

Dear Sir or Madam:

Re: Lodgement of CDC2013/064
Site Address : No. 45 Woorarra Ave, North Narrabeen, NSW 2101

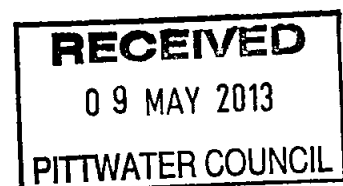
Please find attached all required documentation relied upon to issue Complying Development Certificate and Notice of Commencement for the above development:

- Part 4A Lodgement Fee \$36.00 payable to Council.
- Sydney Water Building Plan Approval
- 1 full set of Complying Development Certificate Plans.
- 1 Structural Engineer's Plans.
- 1 copy of Notification Map & Letter.
- Receipt showing payment of Long Service Levy Fee.
- 1 Basix Certificate
- PCA in receipt of 149(2) Planning Certificate.
- Owner Builder Permit

Yours faithfully

A handwritten signature in black ink, appearing to read "cformosa".

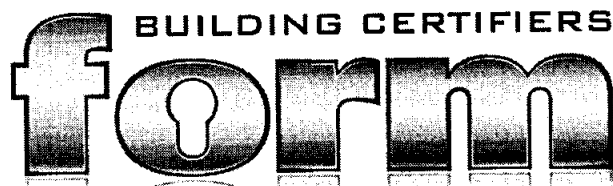
Craig Formosa
Form Building Certifiers



\$36 REC: 340358 9/5/13.

IMPORTANT ADVICE

09/05/13



COMPLYING DEVELOPMENT CERTIFICATE # 2013-064 Stage 1 Approved

Issued in accordance with the provisions of the Environmental & Assessment Act 1979 under Sections 85, 85A & 87

Date Application Received	25/03/2013		Certificate Lapse Date	5 yrs after approval date	
Council	Pittwater Council	Relevant Planning Instrument		SEPP E & C Dev. 2008	
Certifying Authority	Craig Formosa - BPB0124		Accredited Certifier	Craig Formosa - BPB0124	
Accreditation Body	Building Professionals Board		BCA in force	2012	
APPLICANT DETAILS					
Name	Stuart Macaulay			Ph No.	0448 000 840
Address	45 Woorarra Ave, North Narrabeen 2101				
OWNER DETAILS					
Name	Stuart Macaulay & Laurie Creasy				
Address	45 Woorarra Ave, North Narrabeen 2101				
DEVELOPMENT DETAILS					
Subject Land	45 Woorarra Ave, North Narrabeen 2101		Lot No.	61	DP 23429
Description of Development	Stage 1 Internal & external works to existing dwelling (only). Not including proposed ensuite/wardrobe extension.			Zone	R2
Class of Building	1a		Value of Work	\$19,800	
OWNER/BUILDER DETAILS					
Name	Stuart Macaulay				
Address	45 Woorarra Ave				
Contact Number	0448 000 840		O/B Permit No.	402050P	
APPROVED PLANS & DOCUMENTS					
Plans Prepared By	Sally Gardner Design and Draft				
Drawing Numbers	110112 N1, E1, E2, A1, A2, A3, A4, A5, S1, S2		Dated	16 January 2013	
Engineer Details Prepared By	Taylor Consulting				
Drawing Numbers	15012-2		Dated	29 January 2013	
Basix Certificate No.	A154549_02		Dated	22/03/2013	
This Certificate is approved subject to the prescribed conditions listed under Clauses: 133, 136A, 136D, 149 & 154B of the Environmental Planning and Assessment Act Regulations 2000.			Nos.	3.37 – 3.45	
This Certificate is approved subject to the attached conditions as contained in the SEPP Exempt and Complying Development 2008.					
CERTIFICATION					
<p>I, Craig Formosa, as the certifying authority am satisfied that;</p> <p>The requirements of the regulations referred to in s81A (5) have been complied with. That is, work completed in accordance with the documentation accompanying the application for this certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Regulation as referred to in section 81A (5) of the Act, and</p> <p>Long Service Levy has been paid where required under s34 of the Building & Construction Industry Long Service Payments Act 1988.</p>					
Signed:			Date: 05/05/2013		



**Fair
Trading**

Tel 13 32 20
TTY 02 9338 4943
ABN 81 913 830 179
www.fairtrading.nsw.gov.au

Stuart Macaulay
45 Woorarra Ave
NORTH NARRABEEN NSW 2101

HOME BUILDING ACT 1989
OWNER BUILDER PERMIT

Permit : 402050P
Receipt: 1-1940979171

Issued : 02/05/2013
Amount: \$159.00

BUILDING SITE

45 Woorarra Ave, NORTH NARRABEEN, NSW 2101 AUSTRALIA

AUTHORISED BUILDING WORK

Alterations & additions to existing dwelling.

Authority No : DC-2013/064
Council Area : PITTWATER (S) COUNCIL

Should the property be sold within 6 years of completion of the work it will be necessary to obtain home warranty building insurance from approved insurers if the value of the work was greater than \$20,000. A certificate of insurance must be attached to any contract of sale.

You should obtain professional advice from general insurers regarding public liability and property damage cover, etc.

