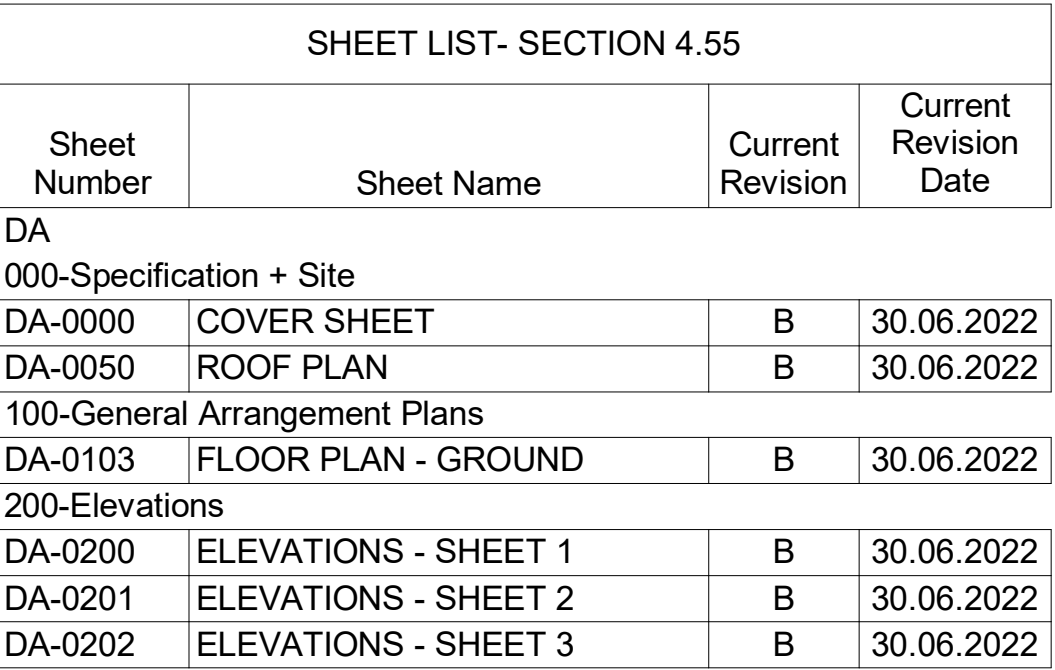


WARRINGAH ROAD & WAKEHURST PARKWAY, FRENCHS FOREST



SHEET LIST- SECTION 4.55			
Sheet Number	Sheet Name	Current Revision	Current Revision Date
DA			
000-Specification + Site			
DA-0000	COVER SHEET	B	30.06.2022
DA-0050	ROOF PLAN	B	30.06.2022
100-General Arrangement Plans			
DA-0103	FLOOR PLAN - GROUND	B	30.06.2022
200-Elevations			
DA-0200	ELEVATIONS - SHEET 1	B	30.06.2022
DA-0201	ELEVATIONS - SHEET 2	B	30.06.2022
DA-0202	ELEVATIONS - SHEET 3	B	30.06.2022

DRAWING STATUS:			
DEVELOPMENT APPLICATION			
Rev	Revision Description		Date
A	Section 4.55 Update		23.06.2022
B	For Section 4.55 application		30.06.2022

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4. All work to be carried out in accordance with the requirements of the principal certifying authority, current NCC & Australian standards.

NOTE: EASEMENTS INDICATIVE, TBC AS CURRENTLY UNDER REVIEW

NOTE:
EASEMENTS SUBJECT TO FINAL SURVEY

Client
GenesisCare
11/41-43 Bourke Rd
Alexandria, NSW 2015

Forest Central Business Park
Construction 9 PtyLtd ACN: 613 108 795
L1 55 Grandview St, Pymble, NSW 2073

TEAM
ARCHITECTS

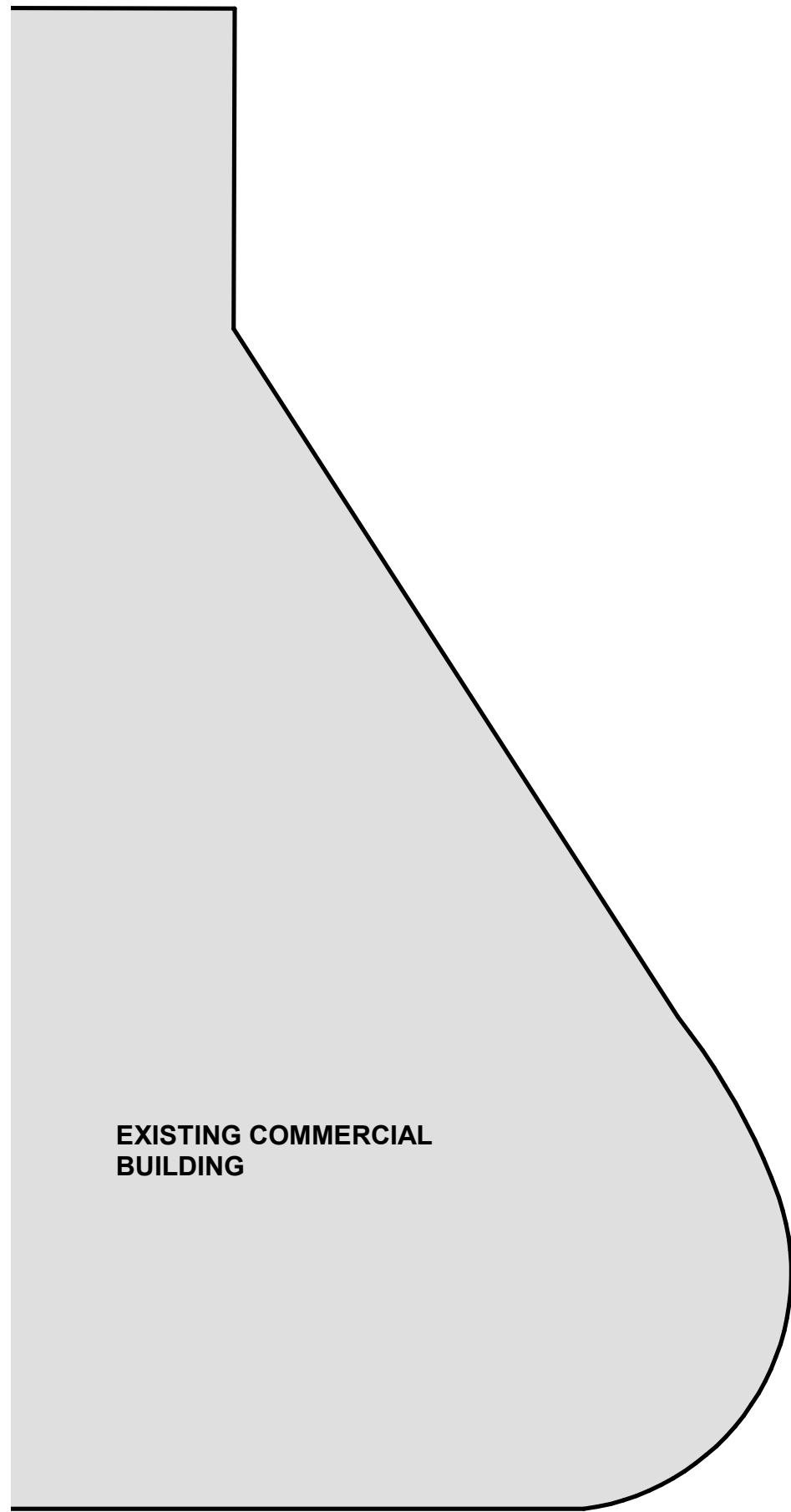
SYDNEY
Unit 145 Chandos Street,
St Leonards NSW 2065
T: + 61 2 9437 3166
E: info@team2.com.au
Reg NSW: 9940

MELBOURNE
Suite 204/9-11 Clarendon Street,
South Yarra VIC 3141
ABN: 72 104 833 507
Reg Vic: 19340

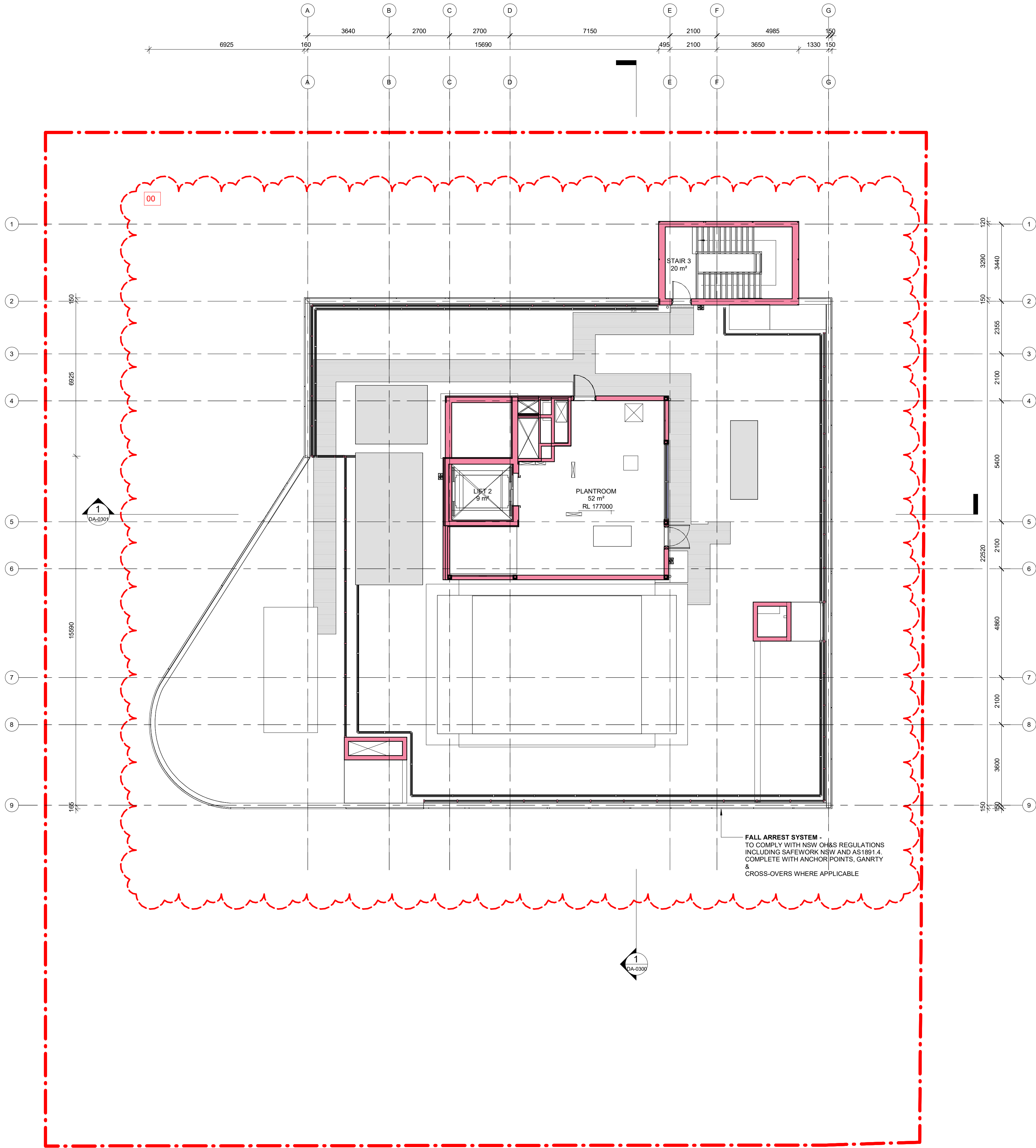
Project Maui, Frenches Forest
Warringah Road & Wakehurst
Parkway

COVER SHEET

Project #: 856	Scale: 1 : 50	Dwn: @A	Ckd:
Drawing #: DA-0000	Rev: B		



EXISTING COMMERCIAL BUILDING



SCHEDULE OF CHANGES

00. Change in layout and heights of plant and mechanical overruns. External louvre screening updated to suit.
1. Hydrant booster relocated
2. Stair and glazing shifted inwards
3. Landscaping updated
4. Row of panels added
5. Louvre size updated
6. Window shifted to accomodate columns
7. Levels updated
8. Service penetrations added
9. Sprinkler control valve, booster assembly and hydrant booster assembly moved.
10. Height lowered by 360mm
11. Changed from curved glazing to polygonal
12. Louvre removed
13. Balustrade deleted
14. Width reduced
15. Increased by 25mm
16. Change to layout and height of overruns.
17. Louvres extended
18. Window size reduced
19. Glazing and Louvre layout and sizes updated
20. Louvres deleted, glazing reduced
21. Reduced from 150 before
22. Bollards removed
23. Planter bed height, balustrade length increased
24. Window height reduced by 200mm
25. Height reduced
26. Height increased by 200
27. Finishes updated

DRAWING STATUS:		
DEVELOPMENT APPLICATION		
Rev	Revision Description	Date
A	Section 4.55 Update	23.06.2022
B	For Section 4.55 application	30.06.2022

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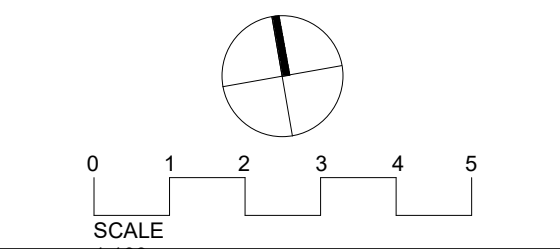
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- NO DIMENSIONS INDICATIVE, TBC AS CURRENTLY UNDER REVIEW
- PROPOSED WALLS & FLOORS
 - NEIGHBOURING EXISTING BUILDINGS
 - EXISTING PLANTING
 - PROPOSED PLANTING
 - DEMOLITION/EXCAVATION AREA

NOTE: EASEMENTS SUBJECT TO FINAL SURVEY

Client
GenesisCare
11/41-43 Bourke Rd
Alexandria, NSW 2015

Client
Forest Central Business Park
Construction 9 PtyLtd ACN: 613 108 795
L1 55 Grandview St, Pymble, NSW 2073



