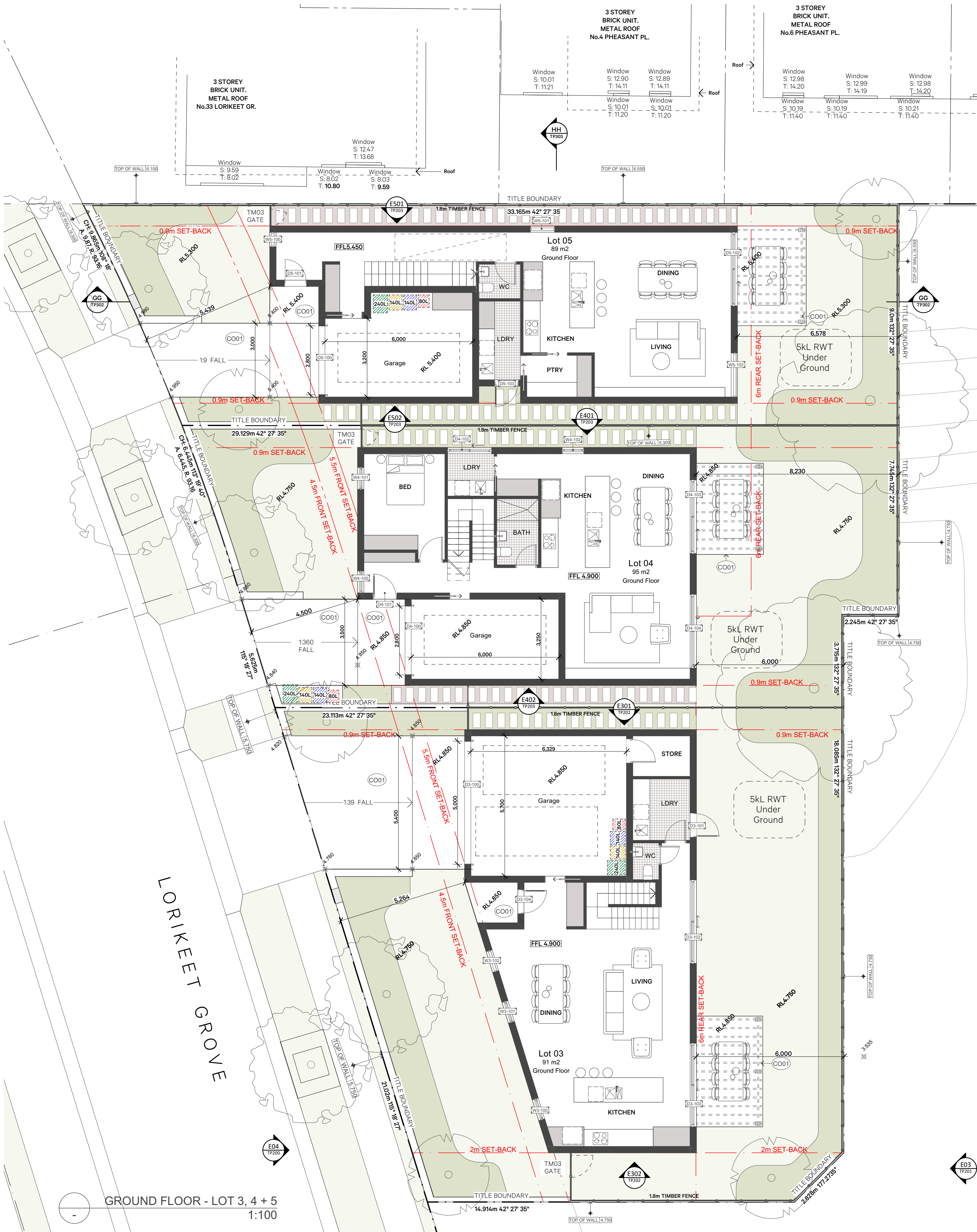
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Drawing
TP101

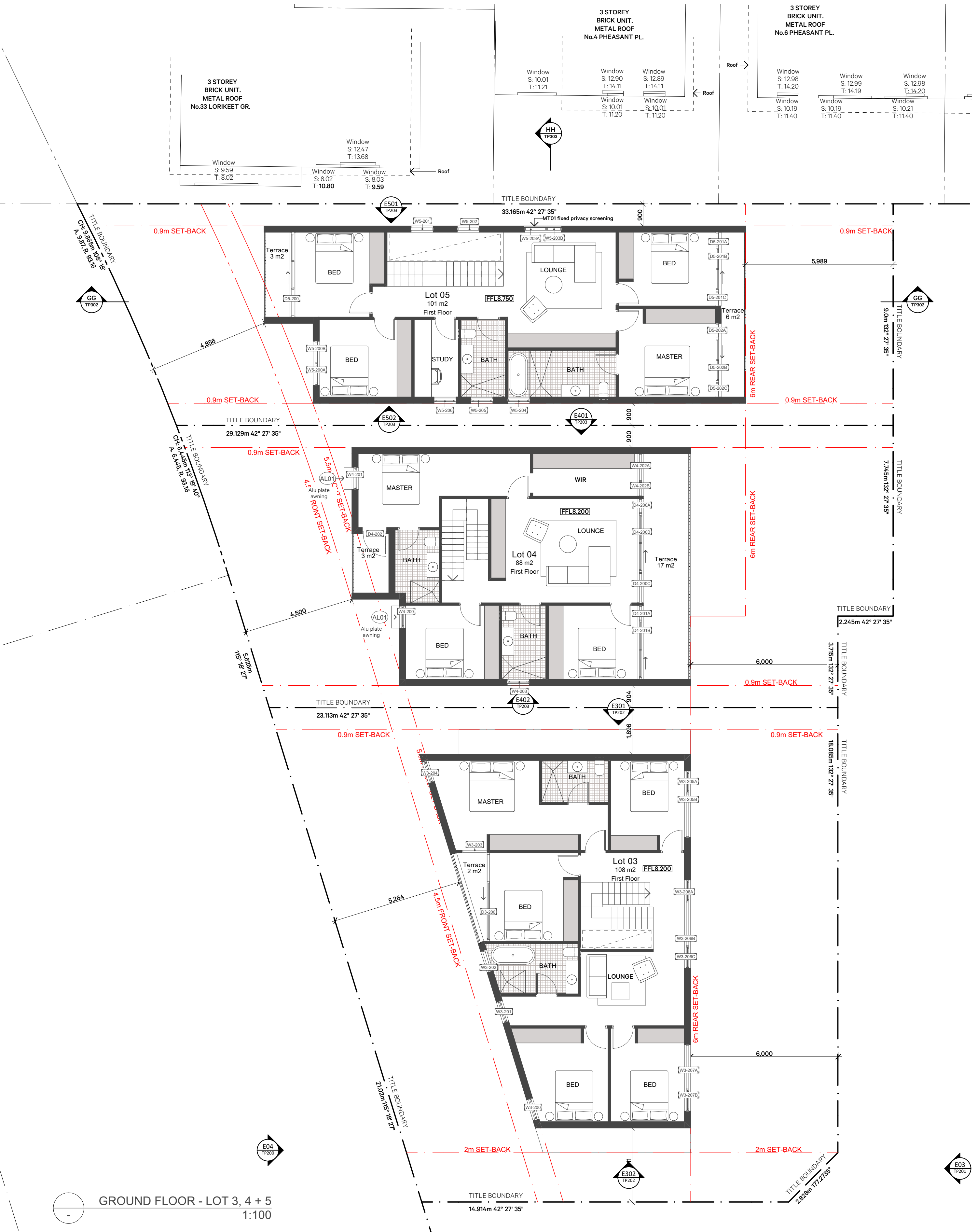
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I





GROUND FLOOR - LOT 3, 4 + 5
1:100



GROUND FLOOR - LOT 3, 4 + 5
1:100

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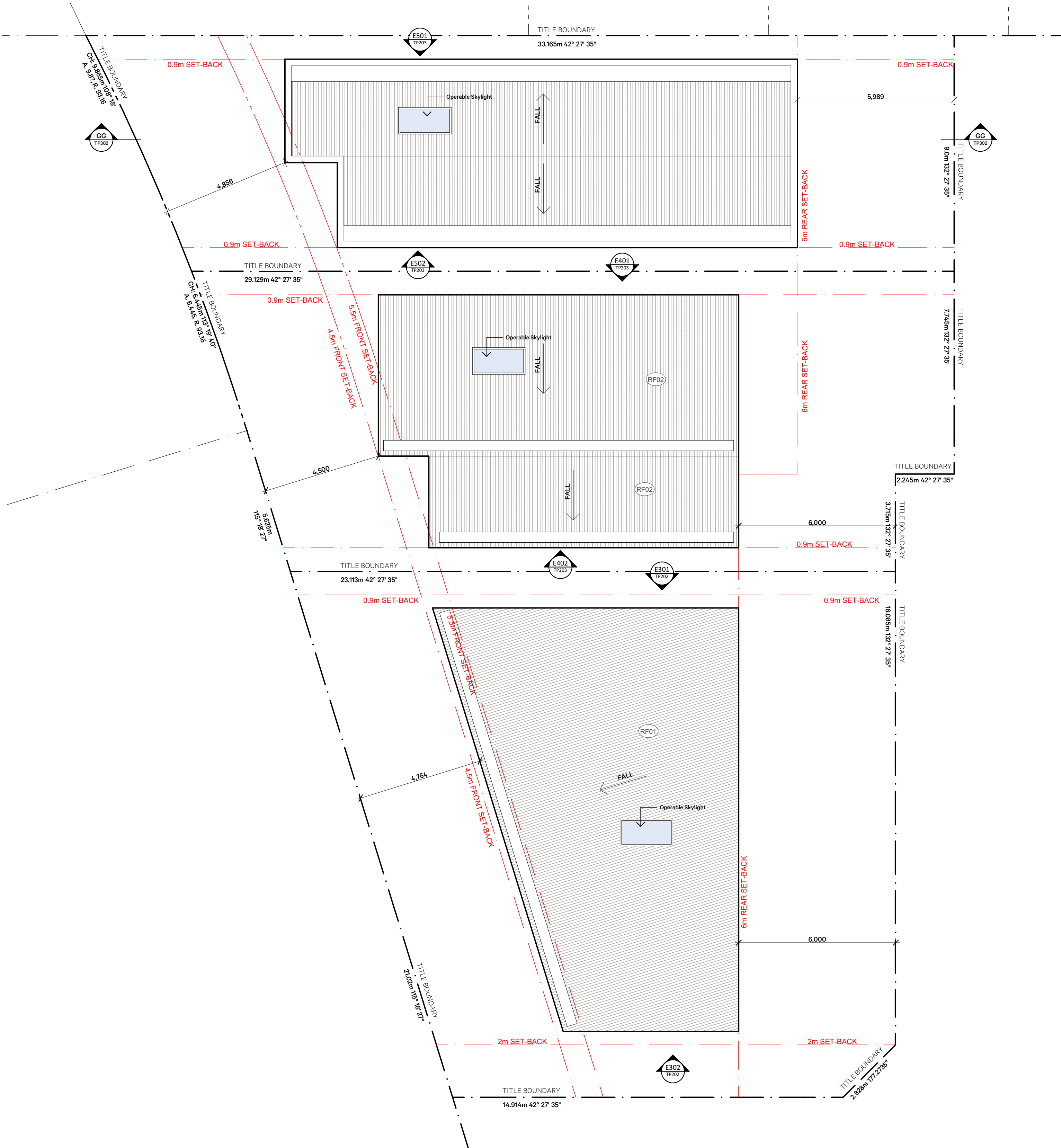
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Drawing Name
LOT 3, 4 + 5 GROUND
AND FIRST FLOOR PLAN

Project Stage
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2852 TP102
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Project Address
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Australia
Drawing Name
LOT 3, 4 + 5 ROOF PLAN

Project Stage
Development Application
Scale
1:100
Date
8/08/2025
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Project Number

2852

Drawing
TP103

Revision

I





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Project Address
43-45 Warriewood Rd Warriewood NSW 2102
Australia
Drawing Name
**LOT 6, 7 + 8 GROUND
FLOOR PLAN**

Project Stage
Development Application
Scale
1:100
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8/08/2025
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LK
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2852



Drawing
TP104
Revision
I



Revisions	#	Date	Description
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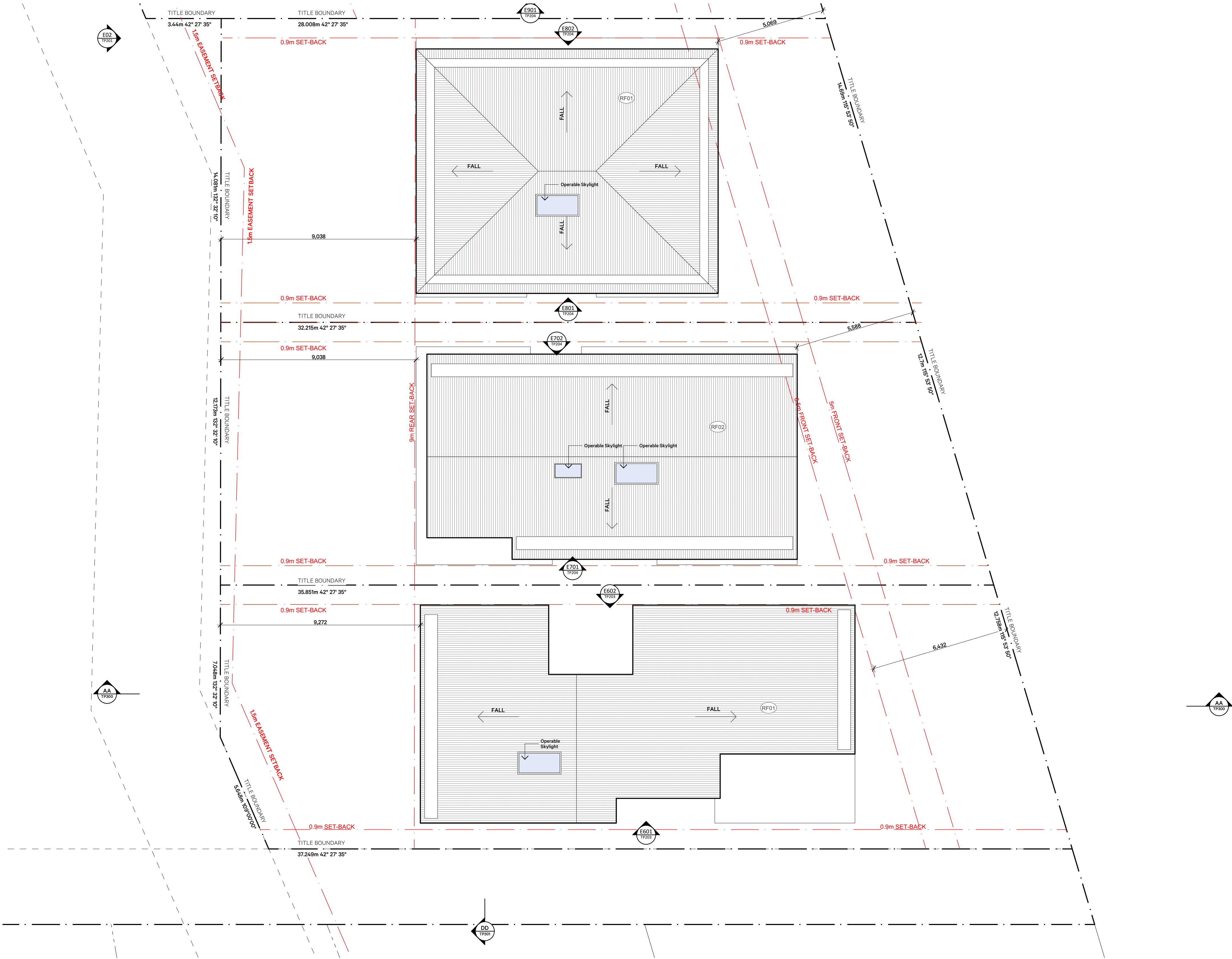
Client
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WARRIEWOOD
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Drawing Name
**LOT 6, 7 + 8 FIRST
FLOOR PLAN**

Project Stage
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1:100
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CLEY
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TP105

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**LOT 6, 7 + 8 ROOF
FLOOR PLAN**

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CLEY
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Drawing
TP106

Revision
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Certificate No. #HR-MNSQHB-09
Scan QR code or follow website link for rating details.

