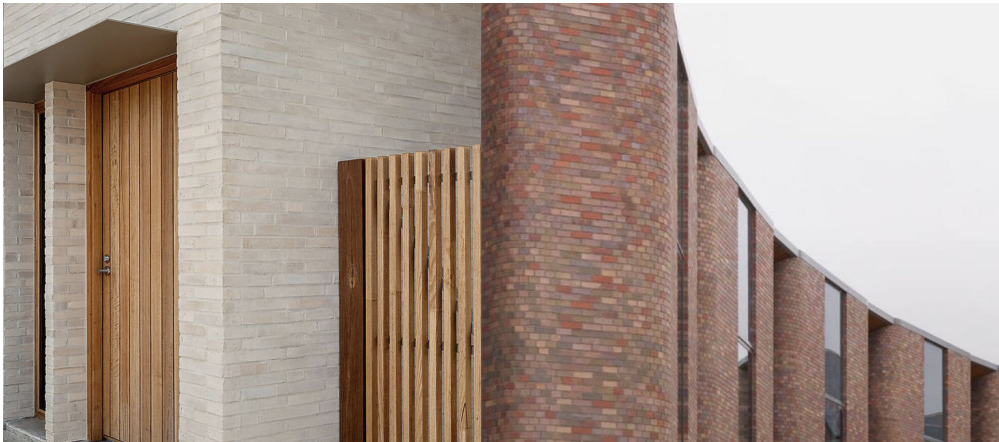


SCHEDULE OF EXTERNAL FINISHES



BRICKWORK (BW)



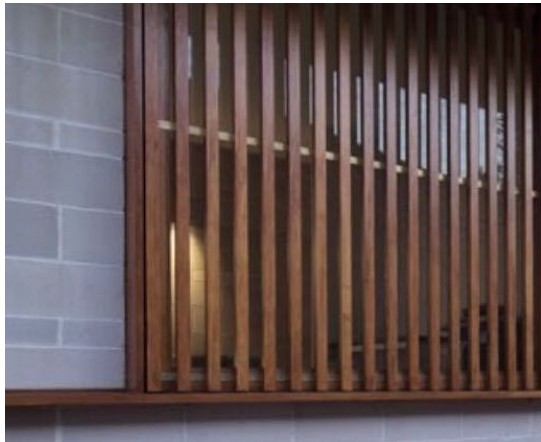
FIBRE CEMENT CLADDING (FC)



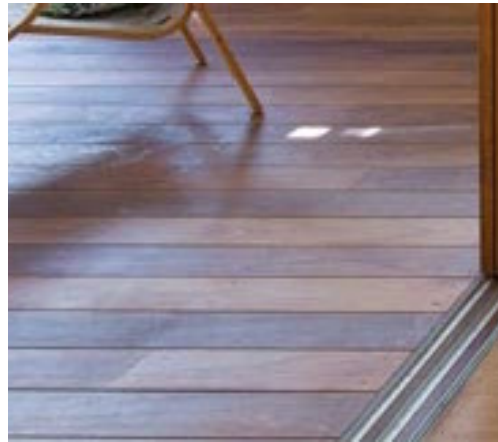
ALUMINIUM WINDOWS / DOORS



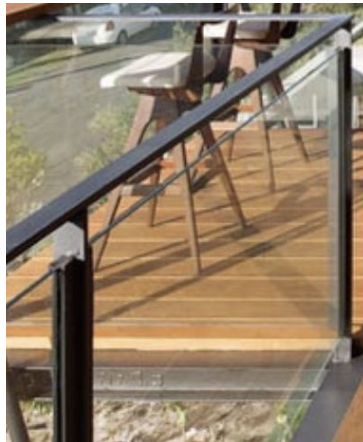
CORRUGATED COLORBOND ROOFING (SR)



HARDWOOD DETAILS (HW)



HARDWOOD DECKING (TD)



GLASS BALUSTRADE (GB)



REINFORCED CONCRETE (RC)

PAGE	DRAWING	DATE	REVISION
DA 1	1:200 SITE PLAN / SITE ANALYSIS	OCT 2025	DA ISSUE
DA 2	1:100 UPPER FLOOR PLAN	OCT 2025	DA ISSUE
DA 3	1:100 MIDDLE FLOOR PLAN	AUG 2025	DA ISSUE
DA 4	1:100 LOWER FLOOR PLAN	AUG 2025	DA ISSUE
DA 5	1:100 NORTH ELEVATION	AUG 2025	DA ISSUE
DA 6	1:100 EAST ELEVATION	AUG 2025	DA ISSUE
DA 7	1:100 WEST ELEVATION	AUG 2025	DA ISSUE
DA 8	1:100 SOUTH ELEVATION	AUG 2025	DA ISSUE
DA 9	1:100 SECTION AA	AUG 2025	DA ISSUE
DA 10	1:200 EROSION & SEDIMENT CONTROL & SITE WASTE MANAGEMENT PLAN	AUG 2025	DA ISSUE
DA 11	LANDSCAPED OPEN SPACE / PRIVATE OPEN SPACE CALCULATIONS	AUG 2025	DA ISSUE
DA 12	SHADOW DIAGRAMS	AUG 2025	DA ISSUE
DA 13	SWIMMING POOL / SPA PLANS, ELEVATIONS AND SECTIONx	OCT 2025	DA ISSUE

