

2 SITE PLAN 1:200

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with open subfloor: framed (R0.7)	R0.8 (down) (or R1.50 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT MOD2022/0058

NO EXCAVATION AND FILL PLAN DUE TO NO EXCAVATION OR FILL

- Denotes New Works Approved Under DA2020/1180
- Denotes New Modified Works Under This Application
- Denotes Existing Wall

Wall Legend

Summer Cooling Winds

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

www.rapidplans.com.au

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

ACCREDITED BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential

2/25 Charles Street, Freshwater 2096 is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Timber Frame to have R1.74 insulation

Insulation to External Timber Frame Clad Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basic

Basic Certificate Number A383346, 04

All Plans to be read in conjunction with Basic Certificate

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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopple, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ

Plot Date: 7/2/22

Project NO.: RP0320R0S

Project Status DA Mod

Client

Marcus Rosenberg and Charlotte Ralph

Site:

2/25 Charles Street, Freshwater 2096

DRAWING TITLE :

SITE PLAN

PROJECT NAME :

Alterations & Additions

REVISION NO.

REVISION NO.

28-10-2021

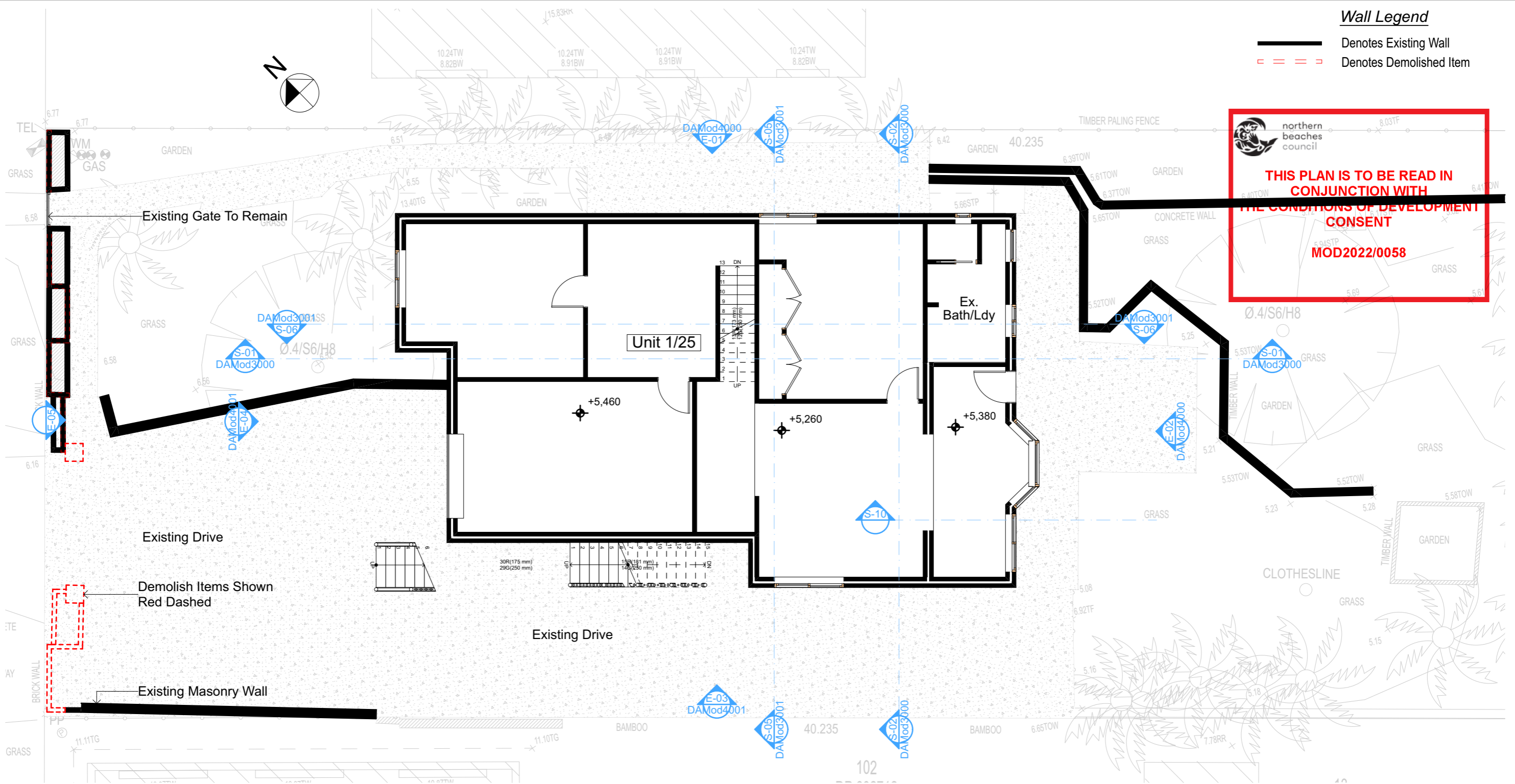
DA Mod100

3

Sheet Size: A3

Wall Legend

- Denotes Existing Wall
- - - - Denotes Demolished Item



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT MOD2022/0058

DEMOLITION BASEMENT/LOWER GROUND
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
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Construction

Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.74 Insulation
Insulation to External Timber Frame Clad Walls R1.70
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Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

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Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION ONLY
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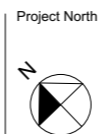
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Checked
Plot Date: 7/2/22
Project NO: RP0320ROS
Project Status: DA Mod
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

DRAWING TITLE : SITE AND LOCATION
Demolition Lower Ground Floor Plan
PROJECT NAME : **Alterations & Additions**

REVISION NO.