Assessor name Robert Romanous
Accreditation No. ABSA 101535
Property Address 43-45 Warriewood Road, Warriewood, NSW, 2102
<http://www.hero-software.com.au/pdf/HR-MNSQHB-09>

note before updating sheeted properties, copy cells down and replace previous version

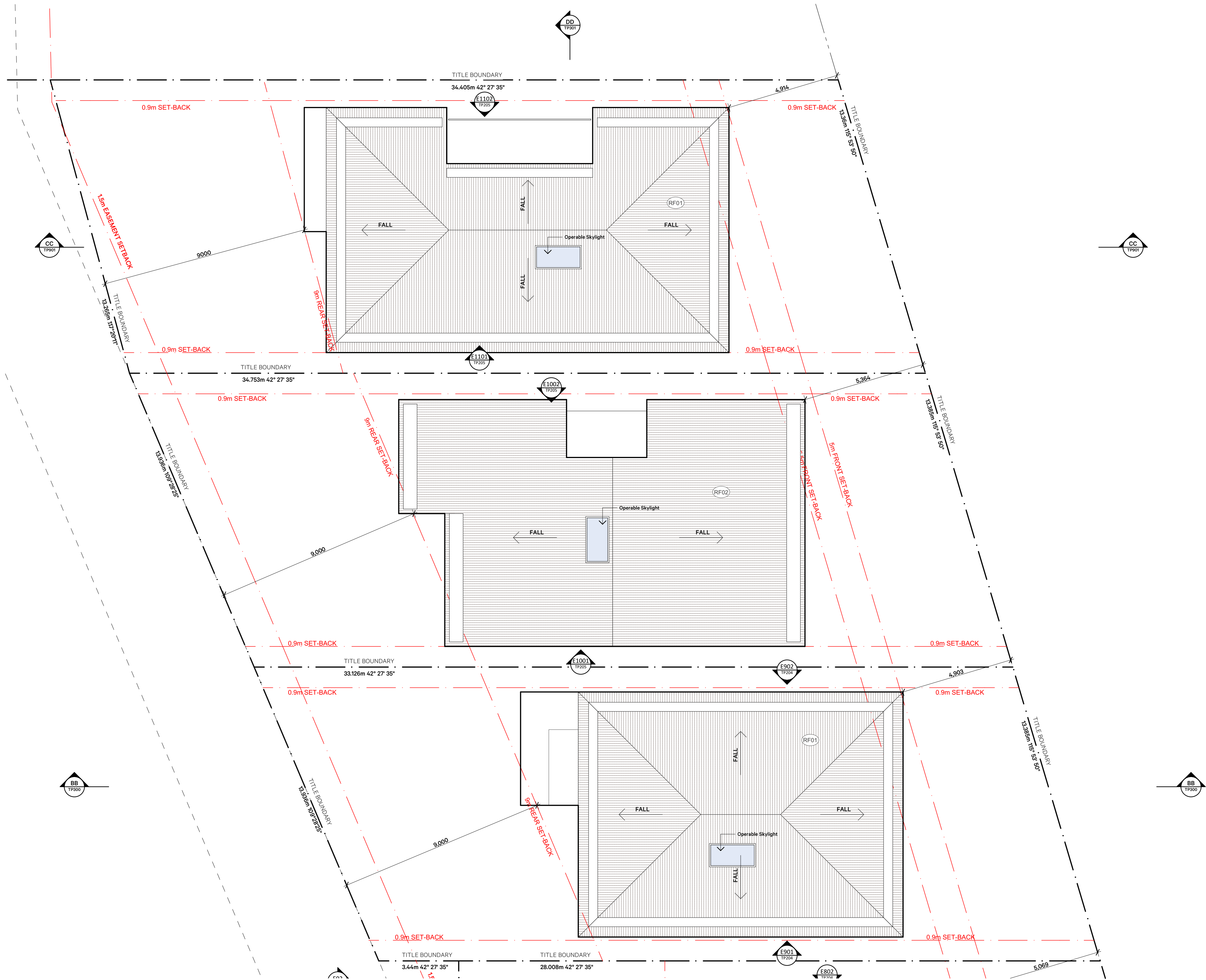
Revisions	#	Date	Description
C	19/12/2024	For Information	
D	7/02/2025	Draft Development Application	
E	18/02/2025	Draft Development Application	
F	6/03/2025	Development Application	
G	20/05/2025	Development Application	
H	19/06/2025	For Information	
I	8/08/2025	Development Application	

Client
S Loura
Project
WARRIEWOOD
Project Address
43-45 Warriewood Rd Warriewood NSW 2102
Australia
Drawing Name
**LOT 9, 10 + 11 GROUND
FLOOR PLAN**

Project Stage
Development Application
Scale
1:100
Date
8/08/2025
Drawn
LK
Project Number
2852



Drawing
TP107
Revision
I



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Certificate No. #HR-MNSQHB-09

Scan QR code or follow website link for rating details.

Assessor name Robert Romanous

Accreditation No. ABSA 101535

Property Address 43-45 Warriewood Road, Warriewood, NSW, 2102

<http://www.hero-software.com.au/pdf/HR-MNSQHB-09>

note before updating sheet properties, copy cells down and replace previous version

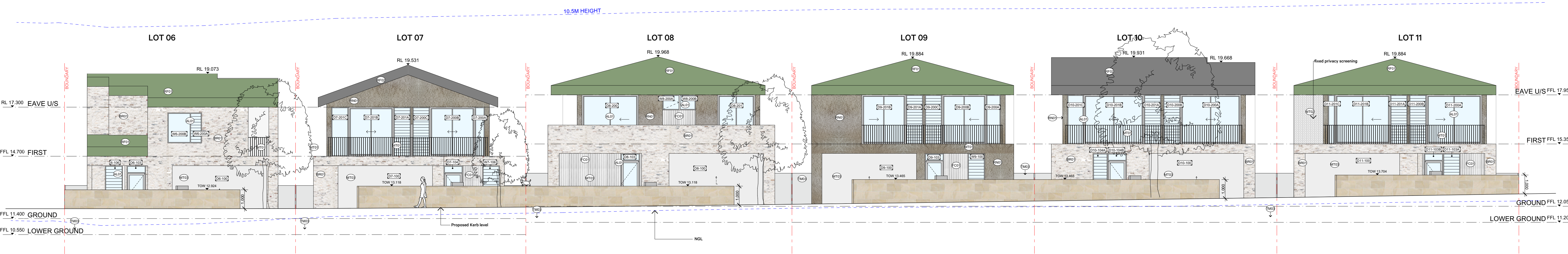
Revisions	#	Date	Description
C	19/12/2024	For Information	
D	7/02/2025	Draft Development Application	
E	18/02/2025	Draft Development Application	
F	6/03/2025	Development Application	
G	20/05/2025	Development Application	
H	19/06/2025	For Information	
I	8/08/2025	Development Application	

Client
S Loura
Project
WARRIEWOOD
Project Address
43-45 Warriewood Rd Warriewood NSW 2102
Australia
Drawing Name
LOT 9, 10 + 11 ROOF
PLAN

Project Stage
Development Application
Scale
1:100
Date
8/08/2025
Drawn
LK
Project Number
2852

CLEY
STUDIO

Drawing
TP109
Revision
I



NORTH ELEVATION - WARRIEWOOD RD
1:100



SOUTH ELEVATION - LORRIKET AVE
1:100

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Revisions	#	Date	Description
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F	6/03/2025	Development Application	
G	20/05/2025	Development Application	
H	19/06/2025	For Information	
I	8/08/2025	Development Application	

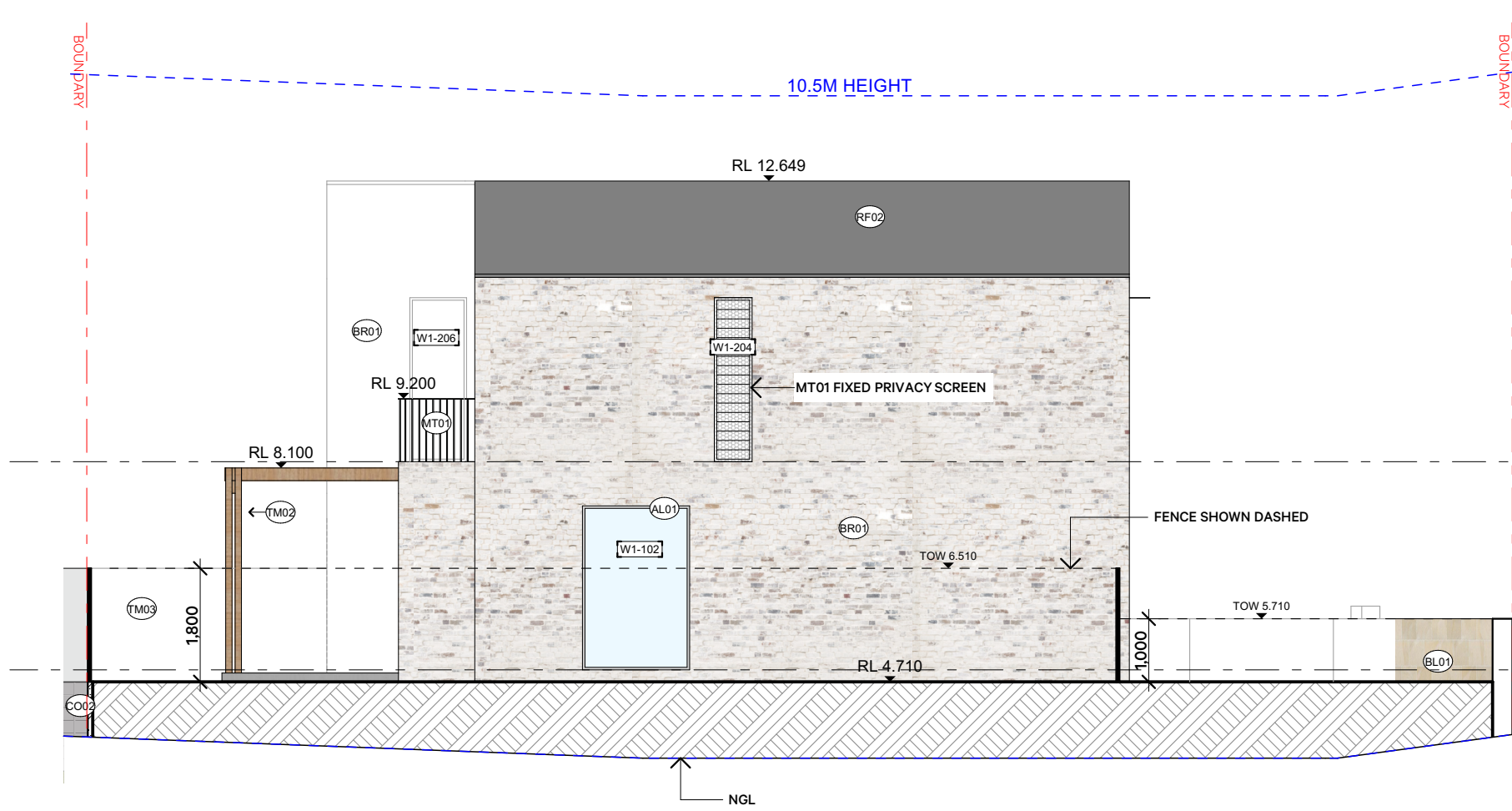
Client
S Loura
Project
WARRIEWOOD
Project Address
43-45 Warriewood Rd Warriewood NSW 2102
Australia
Drawing Name
STREET ELEVATIONS

Project Stage
Development Application
Scale
1:100
Date
8/08/2025
Drawn
LK
Project Number
2852

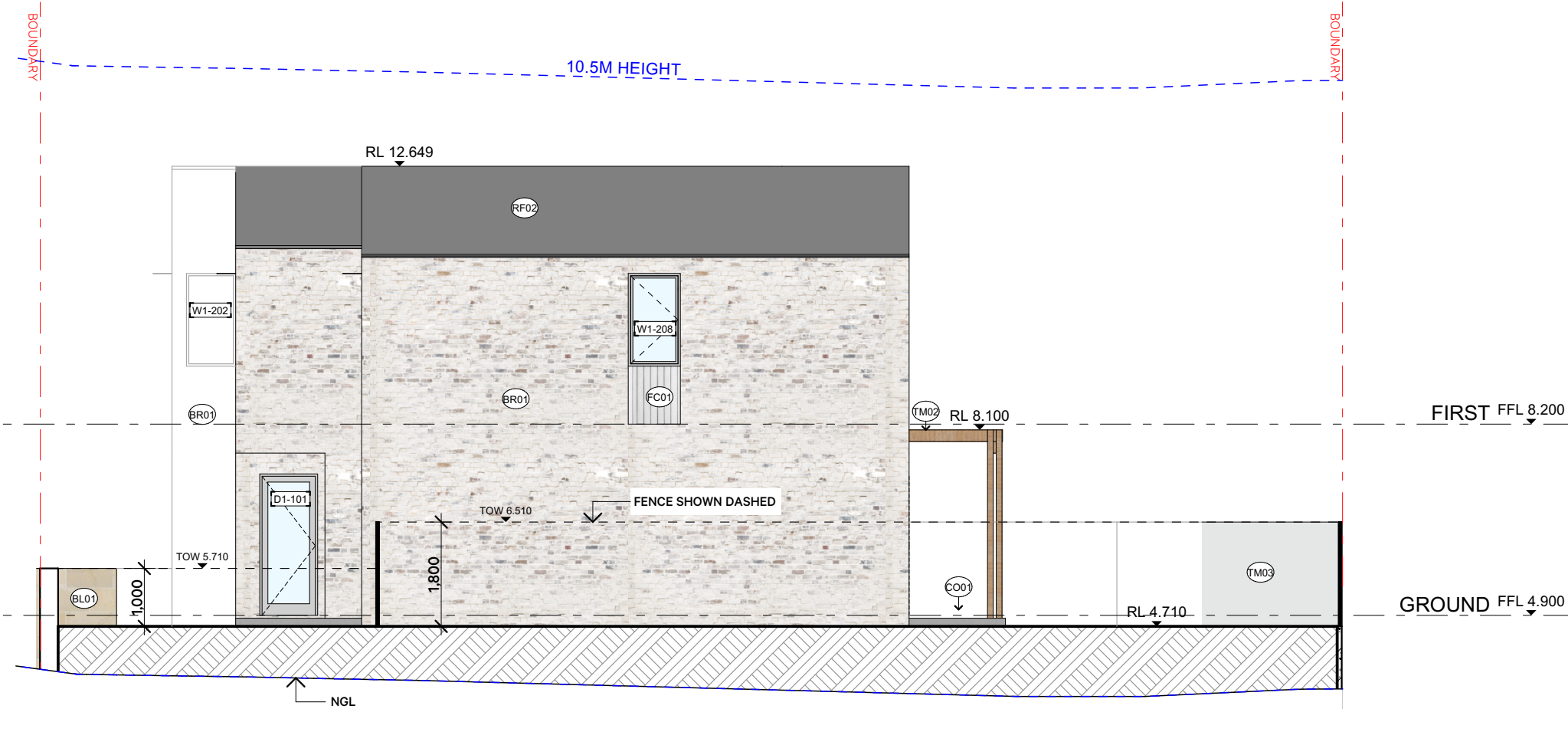


Drawing
TP200
Revision
I

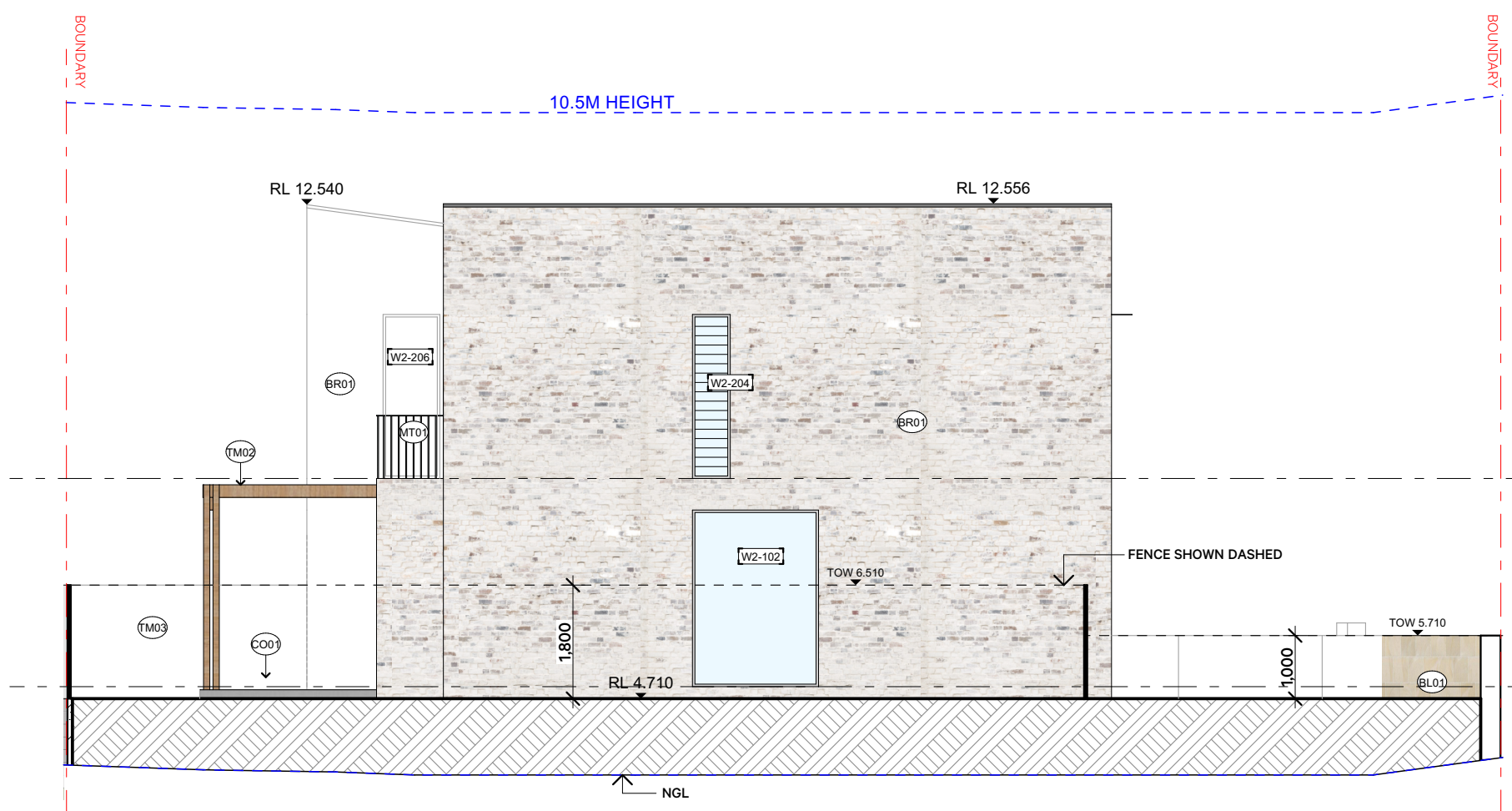




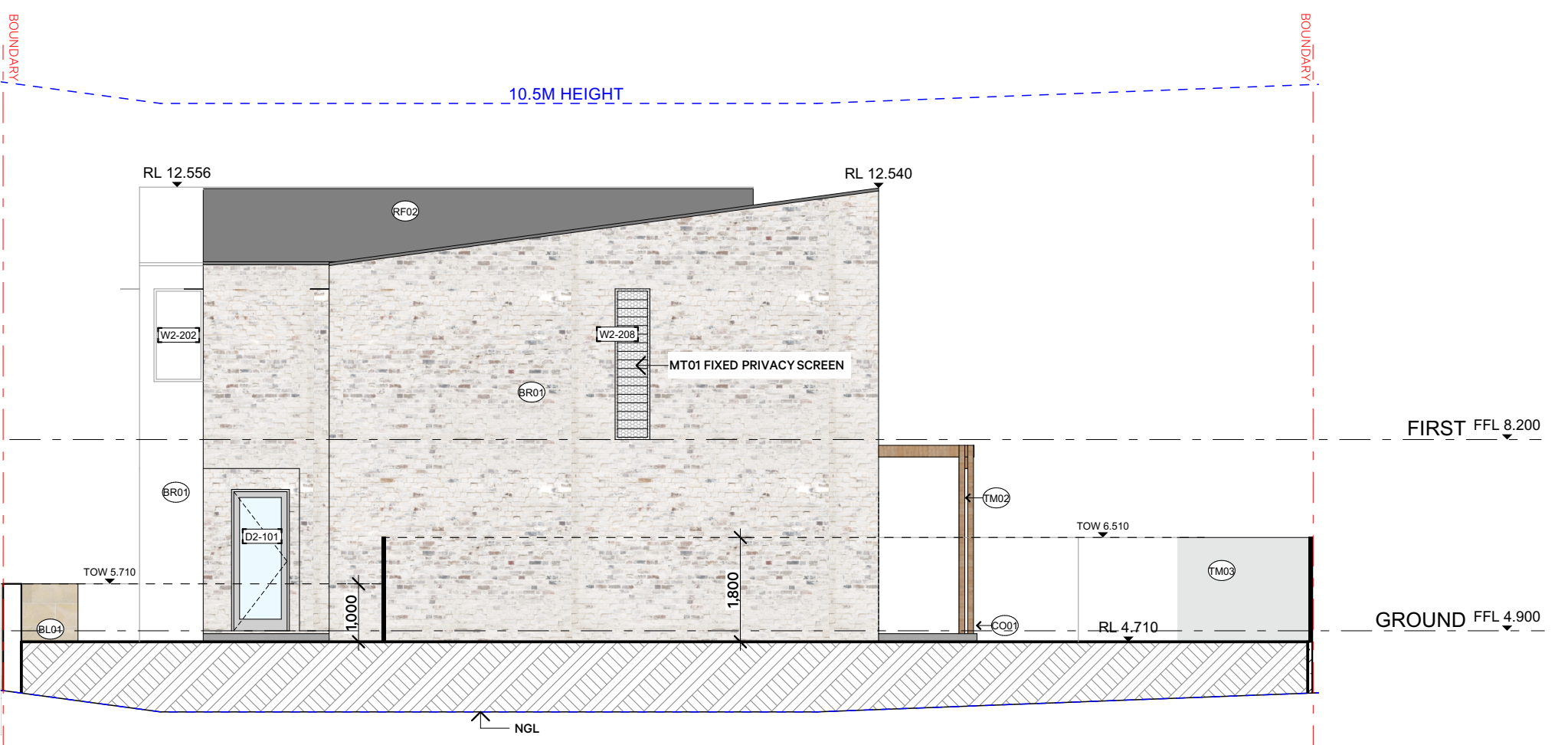
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1:100



