

# PROPOSED RESIDENCE

**Client:** A & M Popovski  
**Site:** 62 Mactier St  
 Narrabeen 2101  
 Lot 7, DP 6445

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## BASIX® commitments

Assessor: Mr. Daniel Warda  
 Date: 08 / 04 / 2020  
 BASIX Certificate No.: 1026114M\_06  
 NatHERS Certificate No.: 0004683950

### project details

Site Address: Lot 7, 62 Mactier Street, NARRABEEN NSW 2101  
 Municipality: Northern Beaches  
 Reference: 7292

### thermal comfort

Floors	Suspended Concrete Flooring as per job number 7292		
Suspended Floors	R4.0 Bulk Insulation to all suspended floor joists on Ground & First Floor		
External Walls	R2.0 (GF) & R2.5 (MH) Bulk Insulation to all external walls I Dark		
Internal Walls	Same value as external wall applied to Garage internal walls only		
Ceilings	R4.0 Bulk Insulation to all trussed ceilings over living areas (Incl. Garage Ceiling Joists)		
Roof	Colorbond I Dark		
Roof Insulation	Anticon Blanket - 55mm		
Type A Windows (Aluminum Framed - Single Clear Glazing)	U - Value:	6.70	SHGC: 0.57
• To all Awning windows excluding any mentioned below			
Type B Windows (Aluminum Framed - Single Clear Glazing)	U - Value:	6.70	SHGC: 0.70
• To all Sliding Windows, Sliding Doors & Fixed windows excluding any mentioned below			
Type A & B Windows (Aluminum Framed - Single Low-e Glazing)	U - Value:	5.60	SHGC: 0.41
• To all Media (ASW1536 & ASSD2436, Kitchen (ASSD2421), Family (ASSD2438 & AFW1521, Dining (AFW1518) & Lounge (ASSD2436)			

Note: U-Value may be lower but not higher than the nominated values  
 Note: SHGC may have a tolerance of +/- 10% of the nominated values in NSW only

Skylights: N/A

### water

Landscape Area	200m <sup>2</sup>
W.C's	3 Star
Kitchen Taps	3 Star
Shower Heads	3 Star (>6 but <=7.5L/min)
Basin Taps	3 Star
Alternative Water	2000L Rainwater Tank
Roof Water To Tank	215m <sup>2</sup> (Main House)
Alt. Water Uses	W.C & Garden

### energy

Hot Water	Gas Instantaneous   6 Stars
Air-Con (Main House)	3-Phase Ducted A/C   EER 3.0 - 3.5
Air-Con (Granny Flat)	1-Phase Ducted A/C   EER 3.0 - 3.5
Ventilation	As Per Basix Assessment
PV System	1.0kW
Cooking	Gas Cooktop & Electric Oven
Drying	Outdoor Clothesline
Lighting	As Per BASIX Certificate

### swimming pool

Pool / Spa	N/A
Shading / Timer	N/A
Cover	N/A



Certificate no.: 0004683950  
 Assessor Name: Daniel.Warda  
 Accreditation no.: 101182  
 Certificate date: 18 March 2020

Dwelling Address:  
 62 Mactier Street  
 Narrabeen, NSW  
 2101  
[www.nathers.gov.au](http://www.nathers.gov.au)

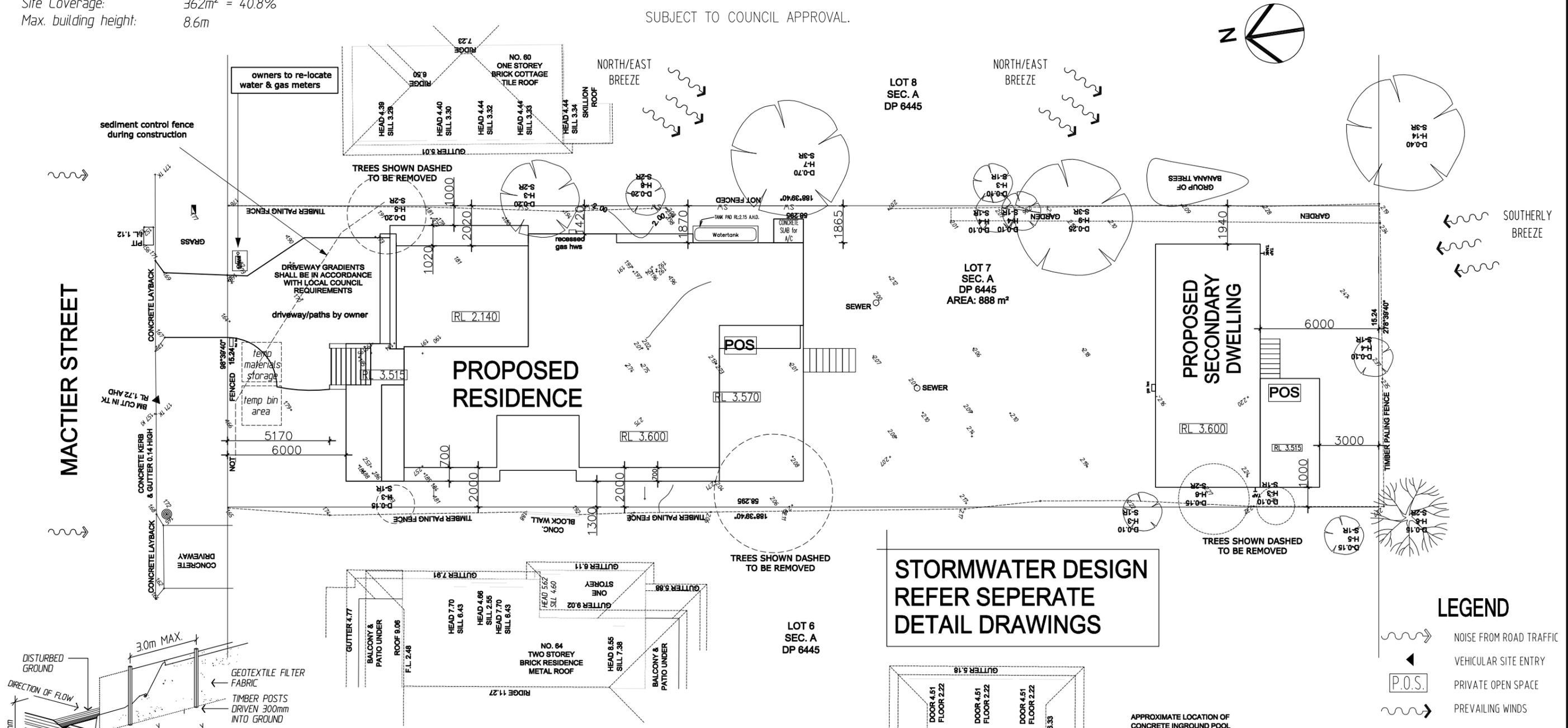


Site Details	
Site Area:	888m <sup>2</sup>
Roof Area (dwelling):	303.5m <sup>2</sup>
Harvested Roof Area:	TBC
Roof Area (secondary dwelling):	78m <sup>2</sup>
Harvested Roof Area:	TBC
Total Garden & Lawn Area:	200.0m <sup>2</sup>

Site Area: 888m<sup>2</sup>  
 Driveway/paths: 47m<sup>2</sup>  
 Site Coverage: 362m<sup>2</sup> = 40.8%  
 Max. building height: 8.6m

NOTE: THE OWNER HAS PROVIDED TULLIPAN HOMES WITH THE REQUIRED FINISHED FLOOR LEVELS AS SHOWN ON THE PLANS. ALL PROPOSED FLOOR LEVELS ARE SUBJECT TO COUNCIL APPROVAL.

**CUSTOM**



**LEGEND**

- NOISE FROM ROAD TRAFFIC
- VEHICULAR SITE ENTRY
- PRIVATE OPEN SPACE
- PREVAILING WINDS

**SITE PLAN / ANALYSIS**  
 SCALE 1:200

**SEDIMENT FENCE**  
 N.T.S.

**SEDIMENT CONTROL NOTES**

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

**NATIONWIDE HOUSE**  
 NETHERS BUILDING SCHEME

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Average star rating: 5.2

[www.nethers.gov.au](http://www.nethers.gov.au)

**CAUTION:**

- UTILITY SERVICES SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. IF NOT ABLE TO BE LOCATED, SERVICES HAVE BEEN PLOTTED FROM THE RECORDS OF RELEVANT AUTHORITIES WHERE AVAILABLE. PRIOR TO EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR CONFIRMATION OF LOCATION OF SERVICES. \*\*\*\* DIAL BEFORE YOU DIG (CALL 1100) \*\*\*\*
- THE BOUNDARIES SHOWN HEREON ARE APPROXIMATE ONLY. FOR ANY CONSTRUCTION ACTIVITIES PROPOSED IN CLOSE PROXIMITY TO THE BOUNDARIES, IT IS RECOMMENDED THAT THOSE BOUNDARIES BE MARKED TO AVOID POSSIBILITY OF ENCROACHMENT.



**BOUNDARY NOTE**  
 BOUNDARY INFORMATION SUPPLIED BY BUILDER. CONFIRM ALL BOUNDARY INFORMATION PRIOR TO COMMENCEMENT OF WORK.

**SETOUT NOTE**  
 BOUNDARY DIMENSIONS AND LOCATION OF DWELLING TO BE CONFIRMED AND SETOUT BY SURVEYOR PRIOR TO COMMENCEMENT OF WORK. BUILDER TO BE PRESENT TO CONFIRM PREFERENCE TO LOCATION.