Note: This permit is only valid when an official receipt has been imprinted.
If payment is made by cheque, the permit is conditional on the cheque being met on presentation. *GST amount included in total fee: \$0.00

Rod Stowe
Commissioner for Fair Trading

Issuing officer

***** END OF PERMIT *****



Application Lodgement Summary



Reference Number 8377451

Date Requested: Wed March 13 2013

Agent Reece Mona Vale, 10 Taronga Pl Mona Vale
Applicant SJ MACAULAY LA CREASY, 45 WOORARRA AVE NORTH NARRABEEN 2101
Property/Asset 45 Woorarra Ave, North Narrabeen 2101 (Sj Macaulay La Creasy) PNum: 3466018
150 mm VC Sewer Main - (2780344) (WasteWater)
Product Building Plan Approval Application

Charge	Product Cost	GST	Total
Building Plan Approval Application	\$16.71	\$0.00	\$16.71

Property Special Conditions for Plumbers

Boundary Trap Required	No
Watercharged/Tidal area	No
Partial Drainage area	No
Aggressive Soil area	No
Cast Iron Pipe area	Yes
Sewer Surcharge area	No
Minimum Gully Height area	No
Sewer Available	Yes
Connection Type	Gravity

You must contact Sydney Water to clarify the property special conditions where the property special conditions are not shown (yes or no), are shown as "unset", "unknown" or "not available" or if the proposed development is being built over more than one existing property.

Please note that boundary traps must be fitted for all commercial and industrial properties and you must ensure that all plumbing/drainage and building works are carried out in accordance with the relevant codes and standards.

A water meter is required to be fitted to the property during construction. You will need to ensure that your licensed plumber carries out this work in accordance to the relevant codes and standards.



Long Service
CORPORATION

Levy Online Payment Receipt

Building and Construction

STUART MACAULAY
45 WOORARRA AVE
NORTH NARRABEEN NSW 2101

Long Service Corporation
Level 1
19-21 Watt Street
Gosford NSW 2250
Locked Bag 3000
Central Coast MC NSW 2252
Tel: 13 14 41
Fax: (02) 9287 5685
Email: info@longservice.nsw.gov.au
www.longservice.nsw.gov.au
ABN 93 646 090 808

Application Details:

Applicant Name:	STUART MACAULAY
Levy Number:	5042625
Application Type:	CDC
Application Number:	2013/064
Approving Authority:	PITTWATER COUNCIL

Work Details:

Site Address:	45 WOORARRA AVE NORTH NARRABEEN NSW 2101
Value of work:	\$70,000
Levy Due:	\$245.00

Payment Details:

LSC Receipt Number:	135811
Payment Date:	17/04/2013 3:30:34 PM
Bank Payment Reference:	697285579
Levy Paid:	\$245.00
Credit card surcharge:	\$0.98
Total Payment Received:	\$245.98



BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A154549_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 29/9/2006 published by Department of Planning. This document is available at www.basix.nsw.gov.au

Director-General

Date of Issue: Friday, 22, March 2013

To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address		1
Project name	Macaulay Project_02	
Street address	45 Woorarra Avenue North Narrabeen 2101	
Local Government Area	Pittwater Council	
Plan type and number	Deposited Plan 23429	
Lot number	61	
Section number	0	
Project type	1	
Dwelling type	Separate dwelling house	
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).	

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: Sally Gardner Design and Draft	
ABN (if applicable): 17 751 732 195	

Fixtures and systems				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting						
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓			
Fixtures						
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓		✓	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓		✓	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓				

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)		Other specifications		
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
flat ceiling, pitched roof	ceiling: R2.25 (up), roof: foil/sarking	light (solar absorptance < 0.475)			

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors									
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.							✓	✓	✓
Windows and glazed doors glazing requirements									
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type			
W1	N	2.58	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
W2	N	0.72	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
W3	E	1.28	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
W4	E	1.62	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
W5	E	1.28	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			

Glazing requirements

Show on
DA Plans

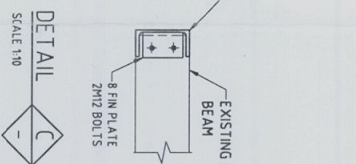
Show on
CC/CDC
Plans &
specs

Certifier
Check

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type			
W6	S	11.15	0	0	eave/Verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
W7	S	1.26	0	0	none	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)			

Legend

In these commitments, "applicant" means the person carrying out the development.	
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.	



Plan Nos. 15612-2

TO BE PRESERVATIVE TREATED.

Strength shall be verified by plant control testing.

Element	Exposure Classification		
	A1 Scattered locations	B1 External locations over the front of the tower	B2 External locations within 5m of tower's shadow
String footings	-	50	50
Columns and piers	20	40	50
Beams	20	40	45
Stairs and walls	20	40	45

[illegible][illegible][illegible]

Element	Strength Grade of Units	Mortar Mix
		Cement, Lime, Sand

- [illegible]

DRAWN : DATE : CHECKED : SCALE 1

TAYLOR
CONSULTING
CIVIL & STRUCTURAL ENGINEERS

15012-2

MACCAULAY, CREASY RESIDENCE PROPOSED ALTERATIONS AND ADDITIONS

45 WOORARRA AVENUE,
NORTH NARRABEEN
N.S.W. 2101

16 JANUARY, 2013

PLAN OR DOCUMENT CERTIFICATION

I AM A QUALIFIED STRUCTURAL DRAFTSPERSON
I HOLD THE FOLLOWING QUALIFICATIONS

BUILDING CERTIFICATE - SYDNEY TAPE
MEMBER: BUILDING DESIGNERS AUSTRALIA

FURTHER I AM APPROPRIATELY QUALIFIED TO CERTIFY THIS
COMPONENT OF THE PROJECT.

I HEREBY STATE THAT THESE PLANS OR DETAILS COMPLY WITH THE
CONDITIONS OF DEVELOPMENT CONSENT OF THE APPROPRIATE
LOCAL GOVERNMENT AUTHORITY AND / OR THE RELEVANT AUSTRALIAN
BUILDING INDUSTRY STANDARDS.