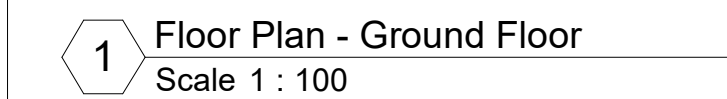
TEAM 2
ARCHITECTS
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T: + 61 2 9437 3166
E: info@team2.com.au
Reg NSW: 9940
MELBOURNE Suite 204/9-11 Clarendon Street, South Yarra VIC 3141
ABN: 72 104 833 507
Reg Vic: 19340

Project
Project Maui, Frenches Forest
Warringah Road & Wakehurst Parkway

Title
ROOF PLAN

Product #	Scale	Drawn	Checked
856	As	EP	VM
Drawing #		Revised	By
DA-0050		Indicated	B

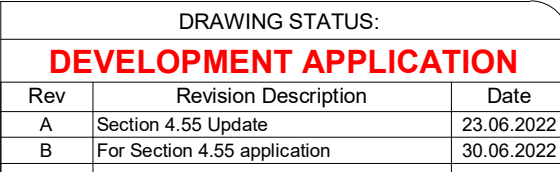
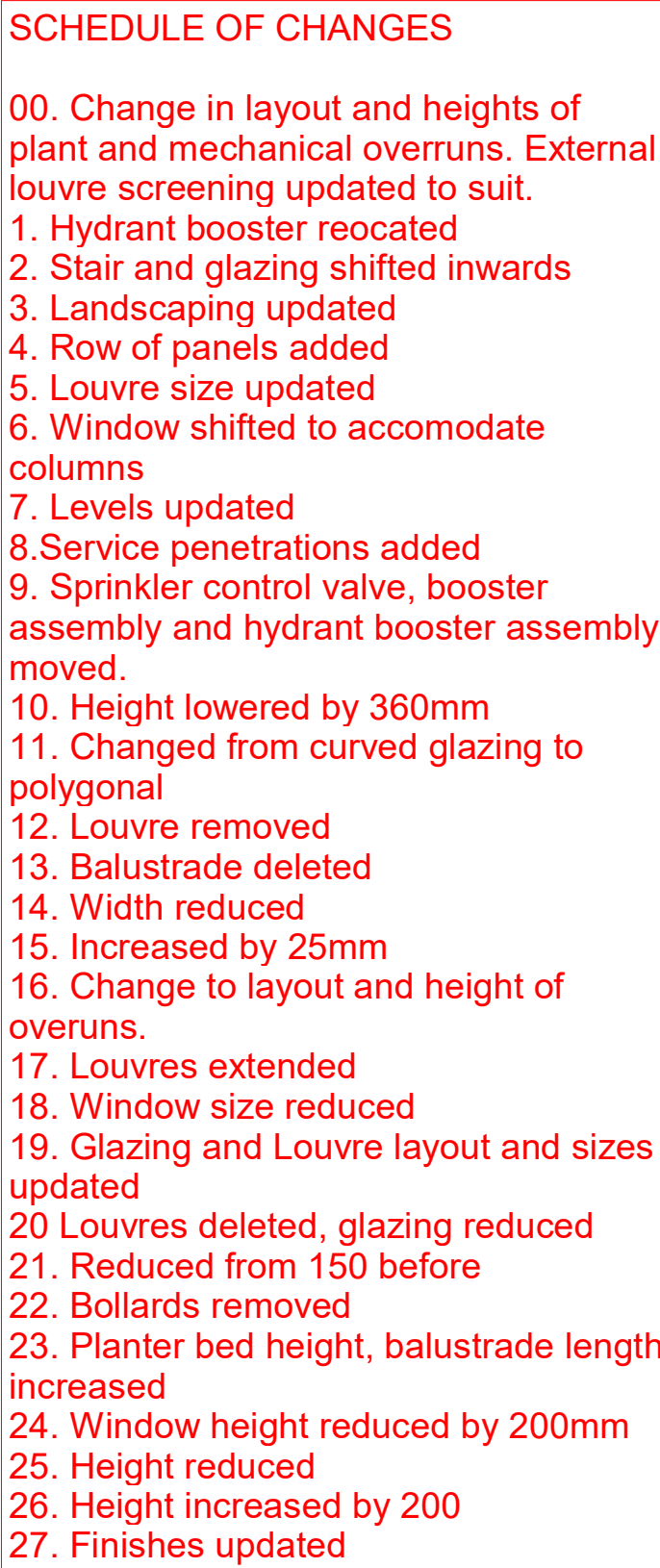
1 Floor Plan - Roof
Scale 1 : 100



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NOTE: EASEMENTS INDICATIVE, TBC AS CURRENTLY UNDER REVIEW.

主 DA-0103	indicated	Rev B
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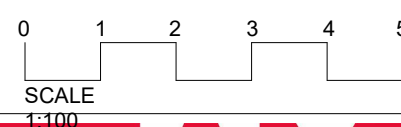
DRAWING

- LEGEND**
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NOTE: EASEMENTS INDICATIVE, TBC AS CURRENTLY UNDER REVIEW

Client
GenesisCare
11/41-43 Bourke Rd
Alexandria, NSW 2015

Client
Forest Central Business Park
Construction 9 PtyLtd ACN: 613 108 795
L1 55 Grandview St, Pymble, NSW 2073



1:100

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ABN: 72 104 833 507
Reg Vic: 19340

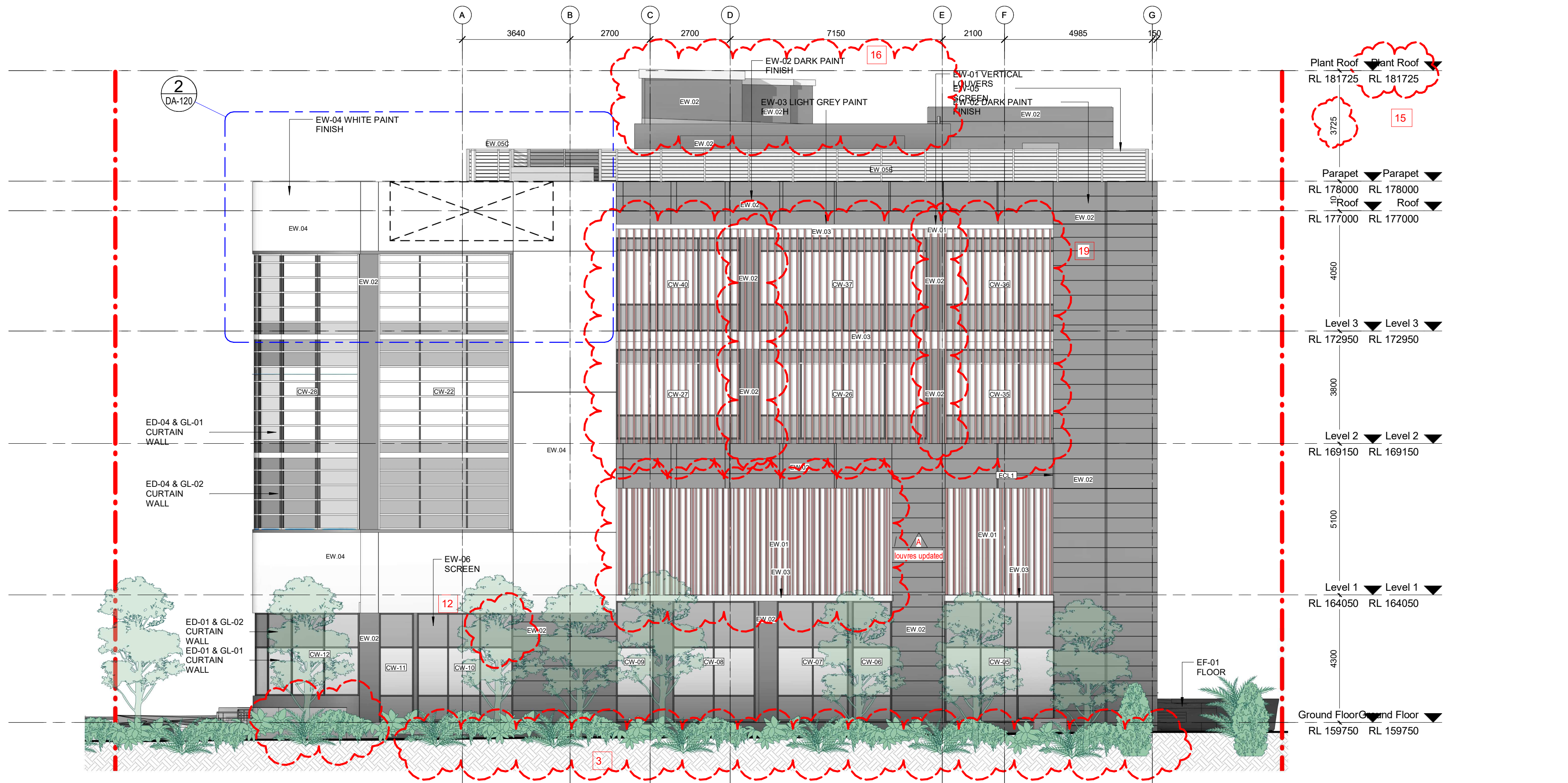
Project:
Project Maui, Frenches Forest
Warringah Road & Wakehurst
Parkway

Title:
ELEVATIONS - SHEET 1

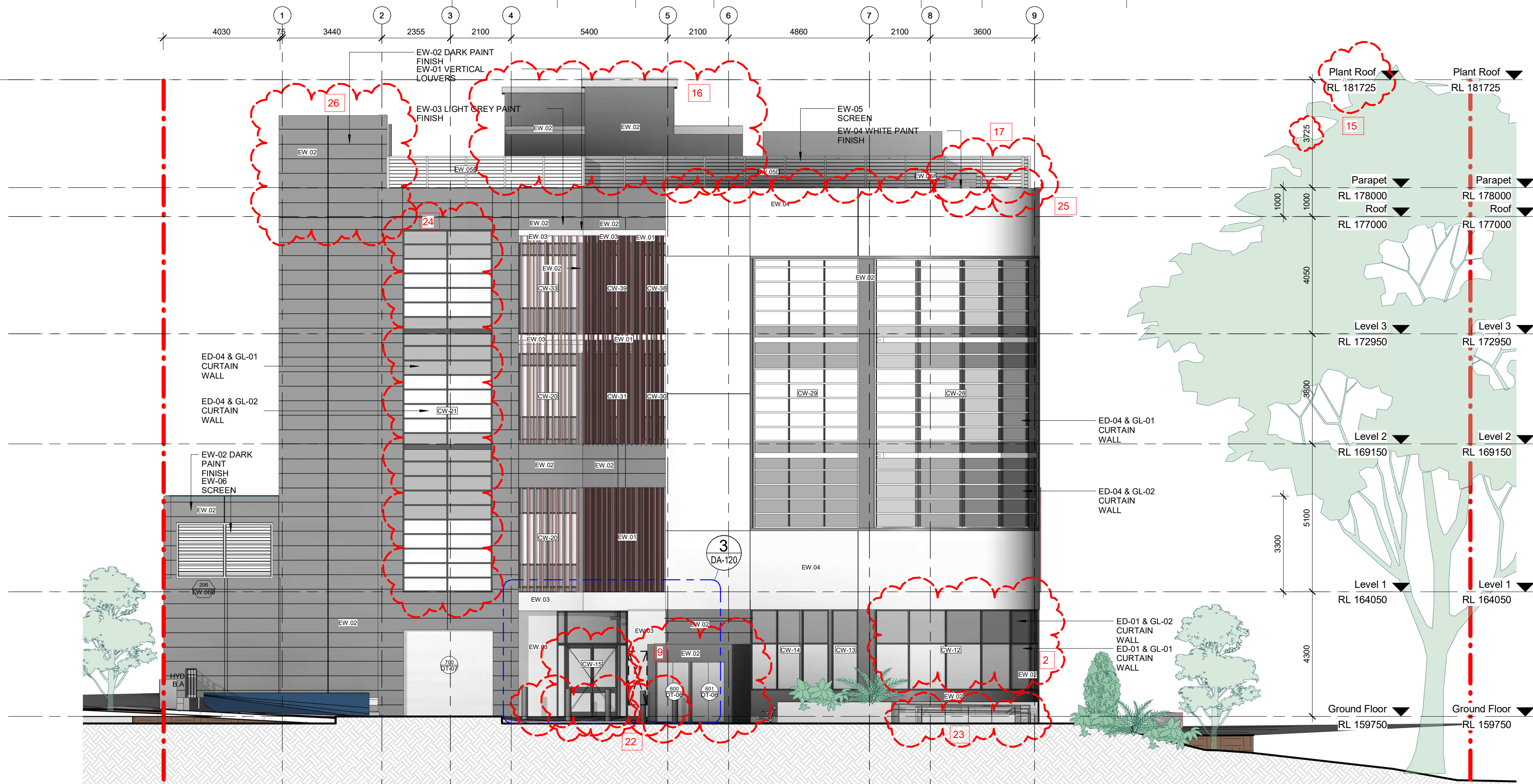
<u>Project #:</u> 856	<u>Scale:</u> As @A	<u>Dwg:</u> SG	<u>Ckd:</u> VM
--------------------------	------------------------	-------------------	-------------------

DA-0200 indicate

E



1 South Elevation
Scale 1 : 100



2 West Elevation
Scale 1 : 100

SCHEDULE OF CHANGES

00. Change in layout and heights of plant and mechanical overruns. External louvre screening updated to suit.
1. Hydrant booster reocated
2. Stair and glazing shifted inwards
3. Landscaping updated
4. Row of panels added
5. Louvre size updated
6. Window shifted to accomodate columns
7. Levels updated
8. Service penetrations added
9. Sprinkler control valve, booster assembly and hydrant booster assembly moved.
10. Height lowered by 360mm
11. Changed from curved glazing to polygonal
12. Louvre removed
13. Balustrade deleted
14. Width reduced
15. Increased by 25mm
16. Change to layout and height of overuns.
17. Louvres extended
18. Window size reduced
19. Glazing and Louvre layout and sizes updated
20. Louvres deleted, glazing reduced
21. Reduced from 150 before
22. Bollards removed
23. Planter bed height, balustrade length increased
24. Window height reduced by 200mm
25. Height reduced
26. Height increased by 200
27. Finishes updated

