

**PROPOSED ALTERATIONS & ADDITIONS**  
**Amended Plans - Dated 7th JULY 2025**  
**To include Pool & Spa Plan**

**LINDSAY & SHARYN WHITTON**  
**118 IRRUBEL ROAD NEWPORT NSW 2106**  
**LOT 1 - DP 562825**

Page 1 - Cover page  
 Page 2 - Existing First Floor & Demolition Plan  
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 Page 6 - East & South Elevations  
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**EXISTING FRONT IMAGE**  
**(Includes new colour scheme)**

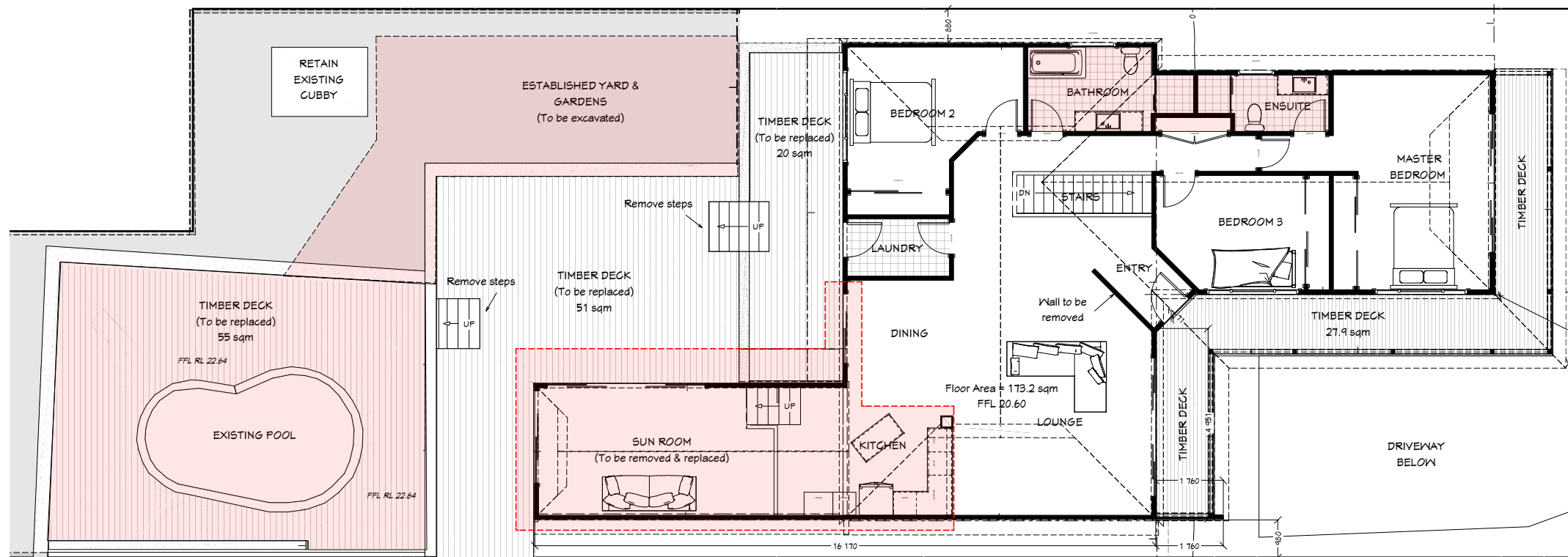


**PROPOSED REAR IMAGE**



**EXISTING REAR IMAGE**

PROJECT:	<b>PROPOSED ALTERATIONS &amp; ADDITIONS</b>	SCALE:	<b>1 : 100mm</b>	 <p><b>Planning 2 Build</b>                  Design &amp; Drafting                  DA &amp; CDC Submissions</p> <p>Email: <a href="mailto:tony@planning2build.com.au">tony@planning2build.com.au</a> Mobile: 0419 800 614</p>	<p>This drawing and design is subject to copyright and may not be copied or reproduced without prior written consent from Planning 2 Build</p> <p><a href="http://www.planning2build.com.au">www.planning2build.com.au</a>                  ABN 23273311856</p>	 <p><b>bdac</b>                  ACCREDITED                  BUILDING DESIGNER</p> <p>Building Designers                  Association of Australia                  Accreditation No 6405</p>	<p>All works to be carried out in accordance with the requirements of the following:                  Current National Construction Code Building Code of Australia, including All relevant Australian Standards.</p> <p>All dimensions are to be checked and verified on site before commencement of work.</p>
CLIENT:	<b>LINDSAY &amp; SHARYN WHITTON</b>	DATE:	<b>7th JULY 2025</b>				
SITE ADDRESS:	<b>118 IRRUBEL ROAD NEWPORT NSW 2106</b>	SHEET:	<b>Page 1 / 10</b>				



**EXISTING FIRST FLOOR PLAN**  
(Showing areas of demolition & reconstruction)

#### DEMOLITION WORK

Demolition should adhere to the guidelines contained in the Code of practice for Demolition work and may include:

1. the location of the site on which the structure to be demolished stands
2. the overall height of the structure above ground level and the least distance from the structure to each site boundary
3. the type of building (occupancy class), its structural support system and the principal materials of its construction
4. the proposed methods of demolition including the number and types of major items of plant
5. the proposed methods for handling and disposing of demolished materials and, in particular, of hazardous materials
6. the proposed methods of controlling and maintaining entry and exit to the workplace
7. the proposed sequence of carrying out the demolition works and an estimate of the time (in days) it is likely to take to complete all of each of the stages of the work
8. the proposed hoardings, scaffolding, fencing and overhead sidewalk protection
9. other plans, illustrations, written documents, or specialist reports as may be necessary to support the proposed methods of work or protective structures
10. traffic management arrangements, including managing vehicles and mobile plant hazards in relation to operation at the workplace and interaction with the public

11. the location and condition of underground essential services including:

- > electricity > drainage and sewerage > gas > water
- > communications cables, for example telephone, radio and television relay lines
- > hydraulic pressure mains > liquid fuel lines > lubrication systems > process lines (chemical, acid).