NOTES

FINISHES LEGEND		GENERAL :		MINIMUM BASIX REQUIREMENTS	
BW	BRICKWORK	<div>- EXISTING STRUCTURES TO BE DEMOLISHED SHOWN DOTTED RED - ALL LEVELS IN ACCORDANCE WITH AHD - ALL BUILDING WORK IN ACCORDANCE WITH BCA, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN STANDARDS, INCLUDING, BUT NOT LIMITED TO : - AS 1288 - GLASS INSTALLATIONS - AS 1428 - DESIGN FOR ACCESS AND MOBILITY - AS 1684 - LIGHT TIMBER FRAMING CODE - AS 1742 - MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES - AS 1926 (PARTS 1,2&3) - 2012 SWIMMING POOL SAFETY - AS 2047 - 2014 - SELECTION AND INSTALLATION OF WINDOWS - AS 2870 - 2011 - RESIDENTIAL SLABS AND FOOTINGS - AS2610:2001 - DEMOLITION OF STRUCTURES - AS/NZS 2890 - OFF STREET CAR PARKING - AS/NZS 3000 - 2018 - WIRING RULES - AS/NZS 3500.5 - 2021 - PLUMBING AND DRAINAGE - AS 3610 - FORMWORK FOR CONCRETE - AS 3660.1 - 2014 - TERMITE MANAGEMENT - AS 3700-2018 - MASONRY STRUCTURES - AS 3740 -2021 - WATERPROOFING OF WET AREAS - AS 3786 - SMOKE ALARMS - AS 4014-2024 SOLID FUEL BURNING FIREPLACES - AS 4100 - 2020 - STEEL STRUCTURES - AS 4361.2 - GUIDE TO LEAD PAINT MANAGEMENT - AS 4282:1997 - CONTROL OF THE OBTRUSIVE EFFECTS OF OUTDOOR LIGHTING - AS 4373 - PRUNING OF AMENITY TREES - AS 4970-2009 ' PROTECTION OF TREES ON DEVELOPMENT SITES'</div>		WATER : - MIN 6000L Rainwater Tank. - Roof Collection area : Minimum 90m2 - Rainwater re-used in Garden Tap (x1) and Clothes Washers (cold water tap) and Toilets - Showers : 3*, Taps : 3*, Toilets 3*	
HW	HARDWOOD			ENERGY : - Electric Heat Pump Hot Water - 1 x 1300mm ceiling fans to bedrooms and study/beds and study/maker - 1 x 1500mm ceiling fan to Rumpus, and main Living - cooling system must provide for day/night zoning between living areas and bedrooms - Wood Heater in >1 Living - Laundry/Kitchen/>1Bath Exhaust Fans : Ducted, Manual On/Off Switching - LED or Fluorescent lighting to min 5 bedrooms/study, 3 living/ dining spaces , kitchen, laundry, bathrooms/toilets, hallways - Window or skylight in kitchen / minimum 3 bathrooms/toilets - Induction Cooktop / Electric Oven - Well Ventilated Fridge Space - Fixed indoor or sheltered clothes drying line	
TC	TIMBER CLADDING			THERMAL PERFORMANCE SPECIFICATIONS :	
TS	TIMBER BATTEN SCREEN			Waters Breezeway Aluminium Framed low-e glazed louvre windows : U Value ≤ 4.3 and SHGC 0.57 ± 5% Aluminium Framed clear DG sliding doors : U Value ≤ 2.2 and SHGC 0.39 ± 5% Aluminium Framed clear DG sliding windows : U Value ≤ 3.0 and SHGC 0.53 ± 5% Aluminium Framed clear DG fixed : U Value ≤ 2.16 and SHGC 0.55 ± 5% Aluminium Framed clear DG swing doors : U Value ≤ 3.2 and SHGC 0.41 ± 5%	
FC	FIBRE CEMENT CLADDING			Internal Walls R 2.5 to all internal plasterboard lined framed walls 50mm (R 2.27) PIR + non-reflective airgap to cavity brick internal walls between Lower Store and dwelling 50mm (R 2.27) PIR to brick/block wall of Sauna North and internal Sauna wall to Store.	
RC	REINFORCED CONCRETE			External Floor R2.0 Insulation below Suspended Slabs where exposed to external air / sub floor	
SR	STEEL ROOFING			Internal Floor R2.0 slab Insulation to Slabs on Ground (habitable zones)	
GB	GLASS BALUSTRADE				
TD	HARDWOOD DECKING				