**COUNCIL NOTES:**  
 - NO WATERWAYS, WATERCOURSES OR EXISTING DRAINAGE PROBLEMS  
 - EASEMENTS SHOWN ON SITE PLAN  
 - EXISTING VEGETATION SHOWN ON SITE PLAN  
 - STORMWATER DISPOSED OF TO COUNCIL'S REQUIREMENTS

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SHEET	1 of 15
DATE	23/03/2020
DWG No.	<b>7292-wd8</b>

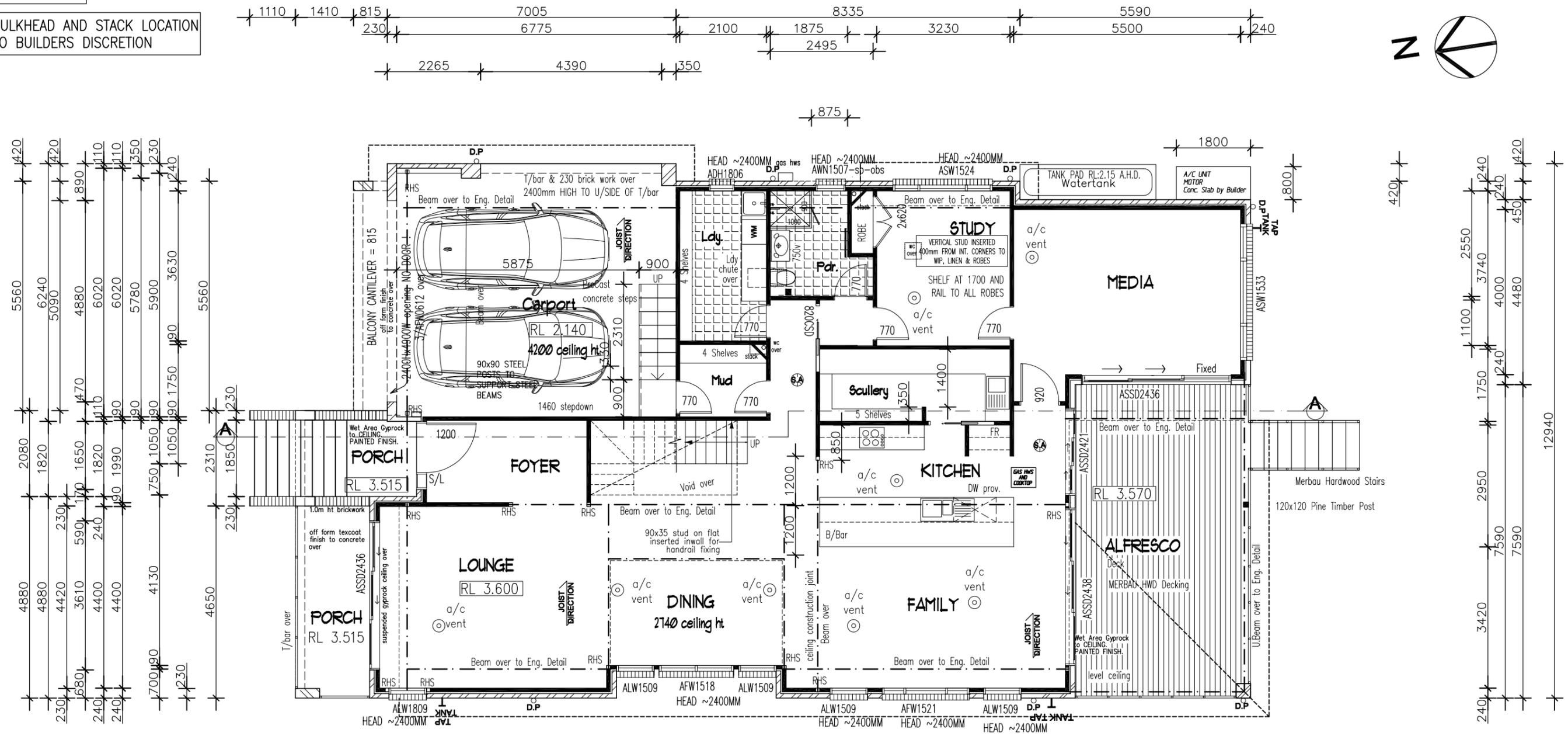
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**FIXING LEGEND**

TOWEL RAIL	—
TOILET ROLL	■

BULKHEAD AND STACK LOCATION TO BUILDERS DISCRETION



R2.5 HIGH DENSITY INSULATION TO ALL EXTERNAL WALLS

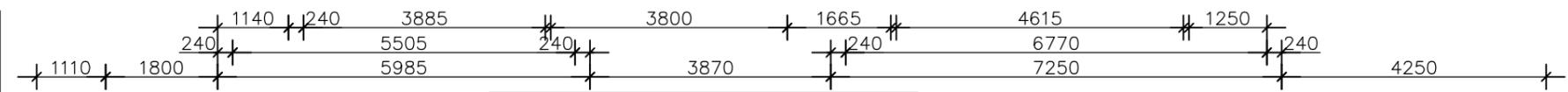
R4.0 BULK INSULATION TO ALL CEILINGS OVER LIVING AREAS (EXCL. CARPORT)

air conditioning locations, "locations are intended, however may vary if the home structure dictates otherwise", this applies to all air conditioning details signed off by clients.

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## GROUND FLOOR PLAN

SCALE 1:100



**AREAS:**

Porch:	12.1m <sup>2</sup>
Garage:	43.0m <sup>2</sup>
Ground Floor:	185.8m <sup>2</sup>
Alfresco:	32.3m <sup>2</sup>
First Floor:	197.7m <sup>2</sup>
Balcony:	24.1m <sup>2</sup>
<b>TOTAL:</b>	<b>495m<sup>2</sup></b>
	<b>53.3 SQUARES</b>

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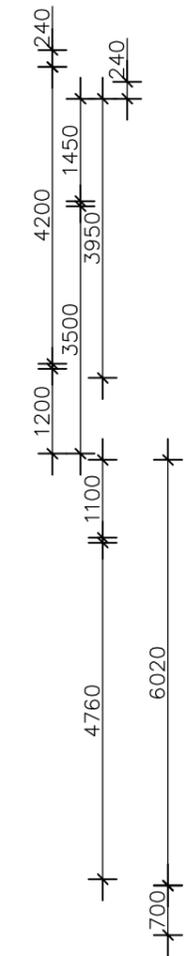
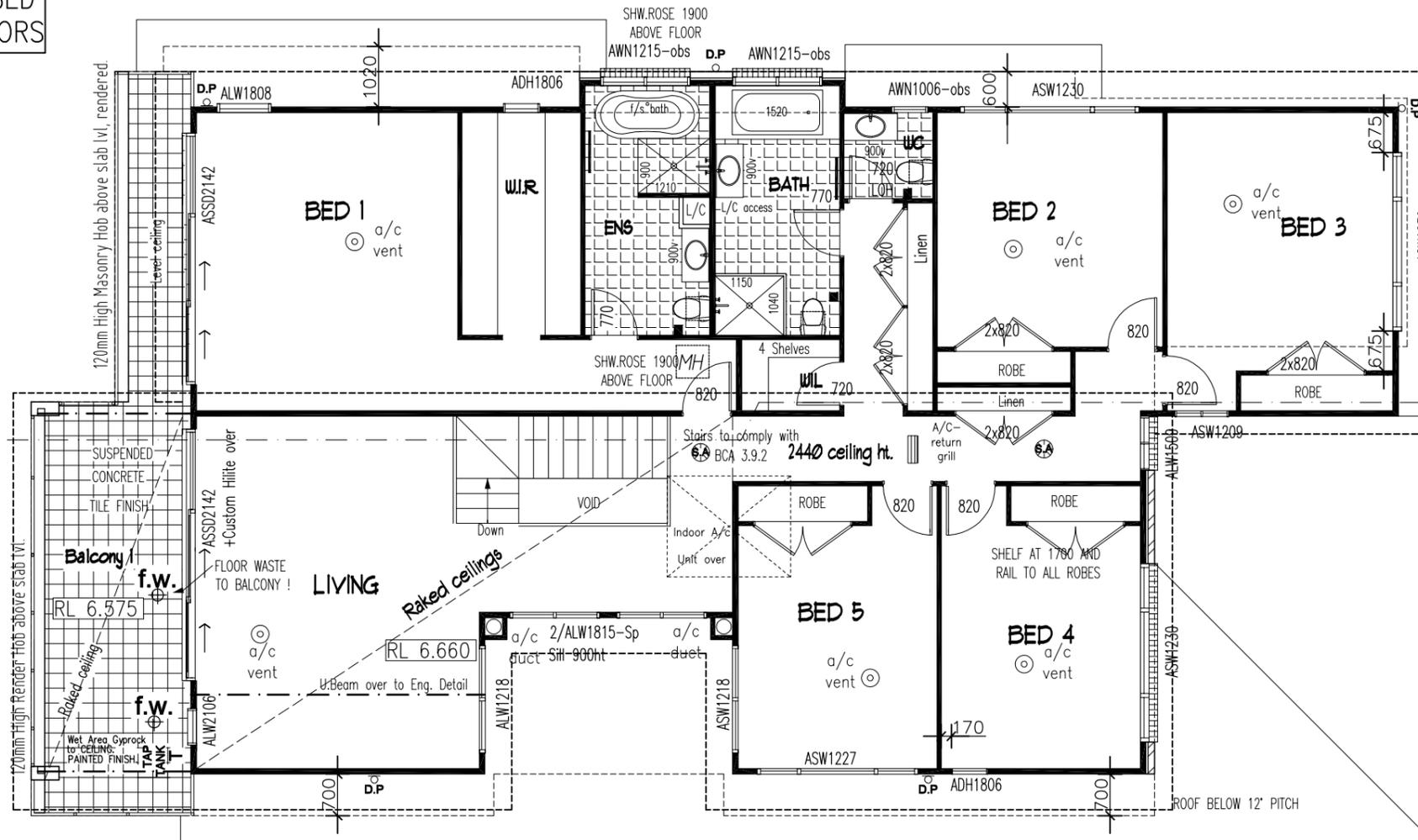
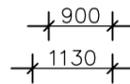
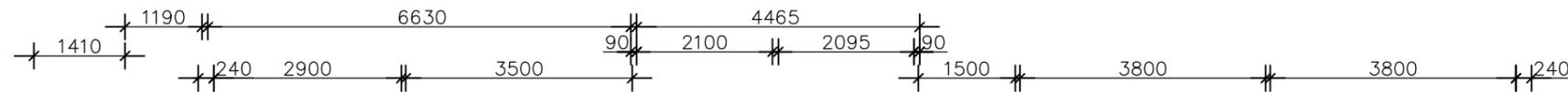
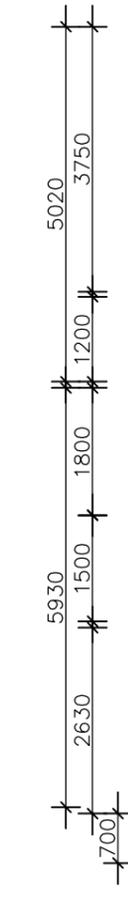
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**FIXING LEGEND**