12. the location and condition of:

- > above ground essential services
- > hazardous materials including asbestos
- > underground structures such as a basement, cellars, or storage tanks.

13. confined spaces where work will be undertaken

14. the general condition of structures on adjoining properties, particularly where these are close to or on the boundaries of the demolition workplace

15. the effect demolition may have on people working in adjoining properties or seeking entry to and exit from those properties, and

16. the emergency arrangements, which should include equipment for the rescue of injured persons.

PROJECT:

**PROPOSED  
ALTERATIONS & ADDITIONS**

SCALE:

**1 : 100mm**

CLIENT:

**LINDSAY & SHARYN WHITTON**

DATE:

**7th JULY  
2025**

SITE  
ADDRESS:

**118 IRRUBEL ROAD  
NEWPORT NSW 2106**

SHEET:

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**Planning  
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Email: [tony@planning2build.com.au](mailto:tony@planning2build.com.au) Mobile: 0419 800 614

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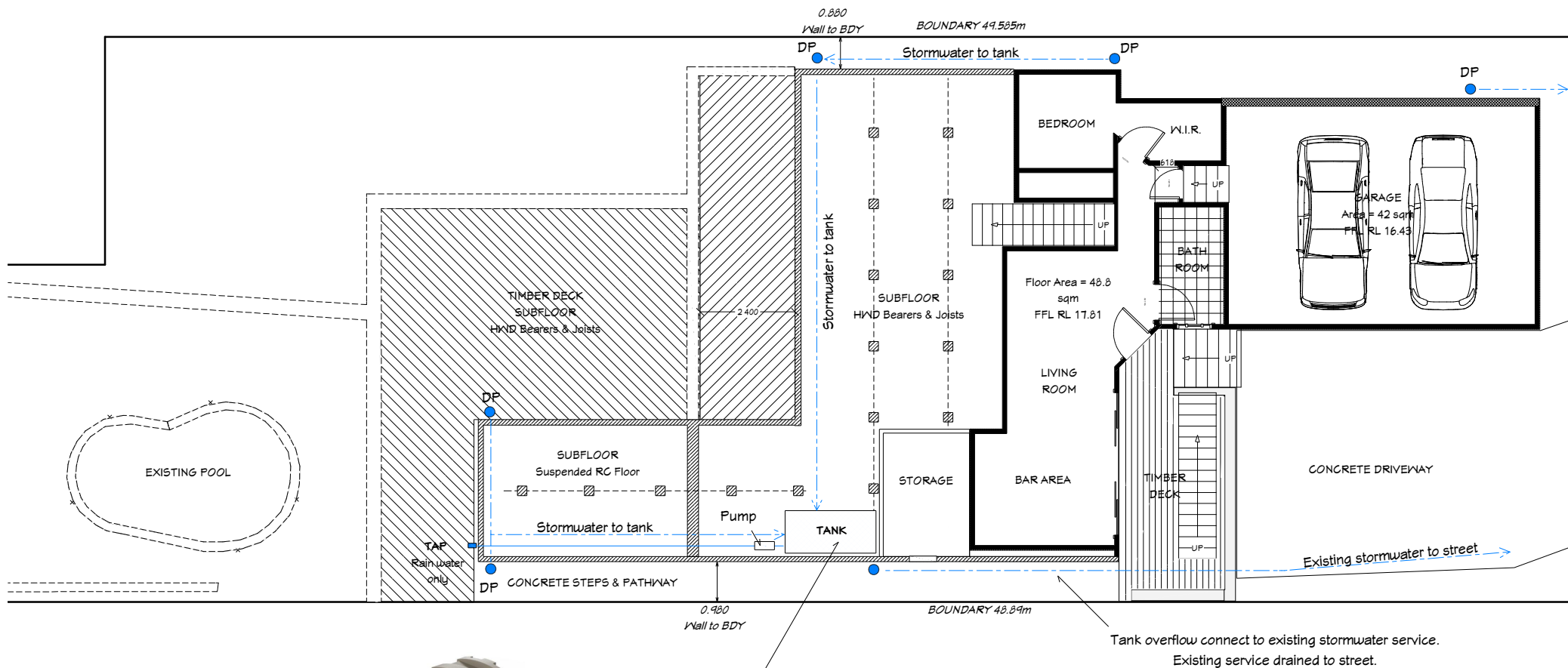
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Accreditation No 6405

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#### RAIN WATER TANK

Install a rainwater tank of at 2000 litres similar as shown, beneath kitchen floor in position shown. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rainwater runoff from at least 250 square metres of roof area. The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

#### EXISTING GROUND FLOOR PLAN

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- Selected palm trees/garden to be removed in the front and back garden. Most hedges and grassy borders to be retained. Sections of jasmine walltop low hedge plantings to be retained - others to be removed. Retain mondo grass.
- New hedge to be planted in front of upper back fence.
- New green long leafed garden in new section along back of pool area.

1. Hall cupboard to be removed to increase length of shower from 1000 to 1400mm
2. Windows to be removed and replaced to size & positions as shown.
3. Use Villaboard linings to walls in bathroom & Laundry areas. Ensure all wet area linings are installed in accordance with: **Selected Manufacturers installation instructions.**
4. Use Hardies Sycor wet area flooring with an approved waterproof membrane and selected microcrete application to bathroom & laundry areas
5. Apply an approved waterproof membrane to all wet areas in accordance with: **AS 3740 - Waterproofing of domestic wet areas.**

Construct new Green privacy screen to replace existing Boundary fencing using a detailed living green wall on structural timber framework clad with selected PVC pods to provide planting. Length & Heights to be determined on site.



- Existing pool to be renovated to Engineers details.
- New RC Spa as shown and all in accordance with Engineers details
- Selected Timber decking on H3 treated joists to abutt coping of pool & spa.

- Glass fence panels along the southern pool boundary (to replace current steel ) with timber batten opening gates below hiding pool equipment) and two glass panels around the corner (one higher) containing the gate, all with black brackets.