DRAWING STATUS:

DEVELOPMENT APPLICATION		
Rev	Revision Description	Date
A	Section 4.55 Update	23.06.2022
B	For Section 4.55 application	30.06.2022

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NOTE: EASEMENTS INDICATIVE, TBC AS CURRENTLY UNDER REVIEW

Client
GenesisCare
11/41-43 Bourke Rd
Alexandria, NSW 2015

Client
Forest Central Business Park
Construction 9 Pty Ltd ACN: 613 108 795
L1 55 Grandview St, Pymble, NSW 2073

0 1 2 3 4 5
SCALE
1:100
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E: info@team2.com.au
Reg NSW: 9940 ABN: 72 104 833 507
Reg Vic: 19340

Project
Project Maui, Frenches Forest
Warringah Road & Wakehurst
Parkway

Title
ELEVATIONS - SHEET 2

Project #	Scale	Dwg.	Out.
856	As	SG	VM

Drawing #	Indicated	Box
DA-0201		B

19-635 GENESIS MAUI PLANT SCHEDULE					
CODE	BOTANIC NAME	COMMON NAME	MATURE SIZE (h x w) (m)	PROPOSED POT SIZE	QUANTITY
	TREES & PALMS				
Ep	<i>Eucalyptus piperita</i>	Sydney Peppermint	15 x 5	100L	1
TI	<i>Tristaniopsis laurina</i>	Water Gum	15 x 6	100L	2
	SHRUBS & ACCENTS				
Ac	<i>Alpinia caerulea</i>	Native Ginger	2 x 2	200mm	7
	STREET MATRIX 01				
Ag	<i>Anigozanthos Spp.</i>	Kangaroo Paws	1.5 x 1.5	150mm	75
Cm	<i>Carpobrotus menziesii</i>	Native Pigface	0.15 x spreading	150mm	75
LT	<i>Lomandra 'Tanika'</i>	Mat Rush	0.6 x 0.6	150mm	75
	NATIVE SHADE MATRIX 02				
LI	<i>Lomandra longifolia</i>	Spiny Headed Mat Rush	0.7 x 0.5	200mm	6
Vh	<i>Viola hederacea</i>	Native violet	0.25 x spreading	150mm	6
Dr	<i>Dichondra repens</i>	Kidney Weed	0.2 x spreading	150mm	6
	NATIVE GRASS MATRIX 03				
LI	<i>Lomandra longifolia</i>	Spiny Headed Mat Rush	1 x 1	150mm	131
PE	<i>Poa labillardieri 'Eskdale'</i>	Tussock Grass	0.5 x 0.5	150mm	131
Ta	<i>Themeda australis</i>	Kangaroo Grass	1 x 1	150mm	131
Dc	<i>Dianella caerulea</i>	Blue flax- lily	0.5 -1 x 0.5	150mm	131

SCHEDULE OF CHANGES:
18. Plant Schedule updated.

A	S. 4.55 Modification	FL	VO	05.04.22
Issue	Revision Description	Drawn	Check	Date

Not for Construction

Project

Maui - Healthcare
Warringah Road & Wakehurst
Parkway, Frenchs Forest, NSW
Section 4.55 Modification

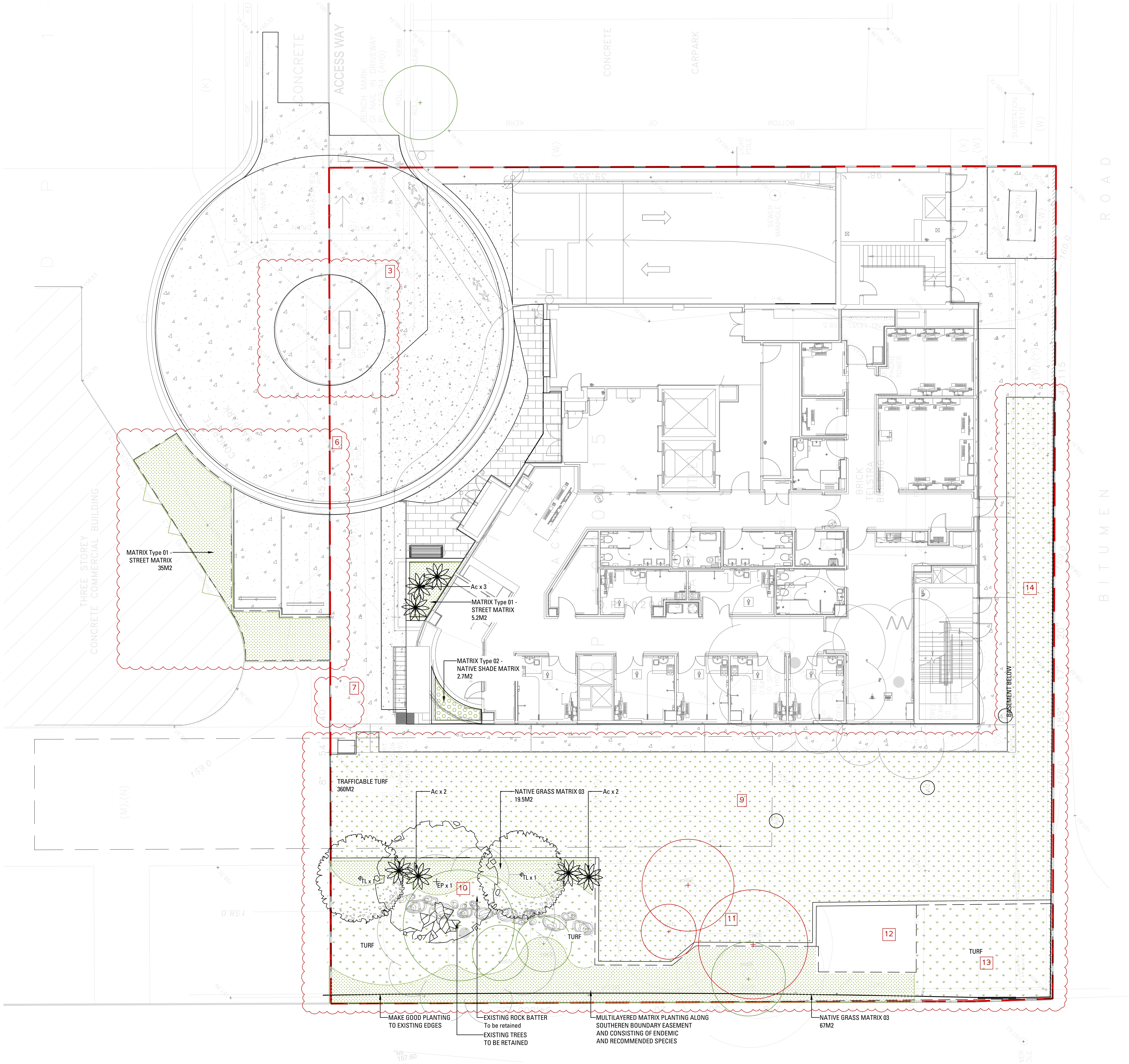
Client	Genesis Care 11/ 41-43 Bourke Rd, Alexandria, NSW, 2015 (02) 8236 3300
Architect	Team 2 701/1 Chandos Street, St Leonards, NSW, 2065 (02) 9437 3166

Drawing No.	Drawing Name
L-400	Plant Schedule

Job No.	19-635
Issue	A
Scale	NA @ A1

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Wharf, 26-32 Pirrama Road,
Pyrmont NSW 2009
E sydney@arcadiala.com.au
T 02 8571 2900





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Legend

SOFTWORKS

- EXISTING TREES TO BE RETAINED
Refer Landscape Specification
- EXISTING TREES TO BE REMOVED
Refer Landscape Specification
- FEATURE TREE PLANTING
Refer Landscape Specification
- SHRUB AND ACCENT PLANTING
Refer Landscape Specification
- GROUND COVER PLANTING
Refer Landscape Specification
- MATRIX PLANTING
Refer Landscape Specification
- TURF
Refer Landscape Specification
- REINFORCED/ TRAFFICABLE TURF
Refer Civil Engineer's Documentation

SCHEDULE OF CHANGES:

- 3: Planting removed to provide required access.
- 6: Landscape treatment to edges added.
- 7: Path width revised to provide required access. Planting removed.
- 9: Planting removed and replaced with trafficable turf.
- 10: Tree and understory planting revised due to access constraints.
- 11: Existing trees to be removed due to access constraints.
- 12: Planting removed and substation added.
- 13: Emergency access added.
- 14: Planting removed and replaced with trafficable turf along Eastern boundary.

A	S. 4.55 Modification	FL	VO	05.04.22
Issue	Revision Description	Drawn	Check	Date

Not for Construction

Project

Maui - Healthcare
Warringah Road & Wakehurst
Parkway, Frenchs Forest, NSW
Section 4.55 Modification

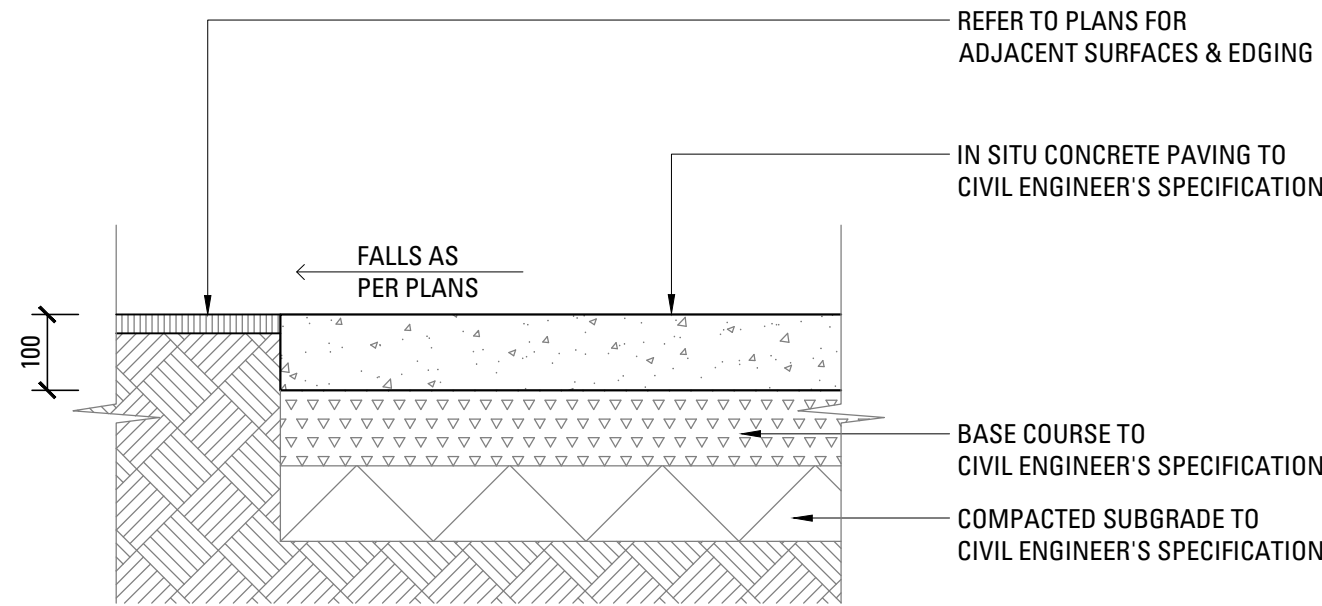
Client Genesis Care
11/14-43 Bourke Rd, Alexandria, NSW, 2015
(02) 8236 3300
Architect Team 2
701/1 Chandos Street, St Leonards, NSW, 2065
(02) 9437 3166

Drawing No. L-401
Drawing Name Planting Plan

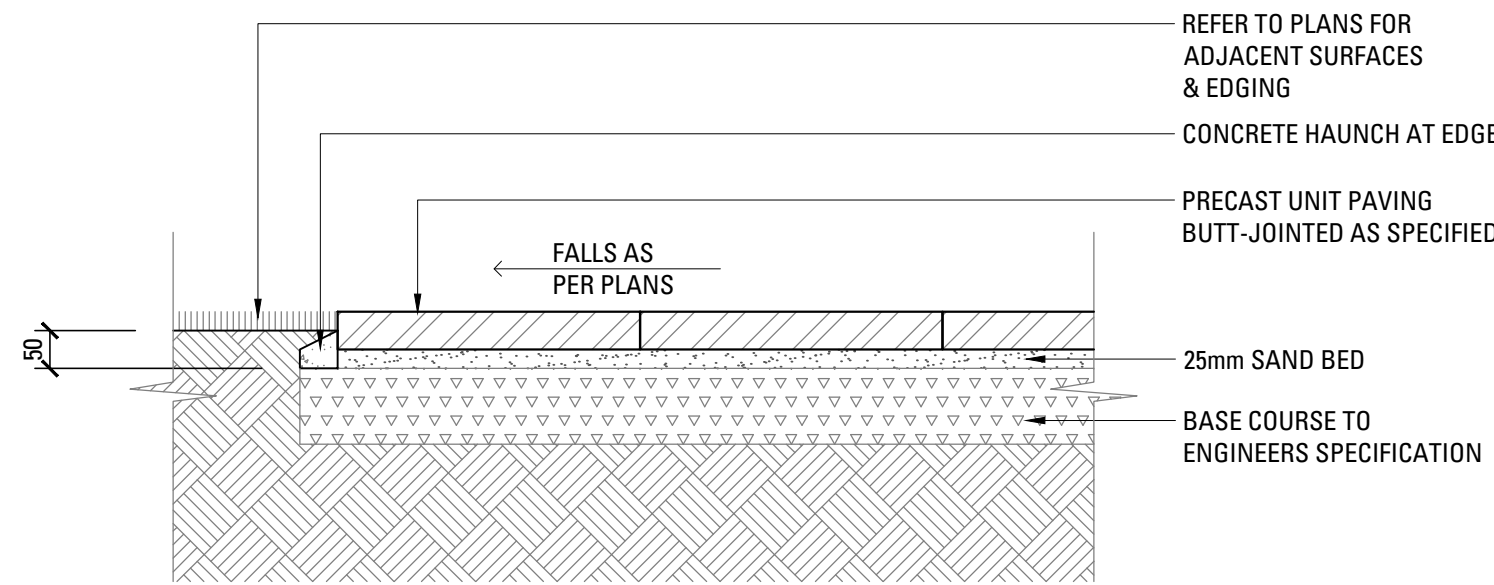
Job No. 19-635
Issue A
Scale 1:100 @ A1
0 1 2 3 4 5m