CONTEXT




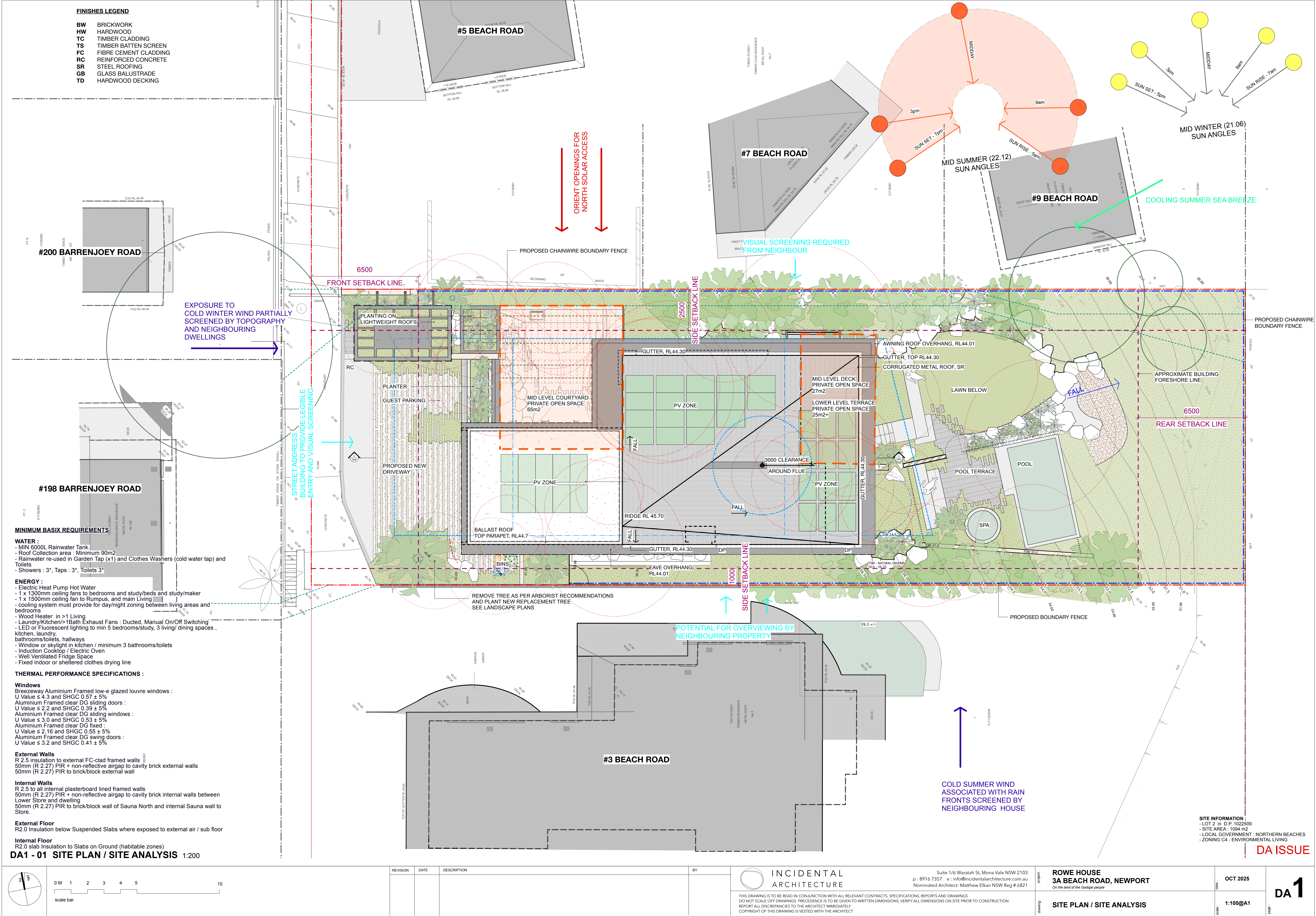
SITE

SITE INFORMATION ;
- LOT 2 in D.P. 1022509
- SITE AREA : 1094 m2
- LOCAL GOVERNMENT : NORTHERN BEACHES
- ZONING C4 - ENVIRONMENTAL LIVING