- White or timber v-board high gable ceiling – continue v-board out for eaves.
- Windows cedar frame to match current - 1 louvered/screened sections.
- Steel colourbond roof & Guttering (monument colour) to match existing.
- Built in gas BBQ (sink/ underbench fridge/cupboard) with bench along western wall to detail.
- Stone wall (same as interior) continue along Western wall
- Timber opening louvered screen - above the BBQ set to slide on the outside.
- Provision for electric exterior blinds on two open sides – hidden behind a pelmet on the beam
- Provision for alfresco area exterior heating along nth/sth beam

- Remove existing kitchen cabinets etc.. as required.
- All structural timber to floors, walls and roofing to be H2 treated and constructed in accordance with: Residential timber-framed construction- AS 1684.2-2010
- Raise FFL 370mm using H3 Treated joists over existing floor and replace with selected T&G flooring.
- New services to be installed as required all to new kitchen details.
- Use new FC compressed Linings to western wall to receive new selected stone veneer wall.
- New raked Ceilings in T&G pine lining boards.

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## MAIN BATHROOM - NOTES

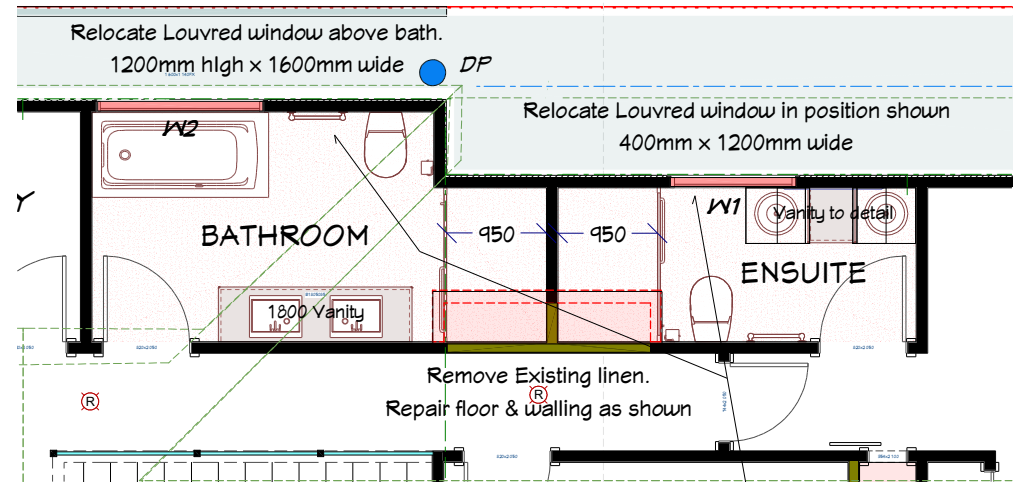
1. Window to be moved lower and to the north to sit at the bath level.
2. Clear glass with green wall outlook partially louvered.
3. Greenwall outside window for privacy and design.
4. Current 1400mm vanity to be replaced with new vanity 1800mm long.
5. Hall cupboard to be removed to increase length of shower from 1000 to 1400mm
6. All tiles and fittings to be removed and new waterproofing to AS.
7. Heated flooring installation.

- Entire stone wall opposite door, behind bath and toilet.
- White wall hung toilet in same place as current.
- Minicrete heated floor in bathroom and into shower, up walls to a set height
- Half fixed glass shower screen
- Shelf in the shower for Shampoo etc. along entire wall where taps/shower are
- White acrylic 1700mm bath with floor standing spout and wall taps
- concrete basins / spouts with lever handles on from bench
- Tapware & heated towel rail - toilet roll holder & soap holder
- White stone-topped recycled timber wall-hung double vanity to detail.
- Hanging rattan light on corner next to shower and vanity
- Strip Lighting
- Mirror – 2 irregular shaped backlit mirrors

## ENSUITE - NOTES

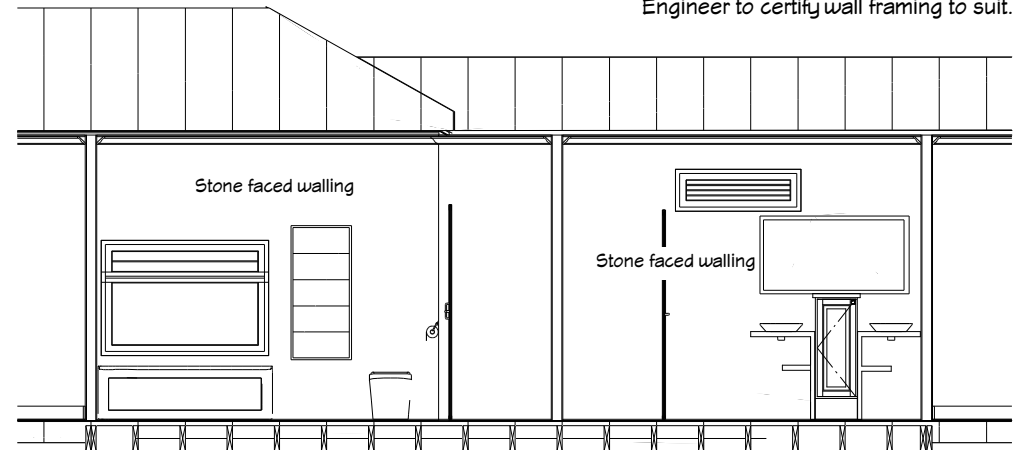
1. Window to be moved as shown and changed to frosted louvers.
2. Move the new wall hung toilet closer to the shower
3. Current small vanity to be replaced with new vanity all to detail.
4. Hall cupboard to be removed to increase length of shower from 1000 to 1400mm
5. All tiles and fittings to be removed and new waterproofing needed.
6. Heated floor installation.