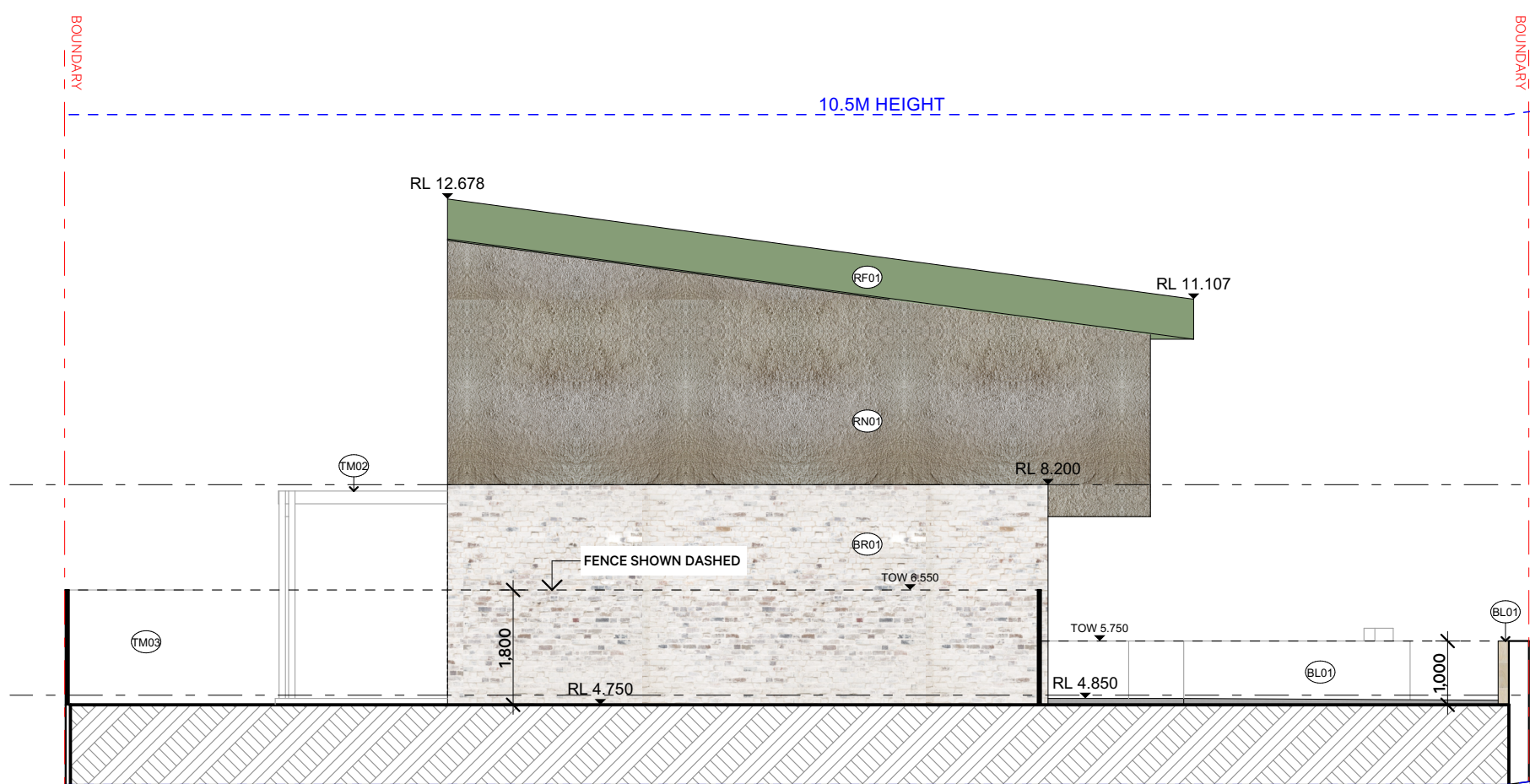
E102 LOT 01 SIDE ELEVATION 02
1:100



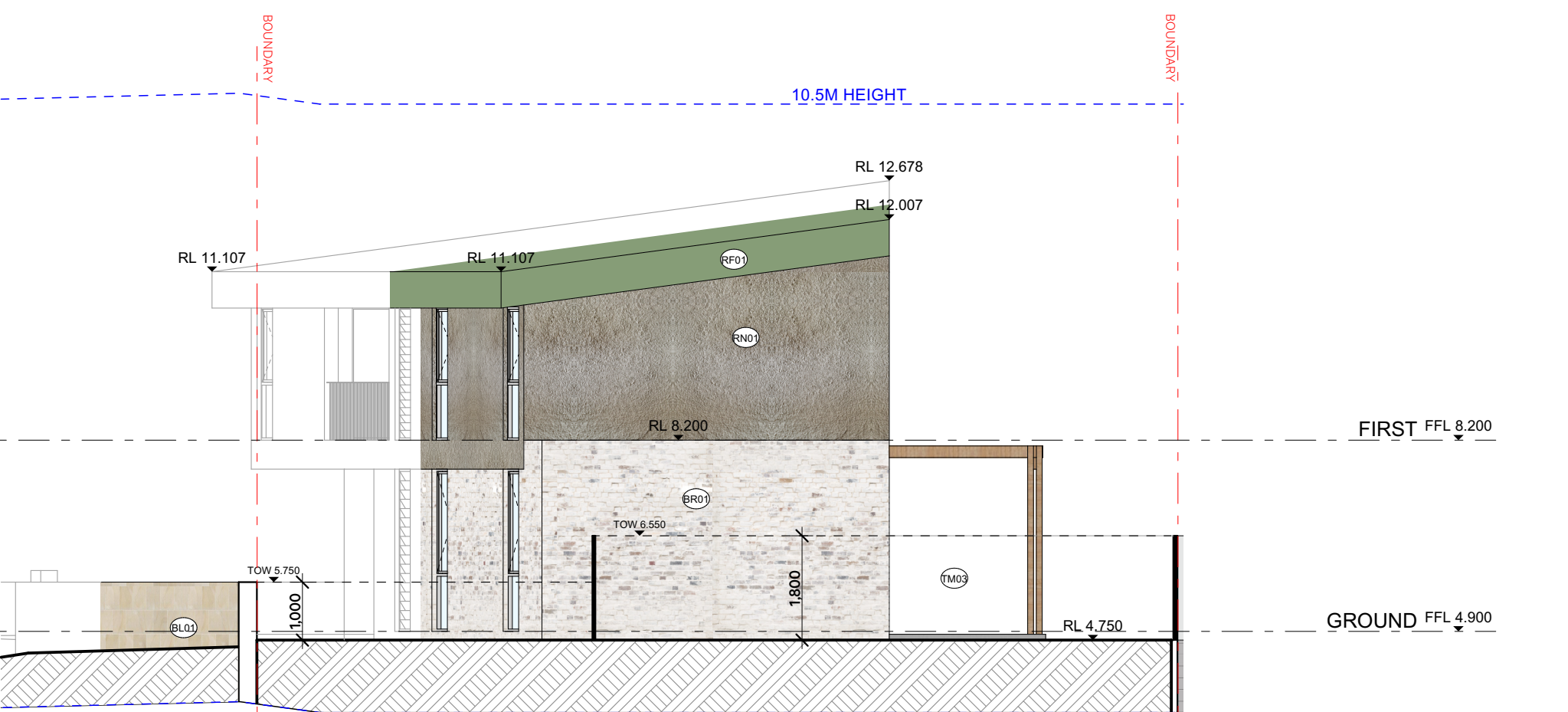
E201 LOT 02 SIDE ELEVATION 01
1:100



E202 LOT 02 SIDE ELEVATION 02
1:100



E301 LOT 03 SIDE ELEVATION 01
1:100



E302 LOT 03 SIDE ELEVATION 02
1:100

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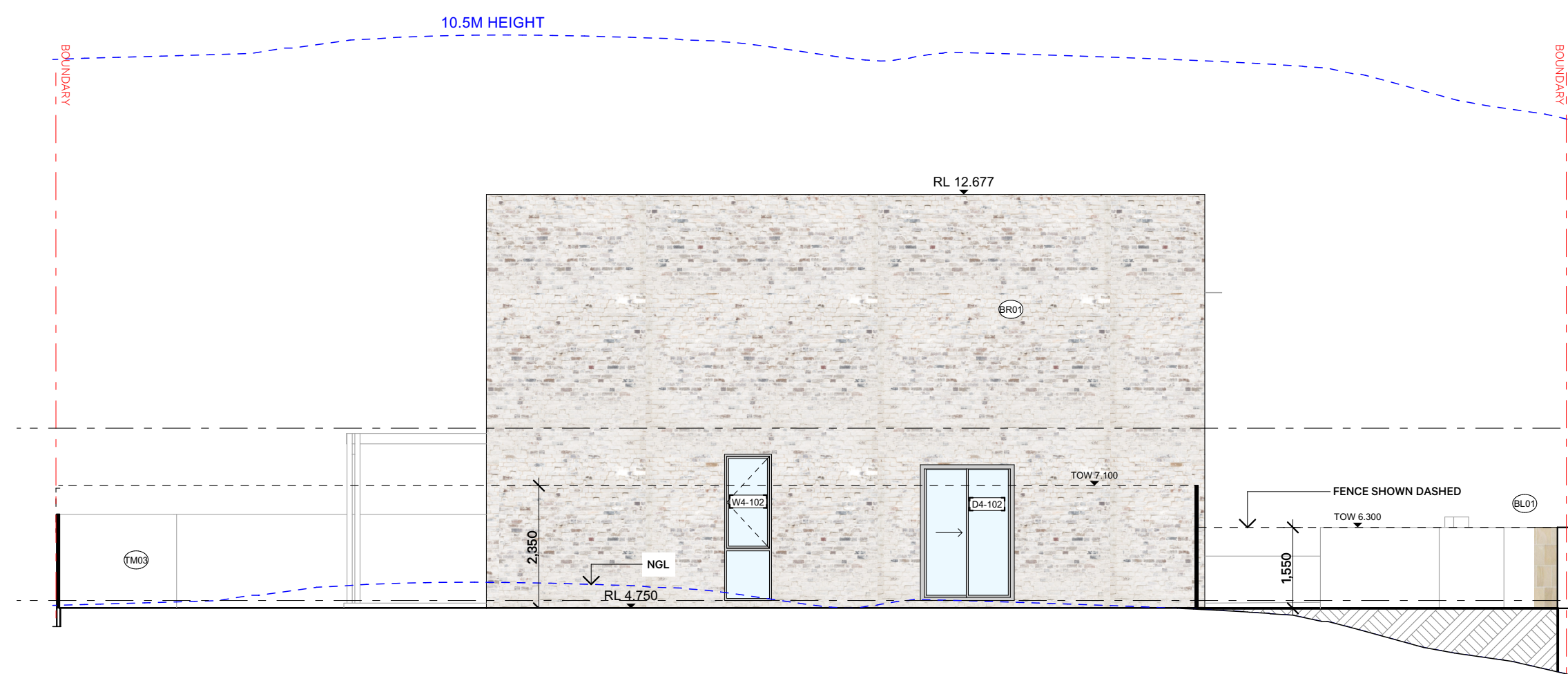
Revisions		
#	Date	Description
F	6/03/2025	Development Application
G	20/05/2025	Development Application
H	19/06/2025	For Information
I	8/08/2025	Development Application

Client
S Loura
Project
WARRIEWOOD
Project Address
43-45 Warriewood Rd Warriewood NSW 2102
Australia
Drawing Name
LOT 01, 02 + 03 SIDE
ELEVATIONS

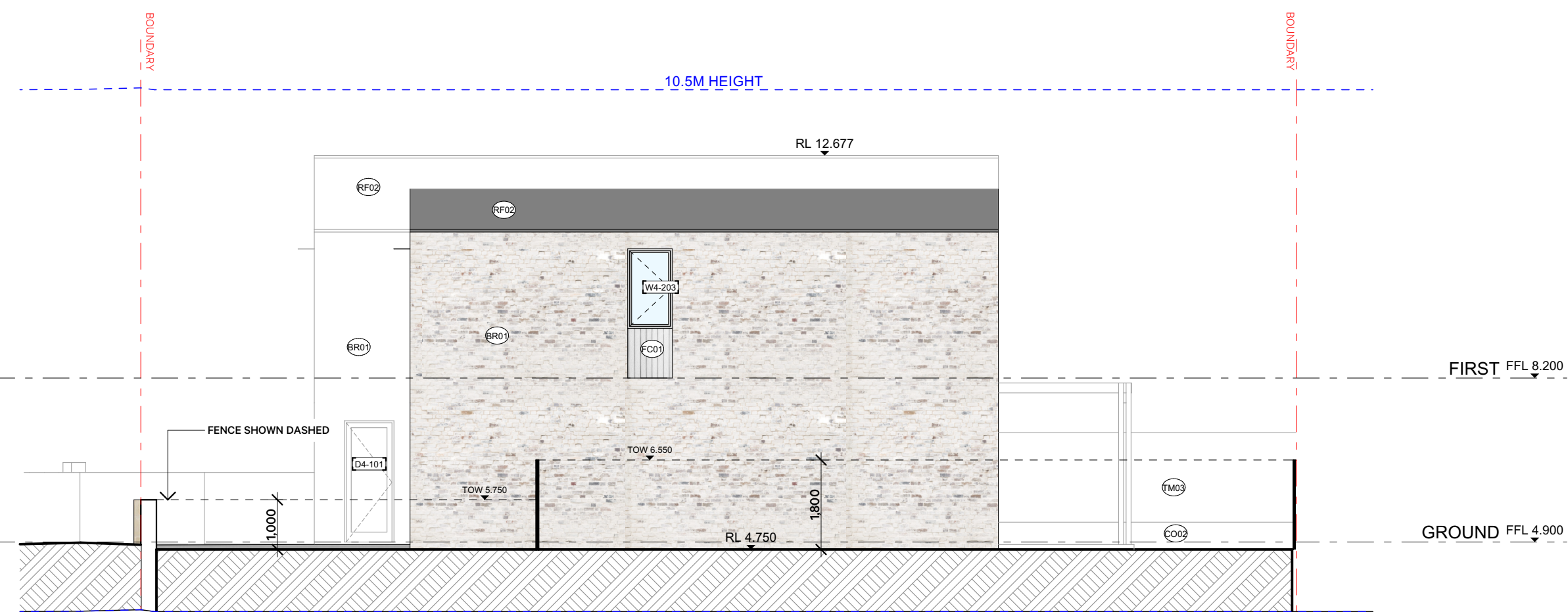
Project Stage
Development Application
Scale
1:100
Date
8/08/2025
Drawn
LK
Project Number
2852