DATE: 28-10-2021
DA Mod100
8

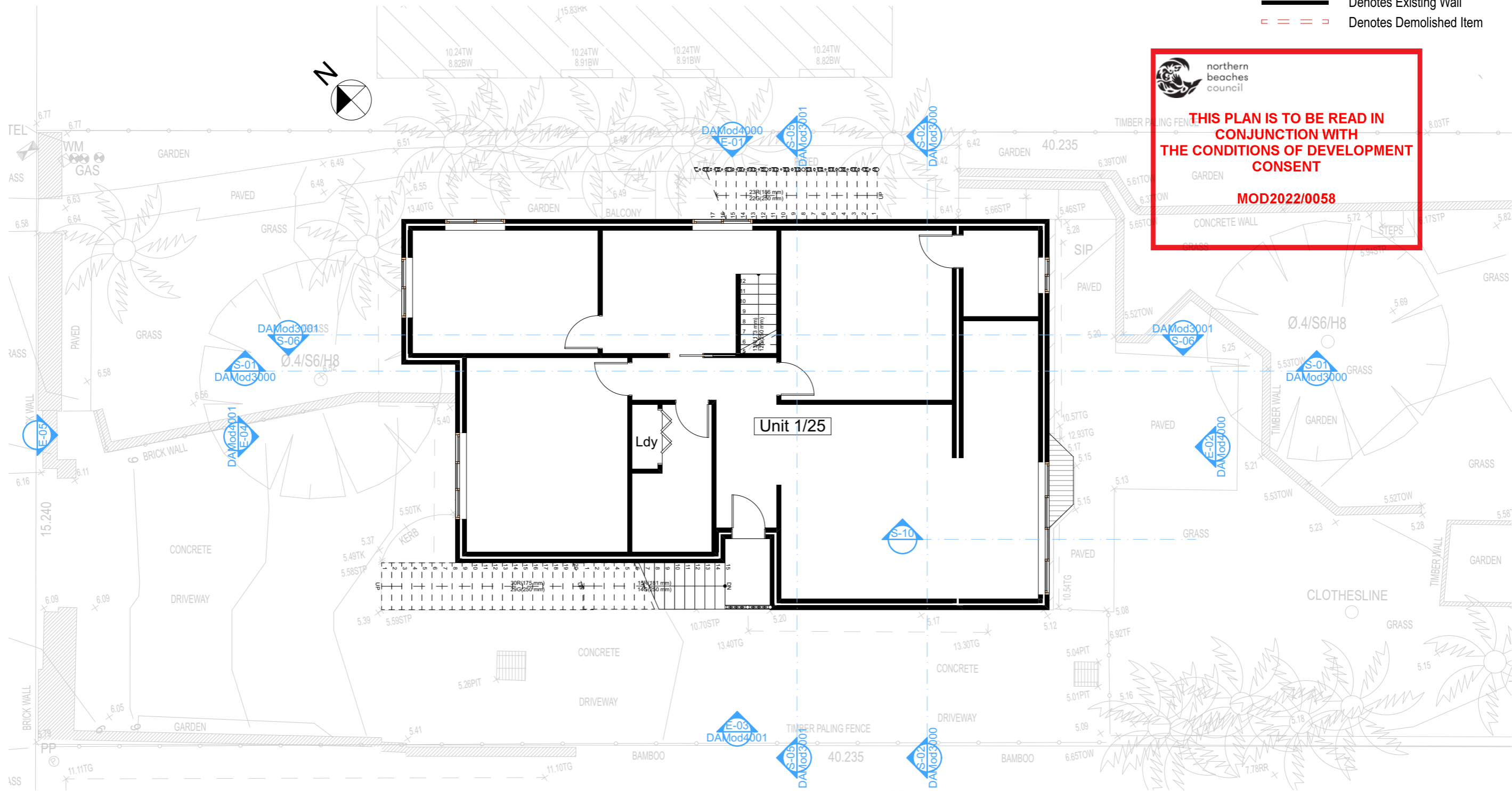
Wall Legend

Denotes Existing Wall
Denotes Demolished Item



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2022/0058



2

DEMOLITION GROUND FLOOR
1:100

All Demolition to be done in Accordance with Australian
Standards, BCA and Workcover Regulations

NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
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Construction

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New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A383346_04
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Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40%)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

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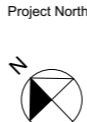


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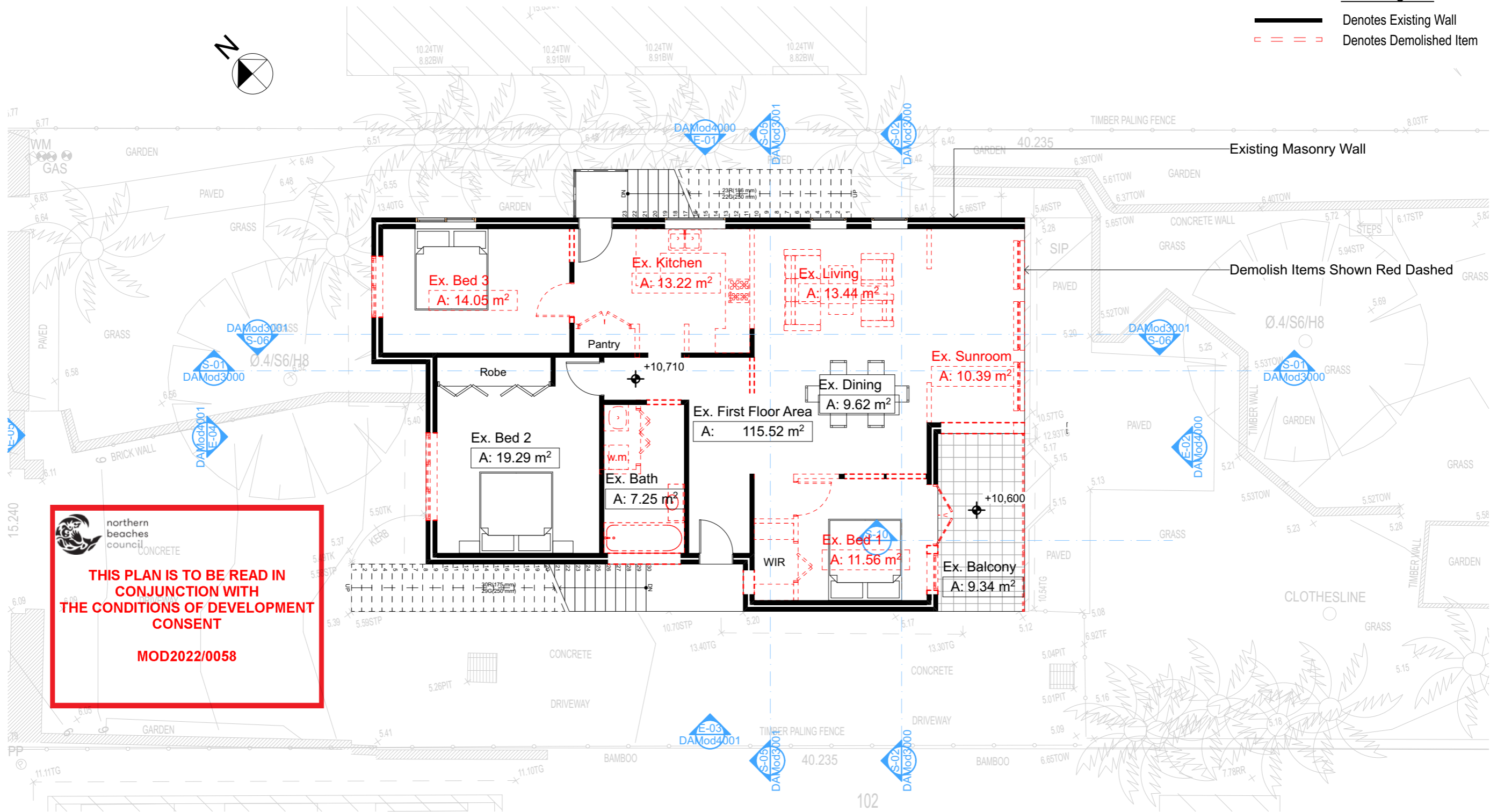
Checked
Plot Date: 7/2/22
Project NO: RP0320ROS
Project Status: DA Mod
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater
2096
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition Ground Floor
Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
28-10-2021
DAMod100
9