- Full stone wall on wall opposite door around the window and vanity/mirror.
- LED Magnifying mirror on an arm to pull out from end wall
- P/P for toothbrushes in drawer.
- Two Heated towels rails in selected positions with toilet roll holder on wall between toilet and door.
- Minicrete heated floor in bathroom and into shower, up walls to a set height
- Half fixed glass shower screen
- Shelf in the shower for Shampoo etc. along entire wall, taps/shower in selected positions.
- Concrete basins / spouts with lever handles on from bench
- Two eated towel rail/ toilet roll holder/ soap holder??
- White stone-topped recycled timber wall-hung double vanity to detail.
- Strip Lighting
- Reuse current recycled large timber mirror from main



DETAILED BATHROOM / ENSUITE  
FLOOR PLAN

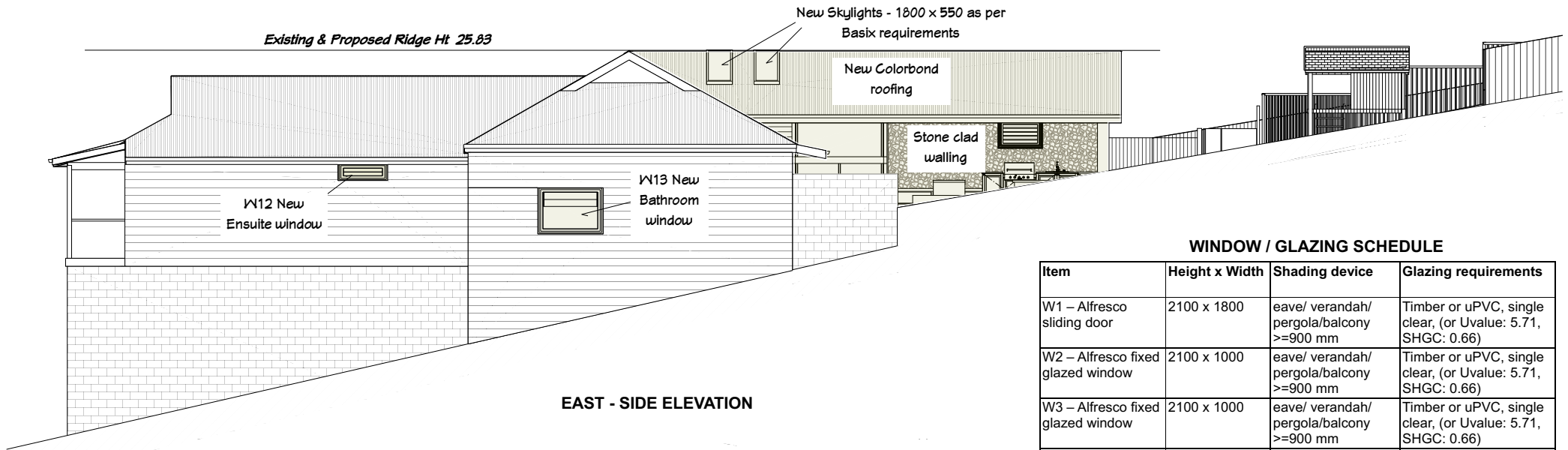
Selected stone facing glue fixed to New FC  
undertile sheeting screw fixed to existing wall  
framing, all to manufactureres details.  
Engineer to certify wall framing to suit.



DETAILED BATHROOM / ENSUITE  
SECTION

Replace existing structural joists &  
flooring with 50mm setdown for  
new floor finishes.

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**EAST - SIDE ELEVATION**

*Proposed Wall Ht 24.26*

*Existing Ceiling Ht 23.30*

*Alfresco / deck 21.86*

*Existing FFL 20.60*

*Existing FFL 17.81*



**SOUTH - FRONT ELEVATION**

**WINDOW / GLAZING SCHEDULE**

Item	Height x Width	Shading device	Glazing requirements
W1 – Alfresco sliding door	2100 x 1800	eave/ verandah/ pergola/balcony >=900 mm	Timber or uPVC, single clear, (or Uvalue: 5.71, SHGC: 0.66)
W2 – Alfresco fixed glazed window	2100 x 1000	eave/ verandah/ pergola/balcony >=900 mm	Timber or uPVC, single clear, (or Uvalue: 5.71, SHGC: 0.66)
W3 – Alfresco fixed glazed window	2100 x 1000	eave/ verandah/ pergola/balcony >=900 mm	Timber or uPVC, single clear, (or Uvalue: 5.71, SHGC: 0.66)
W4 – Alfresco louvered window	2100 x 1000	eave/ verandah/ pergola/balcony >=900 mm	Timber or uPVC, single clear, (or Uvalue: 5.71, SHGC: 0.66)
W5 – Alfresco raked window	1200 x 2950	eave/ verandah/ pergola/balcony >=900 mm	Timber or uPVC, single clear, (or Uvalue: 5.71, SHGC: 0.66)
W6 – Alfresco raked window	1200 x 2100	eave/ verandah/ pergola/balcony >=900 mm	Timber or uPVC, single clear, (or Uvalue: 5.71, SHGC: 0.66)
W7 – Alfresco raked window	1200 x 2950	eave/ verandah/ pergola/balcony >=900 mm	Timber or uPVC, single clear, (or Uvalue: 5.71, SHGC: 0.66)
W8 – Alfresco raked window	1200 x 2100	eave/ verandah/ pergola/balcony >=900 mm	Timber or uPVC, single clear, (or Uvalue: 5.71, SHGC: 0.66)
W9 – Laundry	1500 x 0600	eave/ verandah/ pergola/balcony >=900 mm	Timber or uPVC, single clear, (or Uvalue: 5.71, SHGC: 0.66)
W10 – Dining room Sliding door	2100 x 2200	eave/ verandah/ pergola/balcony >=900 mm	Timber or uPVC, single clear, (or Uvalue: 5.71, SHGC: 0.66)
W11 – Dining room Fixed glazed above	1000 x 2200	eave/ verandah/ pergola/balcony >=900 mm	Timber or uPVC, single clear, (or Uvalue: 5.71, SHGC: 0.66)
W12 – Ensuite	400 x 1200	eave/ verandah/ pergola/balcony >=450 mm	Timber or uPVC, single clear, (or Uvalue: 5.71, SHGC: 0.66)
W13 – Main Bathroom	1200 x 1600	None	Timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)