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Pyrmont NSW 2009
E sydney@arcadia.com.au
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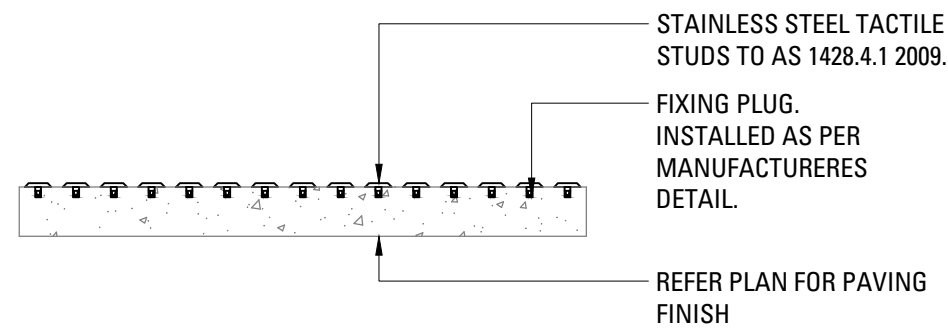
ARCADIA



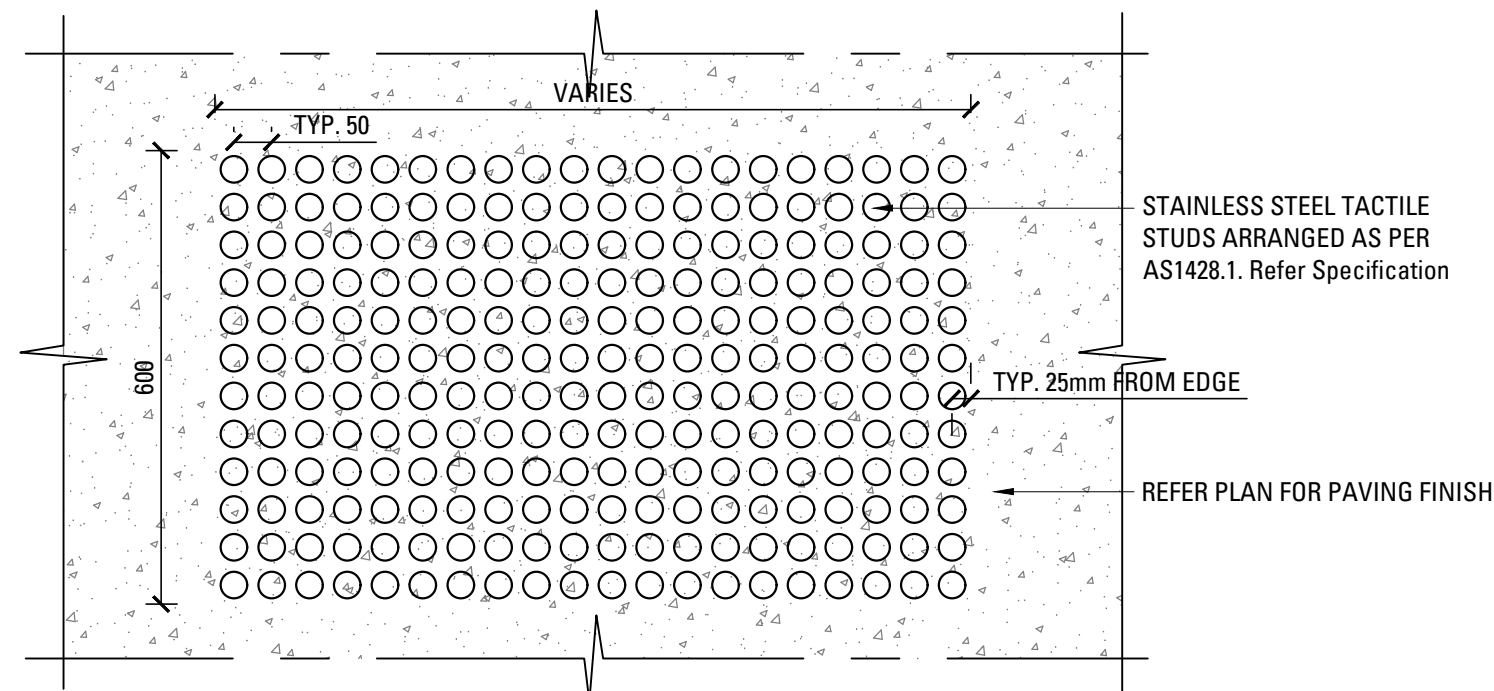
01 PAVING Type P1, P2, -INSITU CONCRETE PAVING
601 SCALE 1:10



02 PAVING Type P3 - PRECAST UNIT PAVERS ON GRADE
601 SCALE 1:10



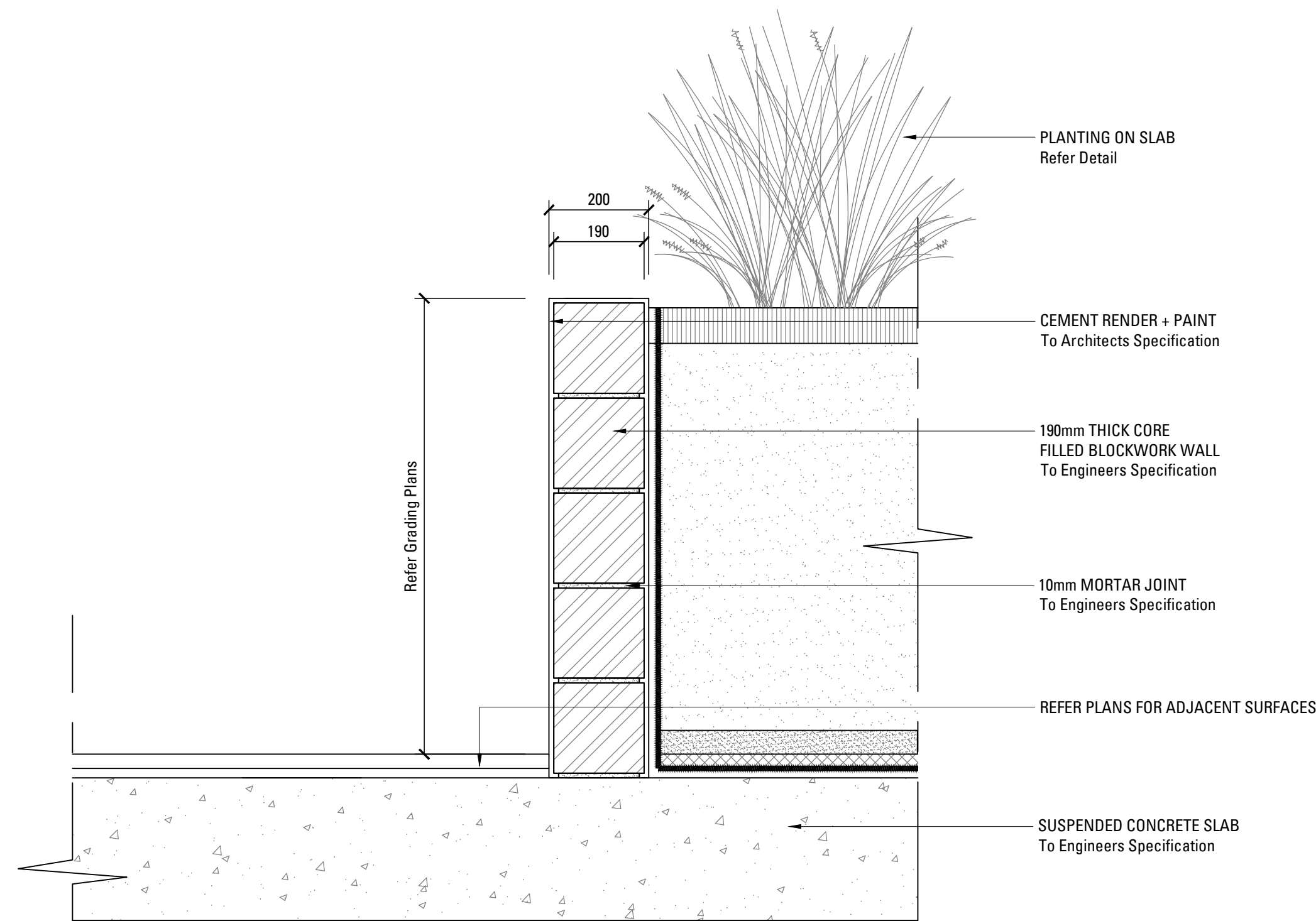
03 TGSi - TACTILE INDICATORS
601 SCALE 1:10



04 TGSi - TACTILE INDICATORS - TYPICAL PLAN
601 SCALE 1:10

I:\Projects\19-635 Genesis- Maui\Images\Furniture\Screenshot_2021-04-01 MoS Dxlxy Seat.png

05 FURNITURE Type F1 - TIMBER BENCH SEAT
601 NTS



06 RETAINING WALL Type W1 - 190mm CONCRETE BLOCK WALL WITH RENDERED FACING - ON SLAB
601 SCALE 1:10

SCHEDULE OF CHANGES:
19: Details added.

A	S	4.55	Modification	FL	VO	05.04.22
Issue	Revision	Description	Drawn	Check	Date	

Not for Construction

Project

Maui - Healthcare
Warringah Road & Wakehurst
Parkway, Frenchs Forest, NSW
Section 4.55 Modification

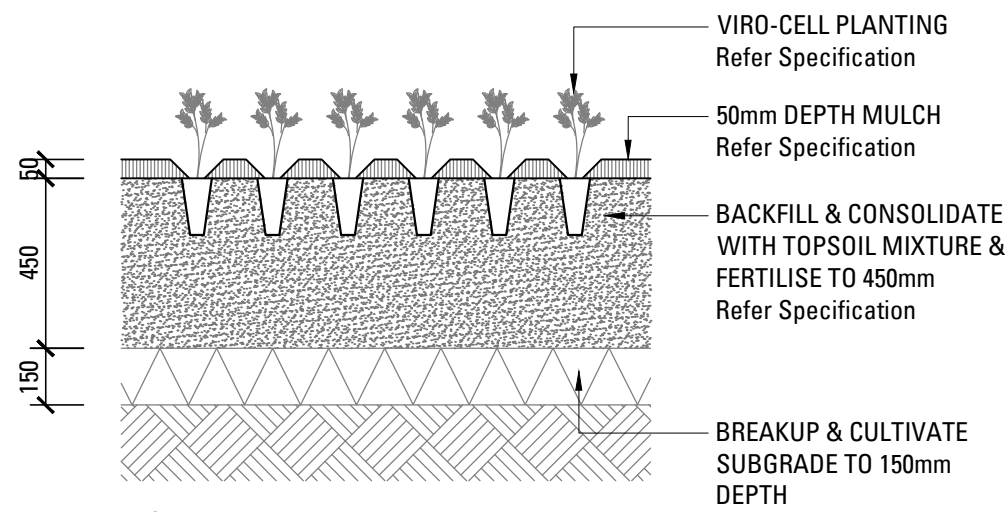
Client Genesis Care
11/ 41-43 Bourke Rd, Alexandria, NSW, 2015
(02) 8236 3300
Architect Team 2
701/1 Chandos Street, St Leonards, NSW, 2065
(02) 9437 3166

Drawing No. L-601
Drawing Name Landscape Softworks
Details

Job No. 19-635
Issue A
Scale As shown @ A1
0 1 2 3 4 5m

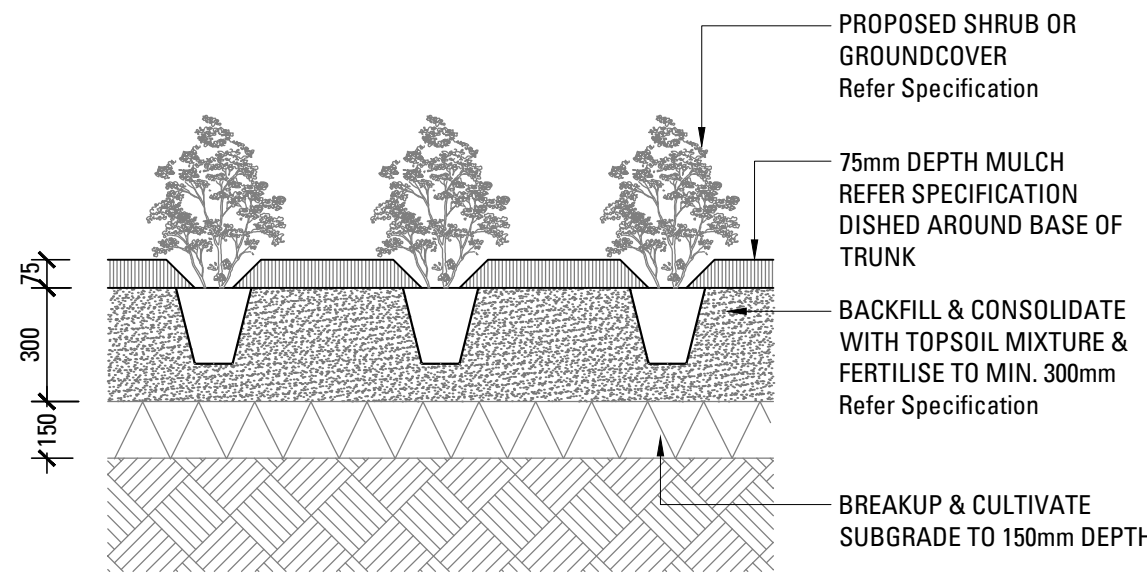
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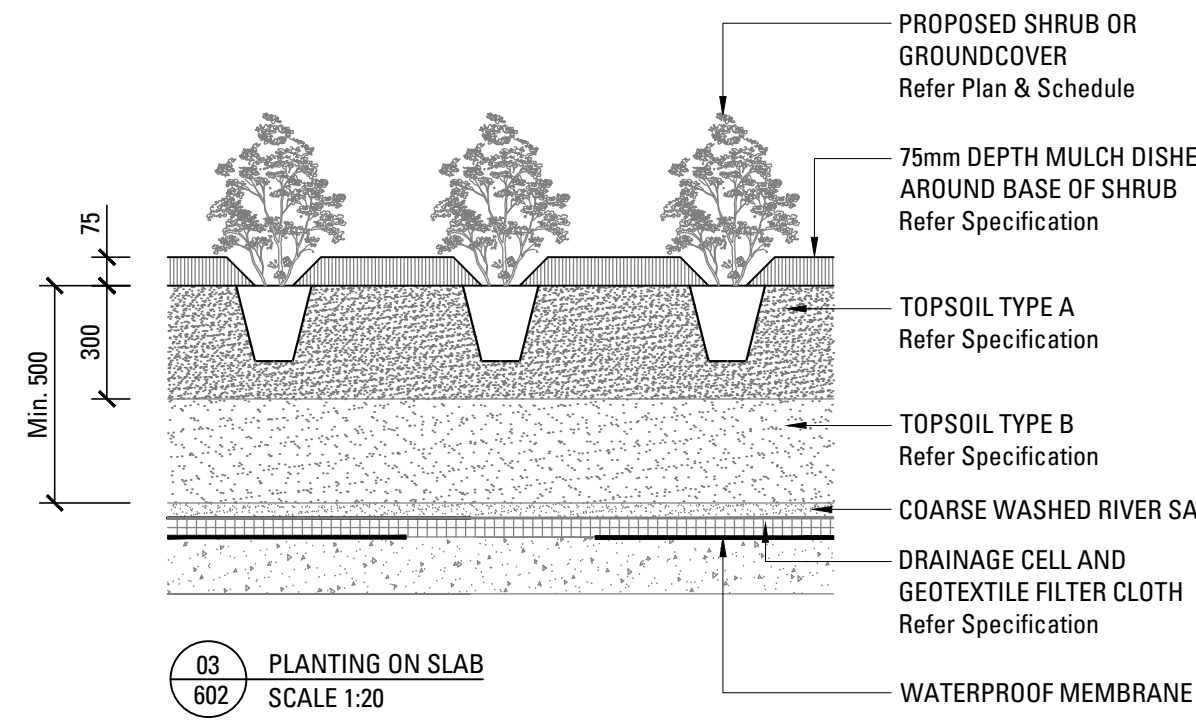