- TOWEL RAIL ———
- TOILET ROLL ■

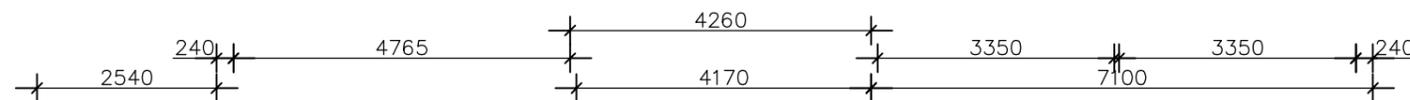
BULKHEAD AND STACK LOCATION TO BUILDERS DISCRETION

R4.0 BULK INSULATION TO BED 1, WIR & BED 3 CANTILEVERED FLOORS



R2.5 HIGH DENSITY INSULATION TO ALL EXTERNAL WALLS

R4.0 BULK INSULATION TO ALL CEILINGS OVER LIVING AREAS (EXCL. CARPORT)



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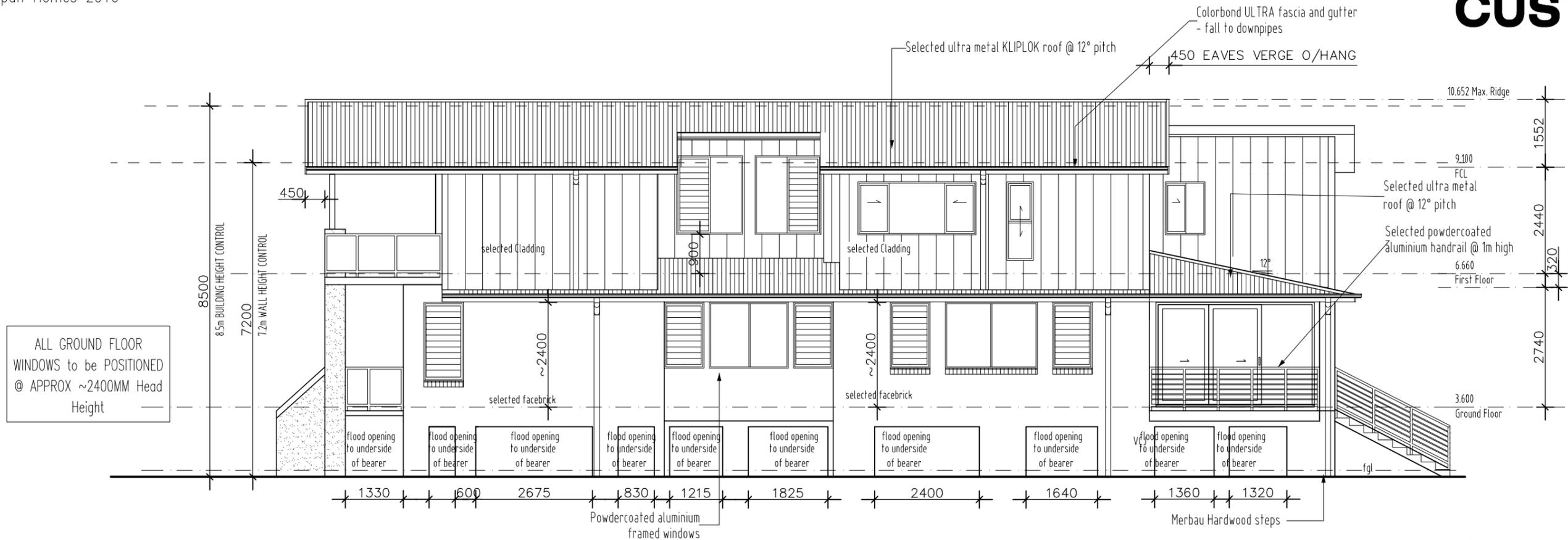
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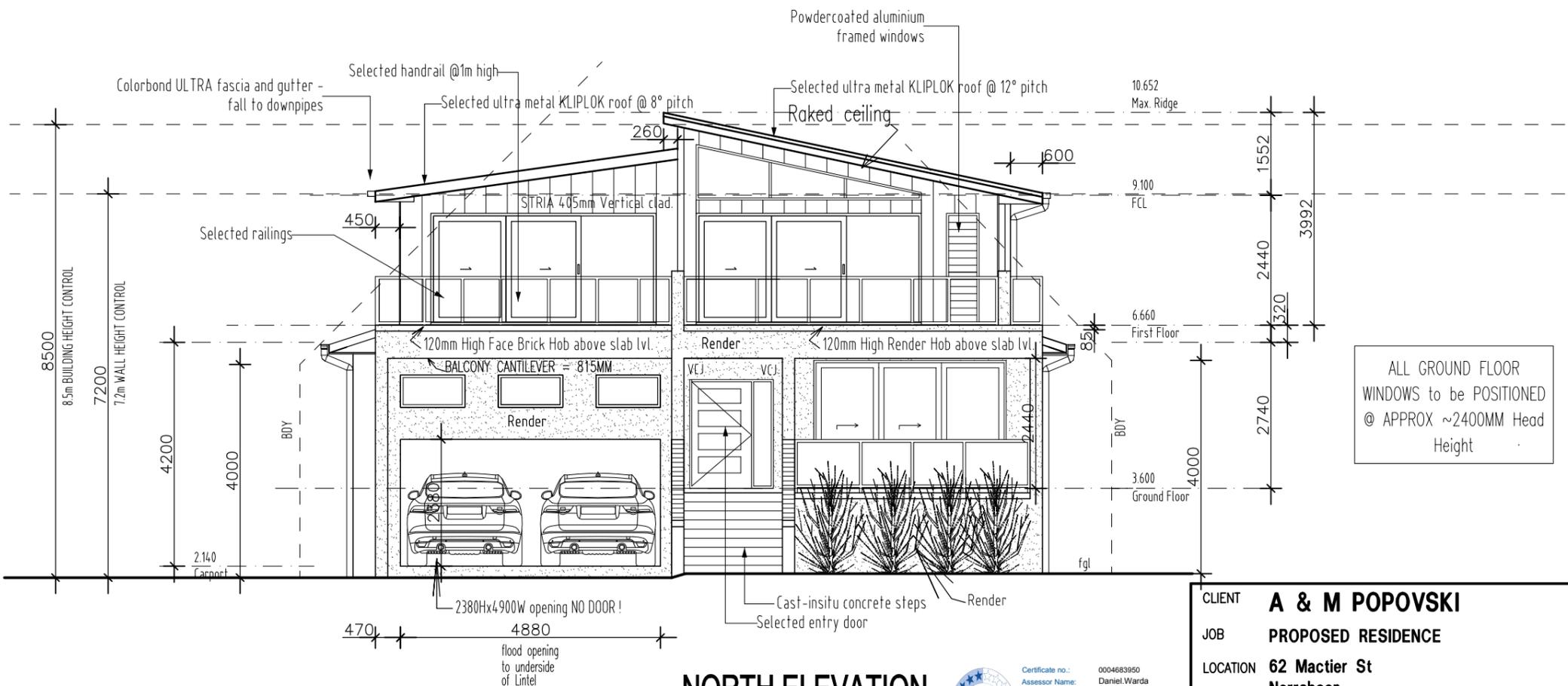
**FIRST FLOOR PLAN**  
SCALE 1:100

- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION.  
- FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.