Drawing
TP202
Revision
1

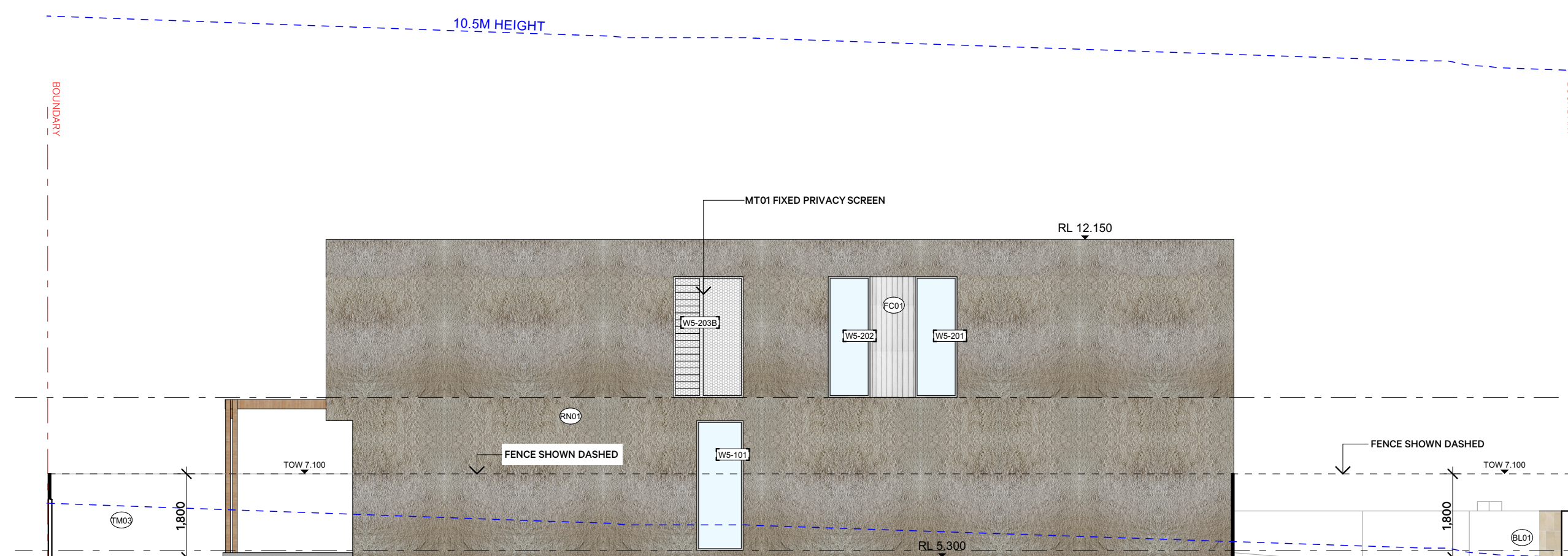
CLEY
STUDIO



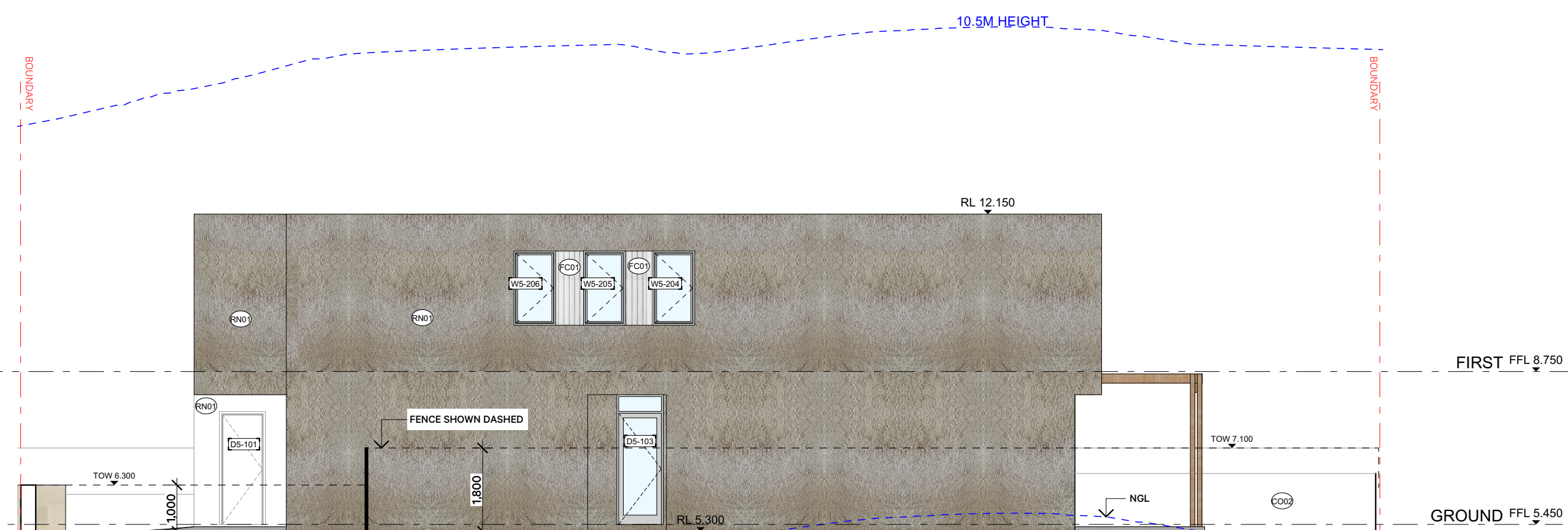
E401 LOT 04 SIDE ELEVATION 01
- 1:100



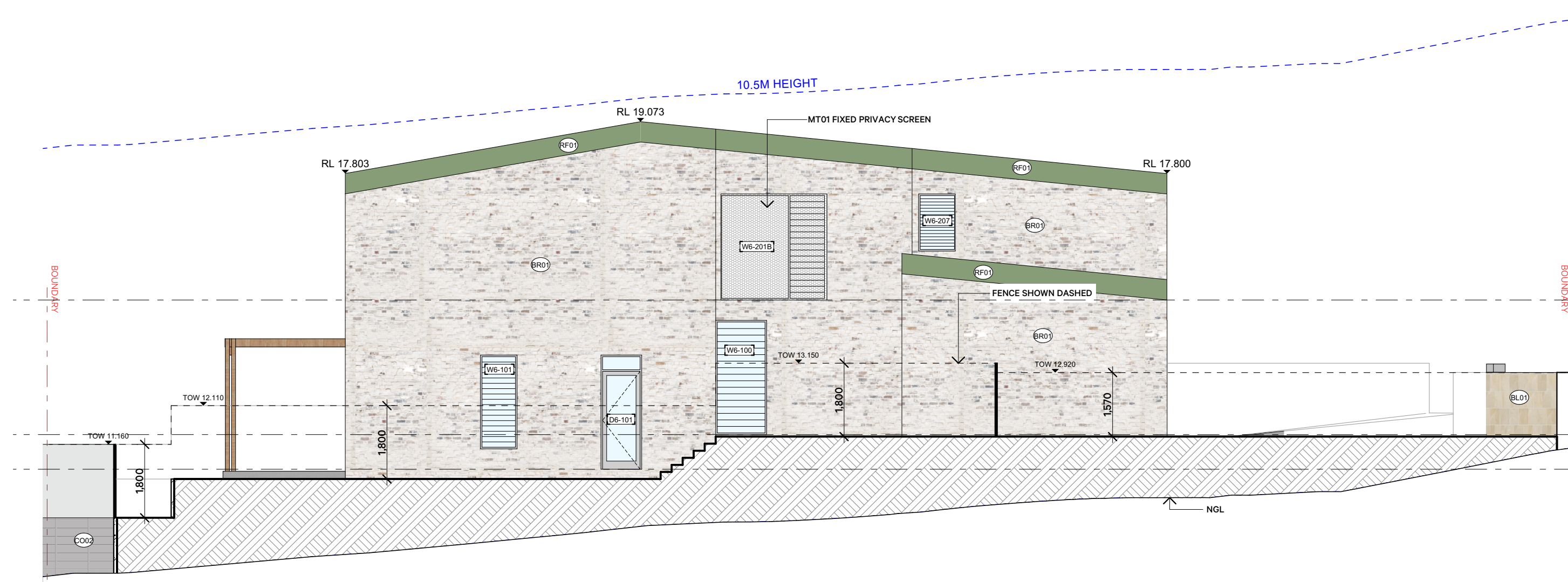
E402 LOT 04 SIDE ELEVATION 02
- 1:100



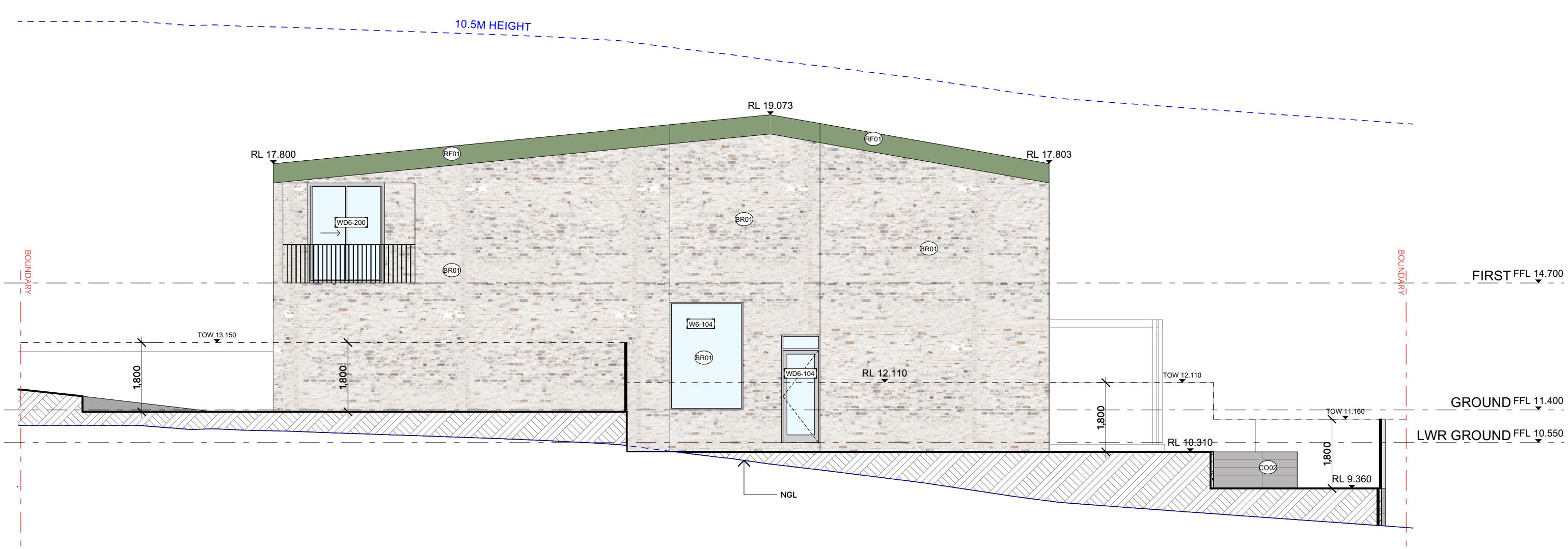
E501 LOT 05 SIDE ELEVATION 01
- 1:100



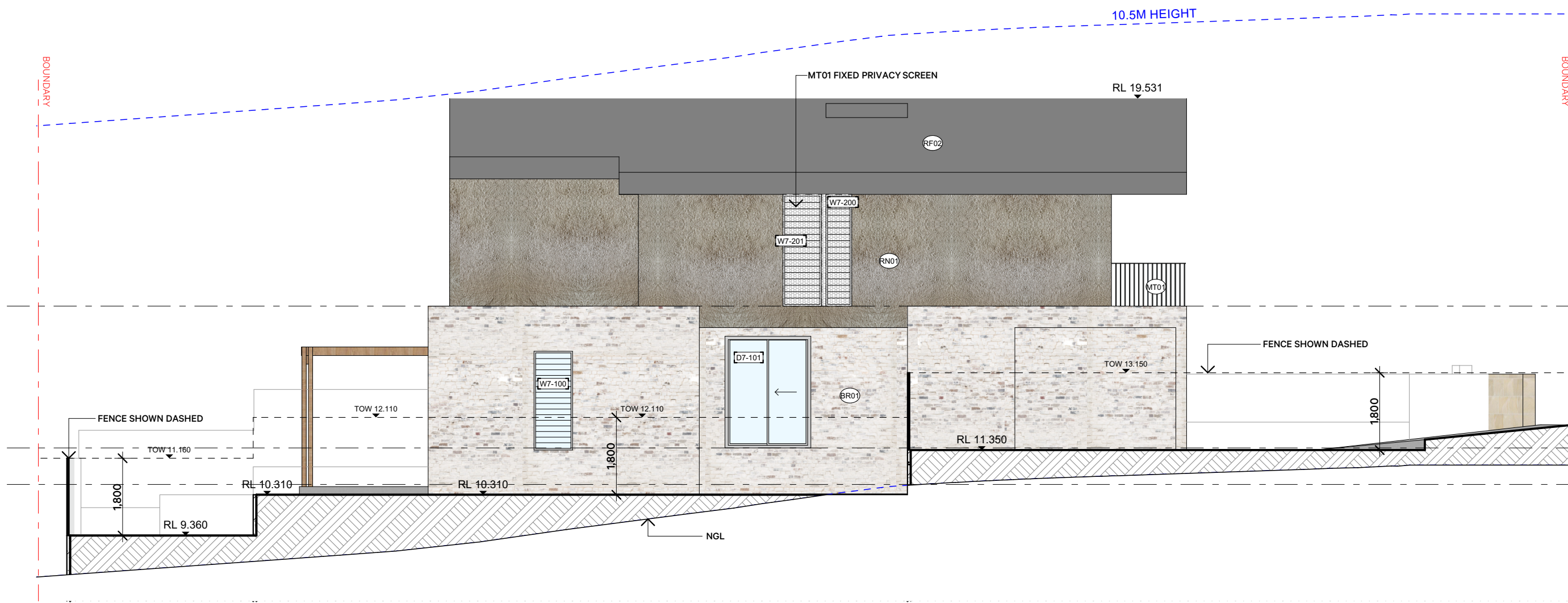
E502 LOT 05 SIDE ELEVATION 02
- 1:100



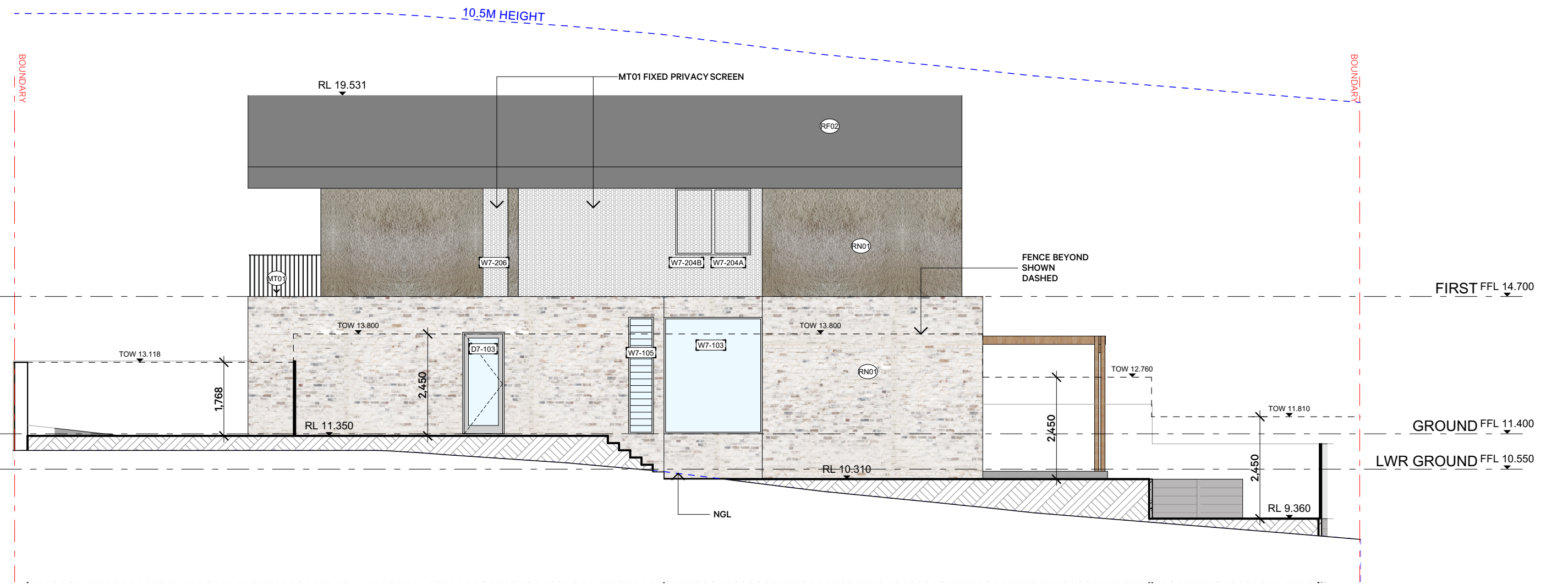
E601 LOT 06 SIDE ELEVATION 01
- 1:100



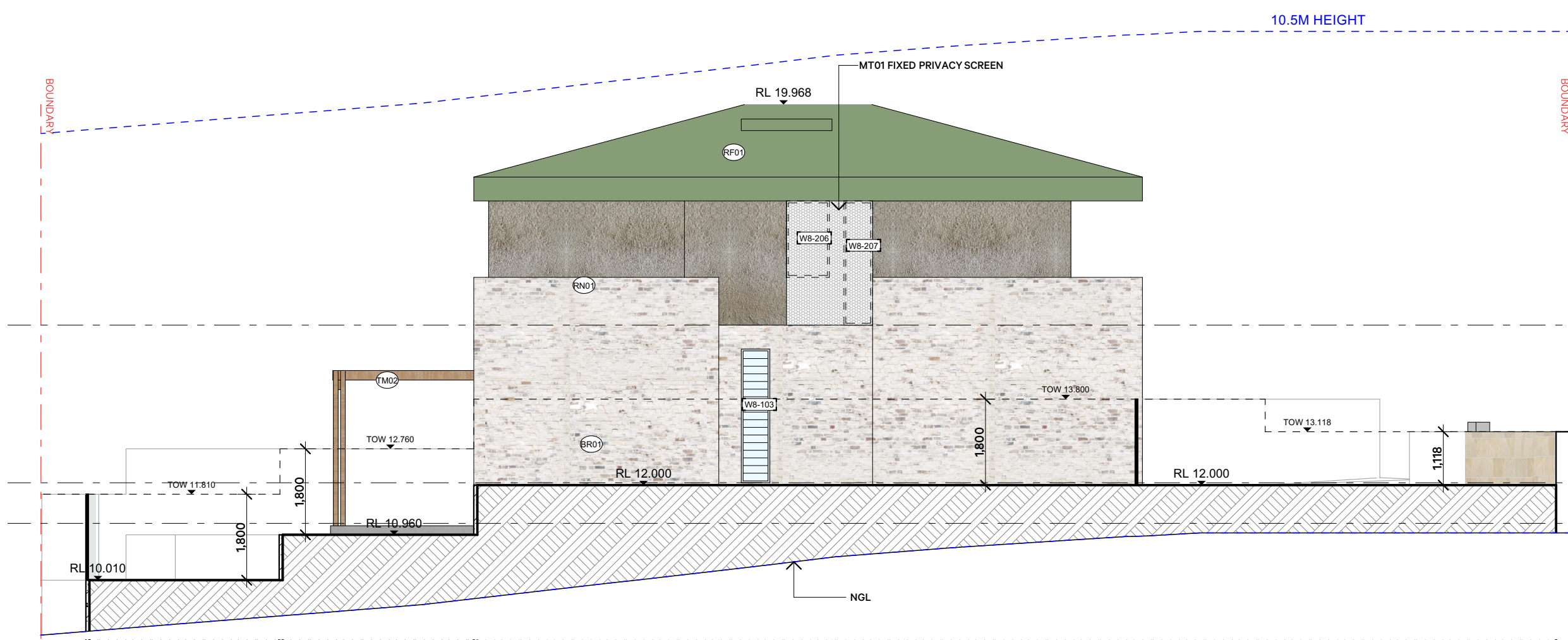
E602 LOT 06 SIDE ELEVATION 02
- 1:100



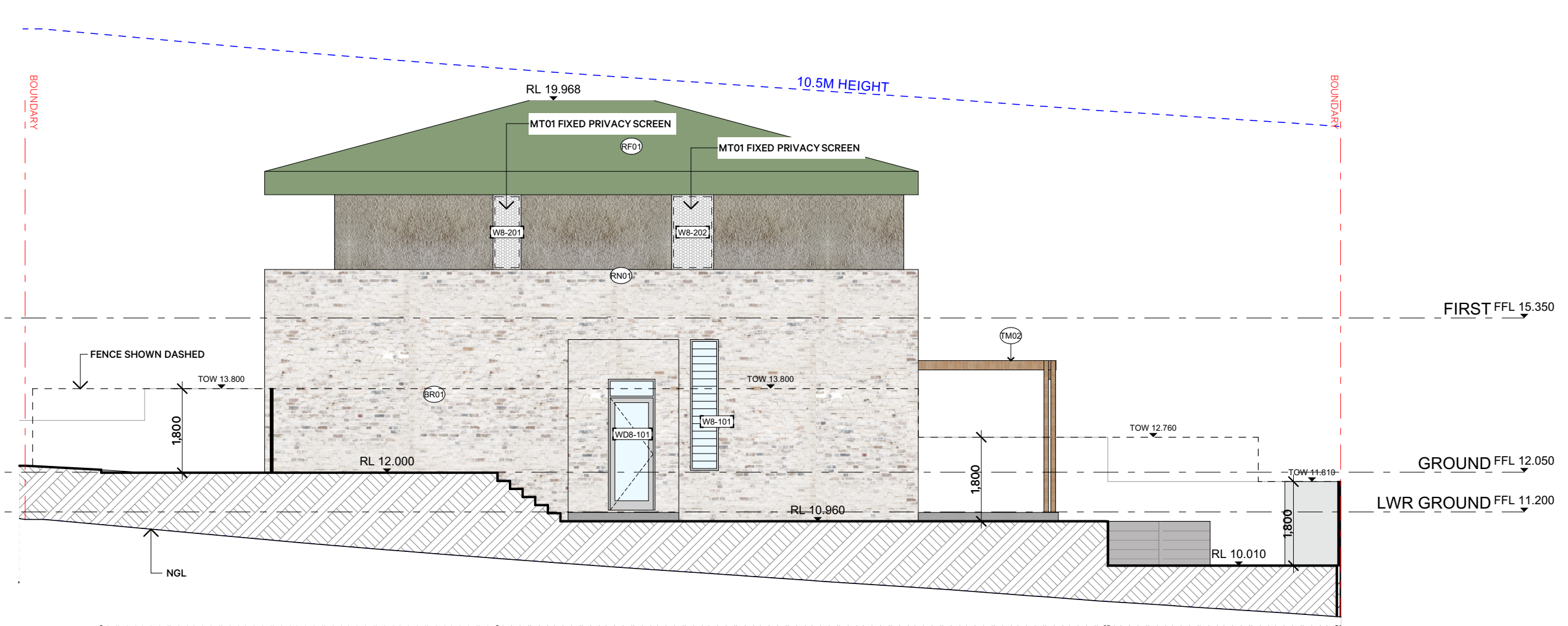
E701 LOT 07 SIDE ELEVATION 01
1:100



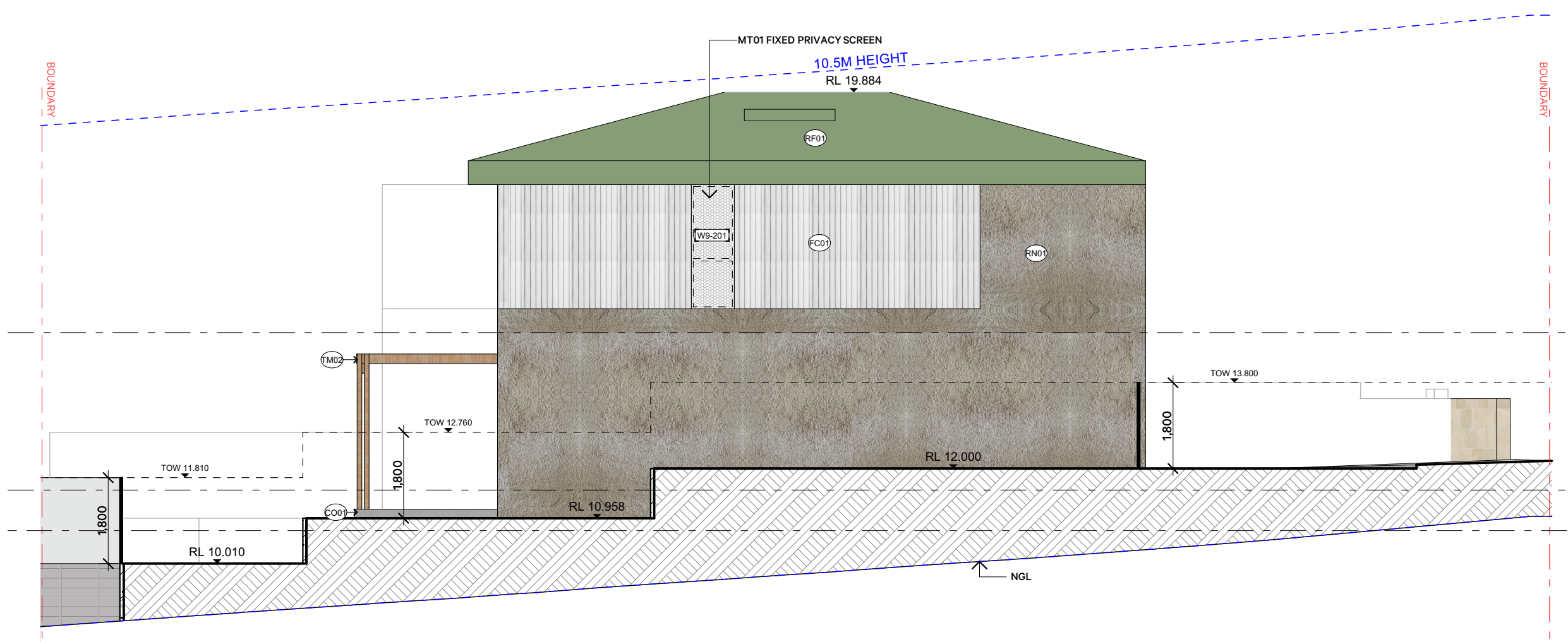
E702 LOT 07 SIDE ELEVATION 02
1:100