NOTE:
MULCH TO BE SPREAD TO 50mm DEPTH MAX.
OVER TOPSOIL PRIOR TO PLANTING OF
VIRO-CELLS.

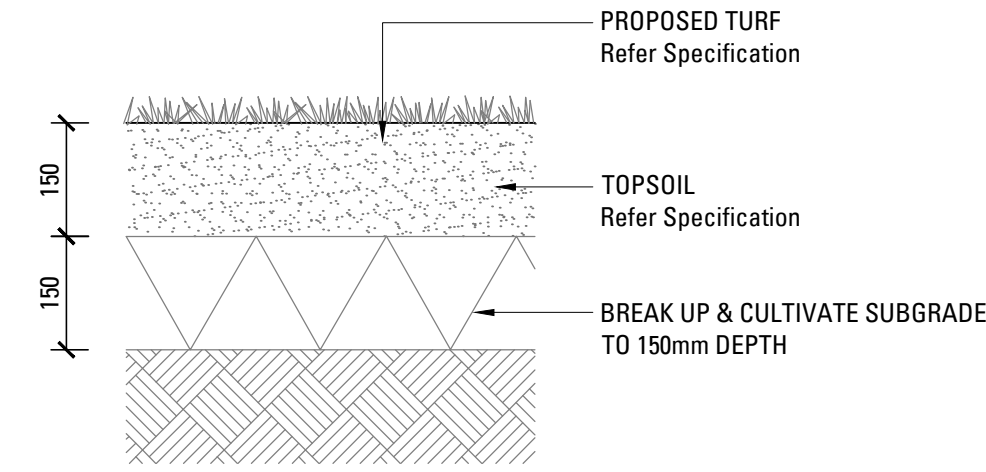
01
602 VIRO-CELLS GROUNDCOVER
SCALE 1:20