Wall Legend

- Denotes Existing Wall
- - - - Denotes Demolished Item



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2022/0058

3 DEMOLITION FIRST FLOOR
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

NOTES

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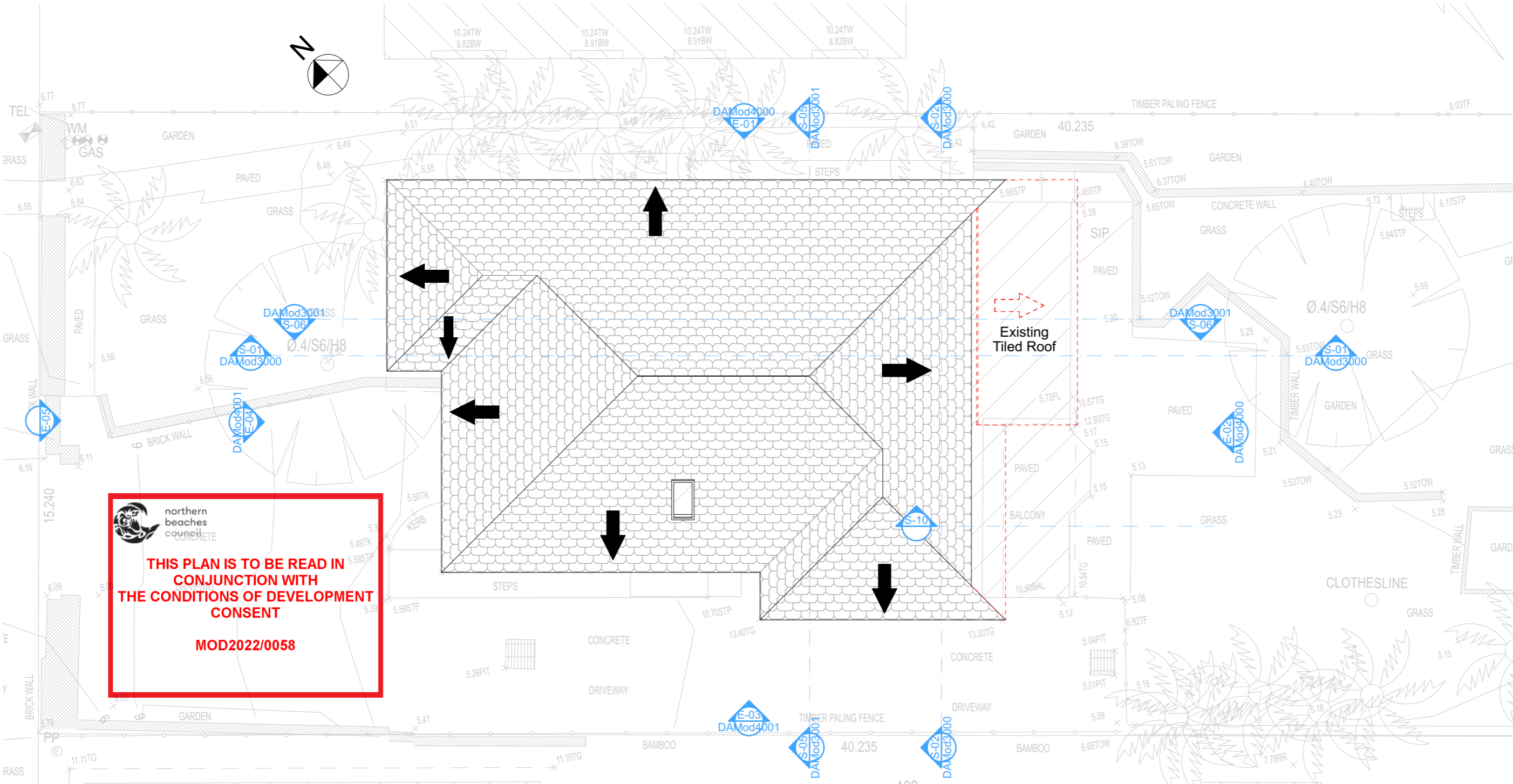
Checked
Plot Date: 7/2/22
Project NO: RP0320ROS
Project Status: DA Mod
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition First Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE: 28-10-2021
DA Mod101
0

Wall Legend

Denotes Demolished Item



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT MOD2022/0058

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

NOTES

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Construction

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Basix

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Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION ONLY
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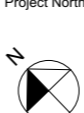


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Checked
Plot Date: 7/2/22
Project NO. RP0320ROS
Project Status: DA Mod
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition Roof Plan
PROJECT NAME :
Alterations & Additions

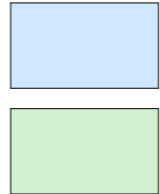
REVISION NO.
DATE: 28-10-2021
DRAWING NO.
DAMod1011



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2022/0058

Construction		
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external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

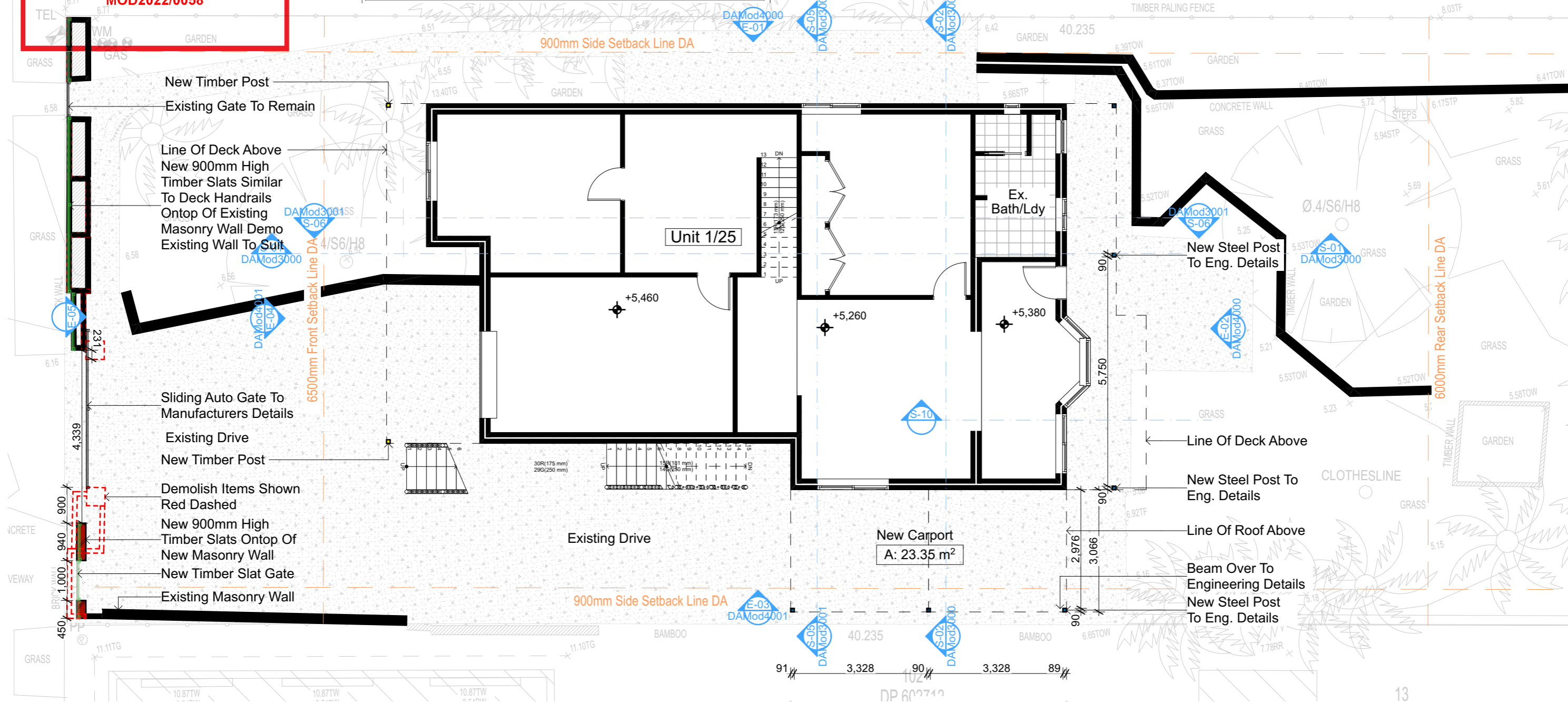


Denotes New Works Approved Under DA2020/1180

Denotes New Modified Works Under This Application

Wall Legend

- Denotes New Timber Post
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item



1 BASEMENT/LOWER GROUND 1:100

DA APPLICATION ONLY NOT FOR CONSTRUCTION

NOTES
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Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
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Checked
Plot Date: 7/2/22
Project NO: RP0320ROS
Project Status: DA Mod

Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

DRAWING TITLE :
PLANS
LOWER GROUND FLOOR
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE: 28-10-2021
DA Mod200
1