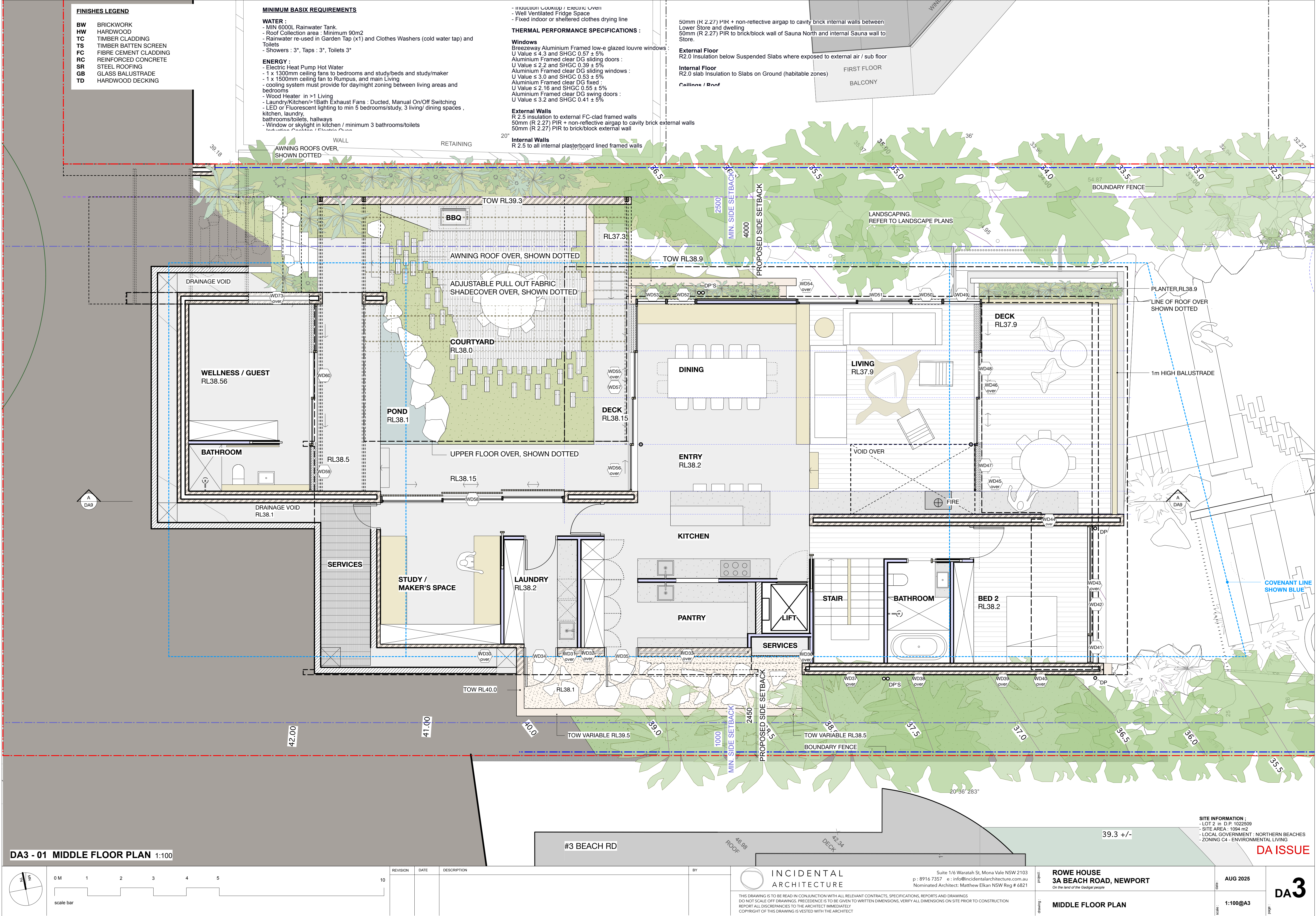
DA ISSUE

COVER SHEET

		REVISION	DATE	DESCRIPTION	BY	<div><div></div><div>INCIDENTAL ARCHITECTURE</div><div>Suite 1/6 Waratah St, Mona Vale NSW 2103 p : 8916 7357 e : info@incidentalarchitecture.com.au Nominated Architect: Matthew Elkan NSW Reg # 6821</div></div> <div><div>THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTEN DIMENSIONS, VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY COPYRIGHT OF THIS DRAWING IS VESTED WITH THE ARCHITECT</div></div>	PROJECT: ROWE HOUSE 3A BEACH ROAD, NEWPORT <i>On the land of the Gadigal people</i>		DATE: OCT 2025	DA C
							DRAWING: COVER SHEET & GENERAL NOTES	SCALE: NTS		







FINISHES LEGEND

- BW BRICKWORK
- HW HARDWOOD
- TC TIMBER CLADDING
- TS TIMBER BATTEN SCREEN
- FC FIBRE CEMENT CLADDING
- RC REINFORCED CONCRETE
- SR STEEL ROOFING
- GB GLASS BALUSTRADE
- TD HARDWOOD DECKING

MINIMUM BASIX REQUIREMENTS

- WATER :**
- MIN 6000L Rainwater Tank
 - Roof Collection area : Minimum 90m2
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 - 1 x 1300mm ceiling fans to bedrooms and study/beds and study/maker
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 - cooling system must provide for day/night zoning between living areas and bedrooms
 - Wood Heater in >1 Living
 - Laundry/Kitchen>1Bath Exhaust Fans : Ducted, Manual On/Off Switching
 - LED or Fluorescent lighting to min 5 bedrooms/study, 3 living/ dining spaces , kitchen, laundry, bathrooms/toilets, hallways
 - Window or skylight in kitchen / minimum 3 bathrooms/toilets

- Induction Cooktop / electric oven
- Well Ventilated Fridge Space
- Fixed indoor or sheltered clothes drying line

THERMAL PERFORMANCE SPECIFICATIONS :

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 - U Value ≤ 2.16 and SHGC $0.55 \pm 5\%$
 - Aluminium Framed clear DG swing doors :
 - U Value ≤ 3.2 and SHGC $0.41 \pm 5\%$

- External Walls**
- R 2.5 insulation to external FC-clad framed walls
 - 50mm (R 2.27) PIR + non-reflective airgap to cavity brick external walls
 - 50mm (R 2.27) PIR to brick/block external wall

- Internal Walls**
- R 2.5 to all internal plasterboard lined framed walls

- 50mm (R 2.27) PIR + non-reflective airgap to cavity brick internal walls between Lower Store and dwelling
- 50mm (R 2.27) PIR to brick/block wall of Sauna North and internal Sauna wall to Store.