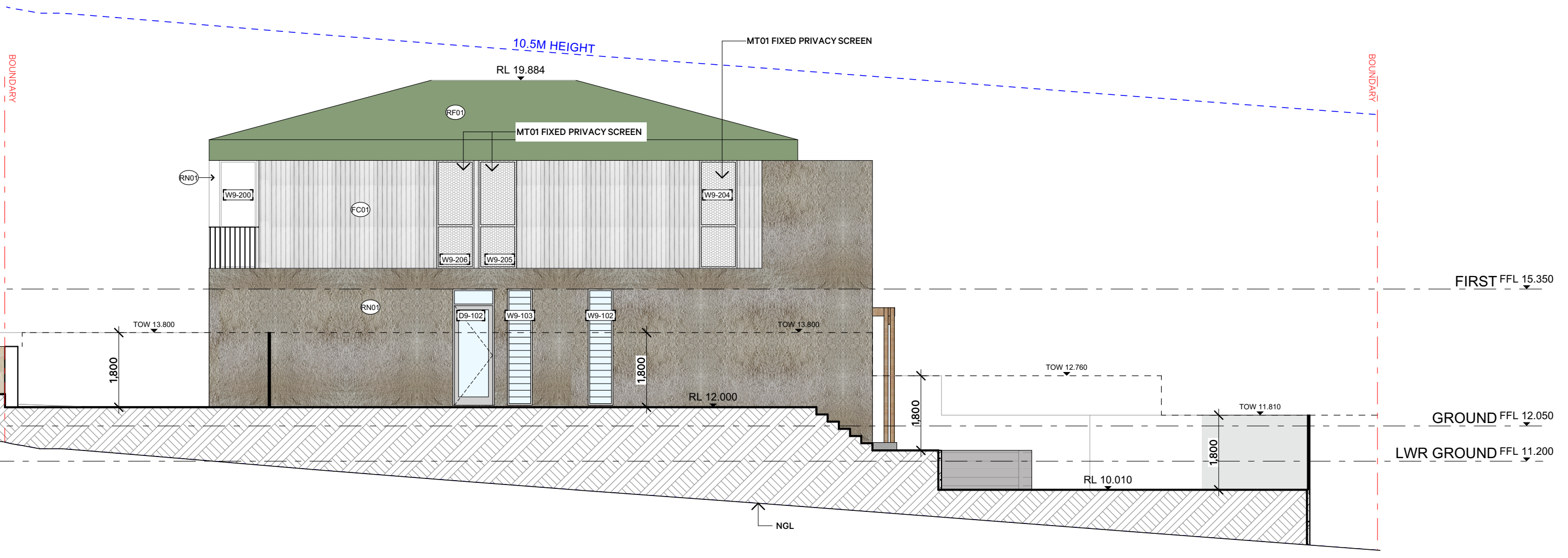
E801 LOT 08 SIDE ELEVATION 01
1:100



E802 LOT 08 SIDE ELEVATION 02
1:100



E901 LOT 09 SIDE ELEVATION 01
1:100



E902 LOT 09 SIDE ELEVATION 02
1:100

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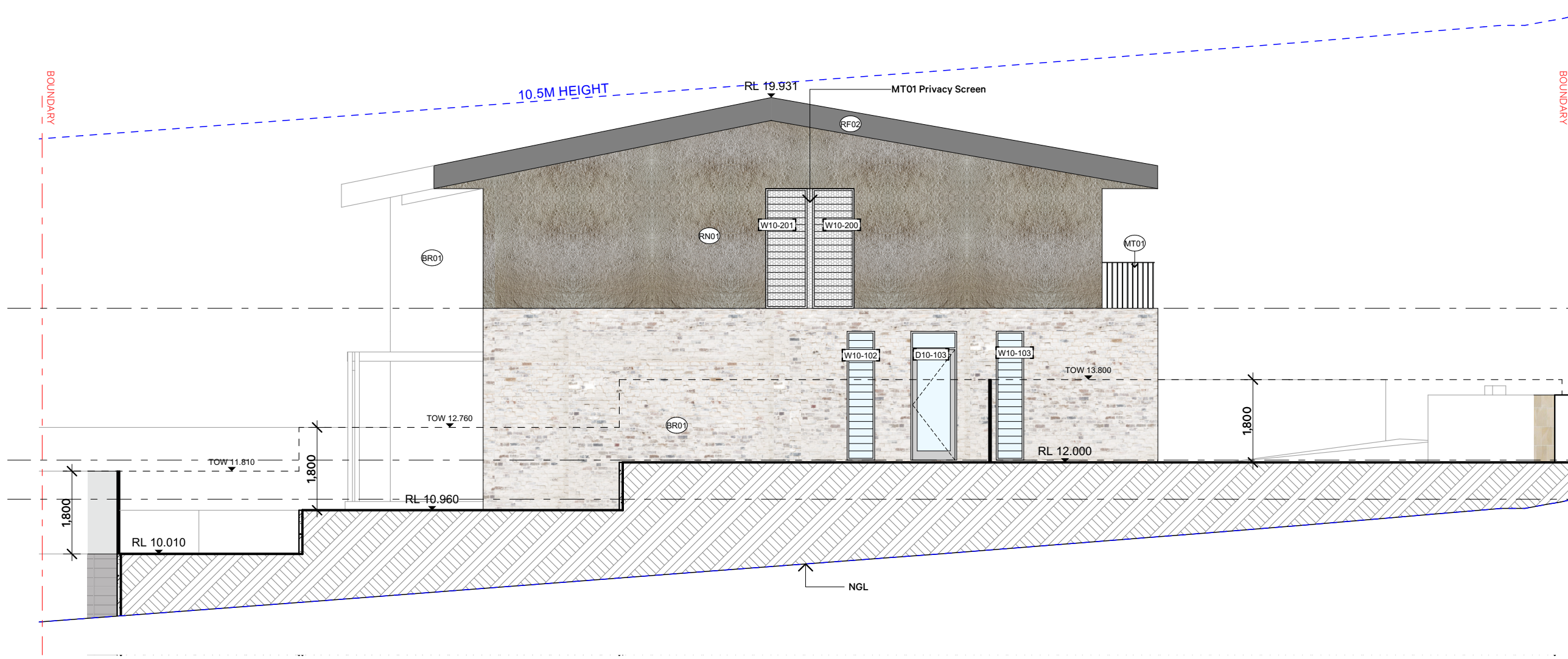


Revisions		
#	Date	Description
F	6/03/2025	Development Application
G	20/05/2025	Development Application
H	19/06/2025	For Information
I	8/08/2025	Development Application

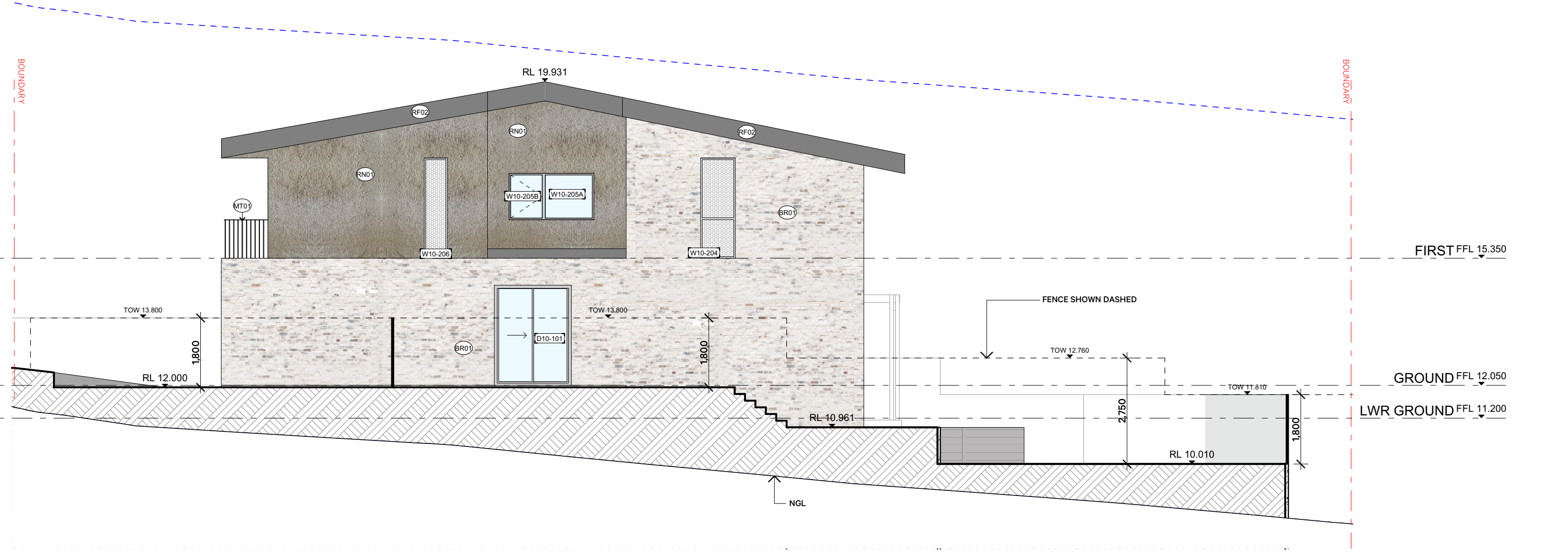
Client
S Loura
Project
WARRIEWOOD
Project Address
43-45 Warriewood Rd Warriewood NSW 2102
Australia
Drawing Name
LOT 07, 08 + 09 SIDE
ELEVATIONS

Project Stage
Development Application
Scale
1:100
Date
8/08/2025
Drawn
LK
Project Number
2852