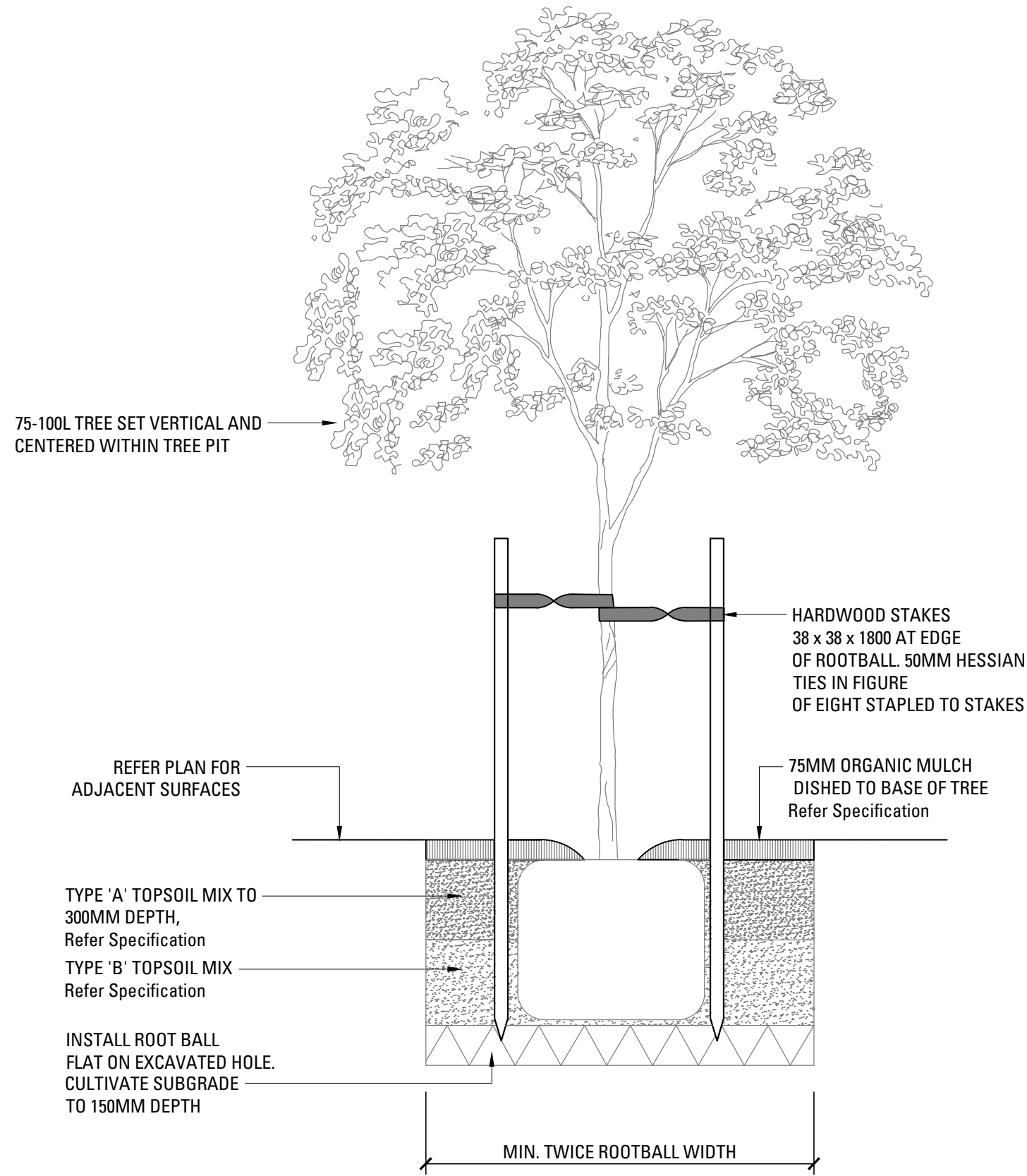
02
602 SHRUB OR GROUNDCOVER IN PLANTING BED
SCALE 1:20



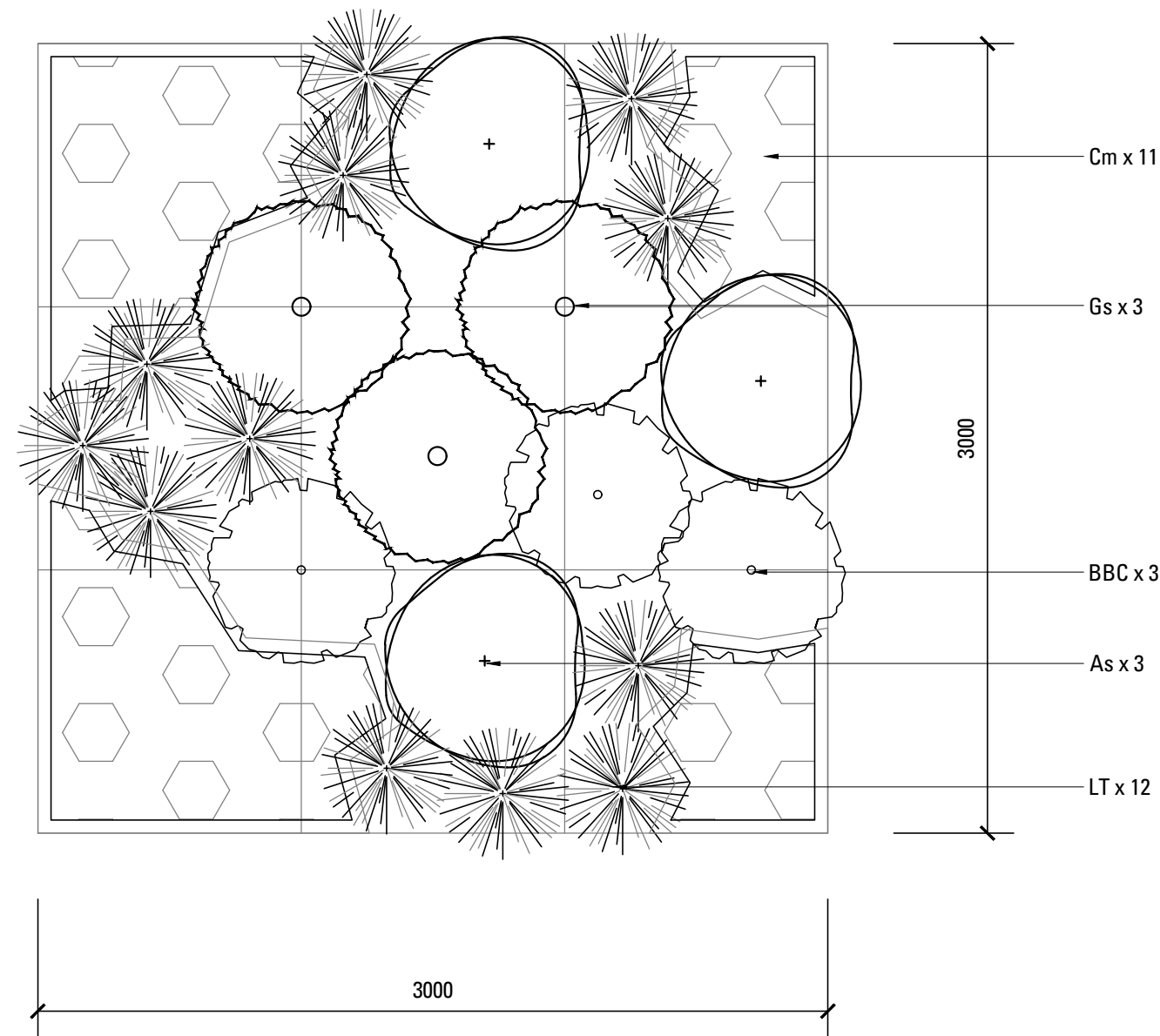
03
602 PLANTING ON SLAB
SCALE 1:20



04
602 TURF ON GRADE
SCALE 1:10

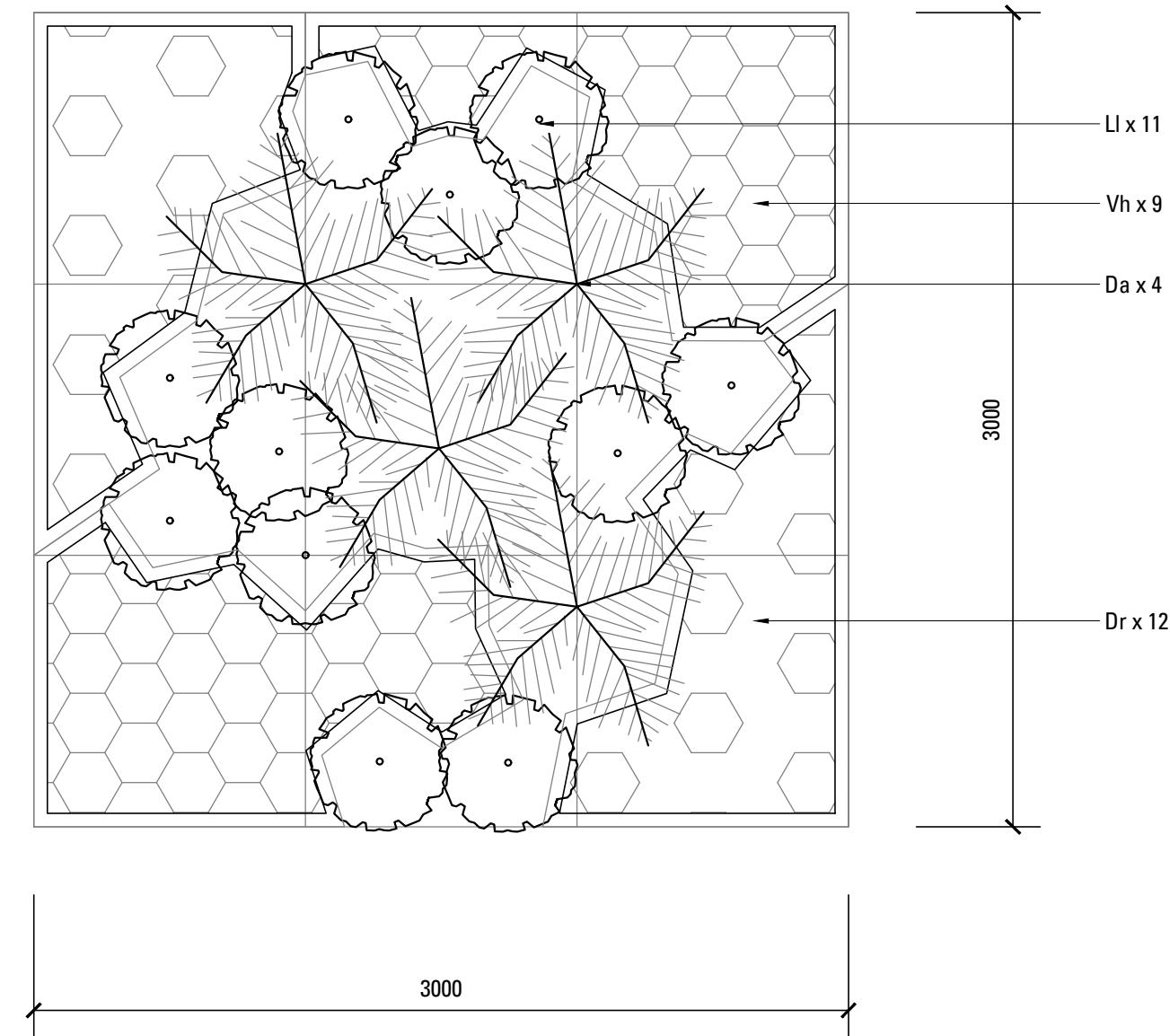


05
602 TREE PLANTING 75-100L
SCALE 1:20



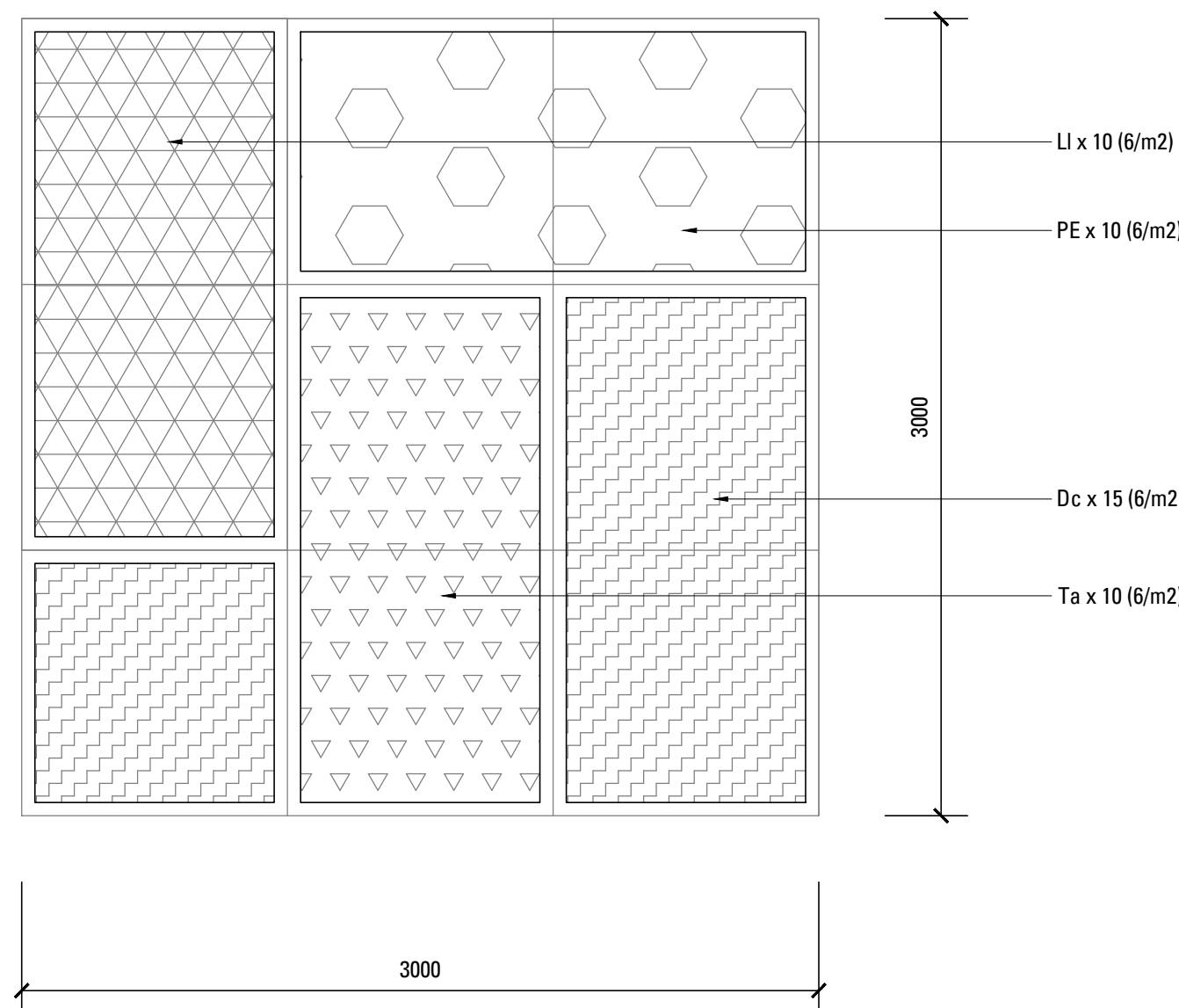
06
602 MATRIX Type 01 - STREET MATRIX - 3m x 3m
SCALE 1:25

NOTE: DETAIL IS INDICATIVE ONLY,
PLANT ALL SPECIES RANDOMLY



07
602 MATRIX Type 02 - NATIVE SHADE MATRIX - 3m x 3m
SCALE 1:25

NOTE: DETAIL IS INDICATIVE ONLY,
PLANT ALL SPECIES RANDOMLY



08
602 MATRIX Type 03 - NATIVE GRASS MATRIX - 3m x 5m - 15m2
SCALE 1:25

SCHEDULE OF CHANGES:
20: Detail scale changed.

A	S	4.55	Modification	FL	VO	05.04.22
Issue	Revision	Description	Drawn	Check	Date	

Not for Construction

Project

Maui - Healthcare
Warringah Road & Wakehurst
Parkway, Frenchs Forest, NSW
Section 4.55 Modification

Client Genesis Care
11/41-43 Bourke Rd, Alexandria, NSW, 2015
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Architect Team 2
701/1 Chandos Street, St Leonards, NSW, 2065
(02) 9437 3166

Drawing No. L-602
Drawing Name Landscape Softworks
Details

Job No. 19-635
Issue A
Scale

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Wharf, 26-32 Pirrama Road,
Pyrmont NSW 2009
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T 02 8571 2900

ARCADIA

LANDSCAPE SPECIFICATION NOTES

SERVICES

BEFORE LANDSCAPE WORK IS COMMENCED THE LANDSCAPE CONTRACTOR IS TO ESTABLISH THE POSITION OF ALL SERVICE LINES AND ENSURE TREE PLANTING IS CARRIED OUT AT LEAST 3 METRES AWAY FROM THESE SERVICES. SERVICE LIDS, VENTS AND HYDRANTS SHALL BE LEFT EXPOSED AND NOT COVERED BY ANY LANDSCAPE FINISHES (TURFING, PAVING, GARDEN BEDS ETC.) FINISH ADJOINING SURFACES FLUSH WITH PIT LIDS.

ABORIST MANAGEMENT OF TREE PROTECTION

A QUALIFIED AND APPROVED ABORIST IS TO BE CONTRACTED TO UNDERTAKE OR MANAGE THE INSTALLATION OF PROTECTIVE FENCING, AND TO UNDERTAKE SUCH MEASURES AS HE DEEMS APPROPRIATE TO PRESERVE THE SUBJECT TREES TO BE RETAINED. THE ARBORIST IS TO BE RETAINED FOR THE ENTIRE CONTRACT PERIOD TO UNDERTAKE ONGOING MANAGEMENT AND REVIEW OF THE TREES.

DRAINAGE CELL AND FILTER FABRIC

FOR ON-SLAB AREAS INSTALL AN APPROVED 'DRAINAGE CELL' PRODUCT TO COMPREHENSIVELY COVER THE BOTTOM OF ALL PLANTERS. OVER DRAINAGE CELL TO ON-SLAB AREAS, A POLYFELT GEOTEXTILE LINING (AS SUPPLIED BY 'POLYFELT TS' OR APPROVED EQUIVALENT) IS TO BE INSTALLED TO COVER THE BOTTOM OF ALL PLANTERS, TURNED UP 300MM AND TAPED TO THE PLANTER SIDES TO ENSURE SOIL MIX DOES NOT ESCAPE INTO DRAINAGE OUTLETS/HOLES. INSTALL MIN. 50MM COARSE RIVER SAND OVER ALL GEOTEXTILE LINING PRIOR TO INSTALLATION OF SOIL MIX.

PLANTING MIXTURE

SHALL BE HOMOGENOUS BLEND OF SOIL AND ADDITIVES IN THE FOLLOWING PROPORTIONS:

EXISTING SITE SOIL IF SUITABLE OR
IMPORTED TOPSOIL 50%
COMPOST 30%
D/W SAND 20%

SOIL TESTING OF EXISTING SITE SOIL IS TO BE UNDERTAKEN TO ASSESS SUITABILITY OF USE AS PLANTING TOPSOIL AND COMPLIANCE WITH AUSTRALIAN STANDARDS.

MULCH APPLICATION

PLACE MULCH TO THE REQUIRED DEPTH, (REFER TO DRAWINGS) CLEAR OF PLANT STEMS, AND RAKE TO AN EVEN SURFACE FINISHING 25MM BELOW ADJOINING LEVELS. ENSURE MULCH IS WATERED IN AND TAMPED DOWN DURING INSTALLATION.

MULCH TYPE

PINE BARK: FROM MATURE TREES, GRADED IN SIZE FROM 15MM TO 30MM, FREE FROM WOOD SLIVERS. DARK BROWN IN COLOUR AND TEXTURE.

COMPOST

SHALL BE WELL ROTTED VEGETATIVE MATERIAL OR ANIMAL MANURE, OR OTHER APPROVED MATERIAL, FREE FROM HARMFUL CHEMICALS, GRASS AND WEED GROWTH AND WITH NEUTRAL PH. PROVIDE A CERTIFICATE OF PROOF OF PH UPON REQUEST.

PLANT MATERIAL

ALL PLANTS SUPPLIED ARE TO CONFORM WITH THOSE SPECIES LISTED IN THE PLANT SCHEDULE ON THE DRAWINGS. GENERALLY PLANTS SHALL BE VIGOROUS, WELL ESTABLISHED, HARDENED OFF, OF GOOD FORM CONSISTENT WITH SPECIES OR VARIETY, NOT SOFT OR FORCED, FREE FROM DISEASE OR INSECT PESTS WITH LARGE HEALTHY ROOT SYSTEMS AND NO EVIDENCE OF HAVING BEEN RESTRICTED OR DAMAGED. TREES SHALL HAVE A LEADING SHOOT. IMMEDIATELY REJECT DRIED OUT, DAMAGED OR UNHEALTHY PLANT MATERIAL BEFORE PLANTING. ALL STOCK IS TO BE CONTAINER GROWN FOR A MINIMUM OF SIX (6) MONTHS PRIOR TO DELIVERY TO SITE

FERTILISER MASS PLANTING AREAS:

FERTILISER SHALL BE 'NUTRICOTE' OR APPROVED EQUIVALENT IN GRANULE FORM INTENDED FOR SLOW RELEASE OF PLANT NUTRIENTS OVER A PERIOD OF APPROXIMATELY NINE MONTHS. THOROUGHLY MIX FERTILISER WITH PLANTING MIXTURE AT THE RECOMMENDED RATE, PRIOR TO INSTALLING PLANTS.

TURF

SHALL BE SIR WALTER BUFFALO. SHIRLEYS NO. 17 OR APPROVED EQUAL LAWN FOOD SHALL BE THOROUGHLY MIXED INTO THE TOPSOIL PRIOR TO PLACING TURF.

TREES IN GRASS AND SUPER ADVANCED TREES:

PELLETS SHALL BE IN THE FORM INTENDED TO UNIFORMLY RELEASE PLANT FOOD ELEMENTS FOR A PERIOD OF APPROXIMATELY NINE MONTHS EQUAL TO SHIRLEYS KOKEI PELLETS, ANALYSIS 6.3:1.8:2.9. KOKEI PELLETS SHALL BE PLACED AT THE TIME OF PLANTING TO THE BASE OF THE PLANT, 50MM MINIMUM FROM THE ROOT BALL AT A RATE OF TWO PELLETS PER 300MM OF TOP GROWTH TO A MAXIMUM OF 8 PELLETS PER TREE.

STAKING AND TYING

STAKES SHALL BE STRAIGHT HARDWOOD, FREE FROM KNOTS AND TWISTS, POINTED AT ONE END AND SIZED ACCORDING TO SIZE OF PLANTS TO BE STAKED.

A. 5-15 LITRE SIZE PLANT 1X(1200X25X25MM)
B. 35-75 LITRE SIZE PLANT 2X(1500X38X38MM)
C. 100-GREATER THAN 200LITRE 3X(1800X50X50MM)

TIES SHALL BE 50MM WIDE HESSIAN WEBBING OR APPROVED EQUIVALENT NAILED OR STAPLED TO STAKE. DRIVE STAKES A MINIMUM ONE THIRD OF THEIR LENGTH, AVOIDING DAMAGE TO THE ROOT SYSTEM, ON THE WINDWARD SIDE OF THE PLANT.

IRRIGATION SYSTEM

SUPPLY AN AUTOMATIC WATERING SYSTEM USING 'TORO IRRIGATION SYSTEM' OR SIMILAR APPROVED, WITH MICRO-JET SPRINKLER HEADS AND LOW DENSITY, RUBBER MODIFIED POLYPROPYLENE RETICULATION, TO INCLUDE FILTERS, BENDS JUNCTIONS, ENDS AND OTHER ANCILLARY EQUIPMENT. THE LANDSCAPER SHALL NOMINATE HIS SOURCE OF SUPPLY FOR THE WATERING SYSTEM AND OBTAIN APPROVAL FROM THE SUPERINTENDENT BEFORE PLACING ORDERS FOR EQUIPMENT OR SUPPLY.