Construction		
Insulation requirements		
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Denotes New Works Approved Under DA2020/1180

Denotes New Modified Works Under This Application

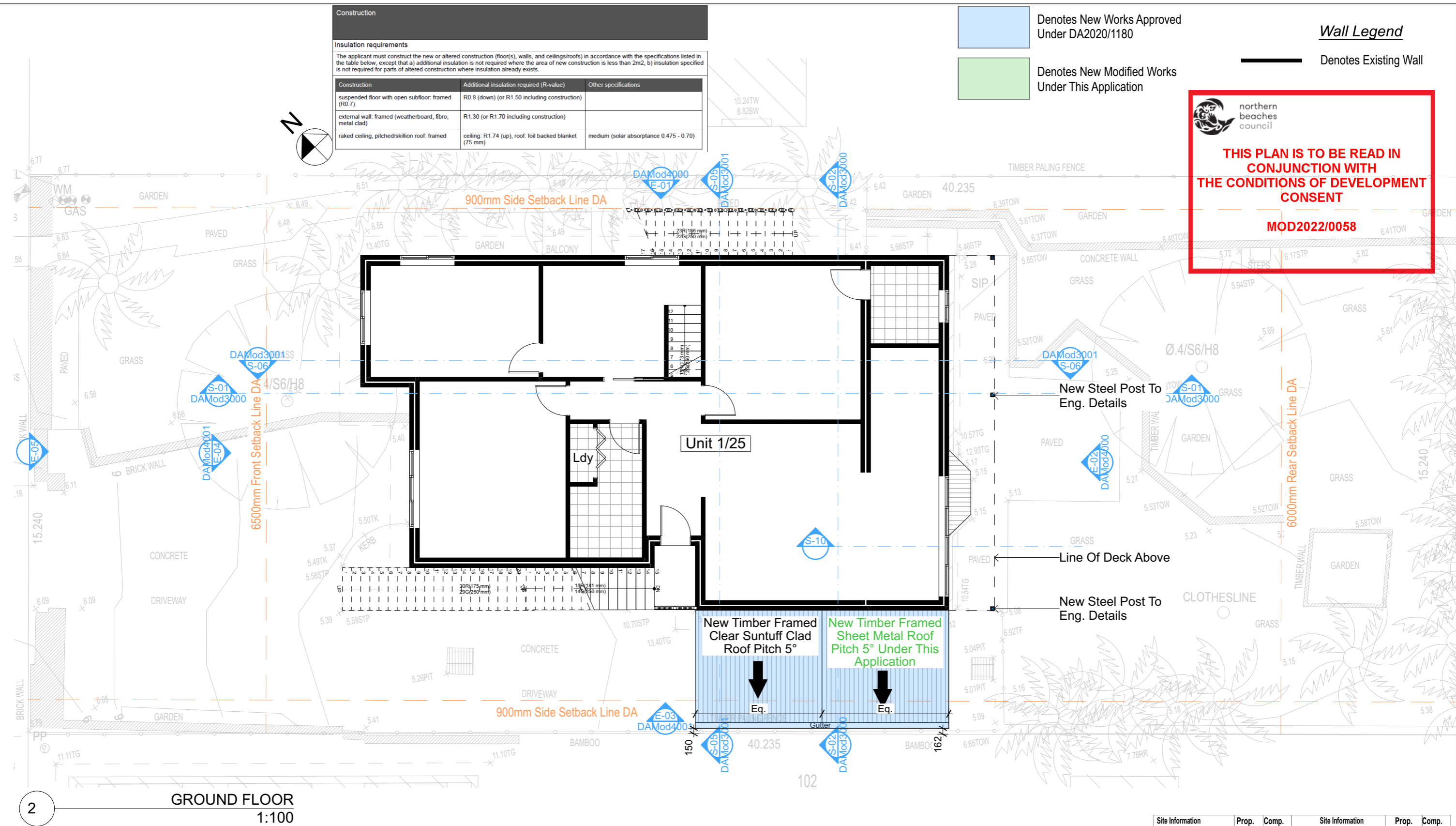
Wall Legend

Denotes Existing Wall



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2022/0058



NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.74 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A383346_04
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date: 7/2/22
Project No: RP0320ROS
Project Status: DA Mod

Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

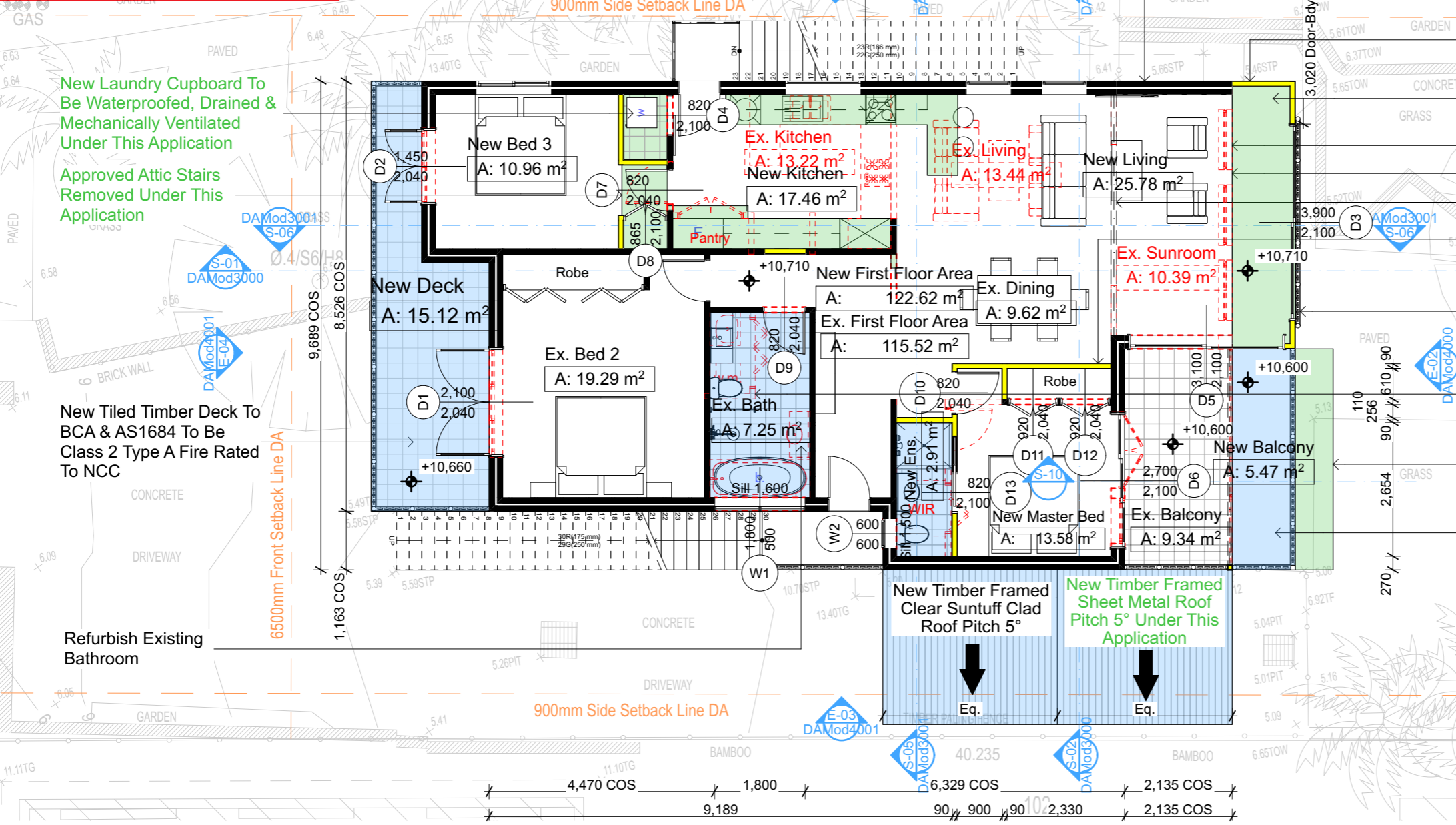
DRAWING TITLE :
PLANS
GROUND FLOOR
PROJECT NAME :
Alterations & Additions