**WEST ELEVATION**

SCALE 1:100



**NORTH ELEVATION**

SCALE 1:100



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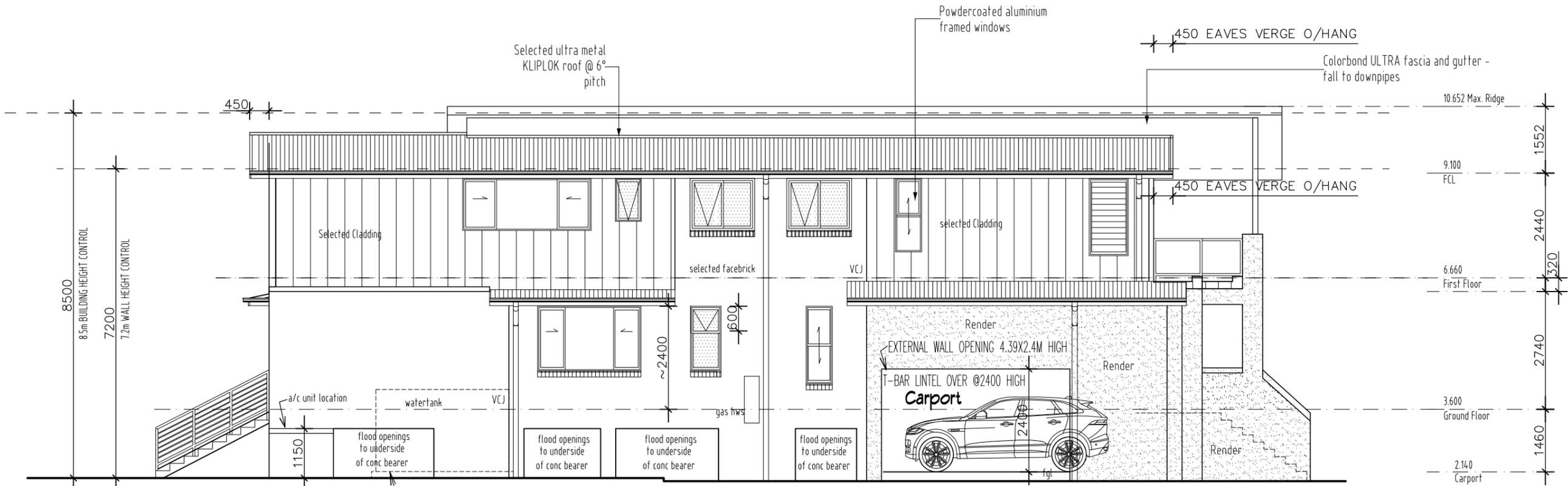
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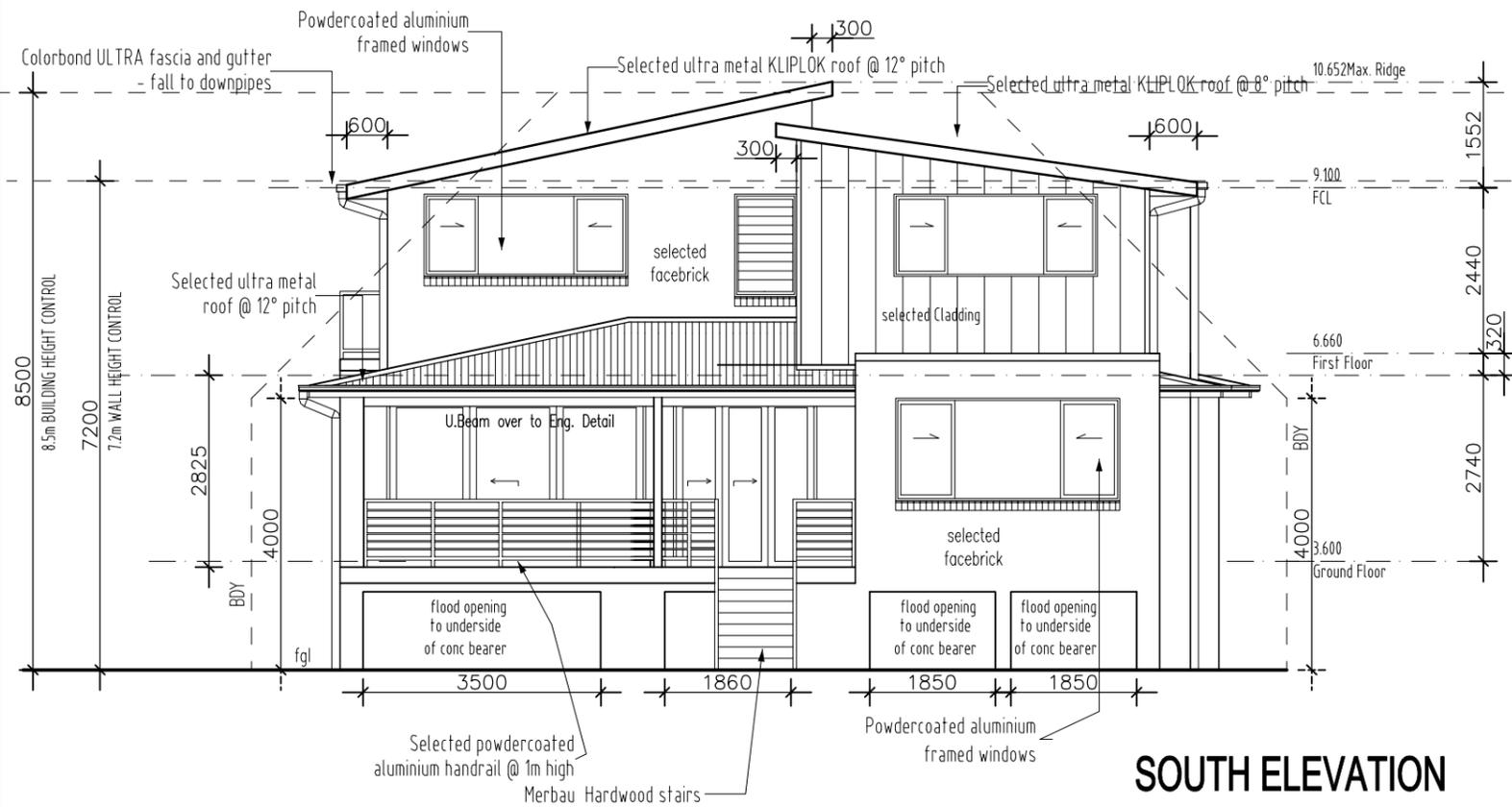
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ALL GROUND FLOOR WINDOWS to be POSITIONED @ APPROX ~2400MM Head Height

**EAST ELEVATION**  
SCALE 1:100



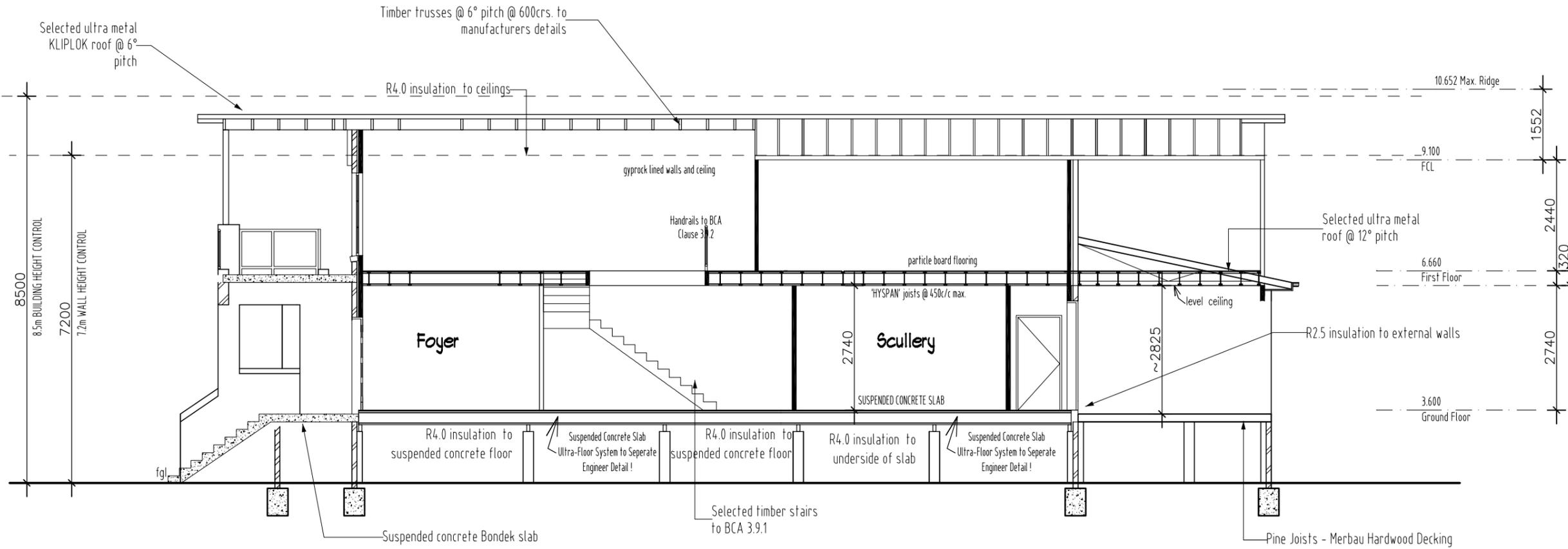
ALL GROUND FLOOR WINDOWS to be POSITIONED @ APPROX ~2400MM Head Height

**SOUTH ELEVATION**  
SCALE 1:100

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SUSPENDED TIMBER FLOORS  
 \* GALVANISED ANTI-CAPPING TO BRICK PIERS & FOUNDATION WALLS  
 \* REINF.CONC. FOUNDATIONS TO ENGINEER'S DETAIL

BULKHEAD AND STACK LOCATION TO BUILDERS DISCRETION

BRACING, TIE DOWN AND GLAZING DETAILS TO ENGINEERS SPECIFICATIONS

STAINLESS STEEL COLLARS TO ALL SLAB PENETRATIONS PERMANENT EXPOSED SLAB EDGE TERMIMESH TREATMENT AS PER SPEC.