SALLY GARDNER 16/01/13
Sally Gardner
NAME DATE SIGNATURE

THIS PLAN / DOCUMENT FORMS
PART OF FORM BUILDING
CERTIFIERS CC / CDC



This is the plan/spec. referred to
in Form Building Certifiers Certificate
Certificate No CDC2013-064
Plan Nos. 11-0112, N1/E1/E2, A1/A2,
A3/A4, A5, S1, S2 05/05/13
Craig Formosa BPB0124 DATED

* This CDC relates to
internal works (only)

I certify that work completed in accordance with
these plans and specifications will comply with
the regulations referred to in Section 81A(5) of
the Environment Planning and Assessment Act 1979

SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR COUNCIL APPROVAL



47 Towradg Street, Narrabeena NSW 2099 AUSTRALIA
ABN 17 751 732 195 Mobile: 0414 731 685 (Sally)
Mobile: 0413 572 250 (Robert)
E-mail: sally@designanddraft.com.au
E-mail: robert@designanddraft.com.au

NOTE.

- Approved means by the 'The Relevant Local Authority' or 'Council'.
- The Owner will directly pay the fees associated with the following:
 - building approval from council, footpath and kerb deposits with the local council, insurance fee to Building Services Corporation, Long Service Leave levy fee and approval fee by water and sewerage authority.
 - All other fees are to be paid by the builder. The amount of any local authority deposits which are forfeited due to damage or other cause will be deducted from the payments due to the builder.
- The Builder is to provide at his/her own expence adequate Public Risk Insurance and arrange indemnification under the Workers Compensation Act. Works insurance to be as stated in the contract conditions.
- All tenderers are to visit the site to satisfy themselves as to the nature and extent of the Works, facilities available and difficulties entailed in the works as Variations will not be allowed due to work arising owing to neglect of this clause.
- All work and materials to comply with the current Australian Standards at the time of commencement where applicable.
- These drawings shall be read in conjunction with all structural and other consultants drawings and specifications and with any such written instructions as may be issued during the course of the contract.
- Set out dimensions shown on this drawing shall be verified by the builder on site before commencement of any work. Dimensions shall not be obtained by scaling the drawings. Use only figured dimensions. All dimensions are in millimetres.
- The Builder is to ensure all construction, levels and other items comply with the conditions of the Building Approval.
- The Builder is to comply with all Ordinances, Local Authority regulations and the requirements of all Services Supply Authorities having jurisdiction over the works.
- All new downpipes are to be connected to the existing Stormwater system that discharges to an existing Council Stormwater system.
- All Power and Stormwater outlet locations shall be determined on site by the Owner.
- Any detailing in addition to what is supplied shall be resolved between the Owner and the Builder to the Owner's approval, except for any structural details or design which is to be supplied by the Engineer.
- All timber sizes and concrete details to be confirmed by the builder prior to commencement of any work.
- Any work indicated on the plans but not specified, and any item not shown on the plan which is obviously necessary as part of proper construction and/or finish is to be considered as shown and specified, and is to be done as part of the contract.
- Variations will not be permitted without the written consent of the Owner.
- The Builder shall provide sediment and siltation control measures as required by council and maintain them throughout the duration of the works.
- A legible copy of the plans bearing approval stamps must be maintained on the job at all times. Hours of construction shall be restricted to the times as required by the Building Approval.
- The Builder is to arrange for all inspections required by the authorities and lending institutions to their requirements.
- The Builder is to obtain approval for interruptions to existing services and minimise the duration and number of interruptions. Any interruptions with existing services and equipment to be to by appropriate skilled tradesmen.
- The Builder shall restore, reinstate or replace any damage caused to existing structures or landscaping by construction work or workmen. Provide protection to existing trees to remain as required by Approval Conditions.

WINDOW SCHEDULE

NO.	HEIGHT	WIDTH	LOCATION	FRAME / GLAZING
W1	1.2	2.15	Main Bed	Timber framed casement windows with clear glazing
W2	2.07	0.35	Entry	Timber framed louvred window with clear glazing
W3	2.2	0.91	Dining	Timber framed louvred window with clear glazing
W4	1.2	1.35	Dining	Timber framed louvred window with clear glazing
W5	2.2	0.91	Living	Timber framed louvred window with clear glazing
W6	2.1	3	Living	Timber framed sliding door with clear glazing
W7	1.2	1.05	Ensuite	Timber framed sliding window with frosted glazing

All sizes listed include the frame and are nominal sizes for BASIX Certification.
All glazing assemblies will comply with AS2047 and AS1288
All external glazing is to have a maximum reflectivity index of 25%.
- Denotes window requiring additional shading device to BASIX Certification requirements.

DOOR & WINDOW NOTE:
All Doors and Windows to be keyed alike deadlocks to all sashes & doors.
Provide WeatherStrips and door seals around openings to prevent drafts.