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40%)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Minimum impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

REVISION NO.
-
DATE: 28-10-2021
DA Mod200
2

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2022/0058



Denotes New Works Approved Under DA2020/1180

Denotes New Modified Works Under This Application

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item

- Reburbish Existing Kitchen
- Existing Masonry Wall
- New Cladded 90mm Timber Framed Wall FRL 90/60/60
- New Class 2 Type A Timber Floor Frame To BCA & Aust. Stds. FRL90/90/90 To Match Main FFL
- Demolish Items Shown Red Dashed
- Beam Over To Engineering Details
- Beam Over To Engineering Details
- New Gyprock Clad 90mm Timber Stud Walls
- New Vertical Colonial Handrail To BCA & Aust. Stds.
- Demolish Laundry Cupboard
- Reduce Deck Under This Application
- New Tiled Timber Deck To BCA & AS1684 To Be Class 2 Type A Fire Rated To NCC

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

3

FIRST FLOOR

1:100

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

2/25 Charles Street, Freshwater 2096 is not considered a heritage item

Basix

Basix Certificate Number A383346_04

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m2,

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m2	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40%)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Minimum impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Project North

Checked

Plot Date: 7/2/22

Project NO: RP0320ROS

Project Status: DA Mod

Client: Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

Sheet Size: A3

DRAWING TITLE :

PLANS

FIRST FLOOR

PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE: 28-10-2021

3

Denotes New Works Approved Under DA2020/1180

Denotes New Modified Works Under This Application

Wall Legend

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT MOD2022/0058

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with open subfloor: framed (R0.7)	R0.8 (down) (or R1.50 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m2	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40%)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Minimum impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
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Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.74 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A383346_04
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

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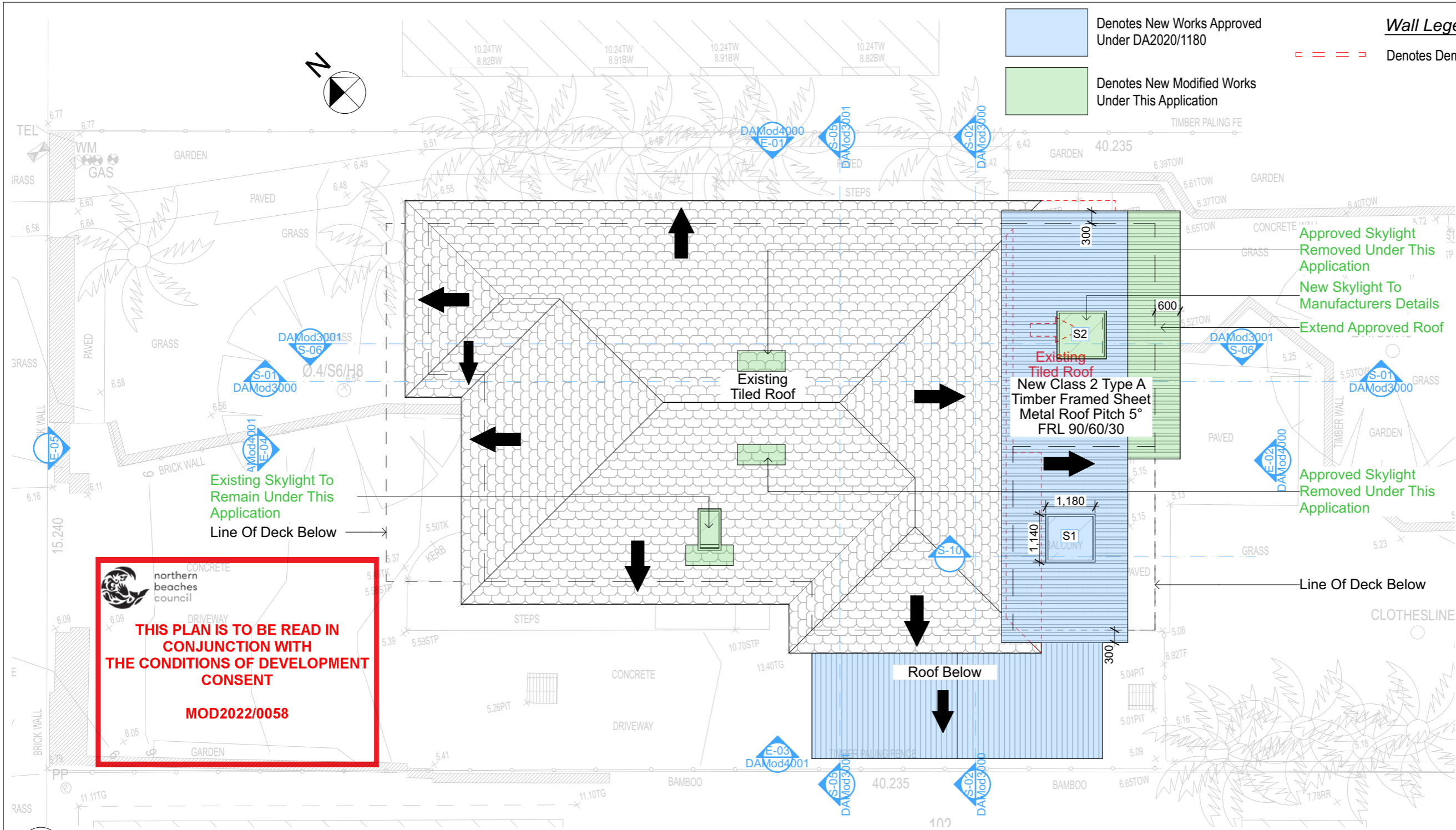
Checked
Plot Date: 7/2/22
Project NO: RP0320ROS
Project Status: DA Mod

Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

DRAWING TITLE :
PLANS
ATTIC FLOOR

PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE: 28-10-2021
DA Mod200
4



Wall Legend

Denotes New Works Approved Under DA2020/1180

Denotes New Modified Works Under This Application

Denotes Demolished Item



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until they are approved by the Designer for construction.

NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential.

2/25 Charles Street, Freshwater 2096 is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate.

New Works to be constructed shown in ShadedBlue.

Construction

Timber Frame Floor, Timber Frame Clad Walls

Road Timber Frame to have R1.74 insulation

Insulation to External Timber Frame Clad Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic

Basic Certificate Number A383346, 04

All Plans to be read in conjunction with Basic Certificate.