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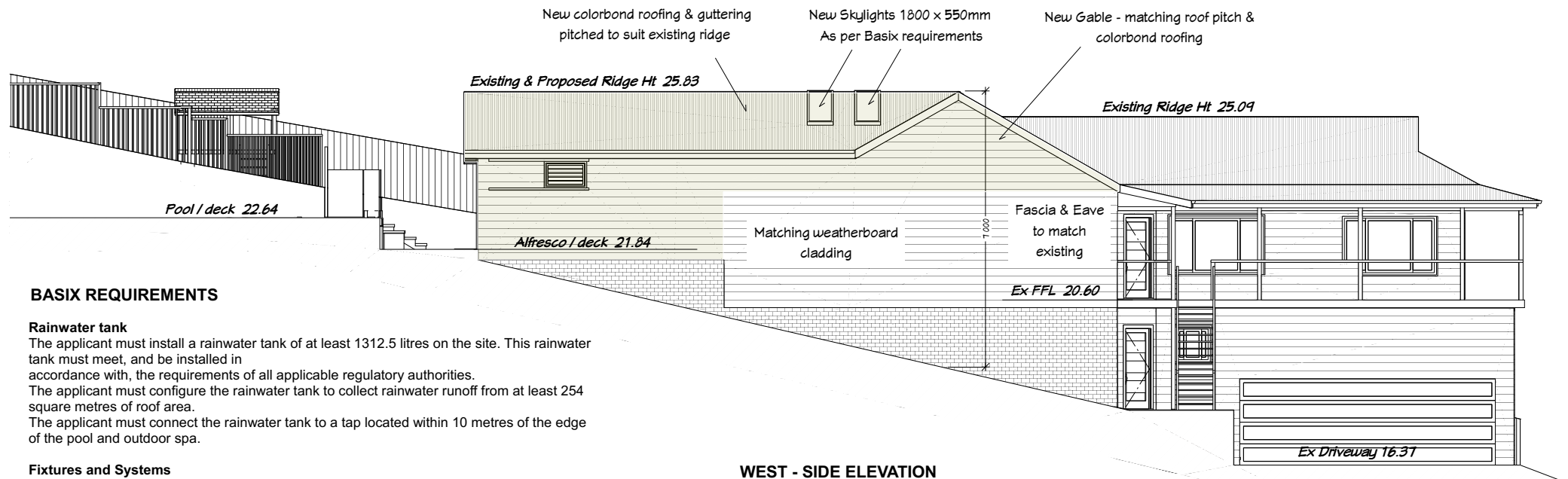
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## BASIX REQUIREMENTS

### Rainwater tank

The applicant must install a rainwater tank of at least 1312.5 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rainwater runoff from at least 254 square metres of roof area. The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool and outdoor spa.

### Fixtures and Systems

#### Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or lightemitting-diode (LED) lamps

#### Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

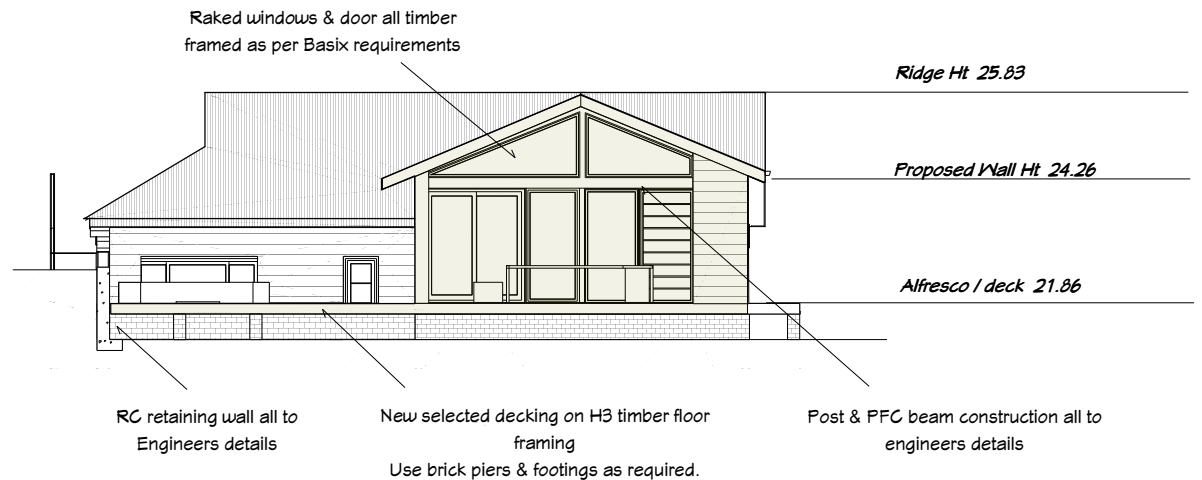
### Construction Insulation requirements

Suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)
External wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)
Raked ceiling, pitched/skillion roof: framed Roof:	Ceiling: R2.24 (up), roof: foil backed blanket (55 mm) dark (solar absorptance > 0.70)

### Skylight glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
1- 4	0.72	No shading	Timber, low-E internal/argon fill/clear external, (or U-value: 2.9, SHGC: 0.456)

## WEST - SIDE ELEVATION



## NORTH - REAR ELEVATION

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ROOFING

Colorbond Speedeck roofing @ pitch to match existing / adjoining roofing.  
Use H2 treated LVL rafters @ 600m, m cts with 70x45 purlins.  
All tie downs and Bracing units to engineers details.  
Use 55mm Foil laminated blanket and additional R2.5 insulation to ceilings throughout.  
New Colorbond guttering, downpipes and cappings as required.

FRAMING

Use H2 treated MGP wall framing with studs @450mm cts.  
Use H2 treated LVL floor joists & rafters as specified using Technical span tables Hyspan LVL for residential buildings.  
All timber framing shall comply with NCC Volume 2 Part H1D6(4) and Residential construction in non-cyclonic areas per AS1684.2 or AS1684.4 or alternative structural framing shall be to structural engineer's details and certification.