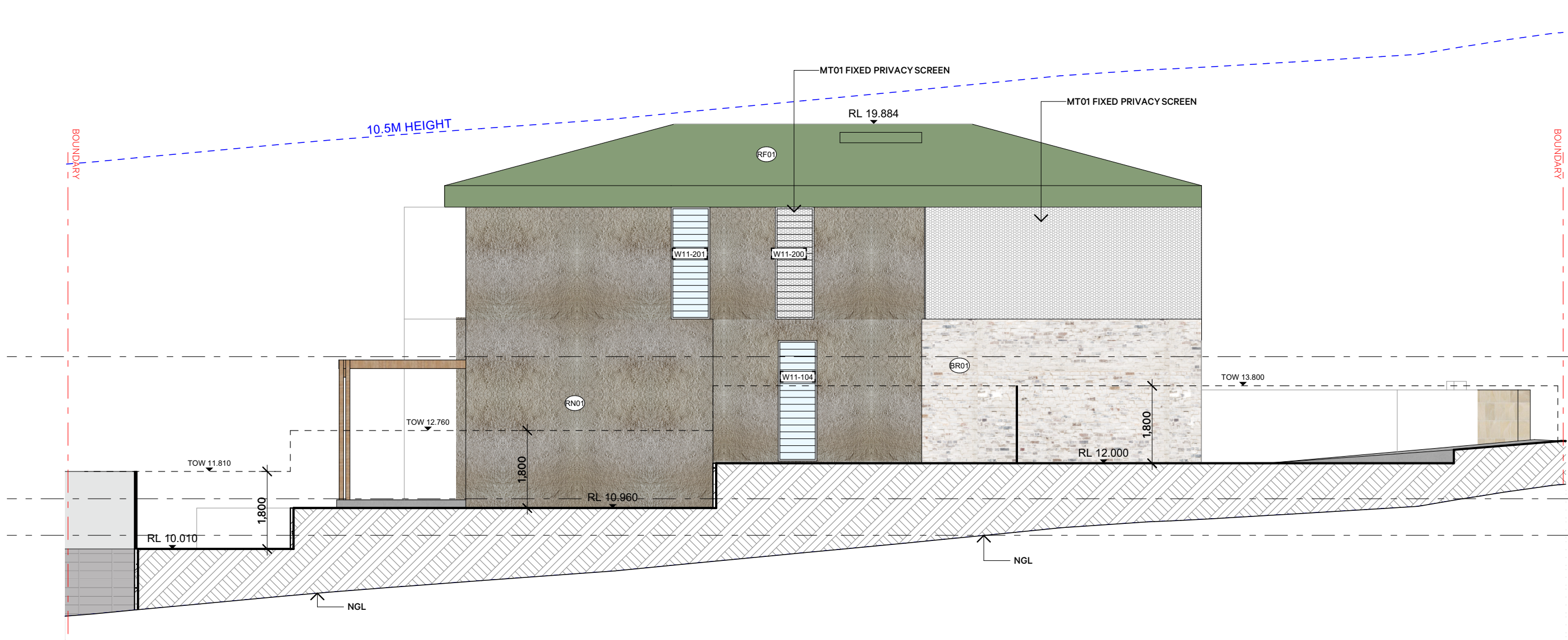
CLEY
STUDIO
Drawing
TP204
Revision
I



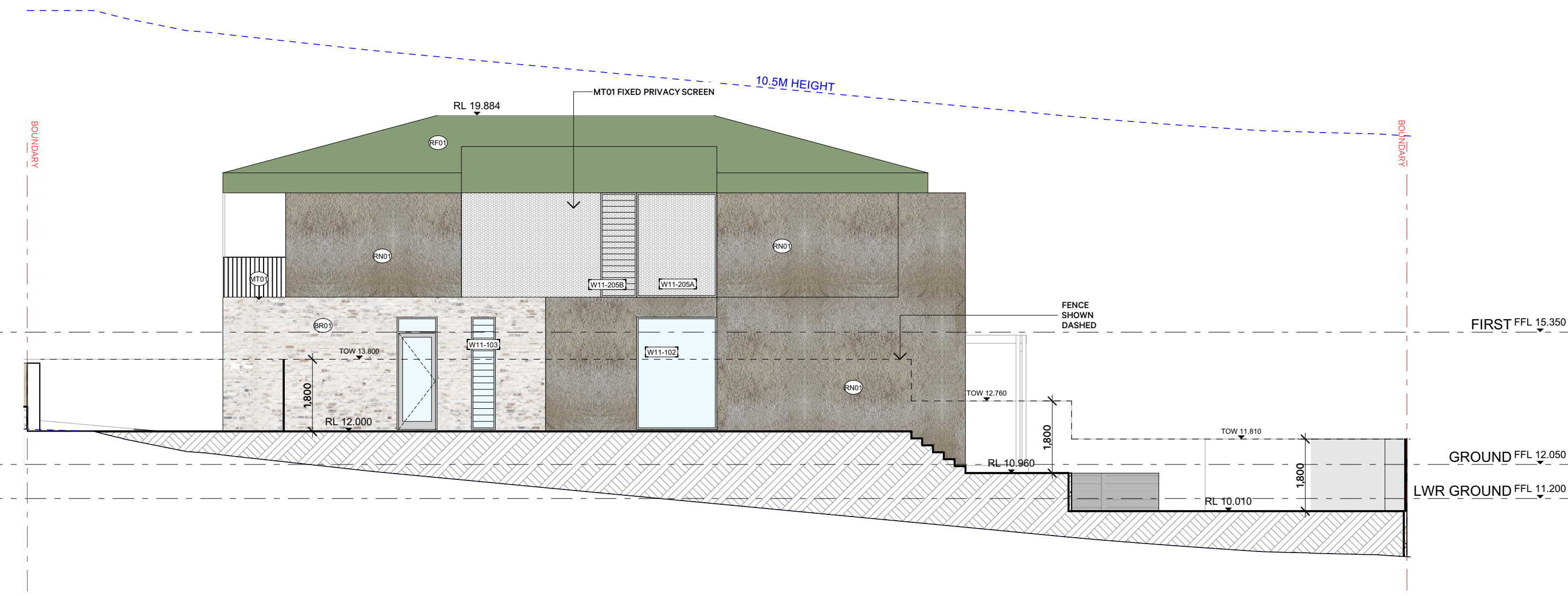
E1001 LOT 10 SIDE ELEVATION 01
1:100



E1002 LOT 10 SIDE ELEVATION 02
1:100



E1101 LOT 11 SIDE ELEVATION 01
1:100



E1102 LOT 11 SIDE ELEVATION 02
1:100

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Revisions		
#	Date	Description
F	6/03/2025	Development Application
G	20/05/2025	Development Application
H	19/06/2025	For Information
I	8/08/2025	Development Application

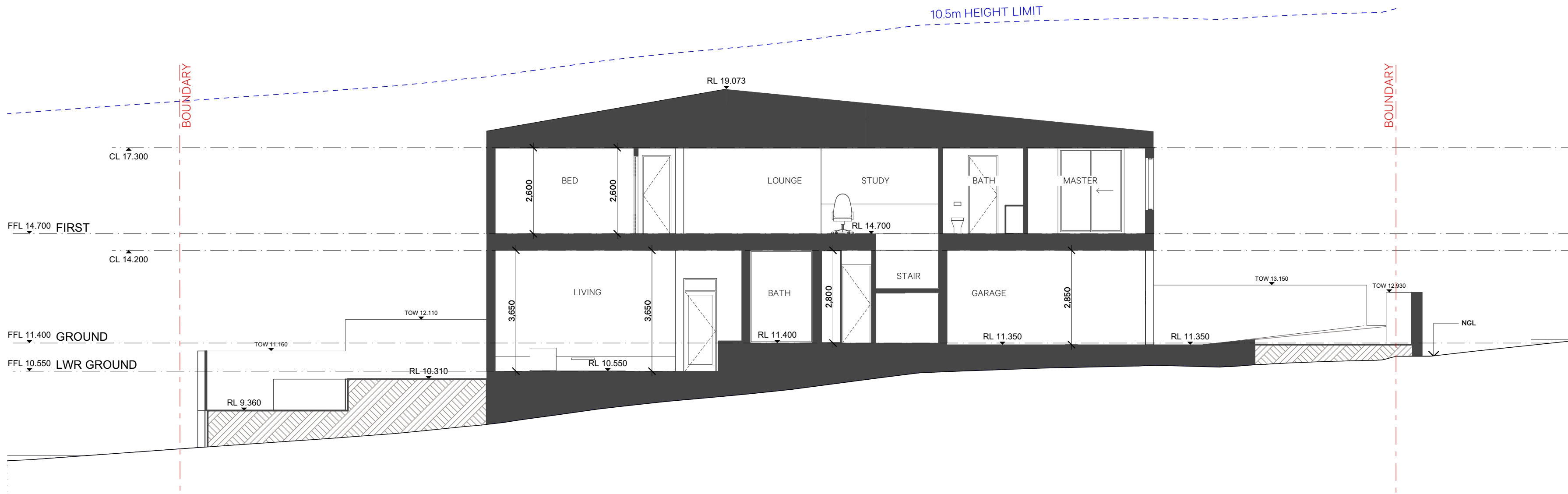
Client
S Loura
Project
WARRIEWOOD
Project Address
43-45 Warriewood Rd Warriewood NSW 2102
Australia

Drawing Name
LOT 10 + 11 SIDE
ELEVATIONS

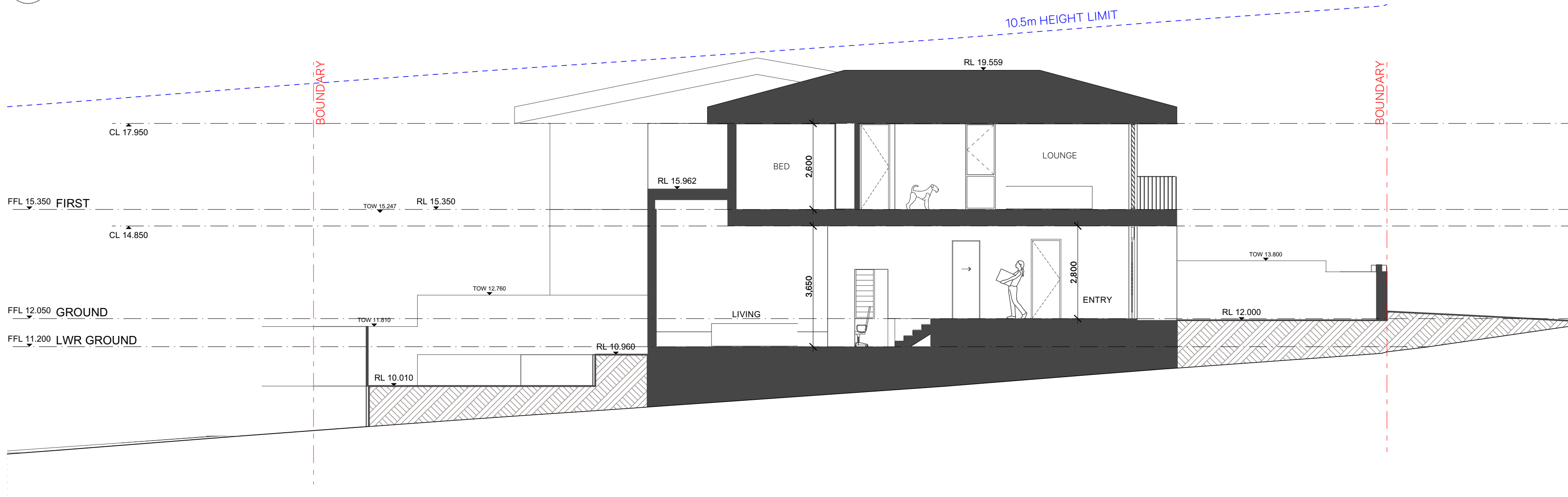
Project Stage
Development Application
Scale
1:100
Date
8/08/2025
Drawn
LK

Project Number
2852
Drawing
TP205
Revision
I





AA
SECTION AA
1:100



BB
SECTION BB
1:100



CC
SECTION CC
1:100

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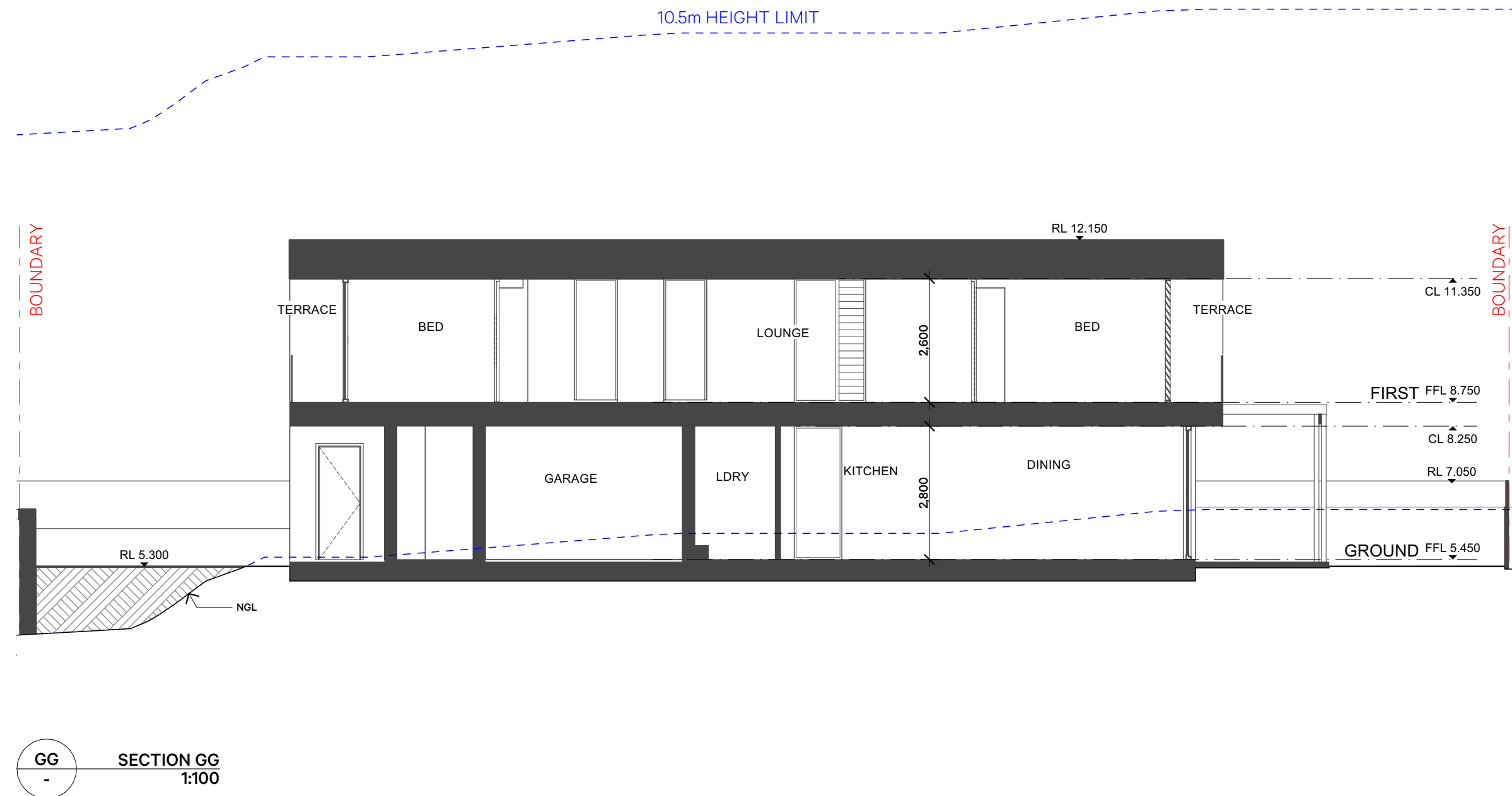
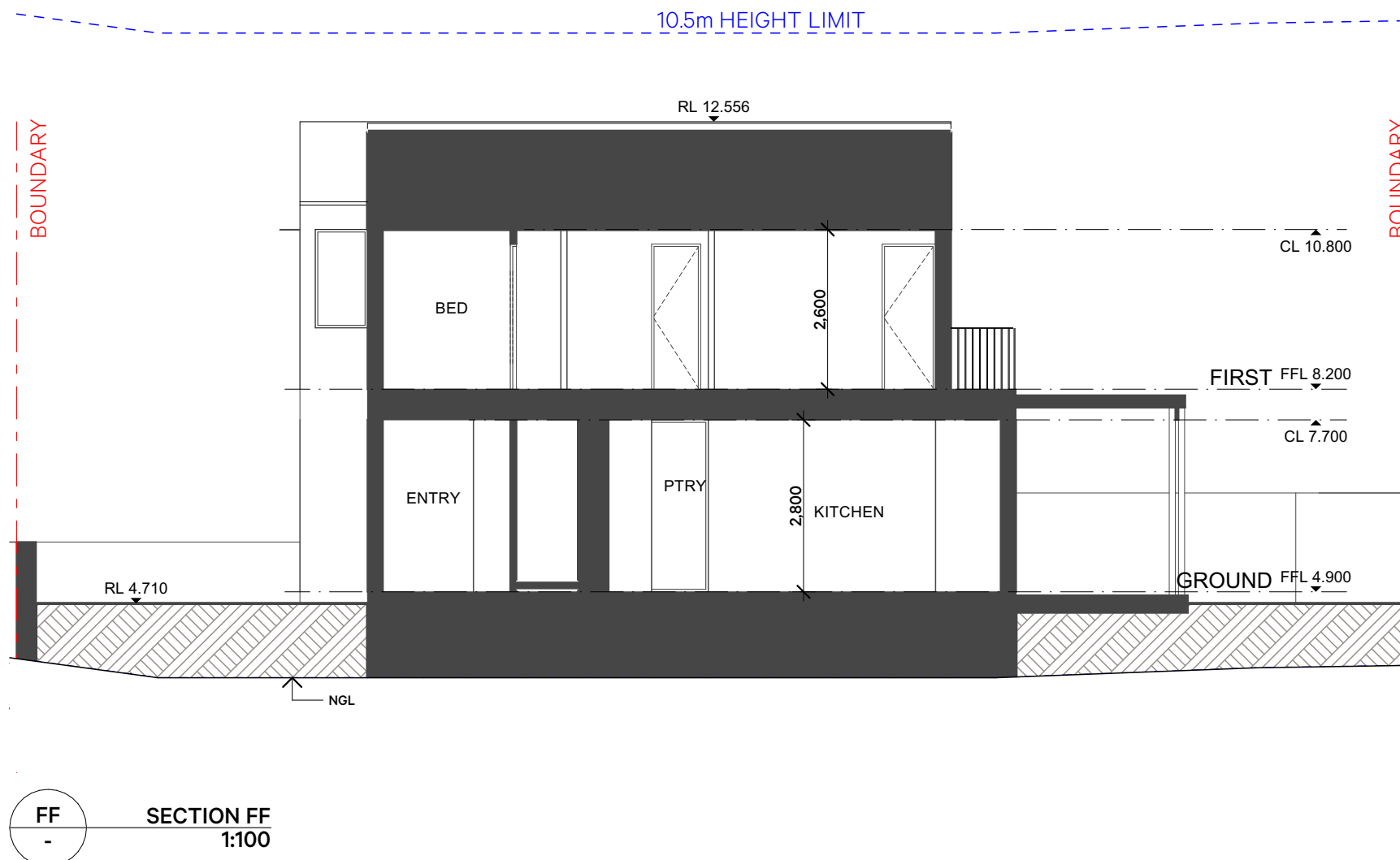
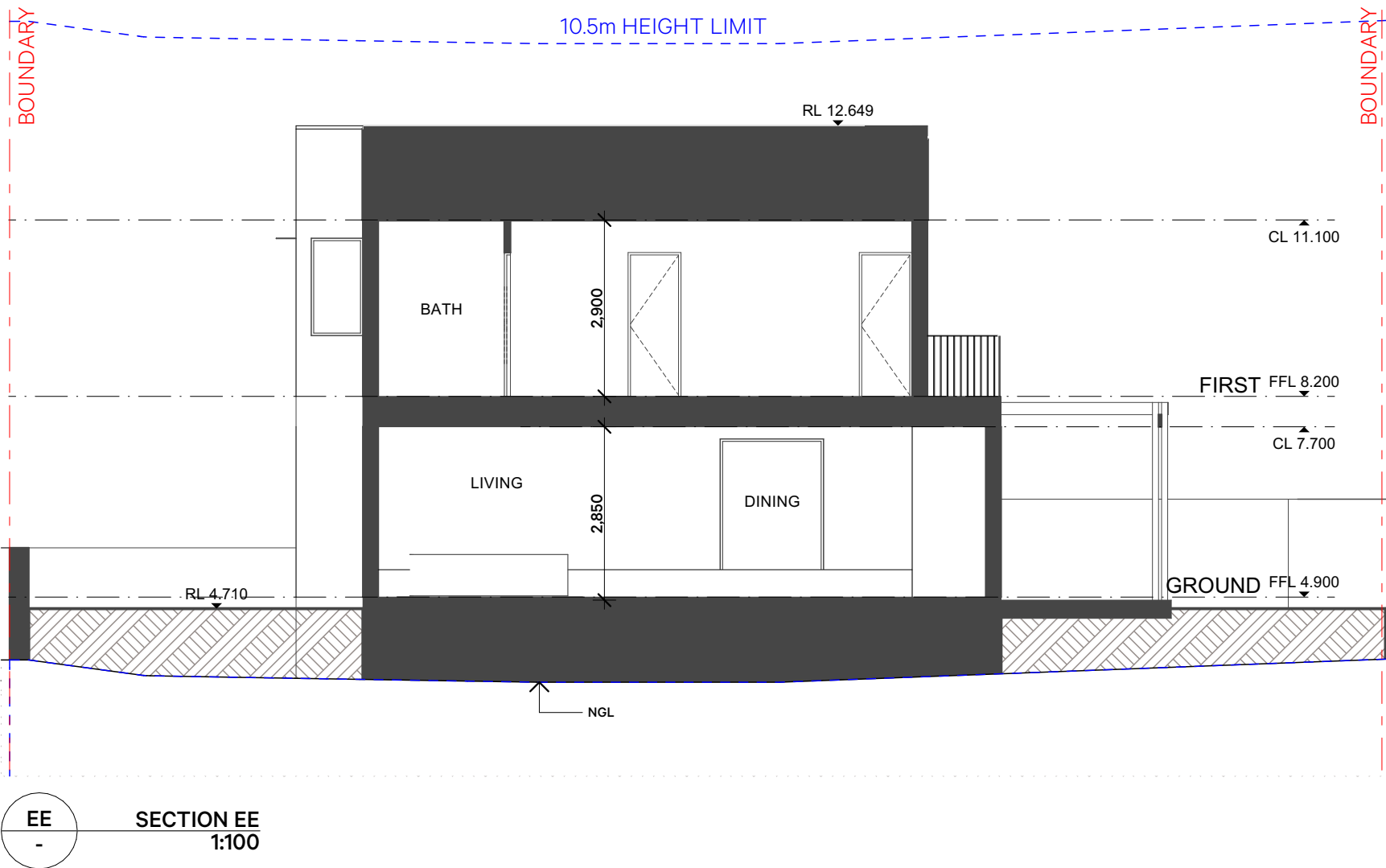
Revisions	#	Date	Description
E	18/02/2025		
F	6/03/2025		
G	20/05/2025		
H	19/06/2025		
I	8/08/2025		