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

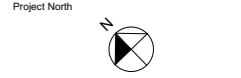
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into grd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Site Information	Prop.	Comp.
Site Area	613.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into grd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 7/2/22
Project NO.: RP032600S
Project Status DA Mod

Client Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE: PLANS
ROOF

PROJECT NAME: Alterations & Additions

REVISION NO. REVISION NO.
- 28-10-2021
DAMod200
5

Sheet Size: A3

4

Roof Plan
1:100

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or tinted/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	SW	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	NW	0.36	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	NW	4.46	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D2	NW	3.11	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D3	SE	8.19	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements

Windows and glazed doors

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
D5	SW	6.51	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D6	SE	5.67	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S2	1.35	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

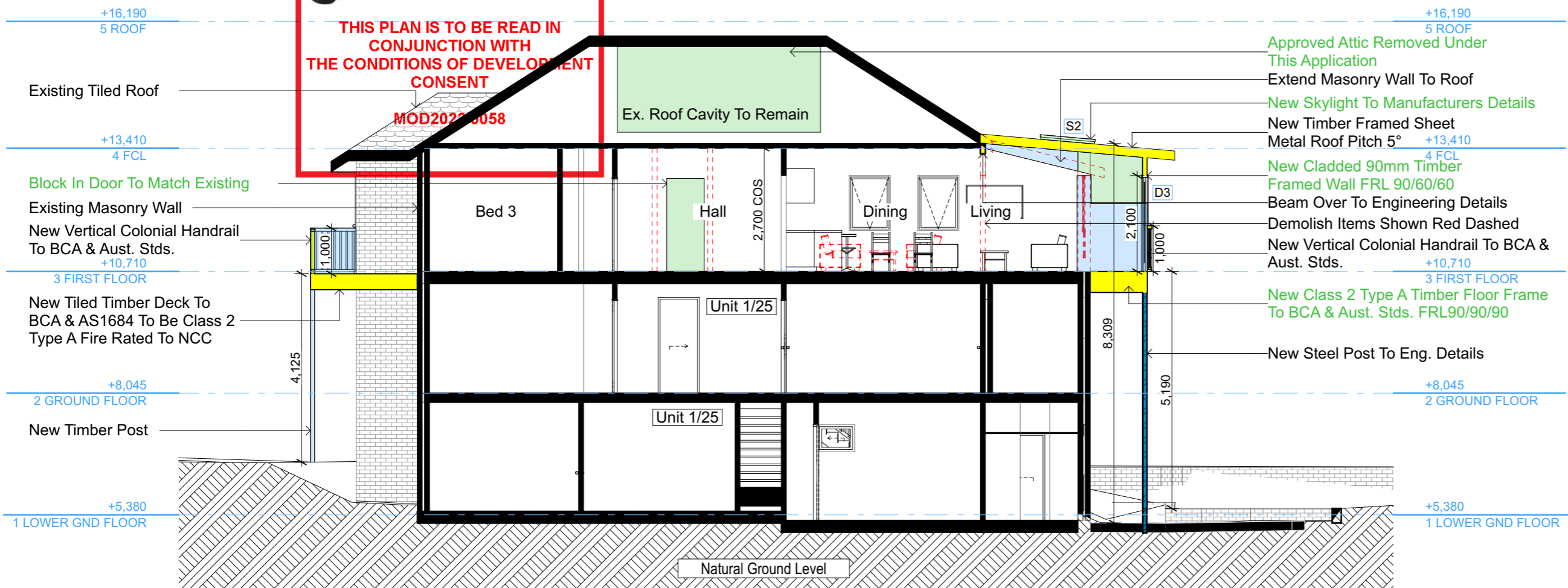
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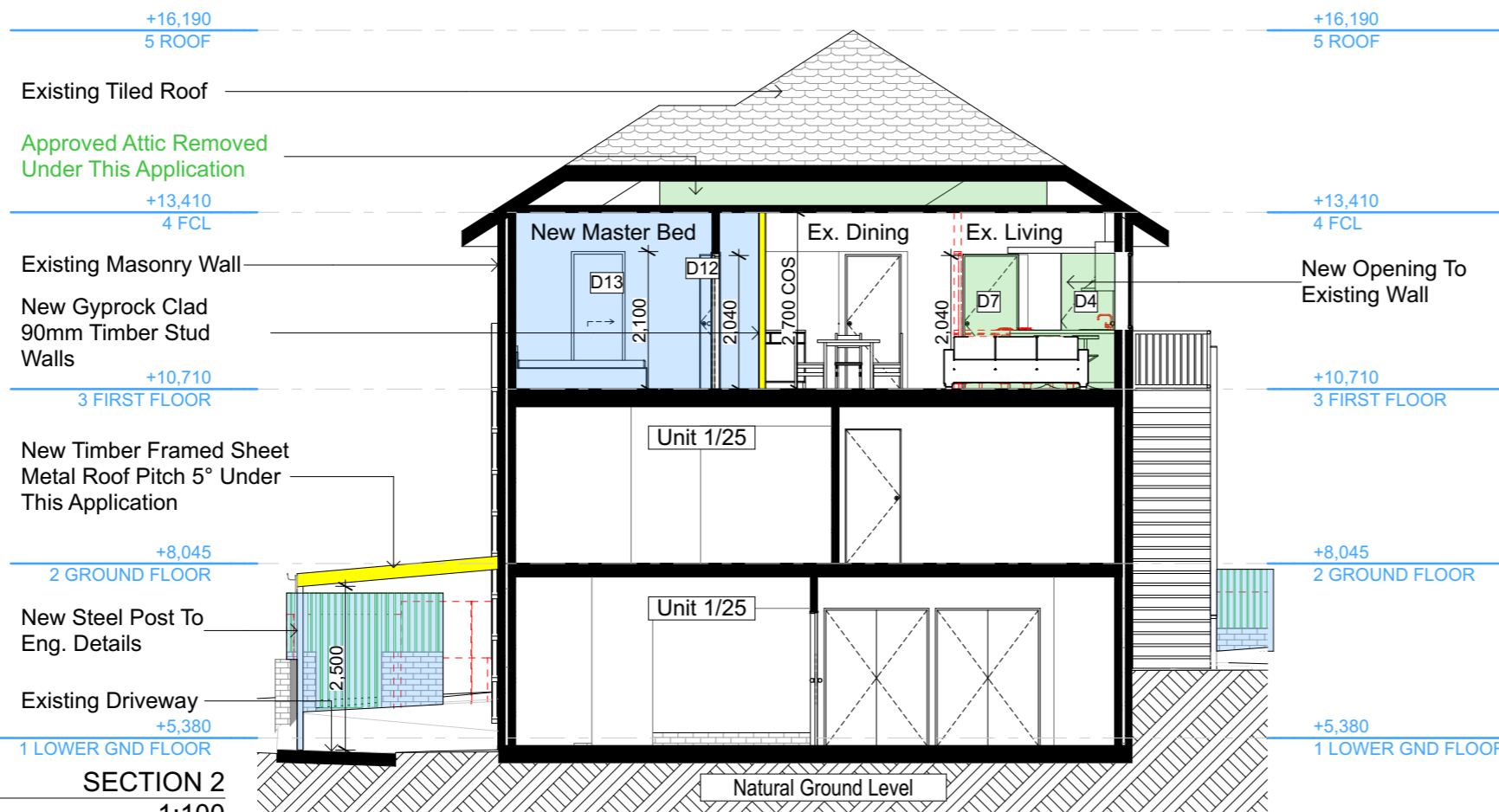
**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2022 0058

Ex. Roof Cavity To Remain



SECTION 1
1:100



SECTION 2
1:100

Approved Attic Removed Under This Application

Extend Masonry Wall To Roof

New Skylight To Manufacturers Details

New Timber Framed Sheet Metal Roof Pitch 5°

New Cladded 90mm Timber Framed Wall FRL 90/60/60

Beam Over To Engineering Details

Demolish Items Shown Red Dashed

New Vertical Colonial Handrail To BCA & Aust. Stds.

New Class 2 Type A Timber Floor Frame To BCA & Aust. Stds. FRL90/90/90

New Steel Post To Eng. Details

Denotes New Works Approved Under DA2020/1180

Denotes New Modified Works Under This Application

Wall Legend

Denotes New Timber Framed Wall

Denotes New Masonry Wall

Denotes New Concrete Block Wall

Denotes New Concrete

Denotes Existing Wall

Denotes Demolished Item

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

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NOT FOR CONSTRUCTION

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bdca
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdca
ACCREDITED
BUILDING DESIGNER

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NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential.