CLADDING

Selected external wall cladding shall be fixed in accordance with the manufacturer's recommendations and any applicable special details or ABCB Housing Provisions Standard 2022 Part 7.5, per NCC Volume 2 H1D7(4).

• Where required, the specified materials shall be used to line soffits at eaves, open verandas and porches in accordance with ABCB Housing Provisions Standard 2022 Part 7.5.5.

STAIRS

Design and construction of stairways and ramps shall comply with ABCB Provisions Standard 2022 Part 11.2, per NCC Volume 2 H5D2.

BALUSTRADING

Glass balustrading as required to comply with ABCB Housing Provisions Standard 2022 Part 11.3, per NCC Volume 2 H5D3.

LININGS

Unless otherwise specified, internal linings to walls and ceilings in other than wet areas shall be of gypsum plasterboards.  
Plasterboard sheets are to be of a minimum 10 mm thick with recessed edges to facilitate a smooth set finish. Internal angles to walls are to be set from floor to ceiling.  
Where specified, suitable cornice moulds shall be fixed at the junction of all walls and ceilings. Alternatively, the joint may be set as required for vertical internal angles.  
Wet area linings are to be fixed in accordance with the manufacturer's recommendations.

INTERNAL FIXINGS & MOULDINGS

Use solid core paneled internal doors and door frames.  
Use FJ pine moulded Skirtings and Architraves in selected profiles or to match existing.  
Selected cabinetry to kitchen, laundry and vanity units all using water resistant material and built to custom to details.  
Robes to be of Melamine shelving all to custom detail with paneled sliding doors as requested.

Existing & Proposed Roof Ht 25.83

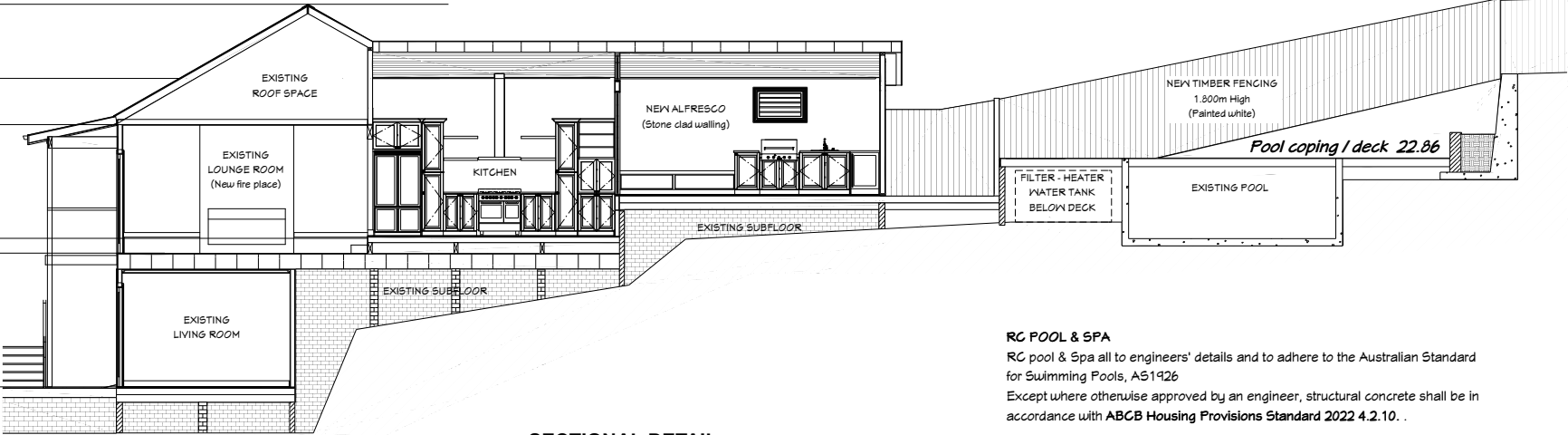
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Alfresco / deck 21.86

Existing FFL 20.60 Kitchen FFL 20.97

Existing FFL 17.81



SECTIONAL DETAIL  
(Including General Specifications)

RC POOL & SPA

RC pool & Spa all to engineers' details and to adhere to the Australian Standard for Swimming Pools, AS1926  
Except where otherwise approved by an engineer, structural concrete shall be in accordance with ABCB Housing Provisions Standard 2022 4.2.10. .

BASIX Requirements

Swimming pool

The swimming pool must not have a capacity greater than 22 kilolitres.  
The swimming pool must have a pool cover.  
The applicant must install a pool pump timer for the swimming pool.  
The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.

Pool and Spa

The spa must not have a capacity greater than 3 kilolitres.  
The spa must have a spa cover.  
The applicant must install a spa timer.  
The applicant must install the following heating system for the spa - electric heat pump

TERMITE TREATMENT

Termite treatment shall be carried out in accordance with ABCB Housing Provisions Standard 2022 Part 3.4, per NCC Volume 2 H1D3.

BRICKWORK

All masonry construction and shall comply with AS3700, or AS4773.1 and AS4773.2, or ABCB Housing Provisions Standard 2022 Parts 5.2 to 5.7 as relevant, per NCC 2022 Volume 2 H1D5 and H1D4.

PLUMBING - STORMWATER

All plumbing shall comply with the requirements of NCC Volume 3 and the relevant supply authority. All work shall be carried out by a licensed plumber.  
Fittings, shall be supplied and installed to manufacturer's specifications. Fittings, hot water systems and STORMWATER systems shall be appropriate to satisfy any commitment outlined in the relevant BASIX Certificate and council's Stormwater Planning Policy.

ELECTRICAL

All electrical work is to be carried out by a licensed electrical contractor to AS/NZS3000 Electrical installations (known as the Australian/New Zealand Wiring Rules) plus any other relevant regulations. The location of lights, switches, power points and the like, is to be nominated in the contract documents. Unless otherwise specified, the electrical service shall be 240 volt, single phase supply.