- External Floor**
- R2.0 Insulation below Suspended Slabs where exposed to external air / sub floor

- Internal Floor**
- R2.0 slab Insulation to Slabs on Ground (habitable zones)

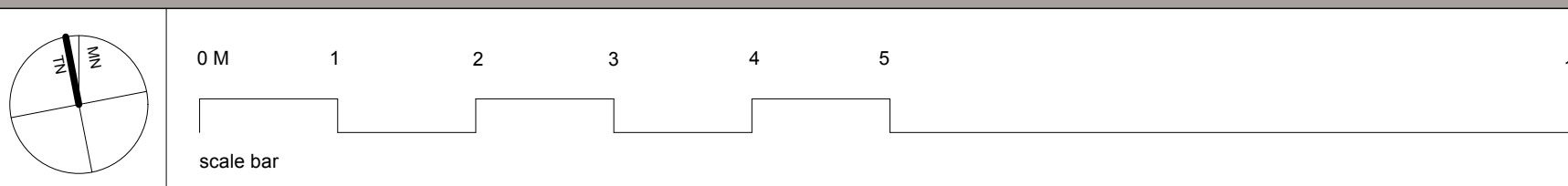
- Ceilings / Roof**

SITE INFORMATION ;

- LOT 2 in D.P. 1022509
- SITE AREA : 1094 m2
- LOCAL GOVERNMENT : NORTHERN BEACHES
- ZONING C4 - ENVIRONMENTAL LIVING

DA ISSUE

DA3 - 01 MIDDLE FLOOR PLAN 1:100



REVISION	DATE	DESCRIPTION	BY

INCIDENTAL ARCHITECTURE

Suite 1/6 Waratah St, Mona Vale NSW 2103
p : 8916 7357 e : info@incidentalarchitecture.com.au
Nominated Architect: Matthew Elkan NSW Reg # 6821

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REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY
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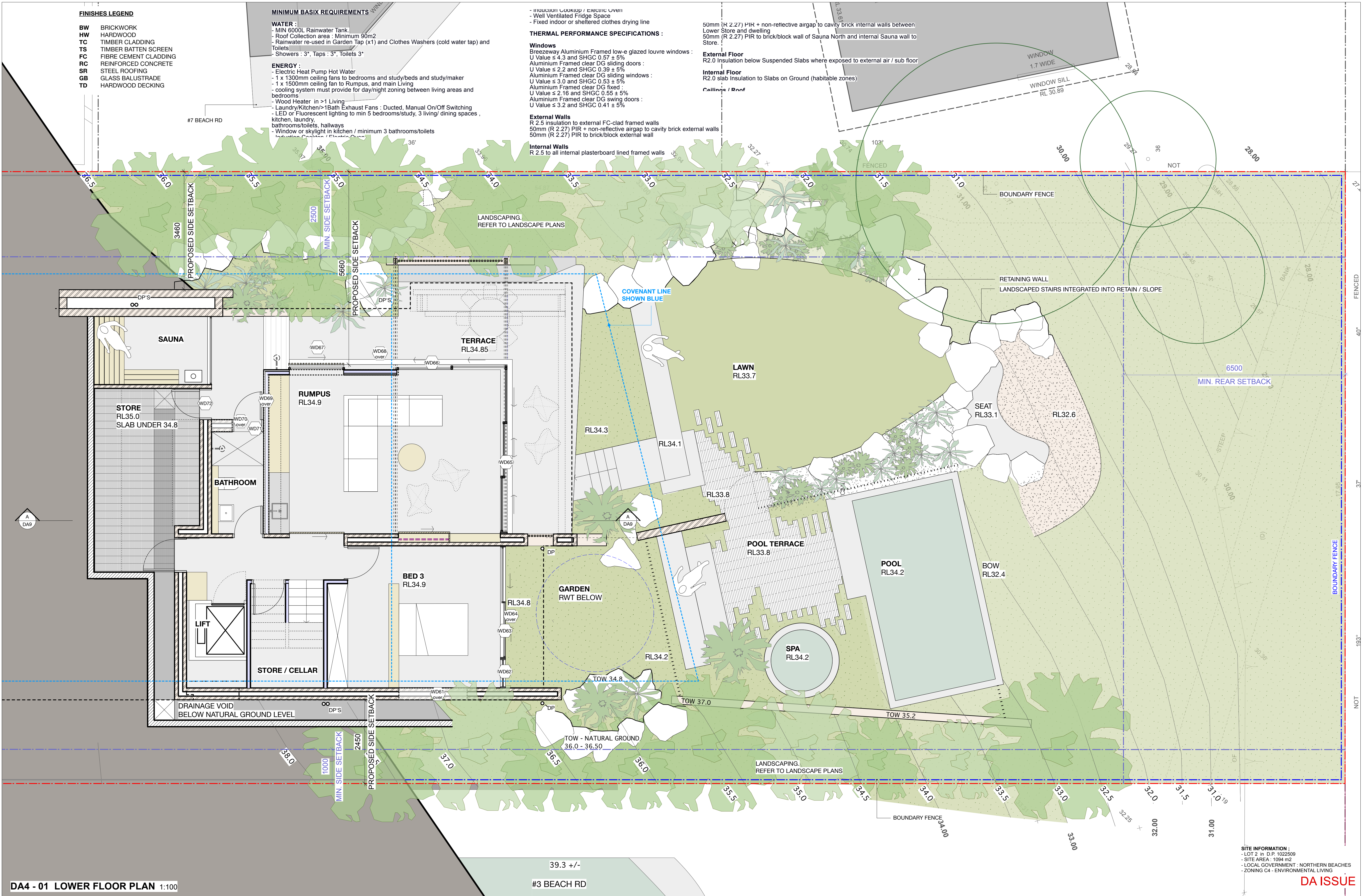
PROJECT: ROWE HOUSE
3A BEACH ROAD, NEWPORT
on the land of the Gadigal people