19mm COMPRESSED FC SHEETING PLUS WET AREA WATERPROOFING INSTALLATION AS PER AS 3740 TO WET ROOMS

HANDRAILS TO BCA 3.9.2

STAINLESS STEEL WALL TIES & GALVANIZING TO ANY EXPOSED BEAMS

NOTE: BLUE H2-F TIMBER FRAMING TO COMPLY WITH AS1684

NOTE: Wet area waterproofing installation as per AS3740

Stainless steel collars to all slab penetrations permanent exposed slab edge termimesh treatment as per spec.

Where applicable structural concrete piers through fill to engs. details

R4.0 BULK INSULATION TO UNDERSIDE OF SLAB

R4.0 BULK INSULATION TO BED 1, WIR & BED 3 CANTILEVERED FLOORS

R2.5 HIGH DENSITY INSULATION TO ALL EXTERNAL WALLS

R4.0 BULK INSULATION TO ALL CEILINGS OVER LIVING AREAS (EXCL. CARPORT)

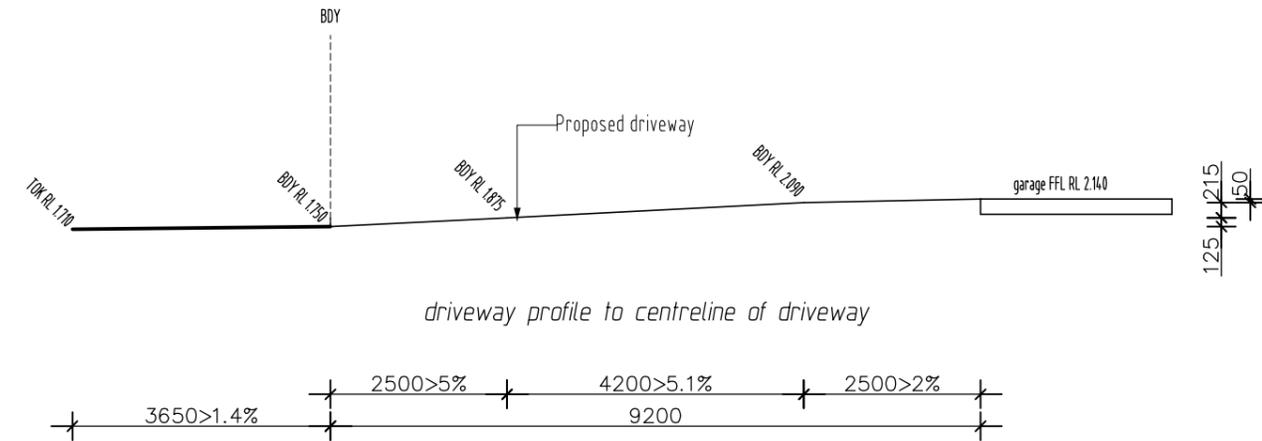
## SECTION A-A SCALE 1:100

### BRICKLAYER

LOCATION OF VERTICAL CONTROL JOINTS SHOWN ON PLAN TO BE USED AS GUIDE ONLY. REFER TO BCA 3.3.1.8(b) BELOW FOR CONFIRMATION.  
 BCA 3.3.1.8  
 (b) Articulation joints must have a width not less than 10mm and be provided  
 (i) in straight, continuous walls having no openings, at not more than 6m centres and not closer than the height of the wall away from corners; and  
 (ii) where the height of the wall changes by more than 20%, at the position of change in height; and  
 (iii) where openings more than 900x900mm occur, at not more than 5m centres, and positioned in line with one edge of the opening; and  
 (iv) where walls change in thickness; and  
 (v) at control or construction joints in footing slabs; and  
 (vi) at junctions of walls constructed of different masonry materials; and  
 (vii) at deep chases (rebates) for service pipes.

### ENGINEER

ALL STRUCTURAL REFERENCES MADE ON THIS PLAN ARE TO BE DESIGNED AND ALSO STATED ON AN ENGINEERS CERTIFICATE AS BEING WHOLLY APPROVED BEFORE COMMENCEMENT OF ANY WORKS. THESE DRAWINGS ARE TO BE THEN READ IN CONJUNCTION WITH ENGINEERS PLANS AND DOCUMENTS, WITH ENGINEERS REFERENCES TAKING PRECEDENCE.