BASIX INSULATION SCHEDULE

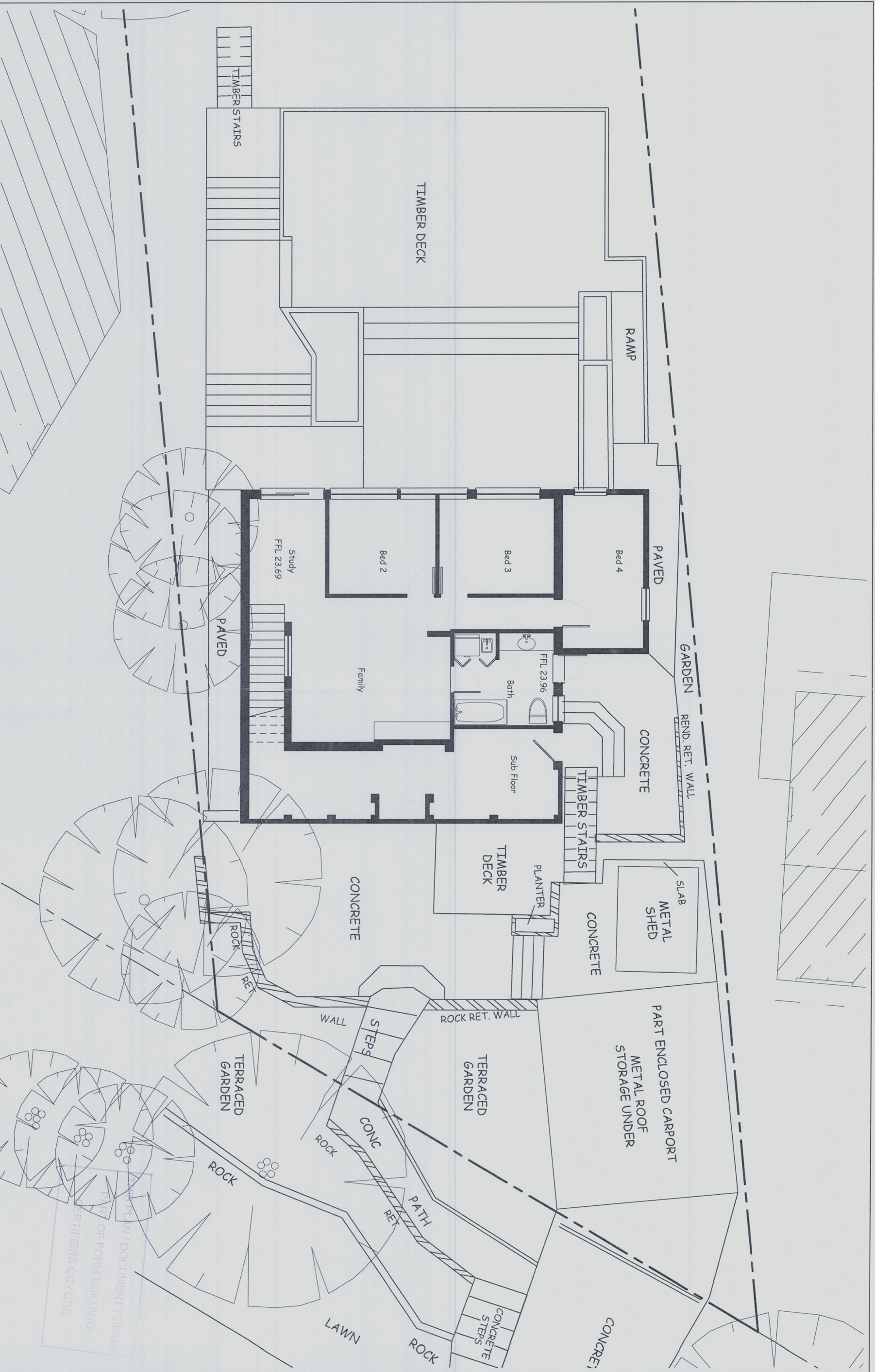
Construction	Additional insulation required (R-value)
suspended floor with open subfloor: framed (R0.7)	R0.8 (down) (or R1.50 including construction)
external wall: framed (weatherboard, fibro, metal clad) (R0.40)	R1.30 (or R1.70 including construction)
flat ceiling, pitched roof	ceiling: R2.25 (up), roof: foil/sarking

DRAWING SCHEDULE

- Title Sheet
- N1. Notes and Schedules
 - E1. Existing Lower Floor Plan
 - E2. Existing Ground Floor Plan
 - A1. Roof Plan
 - A2. Proposed Ground Floor Plan
 - A3. Elevations Sheet 1 of 2
 - A4. Elevations Sheet 2 of 2
 - A5. Sections
 - S1. Site Plan and Calculations
 - S2. Site Management Control Plan