2/25 Charles Street, Freshwater 2096 is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in ShadedBlue

Construction

Timber Frame Floor, Timber Frame Clad Walls

Roof Timber Frame to have R1.74 insulation

Insulation to External Timber Frame Clad Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A383346, 04

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceiling/roof) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 3m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 7/2/22
Project NO.: RP03220ROS
Project Status DA Mod

Client Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE: SECTIONS
SECTION 1

PROJECT NAME: **Alterations & Additions**

REVISION NO. REVISION NO.

- 28-10-2021
DA Mod300
0

Sheet Size: A3

+16,190
5 ROOF

+13,410
4 FCL

Existing Masonry Wall

New Gyprock Clad 90mm
Timber Stud Walls

+10,710
3 FIRST FLOOR

New Timber Framed Clear
Suntuff Clad Roof Pitch 5°

+8,045
2 GROUND FLOOR

New Steel Post To
Eng. Details

Existing Driveway

+5,380
1 LOWER GND FLOOR

S-05
-
Section Attic 1
1:100

Approved Skylight Removed Under
This Application

+16,190
5 ROOF

New Timber Framed Sheet
Metal Roof Pitch 5°
New Skylight To
Manufacturers Details
Extend Masonry Wall To Roof
Demolish Items Shown Red Dashed

+13,410
4 FCL

New Cladded 90mm Timber
Framed Wall FRL 90/60/60
Beam Over To Engineering Details

New Vertical Colonial Handrail
To BCA & Aust. Stds.

+10,710
3 FIRST FLOOR

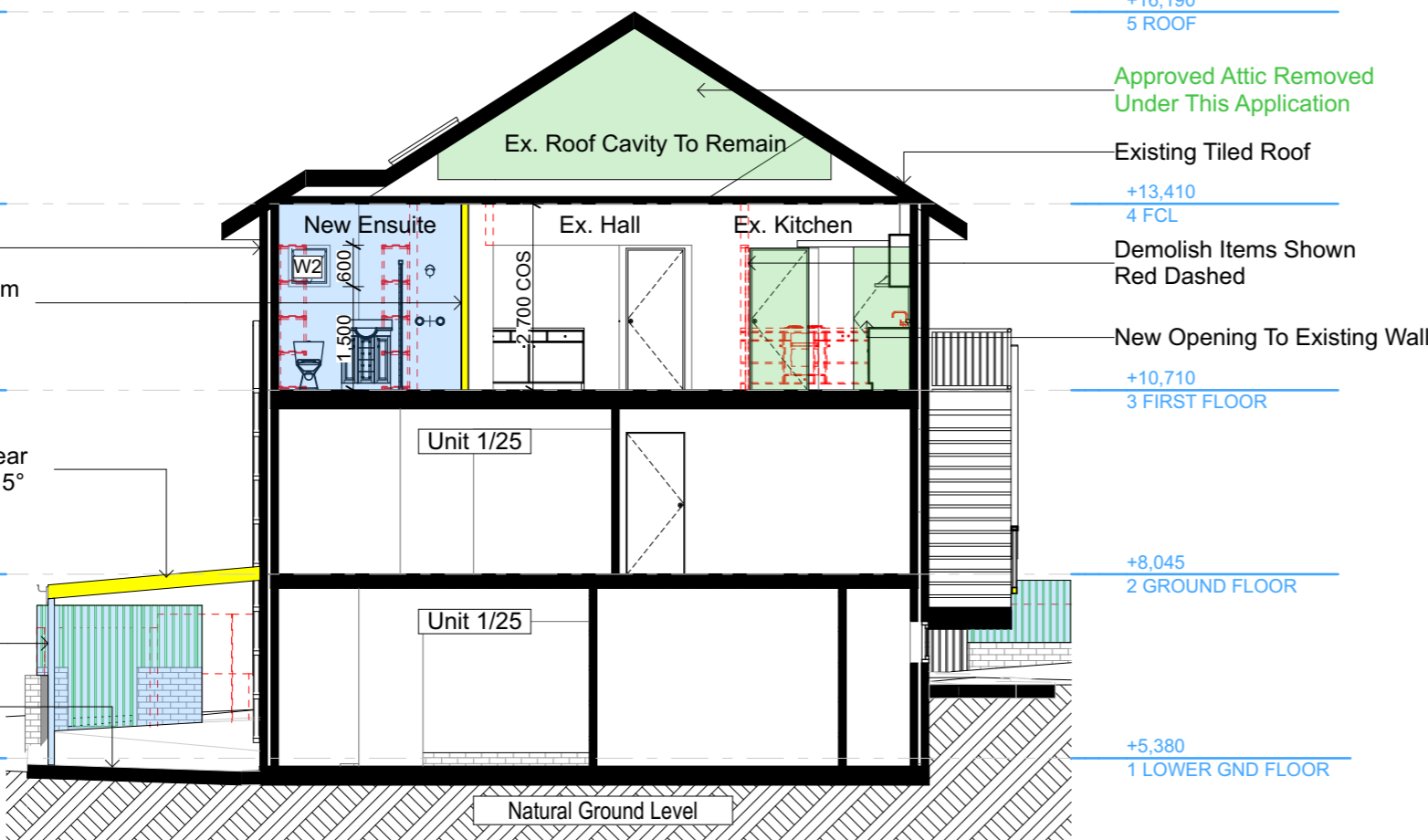
New Class 2 Type A Timber
Floor Frame To BCA & Aust.
Stds. FRL90/90/90

+8,045
2 GROUND FLOOR

New Steel Post To
Eng. Details

+5,380
1 LOWER GND FLOOR

S-06
-
Section Attic 2
1:100



Approved Attic Removed
Under This Application

Existing Tiled Roof

+13,410
4 FCL

Demolish Items Shown
Red Dashed

New Opening To Existing Wall

+10,710
3 FIRST FLOOR

+8,045
2 GROUND FLOOR

+5,380
1 LOWER GND FLOOR

Natural Ground Level

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with open subfloor: framed (R0.7)	R0.8 (down) (or R1.50 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

+16,190
5 ROOF

Approved Attic Removed
Under This Application

Existing Tiled Roof

+13,410
4 FCL

Approved Attic Stairs Removed
Under This Application

New Vertical Colonial Handrail
To BCA & Aust. Stds.

+10,710
3 FIRST FLOOR

New Timber Post

+8,045
2 GROUND FLOOR

+5,380
1 LOWER GND FLOOR

Natural Ground Level

Denotes New Works Approved
Under DA2020/1180

Denotes New Modified Works
Under This Application

Wall Legend

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2022/0058



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

2/25 Charles Street, Freshwater 2096 is not considered a heritage item.