## DRIVEWAY PROFILE SCALE 1:100

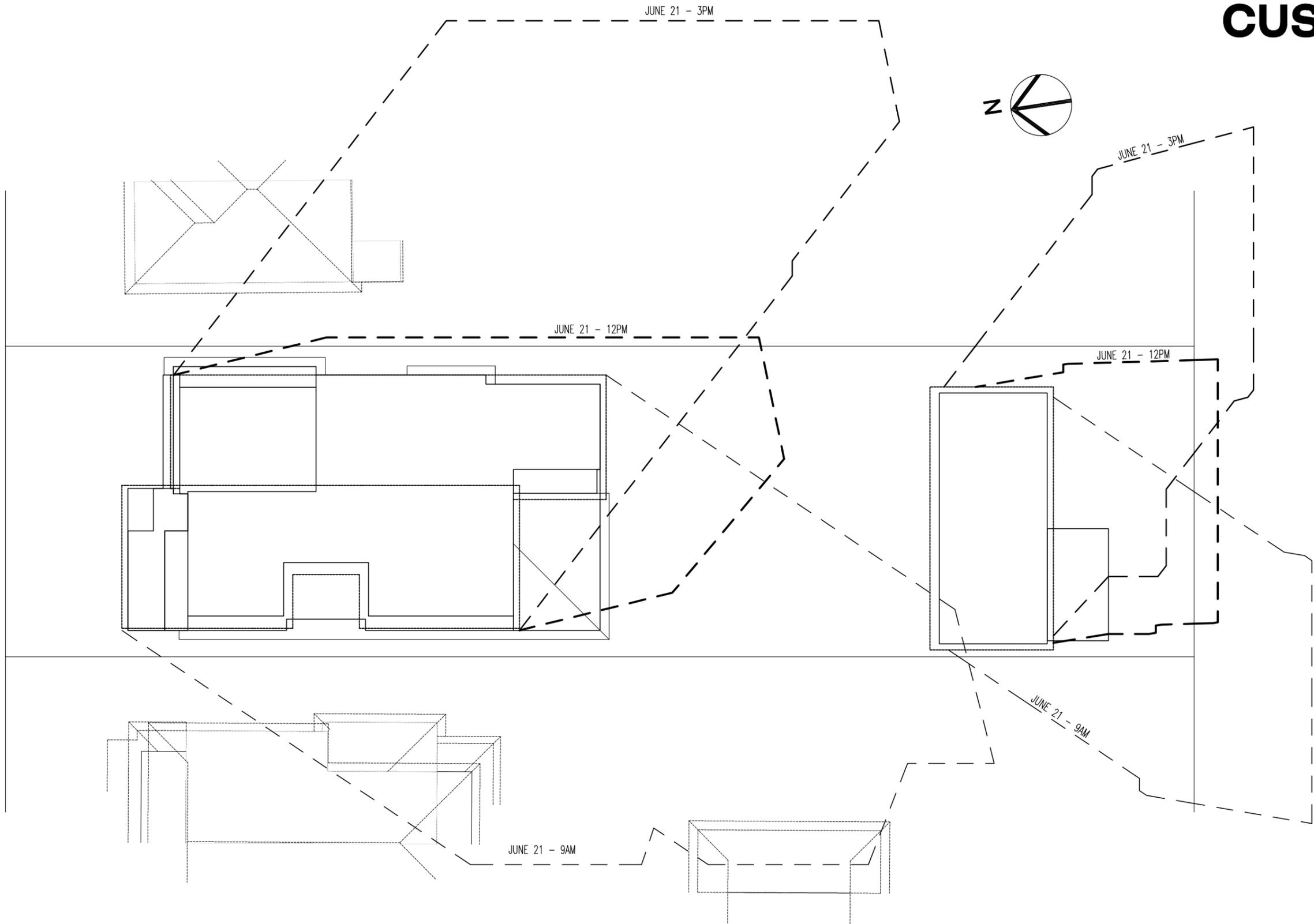


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MACTIER STREET



**SHADOW DIAGRAM**  
SCALE 1:200

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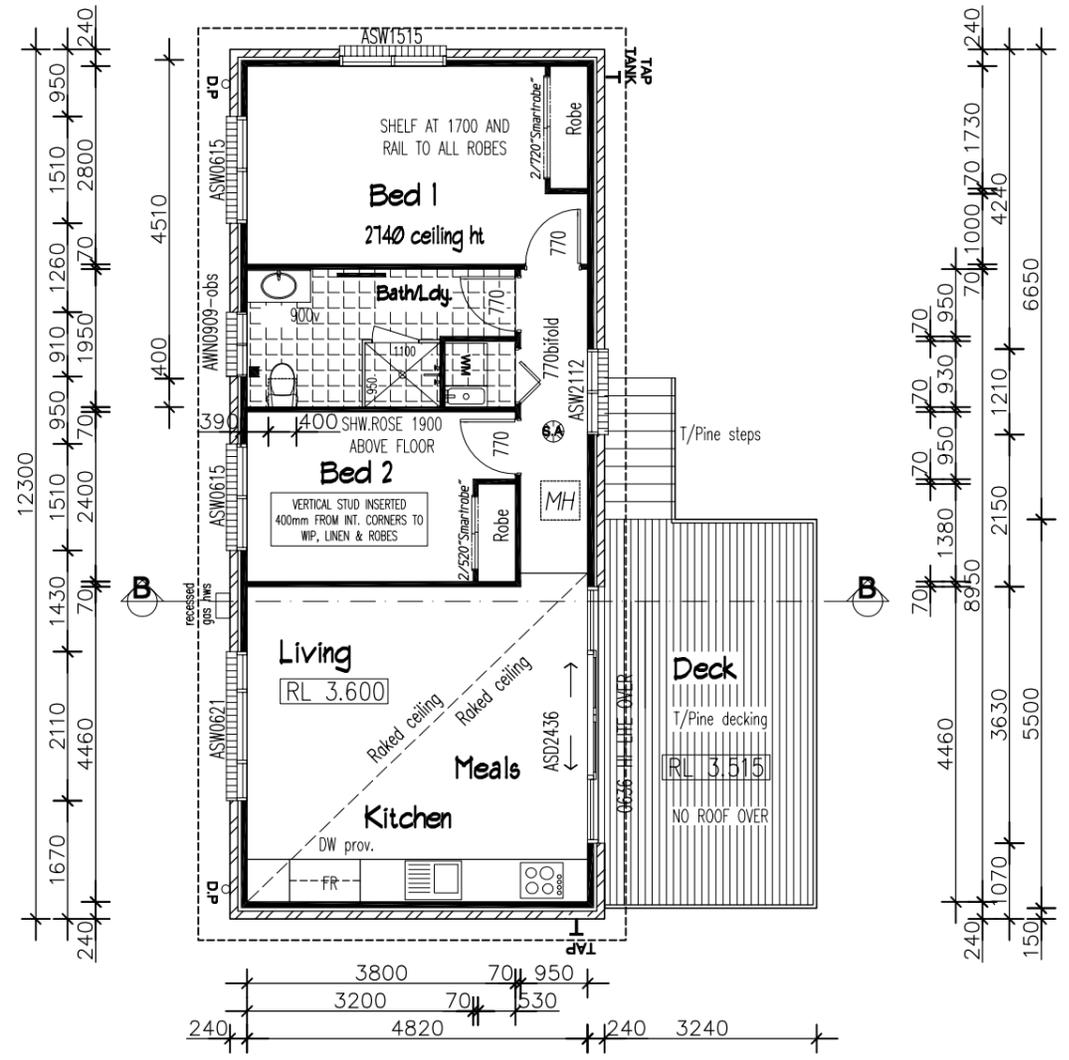
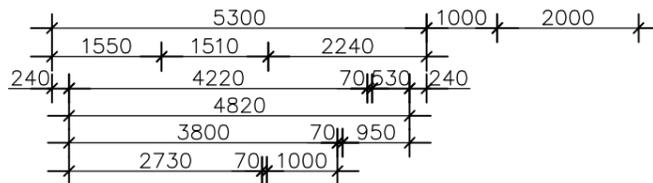
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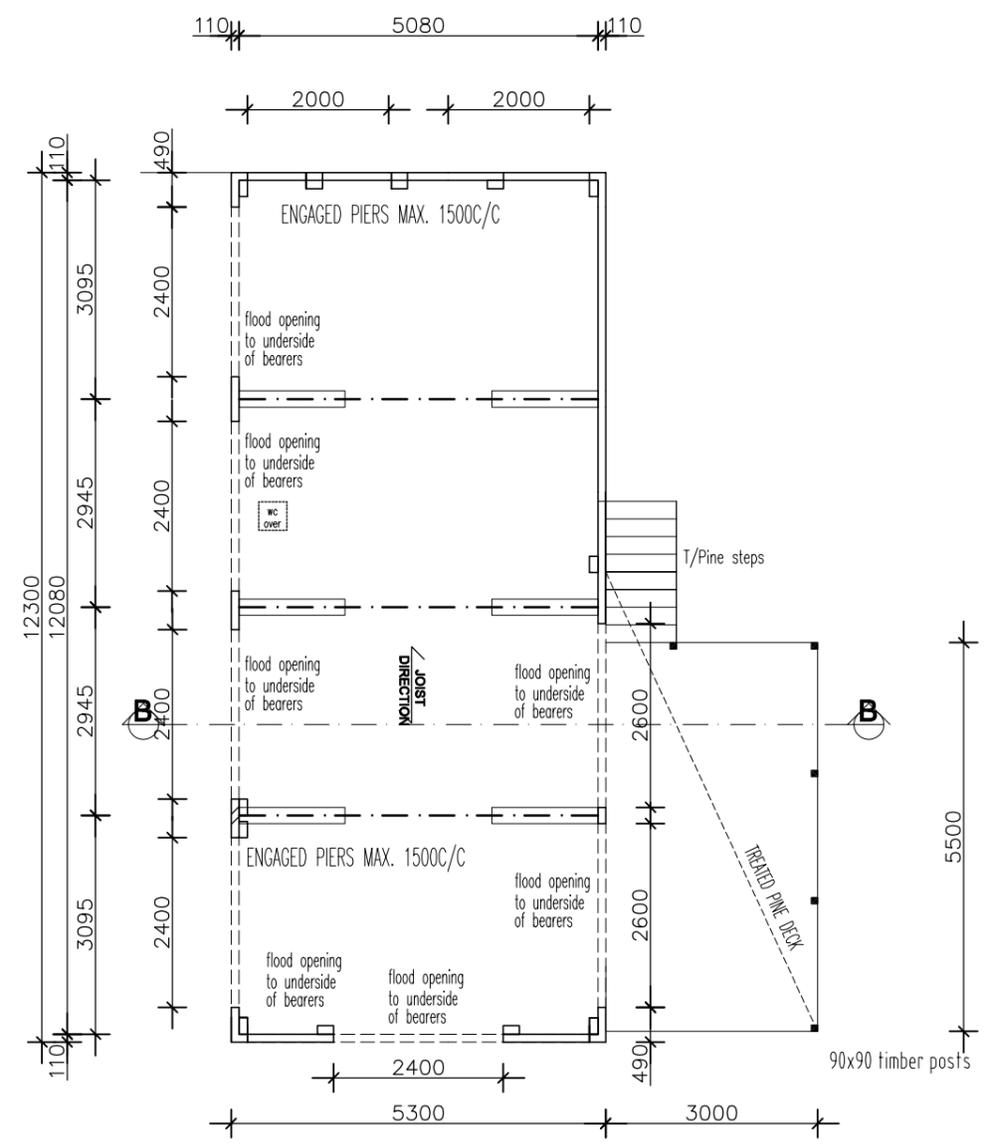
**FIXING LEGEND**

- TOWEL RAIL ———
- TOILET ROLL ■

BULKHEAD AND STACK LOCATION TO BUILDERS DISCRETION



**GROUND FLOOR PLAN (secondary dwelling)**  
SCALE 1:100



**SUB-FLOOR PLAN (secondary dwelling)**  
SCALE 1:100

AREAS:	
Secondary Dwelling:	60.0m <sup>2</sup>
Deck:	17.5m <sup>2</sup>
<b>TOTAL:</b>	<b>77.5m<sup>2</sup></b>