THIS PLAN / DOCUMENT FORMS
PART OF FORM BUILDING
CERTIFIERS CC / CDC

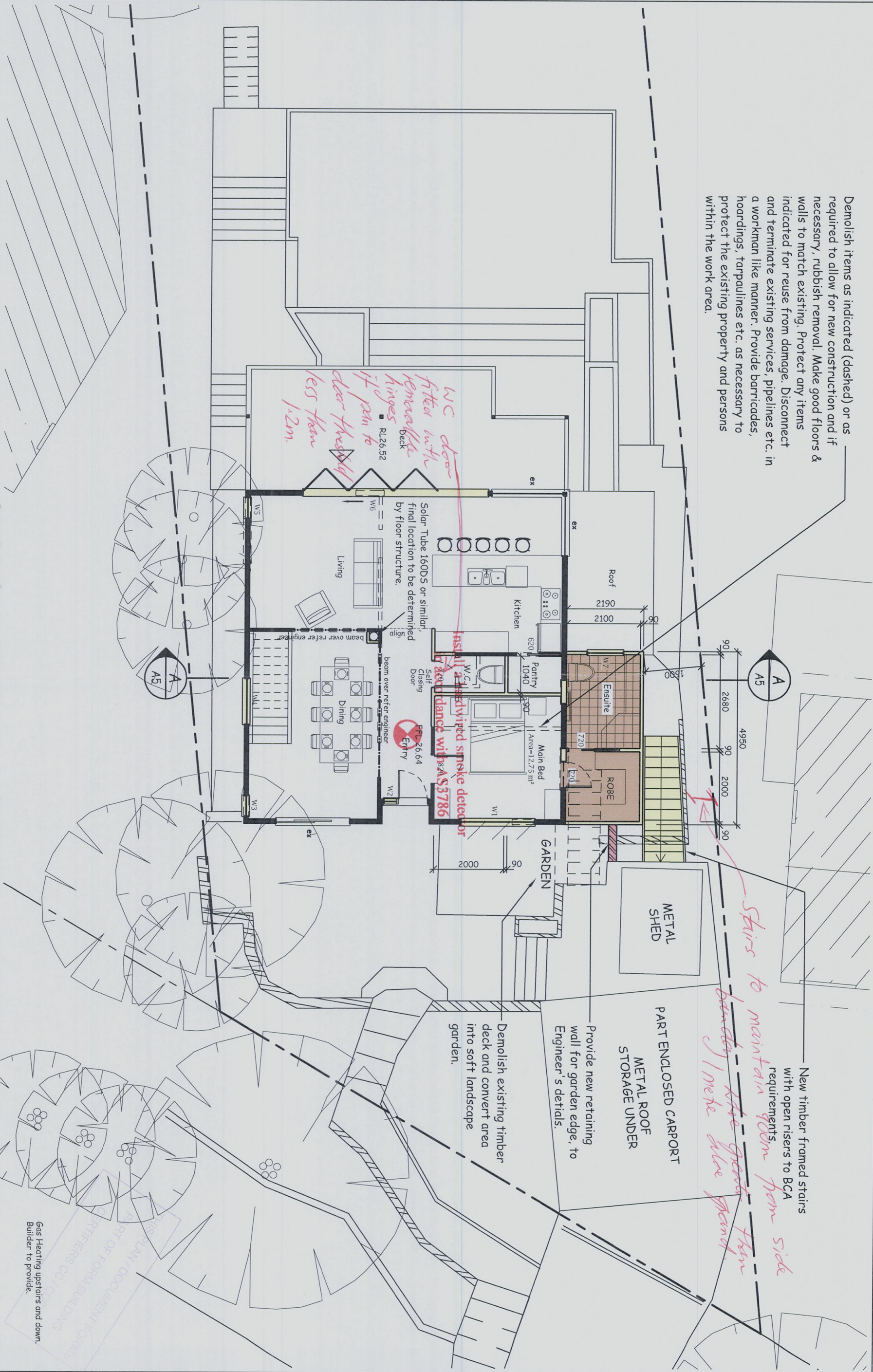
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PROPOSED ALTERATIONS & ADDITIONS - 45 WOORARRA AVENUE, NORTH NARRABEEN

bda BUILDING DESIGNERS AUSTRALIA NSW		SALLY GARDNER DESIGN AND DRAFT PLANS DRAWN FOR COUNCIL APPROVAL	
47 Towradgi Street, Narraweena, NSW, 2099		Client	
ABN 17 751 732 195		Stuart Maccaulay	
Sally mobile : 0414 731 685		Laurie Creasy	
Robert mobile : 0413 572 250		Drawing Title	
e-mail: robert@designanddraft.com.au		EXISTING LOWER FLOOR PLAN	
http://www.designanddraft.com.au		North	
Date		Scale 1:100 @ A3	
Amendments		Job Number 11-0112	
		Drawing Number E1	
		Rev. -	

Demolish items as indicated (dashed) or as required to allow for new construction and if necessary, rubbish removal. Make good floors & walls to match existing. Protect any items indicated for reuse from damage. Disconnect and terminate existing services, pipelines etc. in a workman like manner. Provide barricades, hoardings, tarpaulines etc. as necessary to protect the existing property and persons within the work area.



PROPOSED ALTERATIONS & ADDITIONS - 45 WOORARRA AVENUE, NORTH NARRABEEN

Existing Ridge Level RL 30.460

Ceiling Level

Existing Ground Floor Level FFL 26.640

Existing Lower Floor Level FFL 23.690

Remove existing sidelight — window and replace with new timber framed louvered window to owners selection.

NORTH ELEVATION

- Infill existing window openings and make good with new weatherboard cladding to match existing external walls or as selected by owners.

Existing Ridge Level RL 30.460

Ceiling Level

Existing Ground Floor Level FFL 26.640

Existing Lower Floor Level FFL 23.690

EAST ELEVATION

— Infill existing window opening and make good with new weatherboard cladding to match existing external walls or as selected by owners.

— New Colorbond "custom orb" roof sheeting roof pitch to match existing roof.

— New weatherboard cladding to match existing external walls or as selected by owners.

- Remove existing window from this location and replace with new timber framed louvered windows to match existing opening.

— Timber framed windows & doors to owners selection, (refer schedule on Drg. N1).

PROPOSED ALTERATIONS & ADDITIONS - 45 WOORARRA AVENUE, NORTH NARRABEEN

[illegible]

THIS PLAN / DOCUMENT FORMS
PART OF FORM BUILDING
CERTIFIERS CC / CDC

To all Wardrobes, allow for providing one 1800mm edge stripped particleboard shelf 450mm wide, supported on 50 x 25mm battens to sides and back, along with a similar battens under front edge. Provide 20mm dia. hanging rail with fittings and supports to underside of shelf, unless owners direct otherwise.

TERMITE CONTROL
If a member which provides structural support to the work is subject to attack by subterranean termites, then provide protection to the new work by 1 or more of the means allowed for under AS 3660.1

TIMBER WALLS
All new Internal timber framed walls to be provided with gypsumboard lining to all general areas and 'Hardies' Villaboard or similar to all 'wet' areas. Fixed & Finished in accordance with manufacturers specifications.

LIGHTING : Basic requirements
A minimum of 40% of new or altered light fixtures must be fitted with flourescent, compact flourescent or light-emitting diode (LED) lamps.