Client
S Loura
Project
WARRIEWOOD
Project Address
43-45 Warriewood Rd Warriewood NSW 2102
Australia
Drawing Name
SECTIONS AA, BB + CC

Project Stage
SCHEMATIC
Scale
1:100
Date
8/08/2025
Drawn
#Contact Full Name
Project Number

2852 TP300 I





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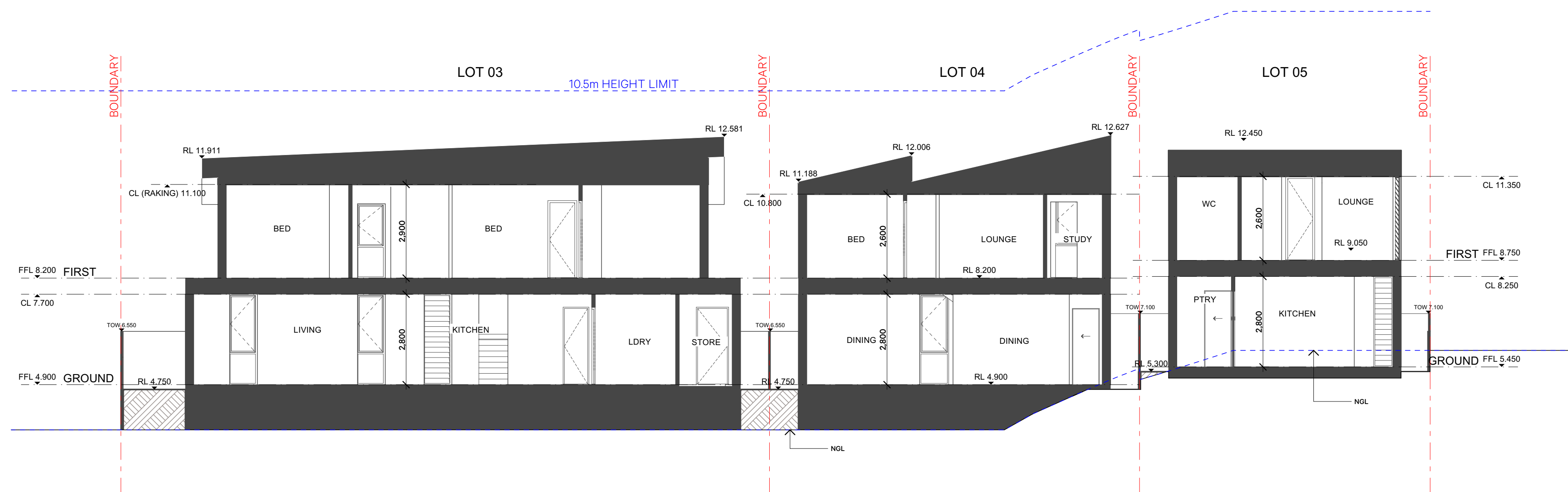
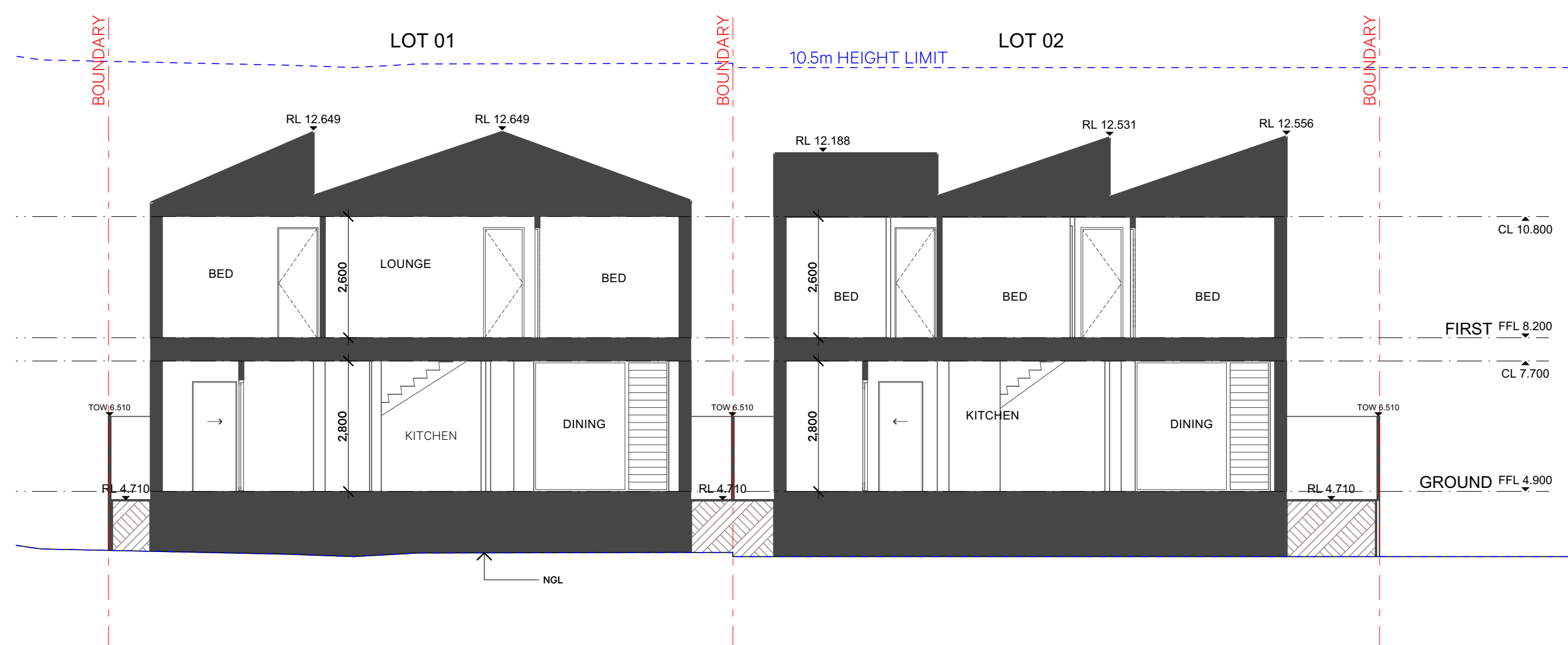
Revisions	#	Date	Description
C	19/12/2024	For Information	
D	7/02/2025	Draft Development Application	
E	18/02/2025	Draft Development Application	
F	6/03/2025	Development Application	
G	20/05/2025	Development Application	
H	19/06/2025	For Information	
I	8/08/2025	Development Application	

Client
S Loura
Project
WARRIEWOOD
Project Address
43-45&49 Warriewood Rd Warriewood NSW 2102
Australia
Drawing Name
SECTIONS EE, FF + GG

Project Stage
Development Application
Scale
1:100
Date
8/08/2025
Drawn
LK
Project Number

2852 TP302 I

CLEY
STUDIO



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Revisions #	Date	Description
F	6/03/2025	Development Application
G	20/05/2025	Development Application
H	19/06/2025	For Information
I	8/08/2025	Development Application

Client
S Louira
Project
WARRIEWOOD
Project Address
43-45&49 Warriewood Rd Wa
Australia
Drawing Name
SECTION HH

Project Stage
Development Application
Scale
1:100
Date
8/08/2025
Drawn

Project Number  Drawing **TP303** Revision **I**



External Window & Door Schedule

ID	Type #
Lot # 1	
D1-100	601
D1-101	503
D1-102	406
D1-103	503
D1-200	406
W1-100	206
W1-101A	116
W1-101B	206
W1-102	112
W1-103A	208
W1-103B	123
W1-200	303
W1-201	303
W1-202	103
W1-203	303
W1-204	202
W1-205	304
W1-206	121
W1-207	304
W1-208	303
Lot # 2	
D2-100	601
D2-101	503
D2-102	406
D2-103	503
D2-200	406
W2-100	206
W2-101A	116
W2-101B	206
W2-102	116
W2-103A	208
W2-103B	112
W2-200	303
W2-201	303
W2-202	103
W2-203	303
W2-204	202
W2-205	304
W2-206	121
W2-207	304
W2-208	202
Lot # 3	
D3-100	602
D3-101	503
D3-102	410
D3-103	410
D3-104	503
D3-200	413
W3-100	305
W3-101	305
W3-102	206
W3-200	306
W3-201	306
W3-202	209
W3-203	124
W3-204	306
W3-205A	303
W3-205B	113
W3-206A	303
W3-206B	113
W3-206C	303
W3-207A	113
W3-207B	303

ID	Type #
Lot # 4	
D4-100	601
D4-101	503
D4-102	401
D4-103	407
D4-104	407
D4-200A	202
D4-200B	404
D4-200C	110
D4-201A	202
D4-201B	404
D4-202	503
W4-100	305
W4-101	305
W4-102	305
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D5-100	601
D5-101	503
D5-102	407
D5-103	502
D5-200	409
D5-201A	120
D5-201B	401
D5-201C	202
D5-202A	202
D5-202B	401
D5-202C	120
W5-100	203
W5-101	107
W5-102	114
W5-200A	303
W5-200B	105
W5-201	121
W5-202	121
W5-203A	121
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W5-205	303
W5-206	303
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D6-101	502
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D6-103	502
D6-104	502
D6-200	402
W6-100	206
W6-101	209
W6-102A	122
W6-102B	206
W6-103	206
W6-104	116
W6-105	206
W6-106	205
W6-200A	201
W6-200B	109
W6-201A	208
W6-201B	112
W6-202A	303
W6-202B	105
W6-203A	105
W6-203B	303
W6-204	106
W6-205	208
W6-206	208
W6-207	210

ID	Type #
Lot # 7	
D7-100	602
D7-101	402
D7-102	412
D7-103	503
D7-104	502
D7-200A	118
D7-200B	404
D7-200C	208
D7-201A	208
D7-201B	404
D7-201C	121
W7-100	209
W7-101A	114
W7-101B	206
W7-102	206
W7-103	117
W7-104	206
W7-105	203
W7-106	206
W7-200	202
W7-201	208
W7-202A	303
W7-202B	105
W7-203A	105
W7-203B	303
W7-204A	105
W7-204B	303
W7-205	202
W7-206	120
Lot # 8	
D8-100	602
D8-101	502
D8-102	412
D8-103	502
D8-200	406
D8-201	402
W8-100A	206
W8-100B	114
W8-101	203
W8-102	206
W8-103	203
W8-200A	301
W8-200B	102
W8-201	201
W8-202	207
W8-203A	109
W8-203B	303
W8-204A	109
W8-204B	303
W8-205A	109
W8-205B	303
W8-206	303
W8-207	202
Lot # 9	
D9-100	602
D9-101	412
D9-102	502
D9-103	502
D9-200A	101
D9-200B	403
D9-200C	208
D9-201A	208
D9-201B	403
W9-100	206
W9-101A	114
W9-101B	206
W9-102	203
W9-103	203
W9-200	121
W9-201	304
W9-202	304
W9-203	304
W9-204	304
W9-205	304
W9-206	304

ID	Type #
Lot # 10	
D10-100	602
D10-101	402
D10-102	412
D10-103	502
D10-104A	204
D10-104B	502
D10-200A	408
D10-200B	208
D10-201A	208
D10-201B	408
D10-201C	104
W10-100A	114
W10-100B	206
W10-102	203
W10-103	203
W10-200	208
W10-201	208
W10-202A	111
W10-202B	302
W10-203	304
W10-204	304
W10-205A	111
W10-205B	302
W10-206	202
Lot # 11	
D11-100	602
D11-101	412
D11-102	502
D11-103A	206
D11-103B	502
D11-200A	405
D11-200B	208
D11-201A	208
D11-201B	405
D11-201C	119
W11-100A	114
W11-100B	206
W11-101	206
W11-102	116
W11-103	203
W11-104	206
W11-200	208
W11-201	208
W11-202	304
W11-203	304
W11-204	304
W11-205A	123
W11-205B	208

External Window & Door Types

Type #	101	102	103	104	105	106	107	108	109	110	111	112	113	114	116	117
Elevation																
Description	Aluminium Fixed Window, Double Glazed	Aluminium Fixed Window, Double Glazed	Aluminium Fixed Window, Double Glazed	Aluminium Fixed Window, Double Glazed	Aluminium Fixed Window, Double Glazed	Aluminium Fixed Window, Double Glazed	Aluminium Fixed Window, Double Glazed	Aluminium Fixed Window, Double Glazed	Aluminium Fixed Window, Double Glazed	Aluminium Fixed Window, Double Glazed	Aluminium Fixed Window, Double Glazed	Aluminium Fixed Window, Double Glazed	Aluminium Fixed Window, Double Glazed	Aluminium Fixed Window, Double Glazed	Aluminium Fixed Window, Double Glazed	Aluminium Fixed Window, Double Glazed
Width	750	850	850	855	900	1,300	1,000	1,125	1,200	1,235	1,300	1,700	1,800	1,800	2,000	2,365
Height	2,600	800	1,600	2,600	1,600	1,600	2,800	2,600	1,600	2,600	1,200	2,600	1,600	2,800	2,800	2,800
Quantity	1	1	2	1	6	1	1	1	4	1	2	3	3	6	5	1
Type #	118	119	120	121	122	123	124	201	202	203	204	205	206	207	208	209
Elevation																
Description	Aluminium Fixed Window, Double Glazed	Aluminium Fixed Window, Double Glazed	Aluminium Fixed Window, Double Glazed	Aluminium Fixed Window, Double Glazed	Aluminium Fixed Window, Double Glazed	Aluminium Fixed Window, Double Glazed	Aluminium Fixed Window, Double Glazed	Aluminium Louvre Window	Aluminium Louvre Window	Aluminium Louvre Window	Aluminium Louvre Window	Aluminium Louvre Window	Aluminium Louvre Window	Aluminium Louvre Window	Aluminium Louvre Window	Aluminium Louvre Window
Width	510	362	600	900	900	2,000	1,000	600	600	600	779	856	900	900	900	900
Height	2,600	2,600	2,600	2,600	2,800	2,600	2,300	1,600	2,600	2,800	2,800	2,800	2,800	1,600	2,600	2,300
Quantity	1	1	3	8	1	2	1	2	13	9	1	1	22	1	19	3
Type #	210	301	302	303	304	305	306	401	402	403	404	405	406	407		
Elevation																
Description	Aluminium Louvre Window	Aluminium Casement Window, Double Glazed	Aluminium Casement Window, Double Glazed	Aluminium Casement Window, Double Glazed	Aluminium Casement & Fixed Window, Double Glazed	Aluminium Casement & Fixed Window, Double Glazed	Aluminium Casement & Fixed Window, Double Glazed	Aluminium 2 Panel Single Slider, Double Glazed	Aluminium 2 Panel Single Slider, Double Glazed	Aluminium 2 Panel Single Slider, Double Glazed	Aluminium 2 Panel Single Slider, Double Glazed	Aluminium 2 Panel Single Slider, Double Glazed	Aluminium 2 Panel Single Slider, Double Glazed	Aluminium 2 Panel Single Slider, Double Glazed		
Width	900	900	900	900	900	900	900	1,800	2,000	2,350	2,400	2,938	3,000	3,000		
Height	1,400	800	1,200	1,600	2,600	2,800	2,300	2,600	2,600	2,600	2,600	2,600	2,600	2,800		
Quantity	1	1	2	27	15	5	3	3	4	2	4	2	5	3		
Type #	408	409	410	412	413	502	503	601	602							
Elevation																
Description	Aluminium 2 Panel Single Slider, Double Glazed	Aluminium 3 Panel Single Slider, Double Glazed	Aluminium 2 Panel Single Slider, Double Glazed	Aluminium 2 Panel Single Slider, Double Glazed	Aluminium 3 Panel Single Slider, Double Glazed	Aluminium Glazed Hinged Door with Transom Window, Double Glazed	Aluminium Glazed Hinged Door, Double Glazed	Steel Garage Door	Steel Garage Door							
Width	3,202	3,450	3,400	3,600	3,600	920	920	2,800	5,000							
Height	2,600	2,600	2,400	2,800	2,300	2,400	2,400	2,850	2,850							
Quantity	2	1	2	6	1	13	10	4	7							