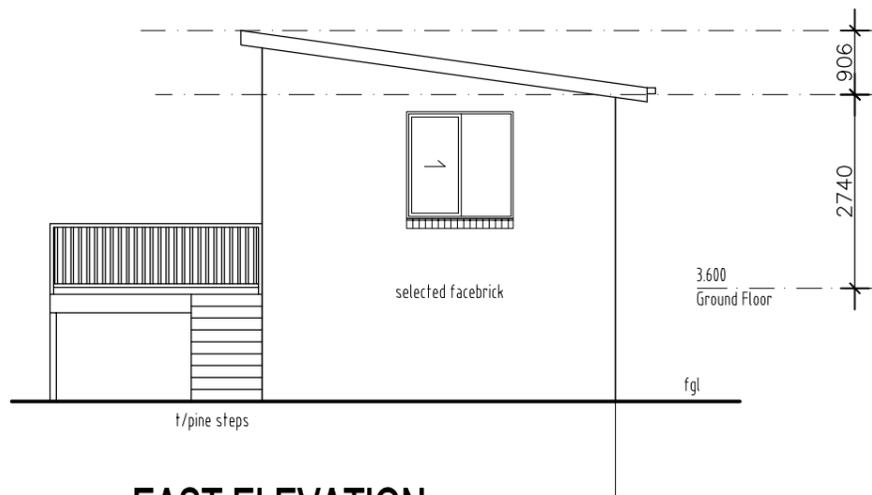
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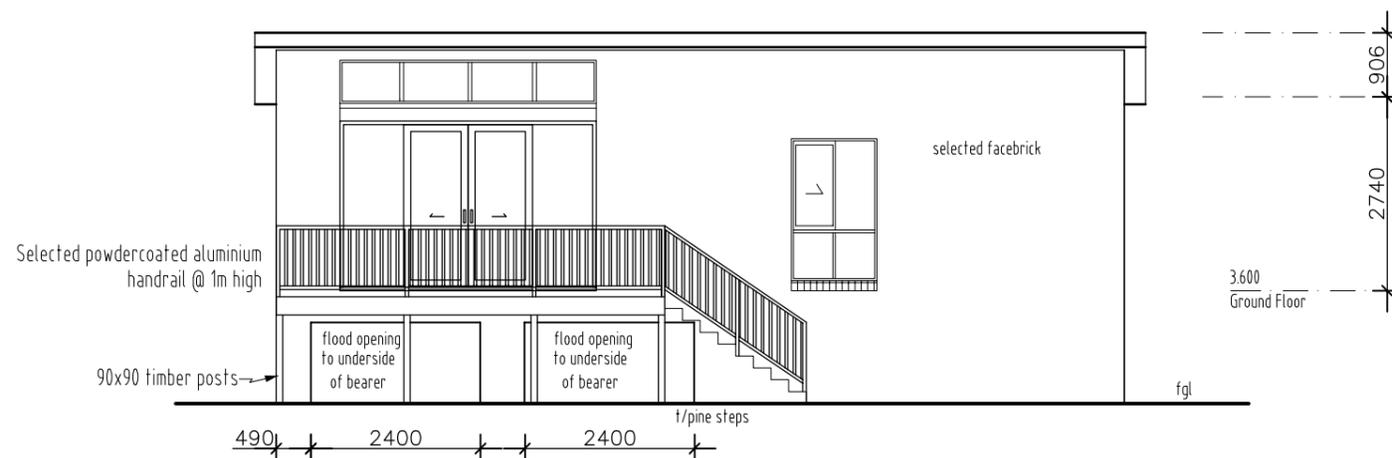
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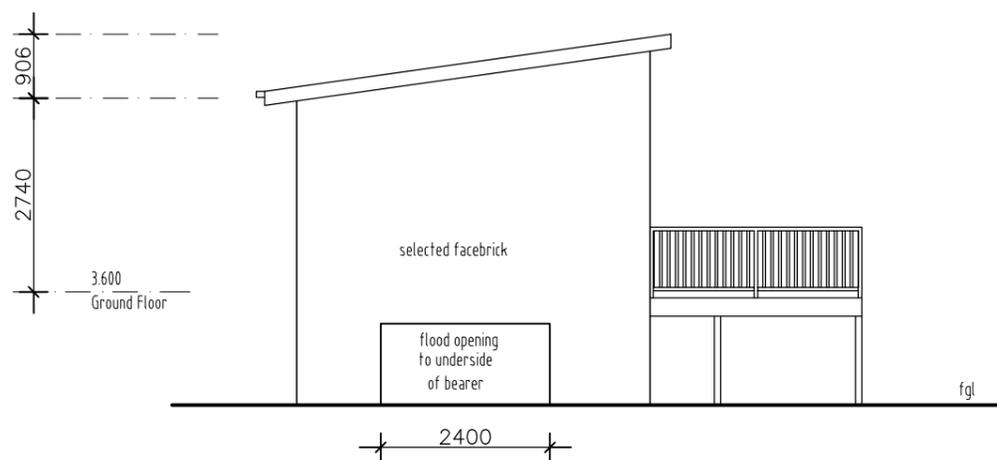
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**EAST ELEVATION**  
SCALE 1:100



**SOUTH ELEVATION**  
SCALE 1:100



**WEST ELEVATION**  
SCALE 1:100



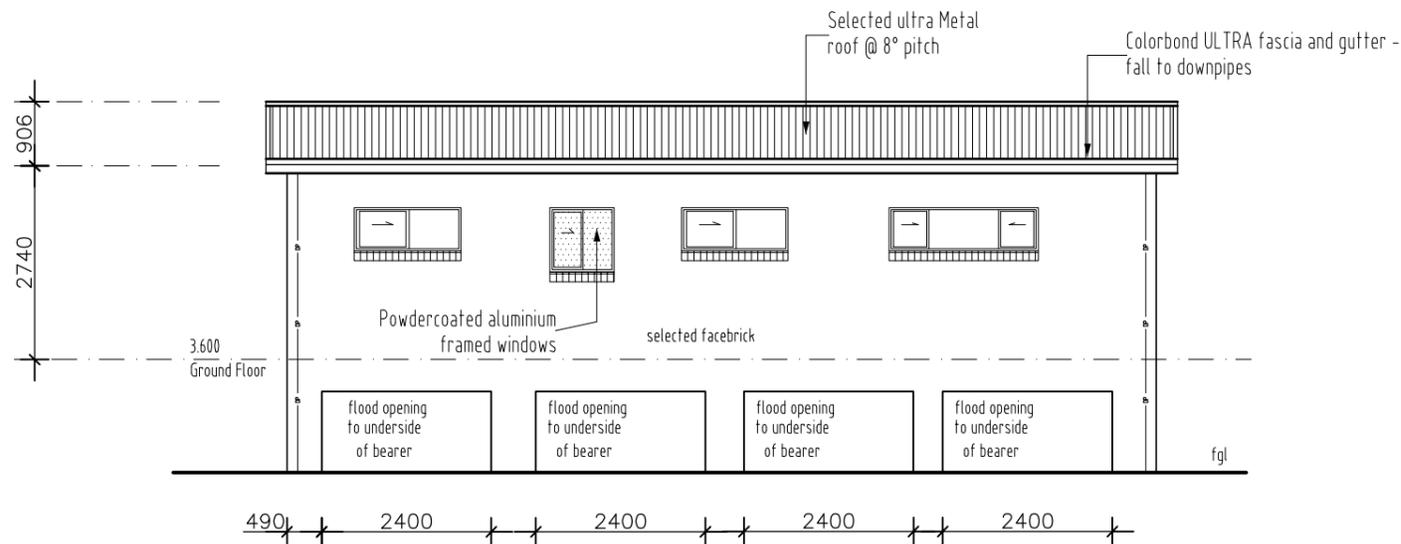
CLIENT	<b>A &amp; M POPOVSKI</b>	
JOB	<b>PROPOSED RESIDENCE</b>	
LOCATION	<b>62 Mactier St Narrabeen</b>	
- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION. - FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.		
SHEET	DATE	DWG No.
10 of 15	23/03/2020	<b>7292-wd8</b>

plan prepared by  
**TULLIPAN HOMES**

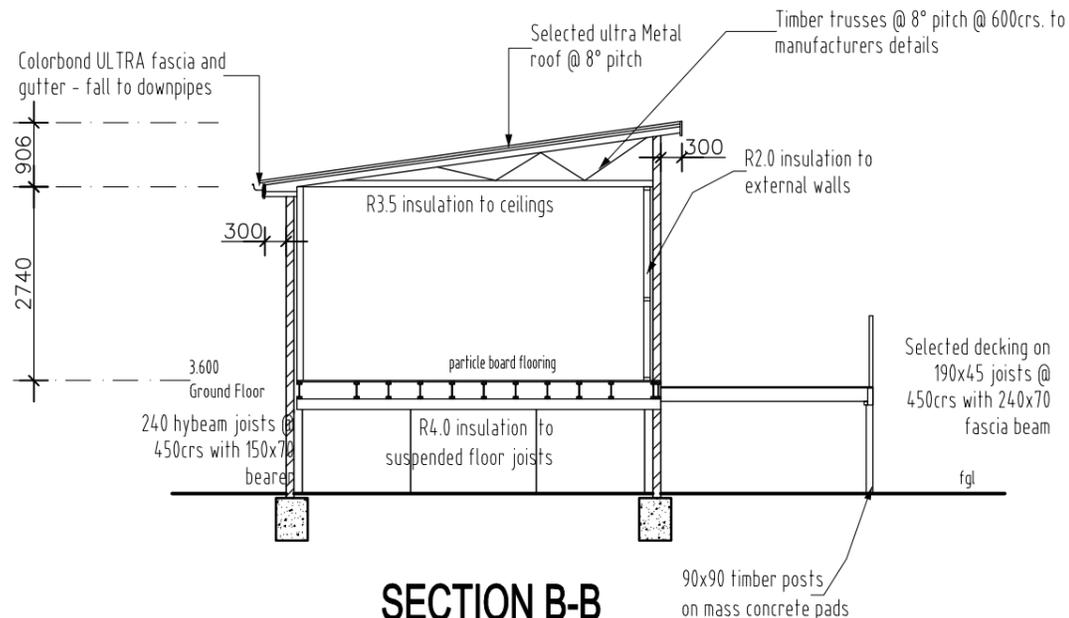
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**NORTH ELEVATION**  
SCALE 1:100



**SECTION B-B**  
SCALE 1:100

SUSPENDED TIMBER FLOORS  
\* GALVANISED ANT CAPPING TO BRICK PIERS & FOUNDATION WALLS  
\* REINF.CONC. FOUNDATIONS TO ENGINEER'S DETAIL

BULKHEAD AND STACK LOCATION TO BUILDERS DISCRETION

BRACING, TIE DOWN AND GLAZING DETAILS TO ENGINEERS SPECIFICATIONS

STAINLESS STEEL COLLARS TO ALL SLAB PENETRATIONS PERMANENT EXPOSED SLAB EDGE TERMIMESH TREATMENT AS PER SPEC.

19mm COMPRESSED FC SHEETING PLUS WET AREA WATERPROOFING INSTALLATION AS PER AS 3740 TO WET ROOMS

HANDRAILS TO BCA 3.9.2

STAINLESS STEEL WALL TIES & GALVANIZING TO ANY EXPOSED BEAMS

NOTE: BLUE H2-F TIMBER FRAMING TO COMPLY WITH AS1684

NOTE: Wet area waterproofing installation as per AS3740

Stainless steel collars to all slab penetrations permanent exposed slab edge termimesh treatment as per spec.