A SCHEMATIC PLAN OF THE PROPOSED IRRIGATION SYSTEM IS TO BE PREPARED BY THE CONTRACTOR, SHOWING SOLENOIDS, PIPE DIAMETERS, AND ALL NOZZLE AND TRICKLE ATTACHMENT TYPES (INCLUDING SPRAY/HEAD ANGLE), FOR REVIEW BY THE SUPERINTENDENT PRIOR TO INSTALLATION

THE CONTRACTOR IS TO LIASE WITH THE HYDRAULIC ENGINEER AND COUNCIL AS NECESSARY, TO ENSURE THE THE IRRIGATION SYSTEM CONFORMS WITH ALL THE COUNCIL AND WATER BOARD CODES AND REQUIREMENTS.

PROVIDE AN AUTOMATIC CONTROLLER THAT PROVIDES FOR TWO WEEK SCHEDULING AND HOURLY MULTI-CYCLE OPERATION. THE CONTROLLER SHALL MANUAL OVERRIDE. PROGRAMMING SHALL BE UNDERTAKEN BY THE CONTRACTOR WHO SHALL ADVISE ON THE OPERATION OF THE SYSTEM.

PROVISION OF SECURE HOUSING FOR THE AUTOMATIC IRRIGATION CONTROLLER TO BE LOCATED IN ASSOCIATION WITH THE LANDSCAPE CONTRACTOR AND LOCATION CONFIRMED BY THE SUPERINTENDENT. WIRING TO CONNECT REMOTE SOLENOID LOCATIONS IS TO BE PROVIDED. THE CONTROLLER SHALL BE LOCATED IN A DRY PLACE, PROTECTED FROM THE WEATHER, AND ALL CABLE CONNECTIONS SHALL BE MADE WITH WATERPROOF CONNECTORS.

WATER SUPPLY POINTS TO BE SUPPLIED BY BUILDER.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE AND GUARANTEE SATISFACTORY OPERATION OF THE IRRIGATION SYSTEM.

AFTER THE SYSTEM HAS BEEN INSTALLED TO THE SATISFACTION OF THE SUPERINTENDENT, THE INSTALLATION SHALL BE TESTED UNDER KNOWN WORKING CONDITIONS. ACCEPTANCE OF THE INSTALLED PLANT AND EQUIPMENT SHALL BE SUBJECT TO THESE BEING SATISFACTORY.

TREATED PINE TIMBER EDGING

TIMBER EDGE: 100 X 25MM CCA TREATED RADIATA PINE TIMBER STAKES: 50 X 50 X 500MM CCA TREATED RADIATA PINE-SHARPENED AT ONE END. INSTALL IN LOCATIONS SHOWN ON THE DRAWINGS FLUSH TO FINISHED SURFACE LEVELS.

TURF

TURF ALL LANDSCAPE AREAS AS SHOWN ON THE LANDSCAPE DRAWINGS. TURF IS TO HAVE AN EVEN THICKNESS OF NOT LESS THAN 25MM. OBTAIN TURF FROM AN APPROVED GROWER. FURNISH A WARRANTY FROM THE GROWER THAT THE TURF IS FREE FROM WEEDS AND OTHER FOREIGN MATTER. DELIVER TURF TO THE SITE WITHIN 24 HOURS OF BEING CUT, AND LAY IT WITHIN 24 HOURS OF BEING DELIVERED.

TO PREPARE GRADED AREAS TO RECEIVE TURF, EXCAVATE THE AREA AND CULTIVATE SO AS TO ALLOW FOR IMPORTING OF 100MM OF TURF UNDERLAY SOIL. REMOVE ALL STONES OVER 50MM Ø AND REMOVE ALL WEEDS AND FOREIGN MATTER. SPREAD SOIL MIX A.B.S TO A DEPTH OF 100MM AND GRADE TO APPROPRIATE LEVELS TO ACHIEVE GENERAL EVEN GRADES TO DRAINAGE OUTLETS INSTALLED BY OTHERS.

LAY THE TURF ALONG THE LAND CONTOURS WITH STAGGERED, CLOSE BUTTED JOINTS, SO THAT THE FINISHED TURF SURFACE IS FLUSH WITH ADJACENT FINISHED SURFACES OF PAVING AND THE LIKE. AS SOON AS PRACTICABLE AFTER LAYING, ROLL THE TURF WITH A ROLLER WEIGHING NOT MORE THAN 90KG PER METRE OF WIDTH FOR SANDY OR LIGHT SOILS.

WATER AS NECESSARY TO KEEP THE SOIL MOIST TO A DEPTH OF 100MM. PROTECT NEWLY TURFED AREAS AGAINST TRAFFIC UNTIL GRASS IS ESTABLISHED. FERTILISE TWO WEEKS AFTER LAYING FERTILISE A.B.S

'TOP DRESS' THE TURF WHEN IT IS ESTABLISHED TO A DEPTH OF 10MM WITH COARSE WASHED RIVER SAND. RUB THE DRESSING WELL INTO THE JOINTS AND CORRECT ANY UNEVENNESS IN THE TURF SURFACES.

LANDSCAPE MAINTENANCE PROGRAM

MAINTENANCE SHALL MEAN THE CARE AND MAINTENANCE OF THE LANDSCAPE WORKS BY ACCEPTED HORTICULTURAL PRACTICE AS RECTIFYING ANY DEFECTS THAT BECOME APPARENT IN THE LANDSCAPE WORKS UNDER NORMAL USE. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO, WATERING, MOWING, FERTILISING, RESEEDING, RETURFING, WEEDING, PEST AND DISEASE CONTROL, STAKING AND TYING, REPLANTING, CULTIVATION, PRUNING, AERATING, RENOVATING, TOP DRESSING, MAINTAINING THE SITE IN A NEAT AND TIDY CONDITION AS FOLLOWS:-

GENERAL

THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE WORKS FOR THE TERM OF THE MAINTENANCE (OR PLANT ESTABLISHMENT) PERIOD TO THE SATISFACTION OF THE COUNCIL. THE LANDSCAPE CONTRACTOR SHALL ATTEND TO THE SITE ON A WEEKLY BASIS. THE MAINTENANCE PERIOD SHALL COMMENCE AT PRACTICAL COMPLETION AND CONTINUE FOR A PERIOD OF TWENTY SIX (26) WEEKS.

WATERING

GRASS, TREES AND GARDEN AREAS SHALL BE WATERED REGULARLY SO AS TO ENSURE CONTINUOUS HEALTHY GROWTH.

RUBBISH REMOVAL

DURING THE TERM OF THE MAINTENANCE PERIOD THE LANDSCAPE CONTRACTOR SHALL REMOVE RUBBISH THAT MAY OCCUR AND REOCCUR THROUGHOUT THE MAINTENANCE PERIOD. THIS WORK SHALL BE CARRIED OUT REGULARLY SO THAT AT WEEKLY INTERVALS THE AREA MAY BE OBSERVED IN A COMPLETELY CLEAN AND TIDY CONDITION.

REPLACEMENTS

THE LANDSCAPE CONTRACTOR SHALL REPLACE ALL PLANTS THAT ARE MISSING, UNHEALTHY OR DEAD AT THE LANDSCAPE CONTRACTOR'S COST. REPLACEMENTS SHALL BE OF THE SAME SIZE, QUALITY AND SPECIES AS THE PLANT THAT HAS FAILED UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. REPLACEMENTS SHALL BE MADE ON A CONTINUING BASIS NOT EXCEEDING TWO (2) WEEKS AFTER THE PLANT HAS DIED OR IS SEEN TO BE MISSING.

STAKES AND TIES

THE LANDSCAPE CONTRACTOR SHALL REPLACE OR ADJUST PLANT STAKES, AND TREE GUARDS AS NECESSARY OR AS DIRECTED BY THE LANDSCAPE ARCHITECT. REMOVE STAKES AND TIES AT THE END OF THE MAINTENANCE PERIOD IF SO DIRECTED.

PRUNING

TREES AND SHRUBS SHALL BE PRUNED AS DIRECTED BY THE LANDSCAPE ARCHITECT. PRUNING WILL BE DIRECTED AT THE MAINTENANCE OF THE DENSE FOLIAGE OR MISCELLANEOUS PRUNING AND BENEFICIAL TO THE CONDITION OF THE PLANTS. ANY DAMAGED GROWTH SHALL BE PRUNED. ALL PRUNED MATERIAL SHALL BE REMOVED FROM THE SITE.

MULCHED SURFACES

ALL MULCHED SURFACES SHALL BE MAINTAINED IN A CLEAN AND TIDY CONDITION AND BE REINSTATED IF NECESSARY TO ENSURE THAT A DEPTH OF 75MM IS MAINTAINED. ENSURE MULCH IS KEPT CLEAR OF PLANT STEMS AT ALL TIMES.

PEST AND DISEASED CONTROL

THE LANDSCAPE CONTRACTOR SHALL SPRAY AGAINST INSECT AND FUNGUS INFESTATION WITH ALL SPRAYING TO BE CARRIED OUT IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. REPORT ALL INSTANCES OF PESTS AND DISEASES (IMMEDIATELY THAT THEY ARE DETECTED) TO THE LANDSCAPE ARCHITECT.

GRASS AND TURF AREAS

THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL GRASS AND TURF AREAS BY WATERING, WEEDING, DRESSING, ROLLING, MOWING, TRIMMING OR OTHER OPERATIONS AS NECESSARY. SEED AND TURF SPECIES SHALL BE THE SAME AS THE ORIGINAL SPECIFIED MIXTURE. GRASS AND TURF AREAS SHALL BE SPRAYED WITH APPROVED SELECTIVE HERBICIDE AGAINST BROAD LEAFED WEEDS AS REQUIRED BY THE LANDSCAPE ARCHITECT AND IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. GRASS AND TURF AREAS SHALL BE FERTILISED ONCE A YEAR IN AUTUMN WITH 'DYNAMIC LIFTER' FOR LAWNS AT A RATE OF 20KG PER 100M2. FERTILISER SHALL BE WATERED IN IMMEDIATELY AFTER APPLICATION. IRREGULARITIES IN THE GRASS AND TURF SHALL BE WATERED IN IMMEDIATELY AFTER APPLICATION. GRASS AND TURF AREAS SHALL BE KEPT MOWN TO MAINTAIN A HEALTHY AND VIGOROUS SWARD. MOWING HEIGHT: 30-50MM.

WEED ERADICATION

ERADICATE WEEDS BY ENVIRONMENTALLY ACCEPTABLE METHODS USING A NON-RESIDUAL GLYPHOSATE HERBICIDE (EG. 'ROUNDUP') IN ANY OF ITS REGISTERED FORMULAE, AT THE RECOMMENDED MAXIMUM RATE. REGULARLY REMOVE BY HAND, WEED GROWTH THAT MAY OCCUR OR RECUR THROUGHOUT GRASSED, PLANTED AND MULCHED AREAS. REMOVE WEED GROWTH FROM AN AREA 750MM DIAMETER AROUND THE BASE OF TREES IN GRASSED AREAS. CONTINUE ERADICATION THROUGHOUT THE COURSE OF THE WORKS AND DURING THE MAINTENANCE PERIOD.

SOIL SUBSIDENCE

ANY SOIL SUBSIDENCE OR EROSION WHICH MAY OCCUR AFTER THE SOIL FILLING AND PREPARATION OPERATIONS SHALL BE MADE GOOD BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE CLIENT.

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SCHEDULE OF CHANGES:
No changes.

A	S. 4.55	Modification	FL	VO	05.04.22
Issue	Revision	Description	Drawn	Check	Date

Not for Construction

Project

Maui - Healthcare
Warringah Road & Wakehurst
Parkway, Frenchs Forest, NSW
Section 4.55 Modification

Client Genesis Care
1/1, 41-43 Bourke Rd, Alexandria, NSW, 2015
(02) 8236 3300

Architect Team 2
701/1 Chandos Street, St Leonards, NSW, 2065
(02) 9437 3166

Drawing No. Drawing Name
L-701 Landscape Specification

Job No. 19-635
Issue A
Scale

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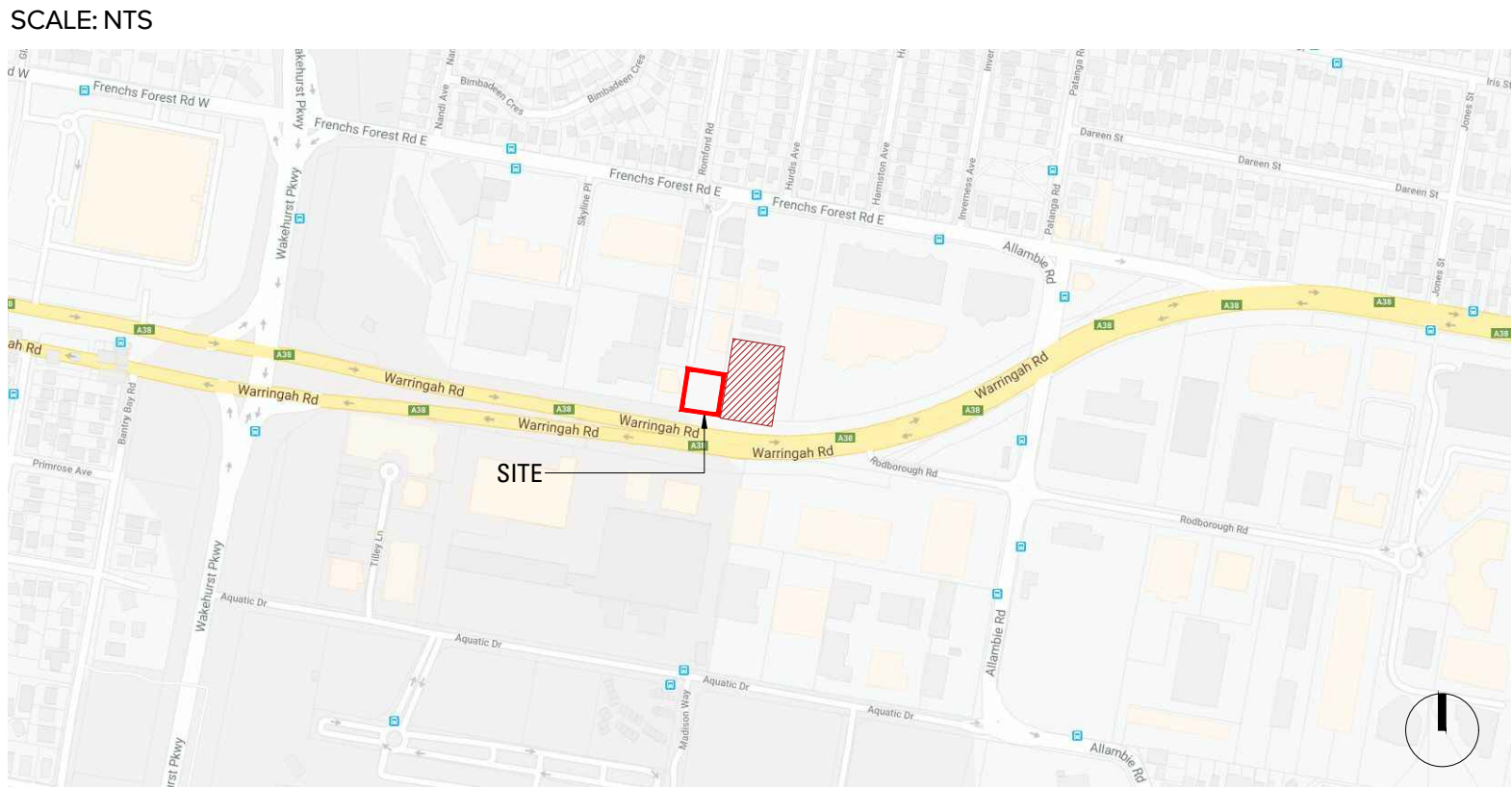
GENESIS MAUI