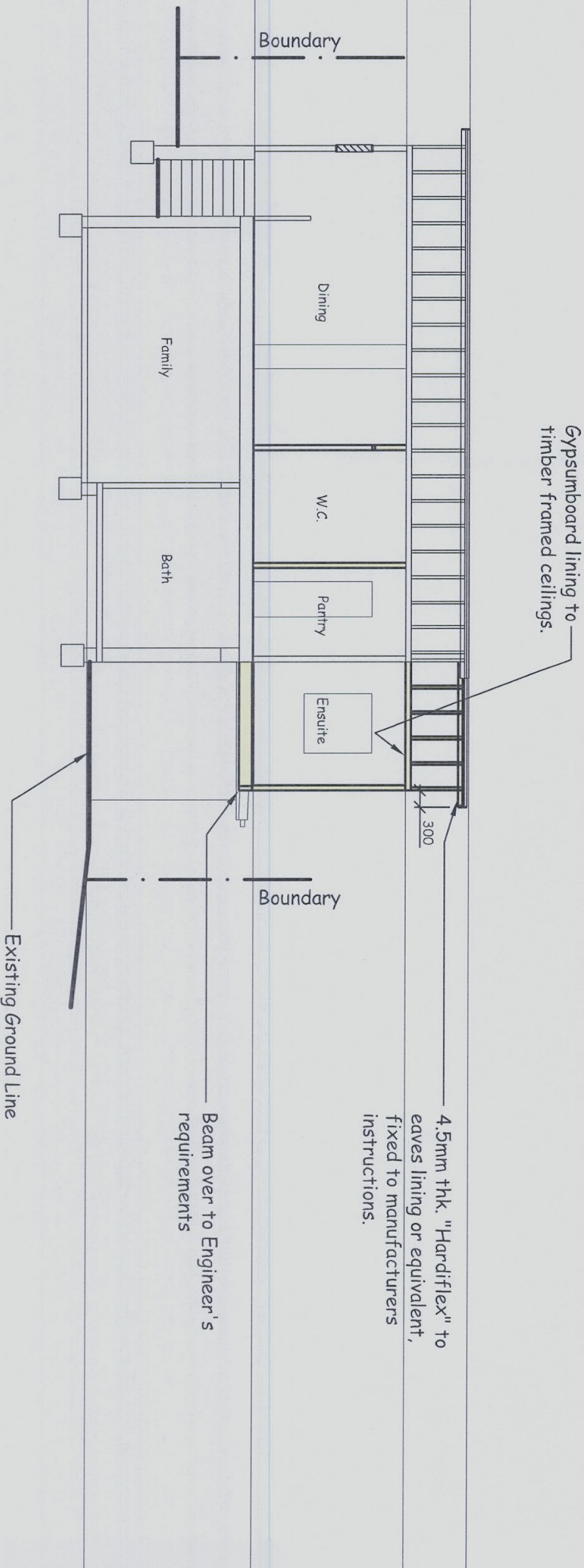
All Structural Beams are to be concealed in framing if possible.

Existing Ridge Level RL 30.460

Ceiling Level

Existing Ground Floor Level FFL 26.640

Existing Lower Floor Level FFL 23.690



SECTION A - A

Sustainable timbers will be used in preference to rainforest or old growth timbers. Recycled or second hand timbers are to be sourced and used in preference to plantation timbers if suitable and available.

SMOKE DETECTORS
Provide mains powered smoke & fire detection devices to comply with Australian Standards code requirements.

INSULATION
Install insulation in accordance with Basic Certificate.

Tile Fixing
Floors: Provide tiles as selected to all W.C., Bathroom, Laundry and other wet areas indicated, with falls where required.
Walls: Provide to all W.C., Bathroom, Laundry and other wet areas indicated as follows :-
1500mm high tiled skirting generally
2100mm high to all bathrooms and ensuites
450mm high splashbacks over tubs and vanities.

All sanitary drainage must be concealed in service ducts or otherwise hidden from external view to the satisfaction of the Responsible Authority.

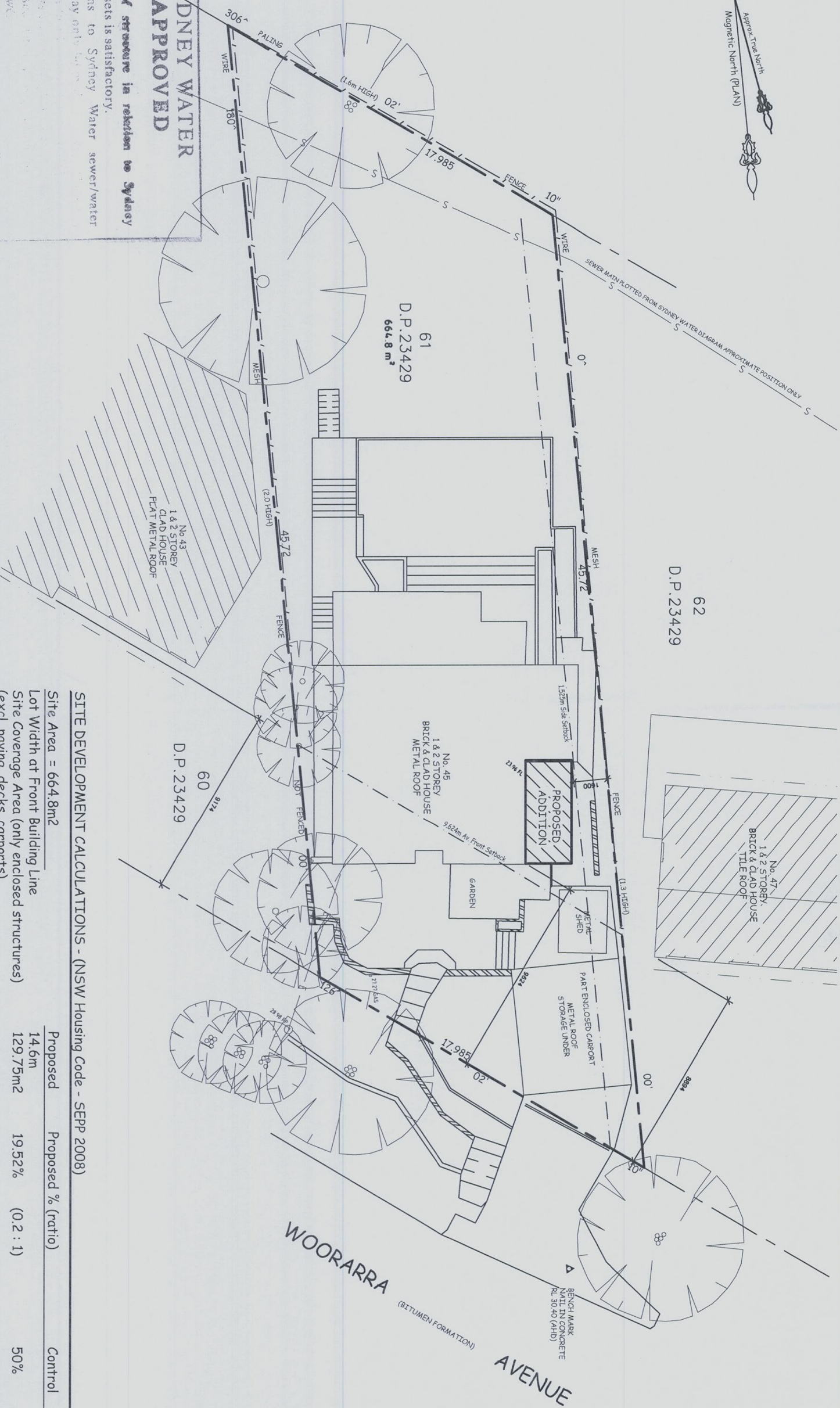
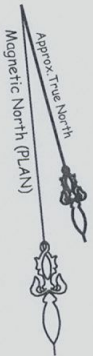
Wet areas: shall be adequately flashed to ensure no water penetration to adjoining construction. Shower recesses shall be waterproofed with an appropriate flexible epoxy coating to the whole of the shower floor area. All wall junctions in the shower area shall be flashed to a height of at least 1800mm.