DATE: AUG 2025

SCALE: 1:100@A3

DRAWING: MIDDLE FLOOR PLAN

PAGE: DA3



MINIMUM BASIX REQUIREMENTS

- WATER :**
- MIN 6000L Rainwater Tank.
 - Roof Collection area : Minimum 90m²
 - Rainwater re-used in Garden Tap (x1) and Clothes Washers (cold water tap) and Toilets
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- ENERGY :**
- Electric Heat Pump Hot Water
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Thermal Performance Specifications :

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- R2.0 slab Insulation to Slabs on Ground (habitable zones)

- Ceilings / Roof**
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- R1.79 to suspended slab as roof over

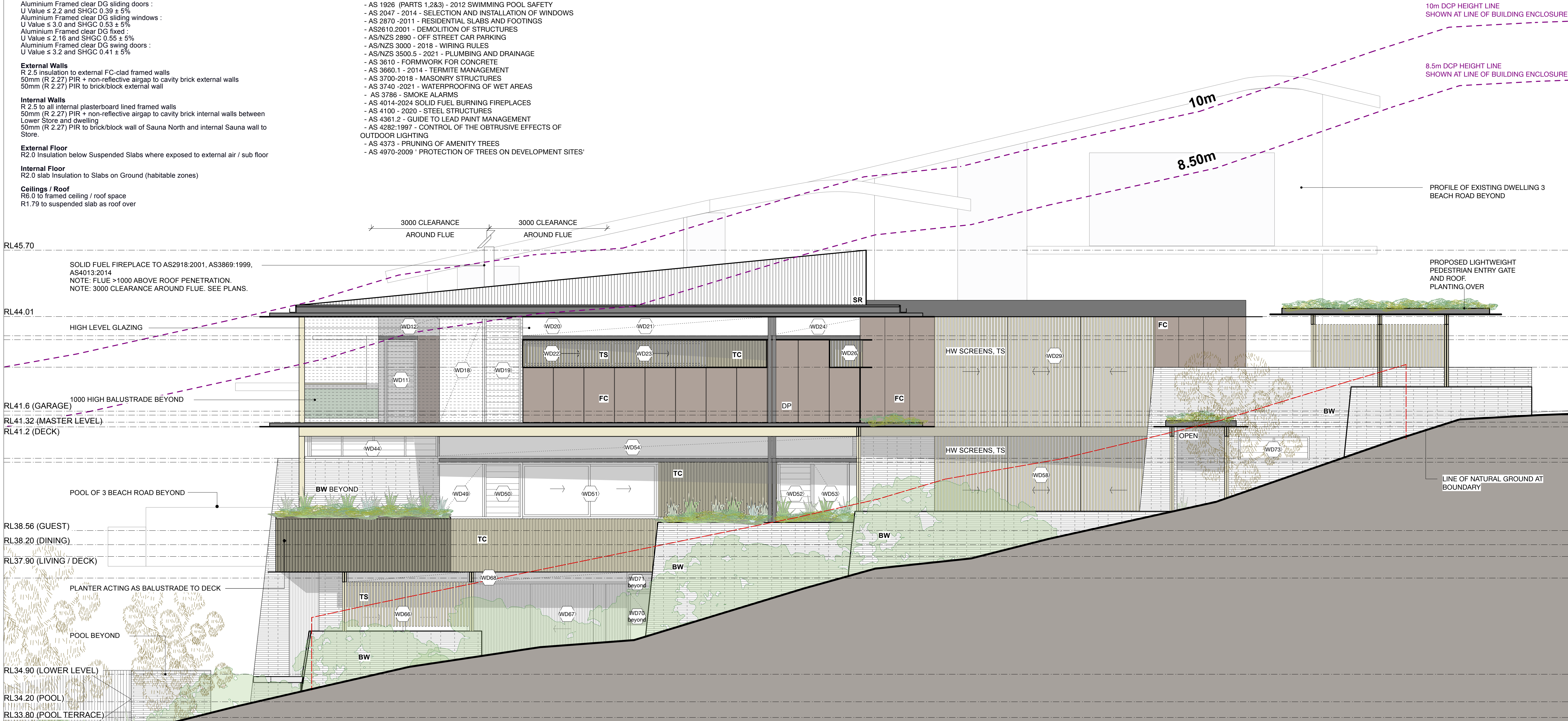
NOTES

FINISHES LEGEND

- BW** BRICKWORK
- HW** HARDWOOD
- TC** TIMBER CLADDING
- TS** TIMBER BATTEN SCREEN
- FC** FIBRE CEMENT CLADDING
- RC** REINFORCED CONCRETE
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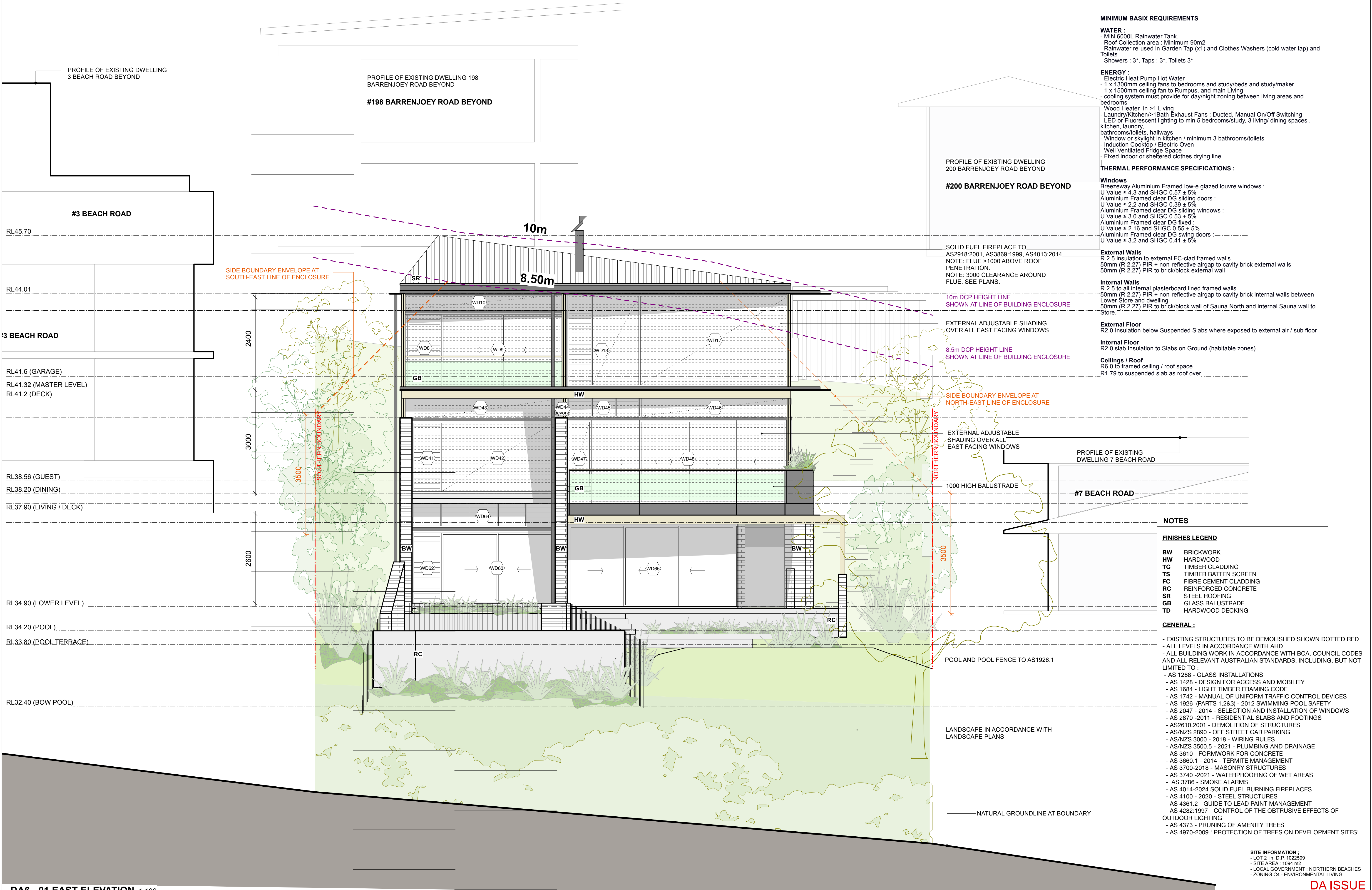
GENERAL :

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- AS 4970-2009 ' PROTECTION OF TREES ON DEVELOPMENT SITES'



SITE INFORMATION :
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- SITE AREA : 1094 m²