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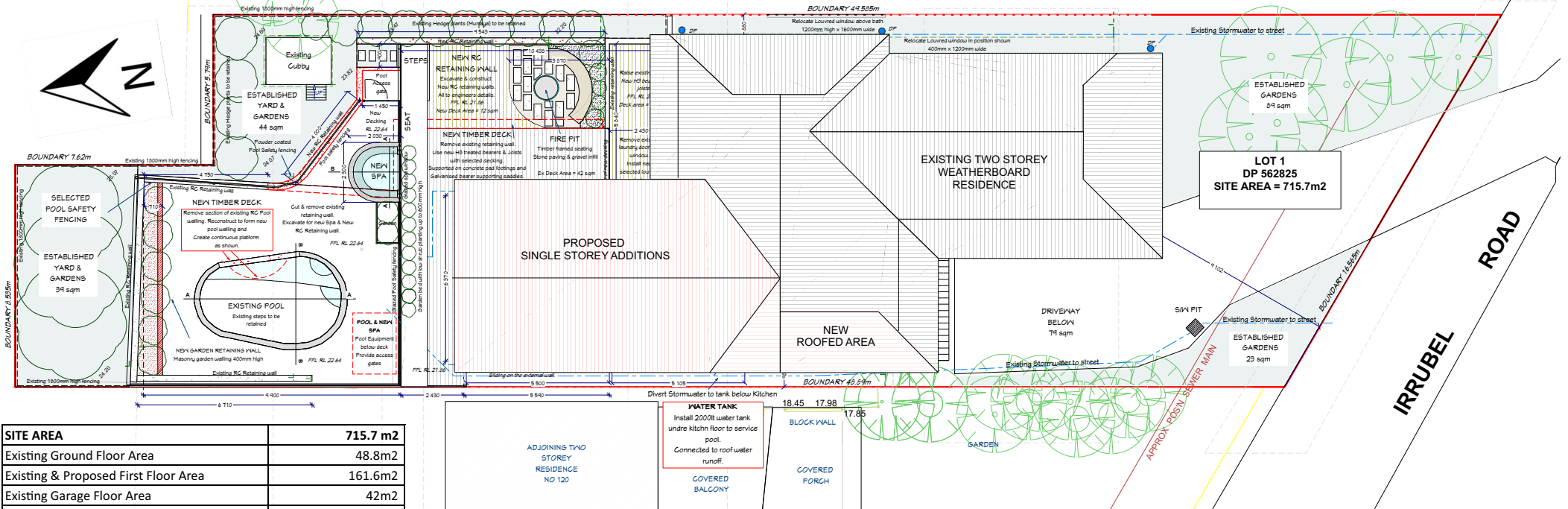
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All dimensions are to be checked and verified on site before commencement of work.





SITE AREA	715.7 m <sup>2</sup>
Existing Ground Floor Area	48.8m <sup>2</sup>
Existing & Proposed First Floor Area	161.6m <sup>2</sup>
Existing Garage Floor Area	42m <sup>2</sup>
Alfresco Floor area	33.8m <sup>2</sup>
Total Habitable Floor Area (Including Alfresco)	210.4m <sup>2</sup>
FLOOR SPACE RATIO	29.4%
SITE COVERAGE	
Existing roofed area including existing covered deck	210.1m <sup>2</sup>
Existing Deck Areas	126m <sup>2</sup>
Existing Driveway Area	79m <sup>2</sup>
EXISTING SITE COVERAGE	415.1m <sup>2</sup>
PROPOSED ROOFED AREA (Including decks)	236m <sup>2</sup>
PROPOSED DECK AREA'S	129m <sup>2</sup>
PROPOSED SITE COVERAGE (Including Driveway)	444m <sup>2</sup>
SITE COVERAGE RATIO	62%
PRIVATE OPEN SPACE (including decks)	109m <sup>2</sup>
LANDSCAPED AREA = Proposed 195m <sup>2</sup>	27.2%

### SITE PLAN - SITE CALCULATIONS

Scale 1:200mm

#### STORMWATER & SERVICES

Existing stormwater to be checked for construction purpose and adequacy.  
Provide New Stormwater drainage to all new roofing and to be connected to New water tank and overflow to existing service and drained to the street as per Council's Stormwater Management Policy

#### WASTE MANAGEMENT

Check for Asbestos materials and use WH&S guidelines for its safe removal.  
All waste to be sorted on site and removed for recycling or landfill as per the Waste Management Plan.  
Ensure Waste materials are removed from site ASAP to ensure the safety of occupants and visitors to site.

#### SEDIMENT CONTROL MEASURES - (Gravel filled Silt Sock)

Install sediment control measures such as a gravel filled silt sock upon existing driveway to ensure silt and excavated materials dont enter the street and stormwater system.  
Regularly maintain these measures until construction is complete and the site is stabilised.  
Ensure that stormwater is not diverted or released into neighbouring properties, or allowed to cause erosion at discharge points.



PROJECT: **PROPOSED ALTERATIONS & ADDITIONS**

CLIENT: **LINDSAY & SHARYN WHITTON**

SITE ADDRESS: **118 IRRUBEL ROAD NEWPORT NSW 2106**

SCALE: **1 : 200mm**

DATE: **7th JULY 2025**

SHEET: **Page 9 / 10**

**Planning 2 Build**

Planning Design & Drafting  
DA & CDC Submissions

Email: [tony@planning2build.com.au](mailto:tony@planning2build.com.au) Mobile: 0419 800 614

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ACCREDITED  
BUILDING DESIGNER