Taps: Must have a minimum 3 star water rating at max. 9 litres / min. flow rate
Toilets: Must have a minimum 3 star water rating.
Showerheads: Must have a 3 star rating at max. 9 litres / min. flow rate.
Install aerators on bathroom hand basins & kitchen sinks.

Sanitary Plumbing: Provide & connect all new & relocated fittings indicated to drainage system through wastes & traps as required by the Authority.
Water Service: Extend from existing service with copper pipe to allow new & relocated fittings & hose cocks as indicated on plan & terminate with pressure cocks all to Authorities requirements.
Hotwater: Provide copper water service which is fully lagged to all new & existing fittings as required.

PROPOSED ALTERATIONS & ADDITIONS - 45 WOORARRA AVENUE, NORTH NARRABEEN

			Client	Drawing Title	North	Scale	Job Number	Rev.
			Stuart Macaulay	SECTIONS		1:100 @ A3	11-0112	
			Laurie Creasy					
			47 Towradgi Street, Narrabeen, NSW, 2099			Date	Drawing Number	
			ABN 17 751 732 195			16 JAN, 2013	A5	-
			Sally mobile : 0414 731 685					
			Robert mobile : 0413 572 250					
			e-mail: robert@designanddraft.com.au					
			http:// www.designanddraft.com.au					
			Amendments					
			Date					
			BUILDING DESIGNERS AUSTRALIA NSW					
			SALLY GARDNER DESIGN AND DRAFT					
			PLANS DRAWN FOR COUNCIL APPROVAL					



SYDNEY WATER
APPROVED

1. Position of sewer in relation to Sydney Water's assets is satisfactory.
 2. Connections to Sydney Water sewer/water services may only be made
 3. It is the condition of a permit that all proposed Water's sewer
 4. Any Plumbing work carried out in accordance with the Water Act 1994, and of Practice.
 5. Gullies, Inspection Shafts and other shall not be placed under any of the Verandah, Floor or other structure otherwise approved by Sydney Water.
 6. Property No. 3466018
- Reece, Mona Vale
Quick Check Agent on behalf of
SYDNEY WATER

SITE DEVELOPMENT CALCULATIONS - (NSW Housing Code - SEPP 2008)