- LOCAL GOVERNMENT : NORTHERN BEACHES
- ZONING C4 - ENVIRONMENTAL LIVING

DA5 - 01 NORTH ELEVATION 1:100



MINIMUM BASIX REQUIREMENTS

- WATER :**
- MIN 6000L Rainwater Tank.
 - Roof Collection area : Minimum 90m²
 - Rainwater re-used in Garden Tap (x1) and Clothes Washers (cold water tap) and Toilets
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- Ceilings / Roof**
- R6.0 to framed ceiling / roof space
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NOTES

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DA ISSUE

DA6 - 01 EAST ELEVATION 1:100

0 M 1 2 3 4 5 10					REVISION DATE DESCRIPTION			BY			INCIDENTAL ARCHITECTURE			Suite 1/6 Waratah St, Mona Vale NSW 2103 p : 8916 7357 e : info@incidentalarchitecture.com.au Nominated Architect: Matthew Elkan NSW Reg # 6821			PROJECT ROWE HOUSE 3A BEACH ROAD, NEWPORT On the land of the Gadigal people			DATE AUG 2025			SCALE 1:100@A3			PAGE DA6		
scale bar											THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTEN DIMENSIONS, VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY COPYRIGHT OF THIS DRAWING IS VESTED WITH THE ARCHITECT						DRAWING EAST ELEVATION											