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I	8/08/2025	Development Application	

Client
S Loura
Project
WARRIEWOOD
Project Address
43-45&49 Warriewood Rd Warriewood NSW 2102
Australia

Drawing Name
WINDOW & DOOR
SCHEDULE

Project Stage
Development Application
Scale

Date
8/08/2025

Drawn
LK

Project Number

Drawing

Revision

2852 TP400



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I	8/08/2025	Development Application	

Client
S Loura
Project
WARRIEWOOD
Project Address
43-45&49 Warriewood Rd Warriewood NSW 2102
Australia
Drawing Name
SHADOW DIAGRAM 9AM

Project Stage
Development Application
Scale
1:250
Date
8/08/2025
Drawn
LK
Project Number
2852

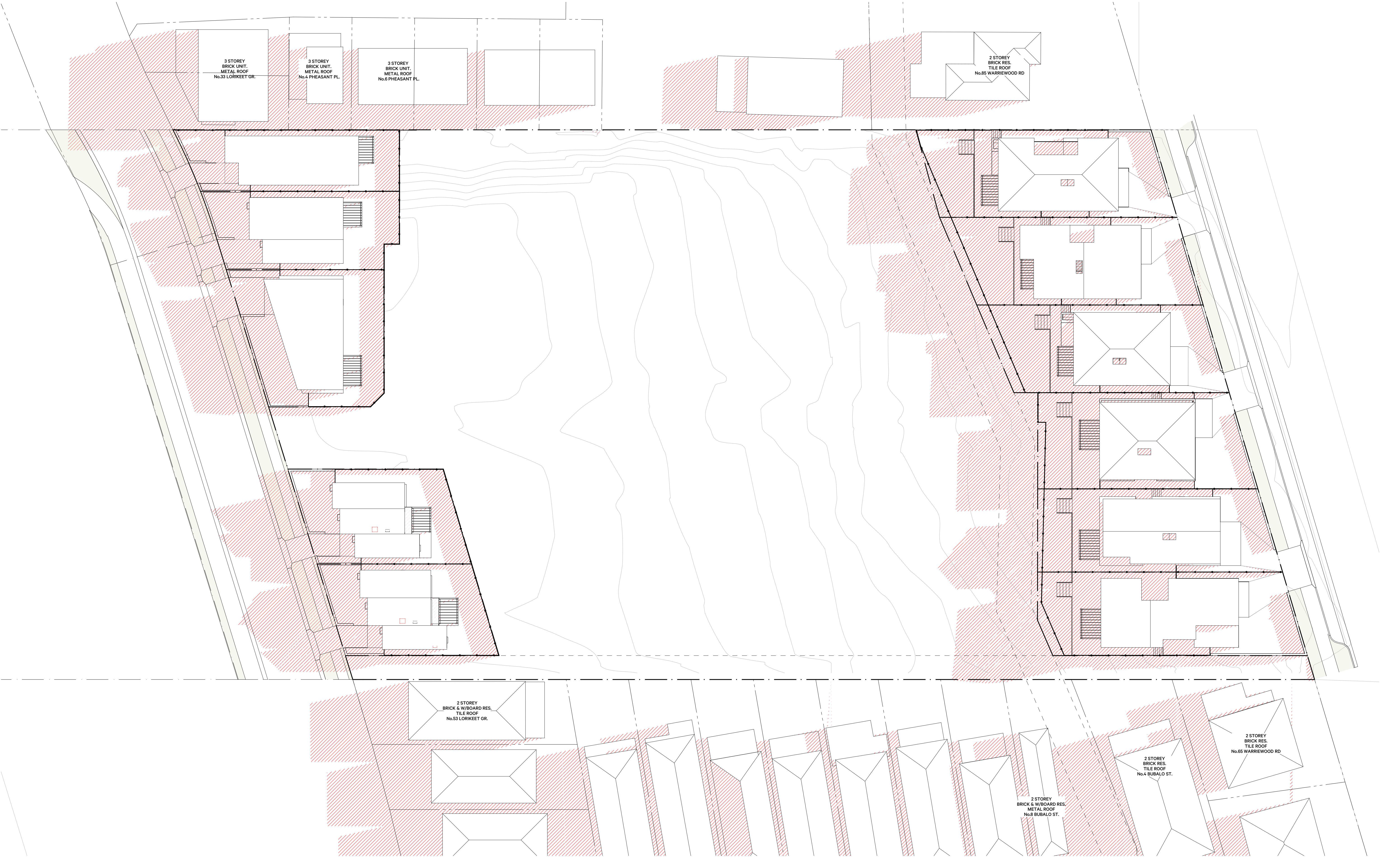


Drawing

TP500

Revision

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I	8/08/2025	Development Application	

Client
S Loura
Project
WARRIEWOOD
Project Address
43-45 Warriewood Rd Warriewood NSW 2102
Australia
Drawing Name
SHADOW DIAGRAM
10AM

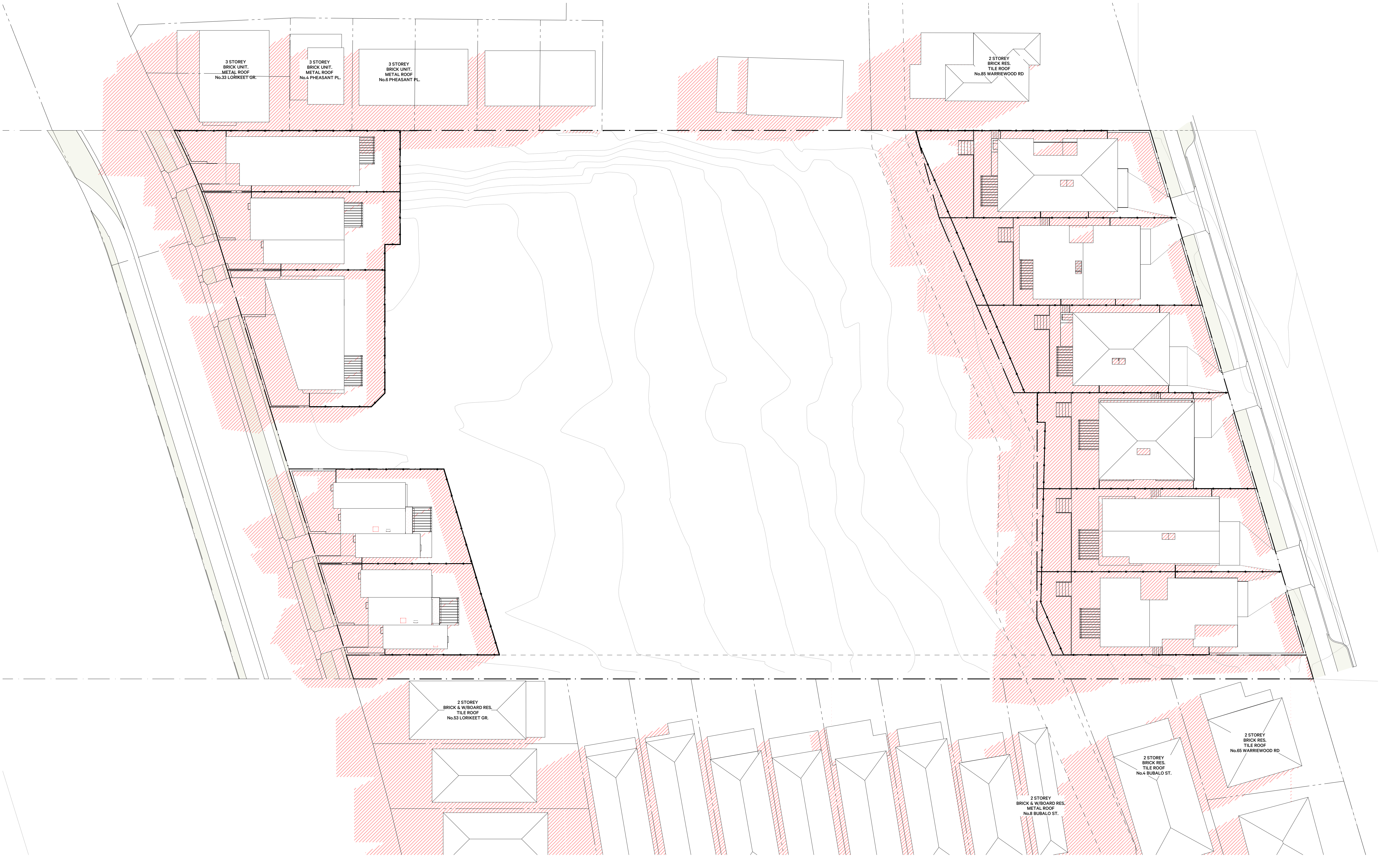
Project Stage
Development Application
Scale
1:250
Date
8/08/2025
Drawn
LK
Project Number
2852

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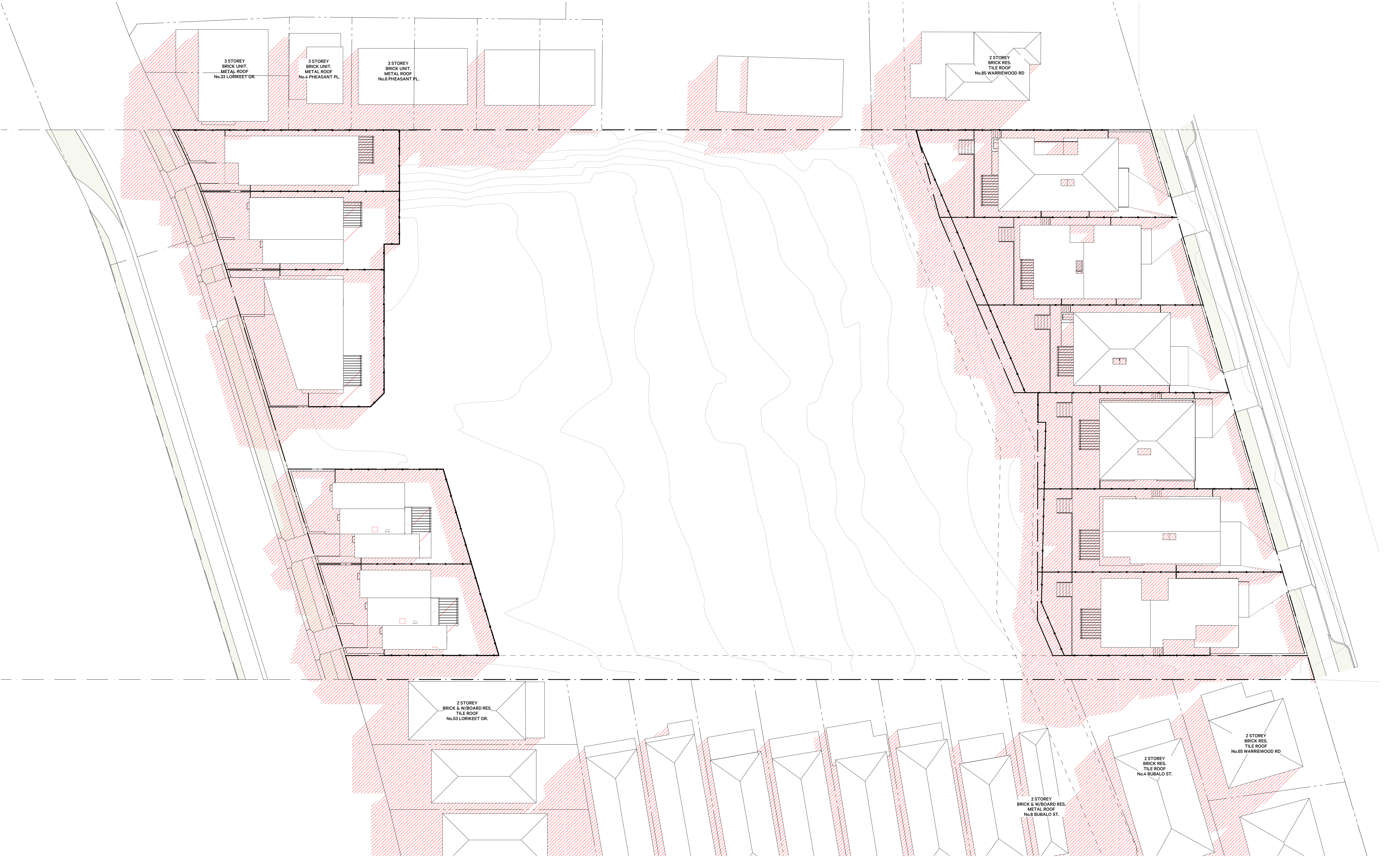
Client
S Loura
Project
WARRIEWOOD
Project Address
43-45&49 Warriewood Rd Warriewood NSW 2102
Australia
Drawing Name
SHADOW DIAGRAM
11AM

Project Stage
Development Application
Scale
1:250
Date
8/08/2025
Drawn
LK
Project Number
2852

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I	8/08/2025	Development Application	

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Project
WARRIEWOOD
Project Address
43-45/49 Warriewood Rd Warriewood NSW 2102
Australia
Drawing Name
SHADOW DIAGRAM
12PM

Project Stage
Development Application
Scale
1:250
Date
8/08/2025
Drawn
LK
Project Number
2852

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WARRIEWOOD
Project Address
43-45Warriewood Rd Warriewood NSW 2102
Australia
Drawing Name
SHADOW DIAGRAM 1PM

Project Stage
Development Application
Scale
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Robert Romanous

ABSA 101535

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Project Address
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Australia
Drawing Name
SHADOW DIAGRAM 2PM

Project Stage
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Date
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Project Number

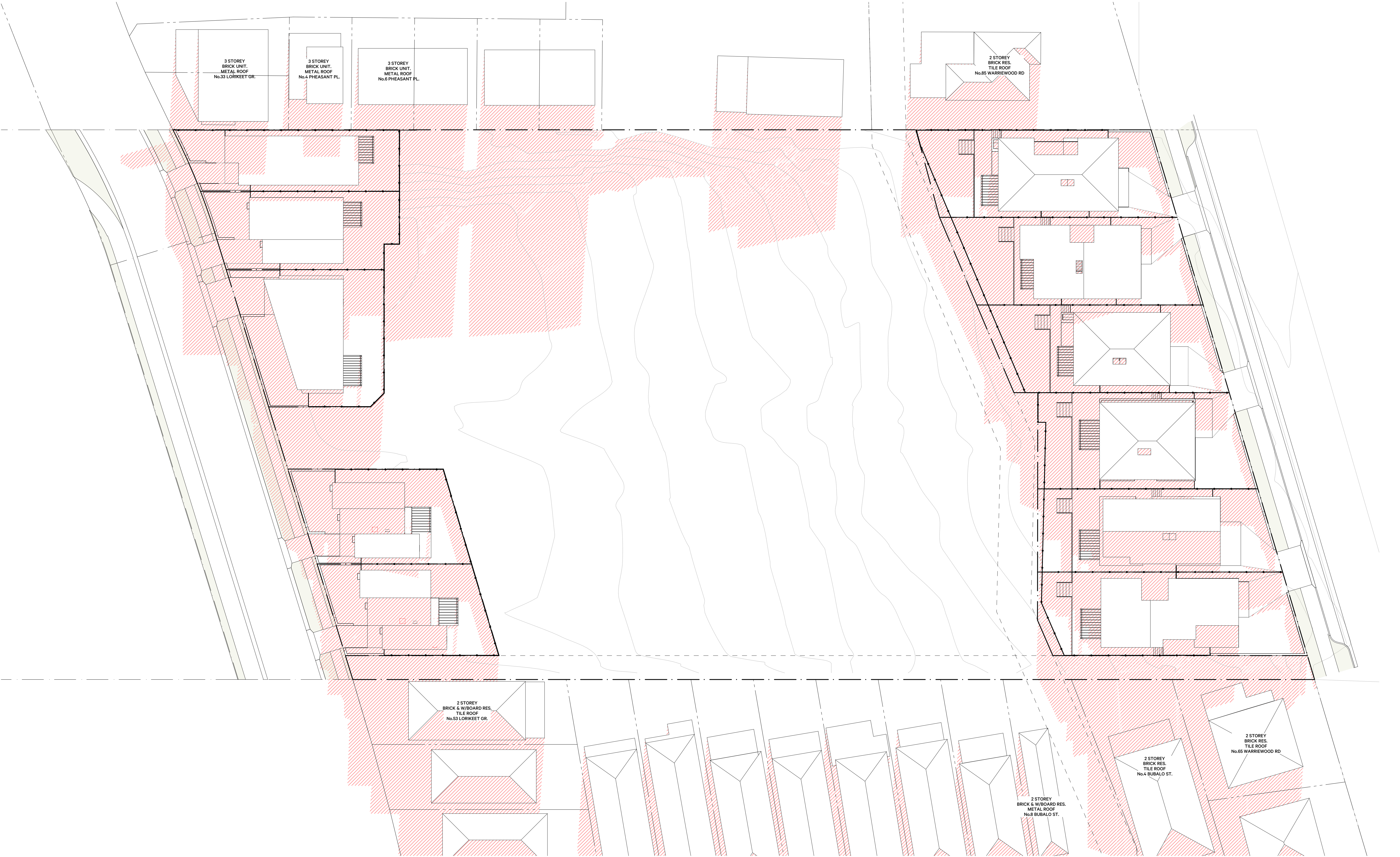
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Project
WARRIEWOOD
Project Address
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Australia
Drawing Name
SHADOW DIAGRAM 3PM

Project Stage
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