2/25 Charles Street, Freshwater 2096 is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Timber Frame Floor, Timber Frame Clad Walls

Roof Timber Frame to have R1.74 insulation

Insulation to External Timber Frame Clad Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS0128-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A383346, 04

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

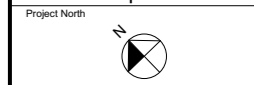
Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopost, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans**



Drawn | Checked GBJ
Plot Date: 7/2/22
Project NO.: RP03220ROS
Project Status DA Mod

Client Marcus Rosenberg and
Charlotte Ralph

Site: 2/25 Charles Street, Freshwater
2096

DRAWING TITLE :
SECTIONS
SECTION 2

PROJECT NAME:
**Alterations &
Additions**

REVISION NO. REVISION NO.
- 28-10-2021
DA Mod300
1

Sheet Size: A3

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the written permission of Rapid Plans

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

Existing Skylight To Remain
Under This Application
+16,190
5 ROOF

Existing Skylight To Remain
Under This Application
Approved Skylight Removed
Under This Application
+13,410
4 FCL

Existing Masonry Wall
New Vertical Colonial Handrail
To BCA & Aust. Stds.
+10,710
3 FIRST FLOOR

New Tiled Timber Deck To BCA
& AS1684 To Be Class 2 Type
A Fire Rated To NCC
New Timber Post
+8,045
2 GROUND FLOOR

Existing Driveway
+5,380
1 LOWER GND FLOOR

E-03

South
1:100

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2022/0058

+16,190
5 ROOF

+16,190
5 ROOF

Existing Skylight To Remain
Under This Application

+13,410
4 FCL

+13,410
4 FCL

New Vertical Colonial
Handrail To BCA &
Aust. Stds.
+10,710
3 FIRST FLOOR

New Tiled Timber Deck
To BCA & AS1684 To Be
Class 2 Type A Fire
Rated To NCC
Building Envelope
+8,045
2 GROUND FLOOR

New Timber Post
+5,380
1 LOWER GND FLOOR

E-04

West
1:100

Natural Ground Level

Existing Masonry Wall

New Timber Framed Clear
Suntuff Clad Roof Pitch 5°

+8,045
2 GROUND FLOOR

New Steel Post To Eng. Details

Existing Driveway

+5,380
1 LOWER GND FLOOR

Existing Tiled Roof
+16,190
5 ROOF

New Timber Framed Sheet
Metal Roof Pitch 5°
Beam Over To Engineering
Details
Extend Approved Roof
+13,410
4 FCL

New Cladded 90mm Timber
Framed Wall FRL 90/60/60
New Timber Post
New Vertical Colonial Handra
To BCA & Aust. Stds.
+10,710
3 FIRST FLOOR

New Tiled Timber Deck To
BCA & AS1684 To Be Class 2
Type A Fire Rated To NCC
New Timber Framed Sheet Meta
Roof Pitch 5° Under This Applica
+8,045
2 GROUND FLOOR

New Steel Post To Eng. Deta

New Timber Framed Clear
Suntuff Clad Roof Pitch 5°

New Steel Post To Eng. Deta

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	SW	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	NW	0.36	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	NW	4.46	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D2	NW	3.11	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D3	SE	8.19	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
D5	SW	6.51	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D6	SE	5.67	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S2	1.35	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

Denotes New Works Approved
Under DA2020/1180

Denotes New Modified Works
Under This Application

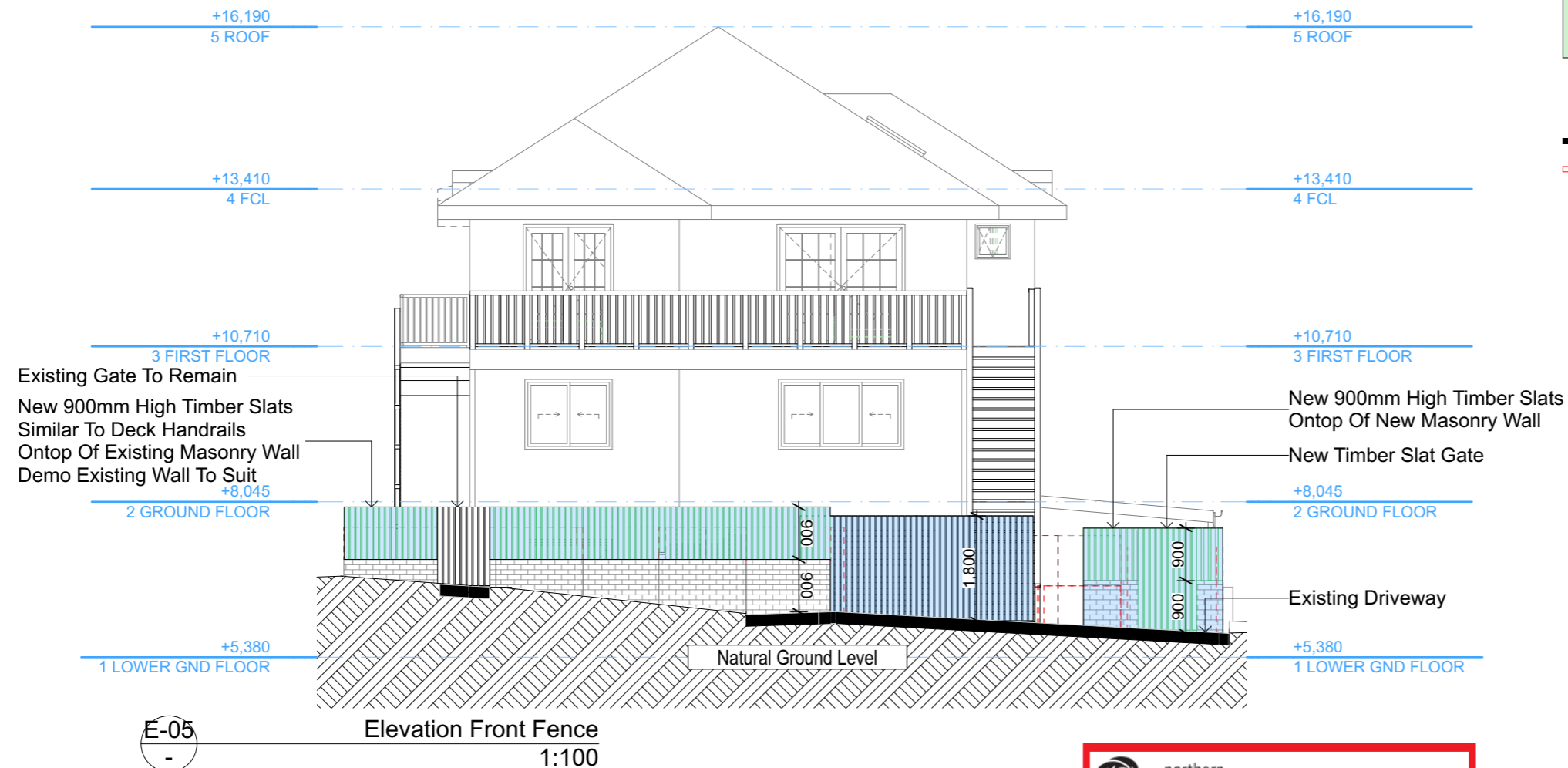
Wall Legend

Denotes Existing Wall

Denotes Demolished Item

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DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



Denotes New Works Approved Under DA2020/1180

Denotes New Modified Works Under This Application

Wall Legend

Denotes Existing Drive

Denotes Demolished Item

Existing Gate To Remain

New 900mm High Timber Slats Similar To Deck Handrails Ontop Of Existing Masonry Wall Demo Existing Wall To Suit

New 900mm High Timber Slats Ontop Of New Masonry Wall

New Timber Slat Gate



Typical Type Sliding Gate System. Easy Gate or Similar

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2022/0058

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DA APPLICATION ONLY

NOT FOR CONSTRUCTION



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Building Design and Architectural Drafting

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA


ACCREDITED
BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Road Timber Frame to have R1.74 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A383346, 04
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 30m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 7/2/22
Project NO.: RP03220ROS
Project Status DA Mod

Client: Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE: ELEVATIONS
ELEVATION FRONT FENCE

PROJECT NAME:
Alterations & Additions

REVISION NO.	REVISION NO.
-	28-10-2021
DA Mod400	
2	

Sheet Size: A3