Where applicable structural concrete piers through fill to engs. details

### BRICKLAYER

LOCATION OF VERTICAL CONTROL JOINTS SHOWN ON PLAN TO BE USED AS GUIDE ONLY. REFER TO BCA 3.3.1.8(b) BELOW FOR CONFIRMATION.  
BCA 3.3.1.8

- (b) Articulation joints must have a width not less than 10mm and be provided
- (i) in straight, continuous walls having no openings, at not more than 6m centres and not closer than the height of the wall away from corners; and
  - (ii) where the height of the wall changes by more than 20%, at the position of change in height; and
  - (iii) where openings more than 900x900mm occur, at not more than 5m centres, and positioned in line with one edge of the opening; and
  - (iv) where walls change in thickness; and
  - (v) at control or construction joints in footing slabs; and
  - (vi) at junctions of walls constructed of different masonry materials; and
  - (vii) at deep chases (rebates) for service pipes.

### ENGINEER

ALL STRUCTURAL REFERENCES MADE ON THIS PLAN ARE TO BE DESIGNED AND ALSO STATED ON AN ENGINEER'S CERTIFICATE AS BEING WHOLLY APPROVED BEFORE COMMENCEMENT OF ANY WORKS. THESE DRAWINGS ARE TO BE THEN READ IN CONJUNCTION WITH ENGINEERS PLANS AND DOCUMENTS, WITH ENGINEERS REFERENCES TAKING PRECEDENCE.



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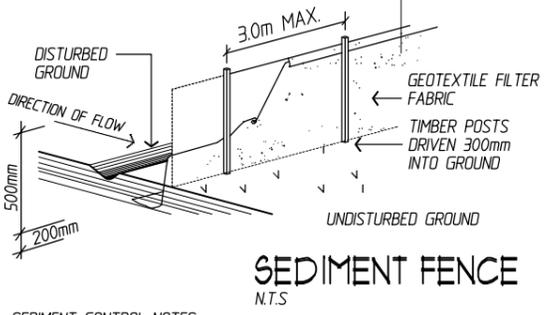
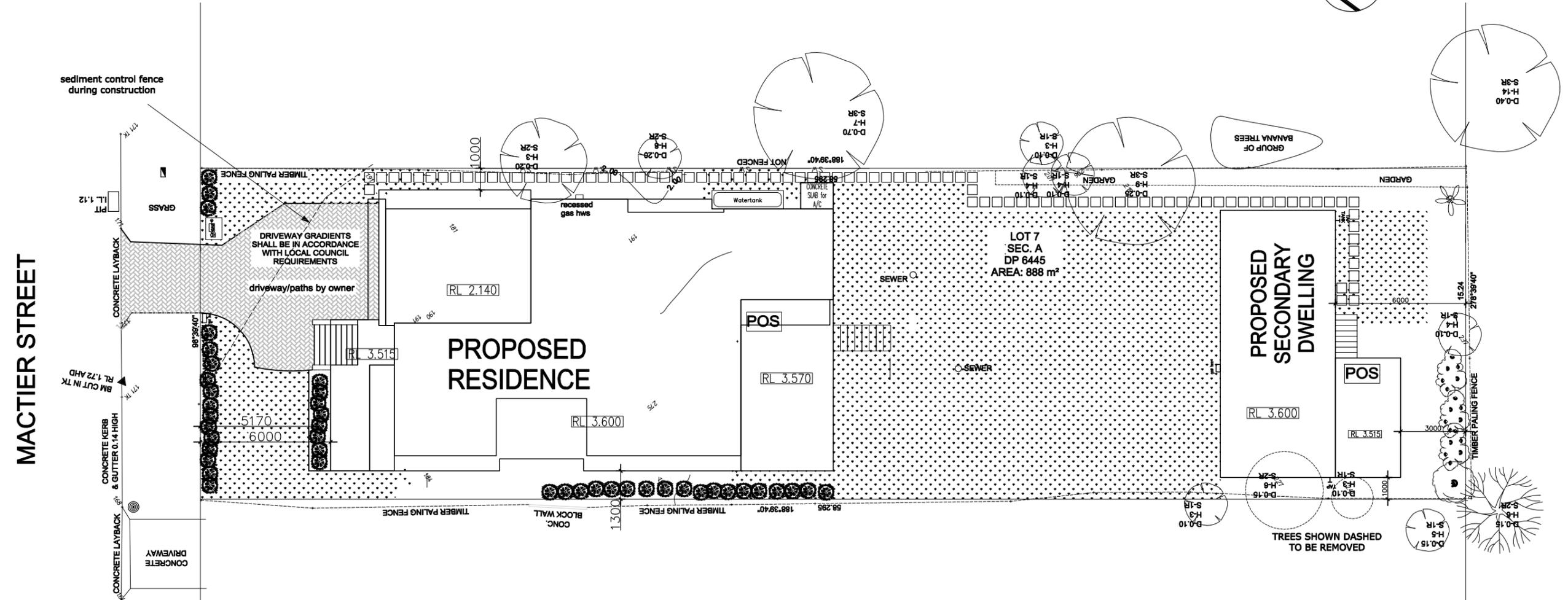
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**NOTES AND SPECIFICATIONS**  
 POOL AND POOL FENCING  
 Installation of pool shell and surrounds to be done in accordance with manufacturers specifications and details.  
 Installation of pool fencing to be in accordance with The Swimming Pools Act 1992 and AS 1926- the pool fence shall be not less than 1.2m all the way around with a self closing gate.  
 No ancillary structures not immediately associated with the swimming pool, must be kept within the pool/fenced area.  
 It is the property owner's responsibility to ensure the fence is maintained and the self closing pool gate is in good working order.

**BASIC REQUIREMENTS**  
 SWIMMING POOL  
 - MUST HAVE A POOL COVER  
 - MUST INSTALL A POOL PUMP TIMER FOR THE SWIMMING POOL  
 - MUST INSTALL A WATER TANK WITH A MINIMUM CAPACITY OF 130LITRES  
 - MUST INSTALL THE FOLLOWING HEATING SYSTEM FOR THE SWIMMING POOL THAT IS PART OF THIS DEVELOPMENT- GAS



**SEDIMENT CONTROL NOTES**

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

**NOTES**

**WEEDS**  
 REMOVE ALL WEEDS PRIOR TO PLANTING WITH NON-RESIDUAL GLYPHOSATE HERBICIDE OR HAND REMOVAL.

**SUBSOIL**  
 CULTIVATE 100MM DEPTH. DO NOT DISTURB SERVICES. IF NECESSARY CULTIVATE THESE AREAS BY HAND. REMOVE RUBBISH AND TRIM TO LEVELS.

**SOIL**  
 INSTALL IMPORTED TOPSOIL TO DEPTH OF 300MM IN PREPARED GARDEN BEDS FREE OF DELETERIOUS MATERIALS, BUILDERS RUBBLE OR OTHER MATERIAL TOXIC TO PLANTS.

**ORGANIC MULCH**  
 INSTALL FOREST MULCH FLUSH WITH SURROUNDING LEVELS 75MM THICK TO ALL PLANTED AREAS EXCEPT WHERE GRAVEL MULCH SPECIFIED.

**GRAVEL MULCH**  
 INSTALL SELECTED GRAVEL MULCH OR PEBBLES FLUSH WITH SURROUNDING LEVELS 50MM THICK WHERE SPECIFIED.

**FERTILISER**  
 INCORPORATE 9 MONTH SLOW RELEASE FERTILISER TO ALL PLANTED AREAS AFTER PLANTING AT MANUFACTURERS RECOMMENDED RATES.

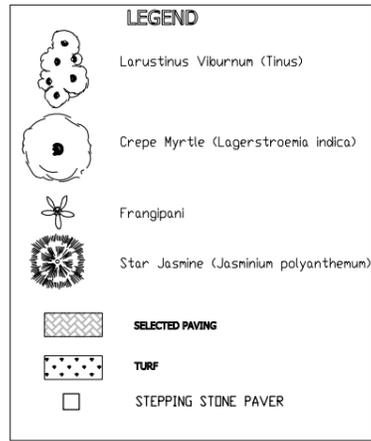
**TURF**  
 CSR WALTER BUFFALO  
 PLANT MATERIAL  
 PLANTS SHALL BE VIGOROUS, HARDENED OFF, WELL ESTABLISHED AND FREE FROM DISEASE AND PESTS WITH HEALTHY ROOT SYSTEM.

**GARDEN FENCING**  
 3 X 100MM GALVANISED STEEL EDGE SECURED AT 1M INTERVALS

**PAVING**  
 SELECTED PAVERS INSTALLED ONTO PREPARED SUB-BASE.

**DRIVEWAY & PATHS**  
 CONCRETE & INSTALLED BY OTHERS

**MAINTENANCE**  
 12 WEEDS  
 WATER DEEPLY AT PLANTING AND WEEKLY FOR SIX WEEKS AND THEN AS WEATHER DICTATES.



**STORMWATER DESIGN REFER SEPERATE DETAIL DRAWINGS**

**CAUTION:**

1. UTILITY SERVICES SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. IF NOT ABLE TO BE LOCATED, SERVICES HAVE BEEN PLOTTED FROM THE RECORDS OF RELEVANT AUTHORITIES WHERE AVAILABLE. PRIOR TO EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR CONFIRMATION OF LOCATION OF SERVICES. \*\*\*\* DIAL BEFORE YOU DIG (CALL 1100) \*\*\*\*
2. THE BOUNDARIES SHOWN HEREON ARE APPROXIMATE ONLY. FOR ANY CONSTRUCTION ACTIVITIES PROPOSED IN CLOSE PROXIMITY TO THE BOUNDARIES, IT IS RECOMMENDED THAT THOSE BOUNDARIES BE MARKED TO AVOID POSSIBILITY OF ENCROACHMENT.



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00/00/00	#	REVISION
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