WARRINGAH ROAD & WAKEHURST PARKWAY

DRAWING SCHEDULE

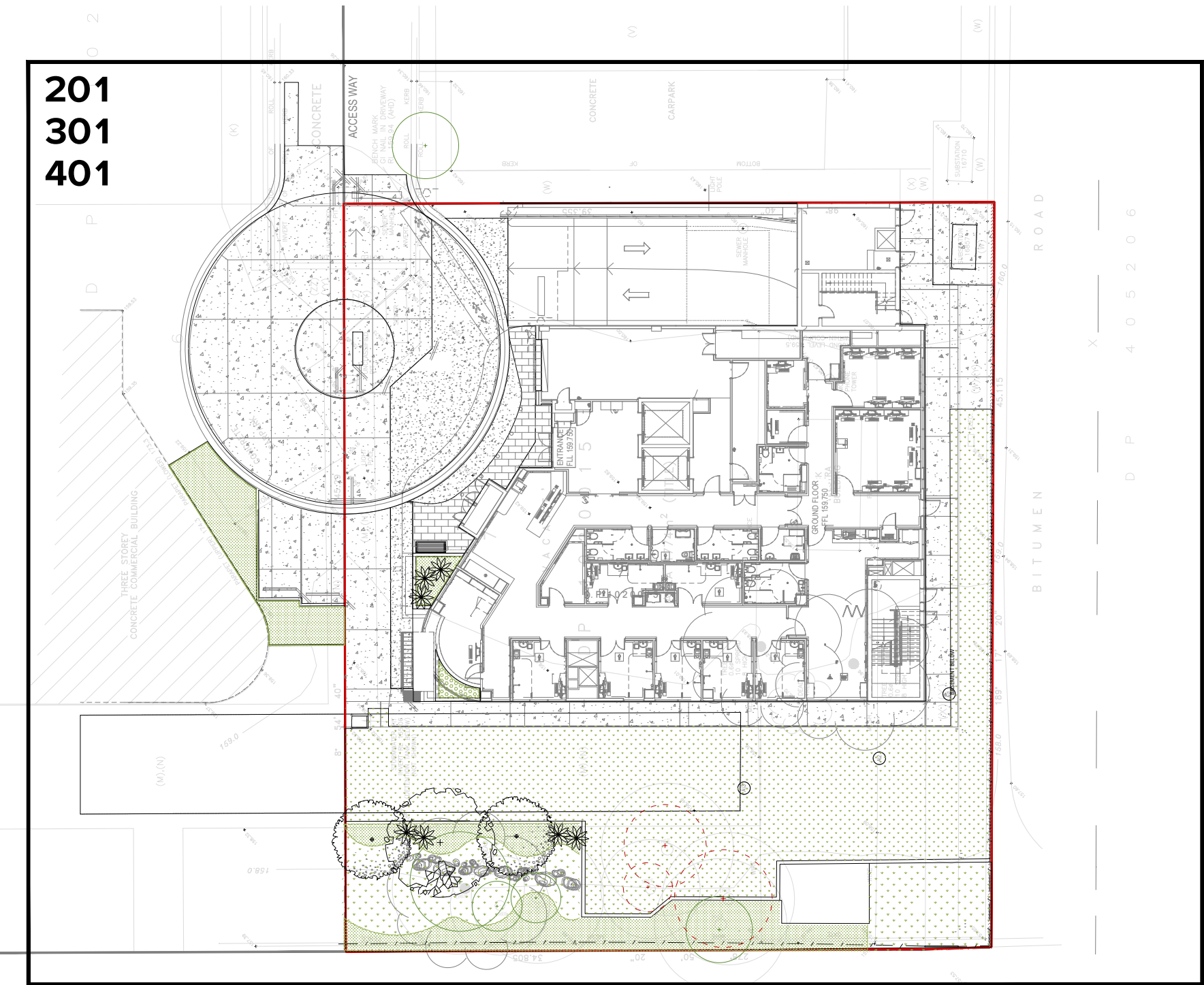
DRAWING NO.	DRAWING TITLE
000	COVER SHEET
100	LANDSCAPE MASTERPLAN
201	SETOUT AND GRADING PLAN
301	HARDWORKS PLAN
400	PLANT SCHEDULE
401	PLANTING PLAN
601	LANDSCAPE DETAILS - HARDWORKS
602	LANDSCAPE DETAILS - SOFTWORKS
701	LANDSCAPE SPECIFICATION

LOCATION PLAN



KEY PLAN

SCALE: 1:300 @ A1



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SCHEDULE OF CHANGES:
1: Drawing schedule updated.
2: Key plan added.

(Refer to sheet L-400 for plant schedule.)

Issue	Revision	Description	Drawn	Check	Date
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Not for Construction

Project

Maui - Healthcare
Warringah Road & Wakehurst Parkway, Frenchs Forest, NSW
Section 4.55 Modification

Client	Genesis Care 11/ 41-43 Bourke Rd, Alexandria, NSW, 2015 (02) 8236 3300
Architect	Team 2 701/1 Chandos Street, St Leonards, NSW, 2065 (02) 9437 3166

Drawing No.	Drawing Name
L-000	Cover Sheet

Job No.	19-635
Issue	A
Scale	as shown @A1

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Legend

MASTERPLAN

- CONCRETE PAVING
Refer Civil Engineer's Documentation
- UNIT PAVING
Refer Landscape Specification
- RETAINING WALL
Refer Landscape Specification
- FURNITURE Type F1
Refer Landscape Specification
- FENCE AND ACCESS GATE
Refer Landscape Specification
- EXISTING TREES TO BE RETAINED
Refer Landscape Specification
- EXISTING TREES TO BE REMOVED
Refer Landscape Specification
- TREE PLANTING
Refer Landscape Specification
- SHRUB AND ACCENT PLANTING
Refer Landscape Specification
- GROUND COVER PLANTING
Refer Landscape Specification
- MATRIX PLANTING
Refer Landscape Specification
- TURF
Refer Landscape Specification
- REINFORCED/ TRAFFICABLE TURF
Refer Civil Engineer's Documentation

SCHEDULE OF CHANGES:

- 3: Planting removed to provide required access.
- 4: Drop-off bay revised. Layout and surface material.
- 5: Seating area changed to accommodate revised architectural layout.
- 6: Parking layout revised. Landscape treatment to edges added.
- 7: Path width revised to provide required access. Planting removed.
- 8: Correct size of OSD tank below added.
- 9: Planting removed and replaced with trafficable turf.
- 10: Tree and understory planting revised due to access constraints.
- 11: Existing trees to be removed due to access constraints.
- 12: Planting removed and substation added.
- 13: Emergency access added.
- 14: Planting removed and replaced with trafficable turf along Eastern boundary.
- 15: Legend updated.

A	S	4.55 Modification	FL	VO	05.04.22
Issue	Revision	Description	Drawn	Check	Date

Not for Construction

Project

Maui - Healthcare
Warringah Road & Wakehurst
Parkway, Frenchs Forest, NSW
Section 4.55 Modification

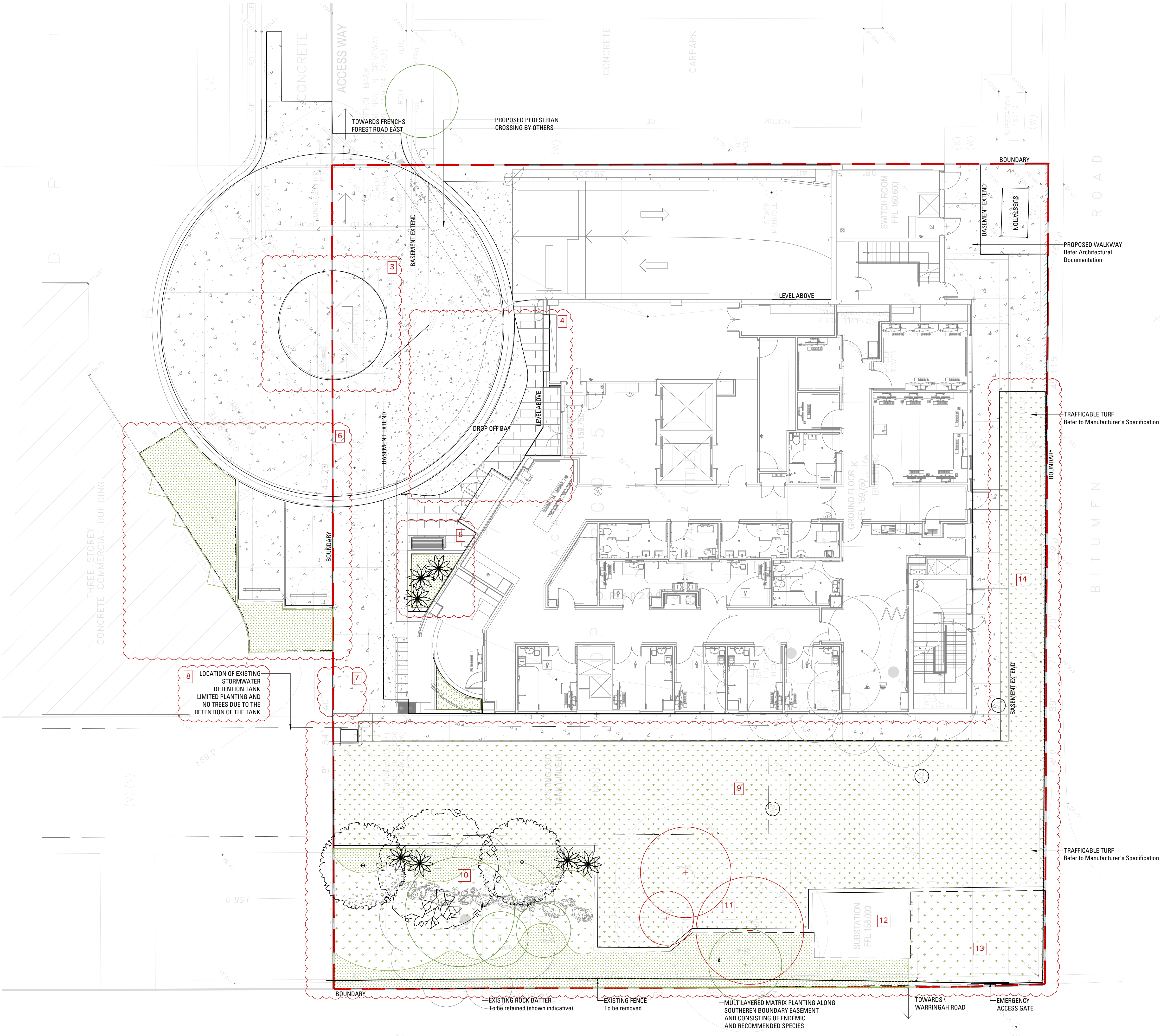
Client Genesis Care
11/41-43 Bourke Rd, Alexandria, NSW, 2015
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Drawing No. Drawing Name
L-101 Landscape Masterplan

Job No. 19-635
Issue A
Scale 1:100 @ A1
0 1 2 3 4 5m

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Legend

SETOUT

- ANGLE MEASUREMENT
- DISTANCE MEASUREMENT
- RADIUS MEASUREMENT
- SETOUT GUIDES
- SETOUT MARKER

GRADING

- RL REDUCED LEVEL
- FFL FINISHED FLOOR LEVEL
- TS/BS TOP / BOTTOM OF STEP
- S STEP HEIGHT
- TW/BW TOP / BOTTOM OF WALL
- TP TOP OF STORMWATER PIT
- TOS TOP OF SEAT
- TR/BR TOP / BOTTOM OF RAMP

SCHEDULE OF CHANGES:
16: Levels updated to match new design and revised Civil documentation.

A S 4.55 Modification FL VO 05.04.22
Issue Revision Description Drawn Check Date

Not for Construction

Project

Maui - Healthcare
Warringah Road & Wakehurst
Parkway, Frenchs Forest, NSW
Section 4.55 Modification

Client Genesis Care
11/41-43 Bourke Rd, Alexandria, NSW, 2015
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Drawing No. Drawing Name
L-201 Setout and Grading Plan

Job No. 19-635
Issue A
Scale 1:100 @ A1
0 1 2 3 4 5m

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