Building Designers  
Association of Australia  
Accreditation No 6405

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## REINFORCED CONCRETE

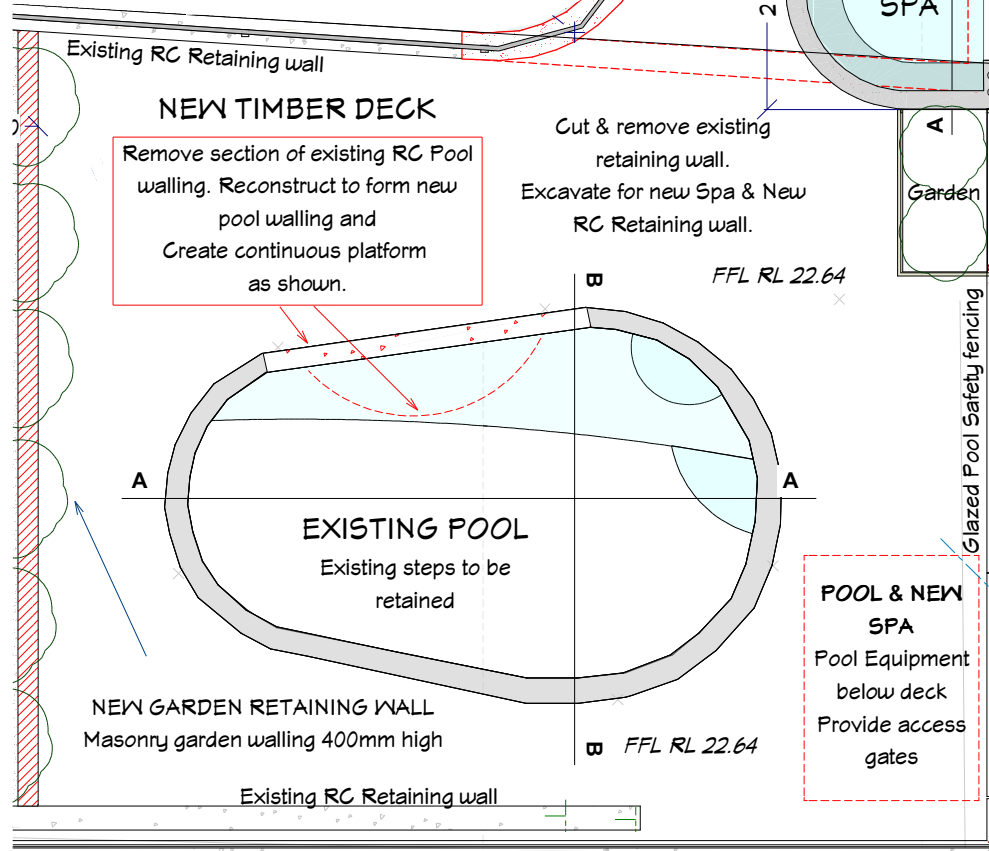
Except where otherwise approved by an engineer, structural concrete shall be in accordance with ABCB Housing Provisions Standard 2022 4.2.10.  
Unless otherwise specified bench and floor levels indicated on the plan shall be regarded as nominal.

All concrete and reinforcement to the re-construction of the existing pool and New Spa shall be in accordance with the Engineer's Instructions.

## POOL & SPA

Install & construct swimming pool & spa as shown. The swimming pool and Spa areas shown shall be provided with safety barriers in accordance with AS1926.1 and AS1926.2, or Clause 9 of the Swimming Pools Regulation 2018 for spa pools, per NCC Volume 2 2022 NSW HTD2(1).

The recirculation system shall comply with AS1926.3 per NCC Volume 2 2022 NSW HTD2(2).



EXISTING POOL & NEW SPA FLOOR PLAN

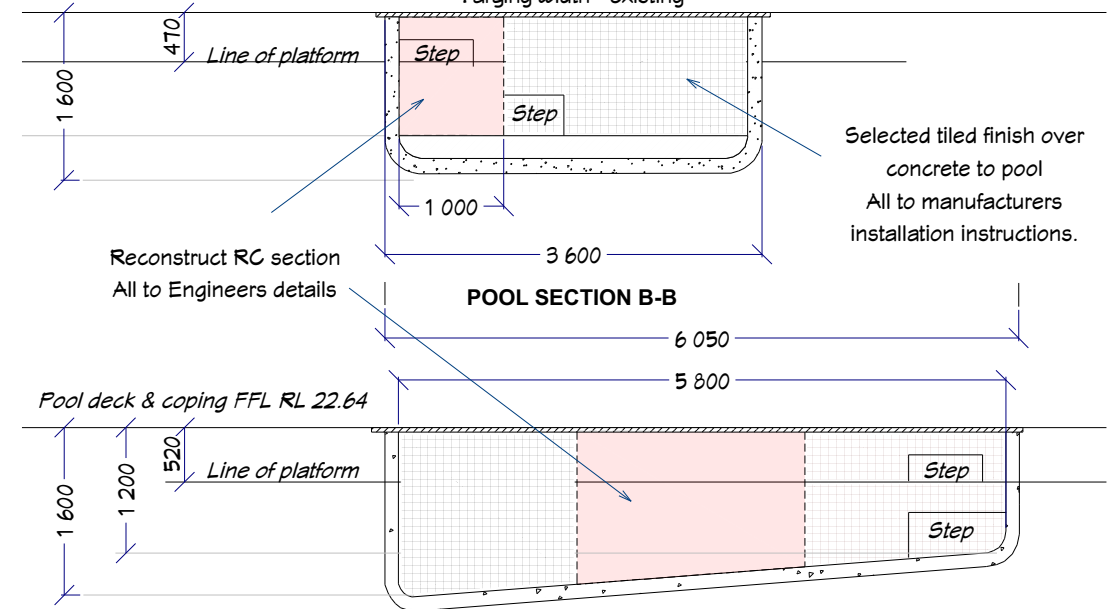
Pool deck & coping FFL RL 22.64

Install Glass window sealed within rebated concrete shell. All to manufacturers instructions.

B Pool deck & coping FFL RL 22.64

Install Spa plumbing & electrical requirements including pipes, fittings, and equipment needed to circulate, heat, and drain the water in the spa.

Pool deck & coping FFL RL 22.64



POOL SECTION A-A

PROJECT:	PROPOSED POOL & SPA	SCALE:	1 : 50mm
CLIENT:	LINDSAY & SHARYN WHITTON	DATE:	7th JULY 2025
SITE ADDRESS:	118 IRRUBEL ROAD NEWPORT NSW 2106	SHEET:	Page 10 / 10 Pool & Spa

**Planning 2 Build**  
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