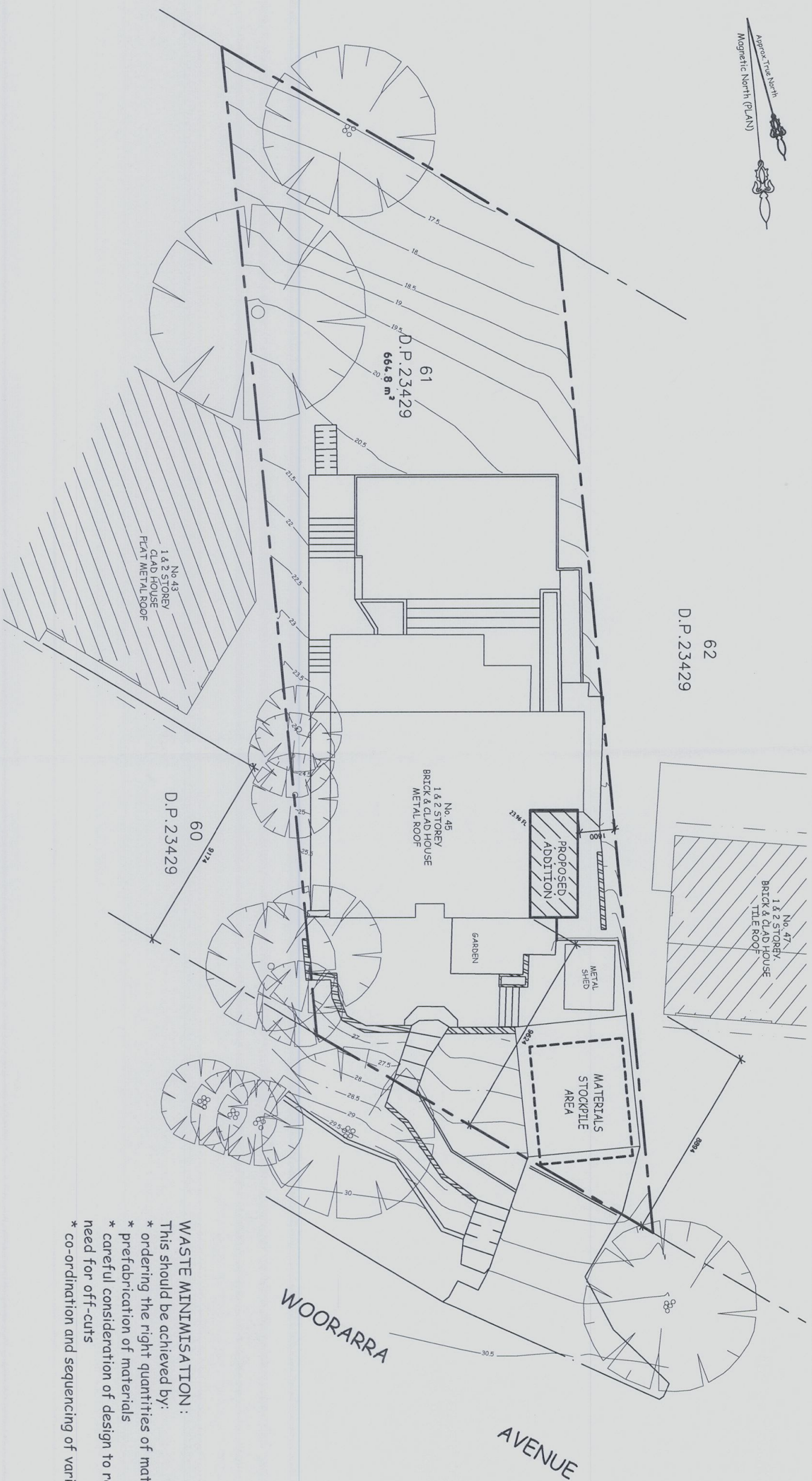
	Proposed	Proposed % (ratio)	Control	Compliance
Site Area = 664.8m ²	14.6m	19.52%	50%	YES
Lot Width at Front Building Line	129.75m ²	(0.2 : 1)		
Site Coverage Area (only enclosed structures) (excl. paving, decks, carports)	167.18m ²	n/a	max. 380m ²	YES
Maximum Floor Area	7.0m	n/a	max. 8.5m	YES
Building Height	9.62m	n/a	min. 9.034m	YES
Setback - (Front) av. Neighbours setbacks	1.60m	n/a	min. 1.525m	YES
Setback - (West Side)	n/a	n/a	n/a	n/a
Setback - (East Side)	n/a	n/a	min. 8.0m	YES
Setback - (Rear)	268.99m ²	40.46% of site area	min. 30%	YES
Landscaped Area - (excludes <1.5m wide)	38.50m ²	26.56% of area	min. 25%	YES
Landscaped Area - (forward of front building line)	230.49m ²	85.69% of total min. L/S area	min. 50%	YES
Landscaped Area - (behind front building line)				

PROPOSED ALTERATIONS & ADDITIONS - 45 WOORARRA AVENUE, NORTH NARRABEEN

Client		Drawing Title		North		Scale		Job Number	
Stuart Macaulay		SITE PLAN				1:200 @ A3		11-0112	
Laurie Creasy		& CALCULATIONS				Date		Drawing Number	
						16 JAN. 2013		S1	
								Rev.	
								-	

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Reece
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DUST CONTROL:

To reduce dust generated by wind action, the removal of the top soil is to be minimised. To prevent dust generation, watering down of the site, especially during the movement of machinery is required.

Where excavating into rock, keep the surface moist to minimise dust. Construct a gravel entry/exit point using blue metal and restrict all vehicle movements within the site to a minimum. Ensure wind breaks, such as existing fences are maintained during the construction phase until new landscaping is provided or reinstated. Prevent dust by covering stockpiles.

SEDIMENT NOTE:

1. All Erosion and Sediment Control measures to be inspected and maintained daily by the site manager.
2. Minimise disturbed areas, remove excess soil from excavated area as soon as possible.
3. All material stockpile to be clear from drains, gutters and footpaths, or within sediment fence area.
4. Drainage to be connected to stormwater as soon as possible. If stored on site, it must be filtered before releasing into stormwater system or waterways.
5. Roads and footpaths to be swept daily.

ON-SITE PRACTICES:

All trenches must be filled immediately after services are laid. Excess materials such as cement, water from tool cleaning, paintbrushes and brick and concrete slurry, must not be washed into stormwater system. It's against the law to pollute waters with any solid, liquid or gas. Where possible, construct a depression or earth dam below brick, concrete or tile cutting. If this is not possible, pass waste water through a filtration system prior to release.

STOCKPILES:

All stockpiles are to be kept on-site where possible. Any materials placed on the footpaths or nature strips require council's permission. All stockpiles are to be placed away from the drainage lines and street gutters. It is best to locate these on the highest part of the site if possible. Place waterproof covering over stockpiles. If required provide diversion drain & bank around stockpiles.

WASTE MINIMISATION:

This should be achieved by:

- * ordering the right quantities of materials
- * prefabrication of materials
- * careful consideration of design to reduce the need for off-cuts
- * co-ordination and sequencing of various trades

PROPOSED ALTERATIONS & ADDITIONS - 45 WOORARRA AVENUE, NORTH NARRABEEN

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