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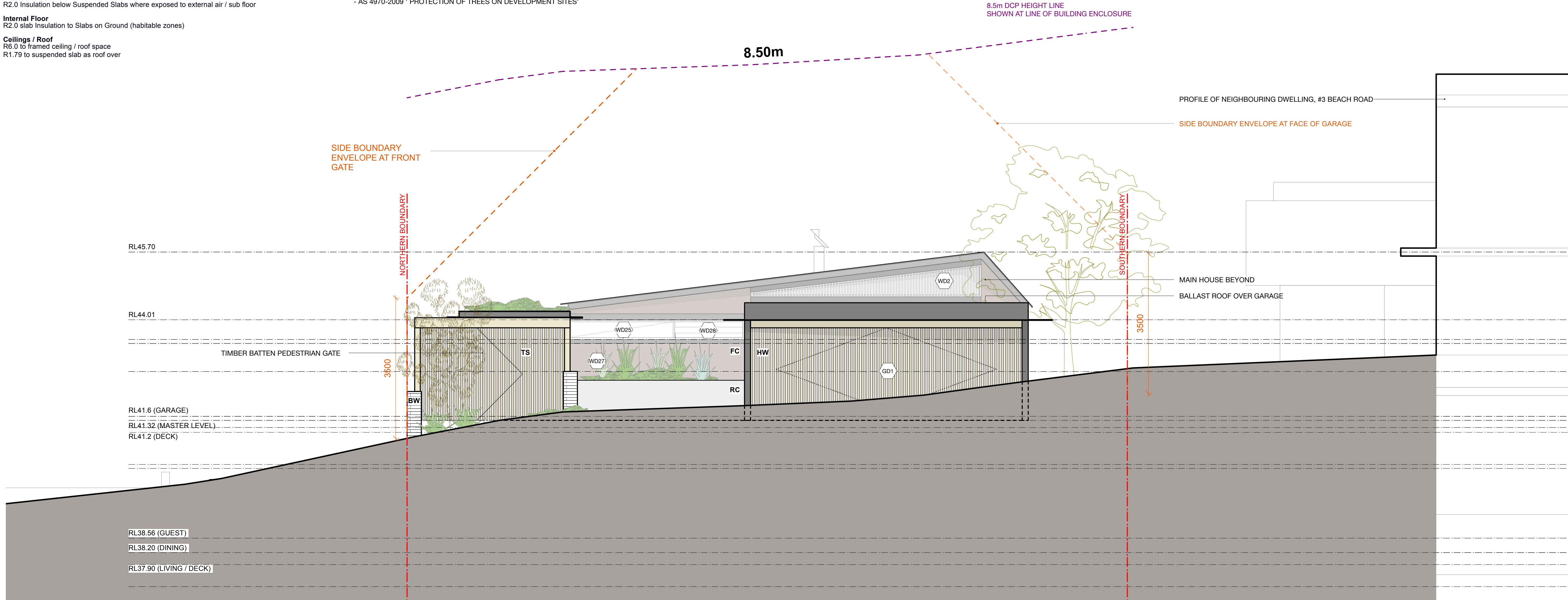
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SITE INFORMATION :

- LOT 2 in D.P. 1022509
- SITE AREA : 1094 m2
- LOCAL GOVERNMENT : NORTHERN BEACHES
- ZONING C4 - ENVIRONMENTAL LIVING

DA ISSUE

DA7 - 01 WEST ELEVATION 1:100

<div>0 M1234510</div> <div>scale bar</div>					<table><tr><th>REVISION</th><th>DATE</th><th>DESCRIPTION</th><th>BY</th></tr><tr><td></td><td></td><td></td><td></td></tr></table>	REVISION	DATE	DESCRIPTION	BY					<div><div><div><div></div></div><div>INCIDENTAL ARCHITECTURE</div></div><div>Suite 1/6 Waratah St, Mona Vale NSW 2103 p : 8916 7357 e : info@incidentalarchitecture.com.au Nominated Architect: Matthew Elkan NSW Reg # 6821</div><div>THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTEN DIMENSIONS, VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY COPYRIGHT OF THIS DRAWING IS VESTED WITH THE ARCHITECT</div></div>	<table><tr><th>project</th><th>date</th></tr><tr><td>ROWE HOUSE 3A BEACH ROAD, NEWPORT <i>On the land of the Gadigal people</i></td><td>AUG 2025</td></tr></table>	project	date	ROWE HOUSE 3A BEACH ROAD, NEWPORT <i>On the land of the Gadigal people</i>	AUG 2025	<table><tr><th>drawing</th><th>scale</th><th>page</th></tr><tr><td>WEST ELEVATION</td><td>1:100@A3</td><td>DA7</td></tr></table>	drawing	scale	page	WEST ELEVATION	1:100@A3	DA7
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WEST ELEVATION	1:100@A3	DA7																								

NOTES

FINISHES LEGEND

BW BRICKWORK
HW HARDWOOD
TC TIMBER CLADDING
TS TIMBER BATTEN SCREEN
FC FIBRE CEMENT CLADDING
RC REINFORCED CONCRETE
SR STEEL ROOFING
GB GLASS BALUSTRADE
TD HARDWOOD DECKING

GENERAL :

- EXISTING STRUCTURES TO BE DEMOLISHED SHOWN DOTTED RED
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MINIMUM BASIX REQUIREMENTS

WATER :
- MIN 6000L Rainwater Tank.
- Roof Collection area : Minimum 90m²
- Rainwater re-used in Garden Tap (x1) and Clothes Washers (cold water tap) and Toilets
- Showers : 3", Taps : 3", Toilets 3"

ENERGY :
- Electric Heat Pump Hot Water
- 1 x 1300mm ceiling fans to bedrooms and study/beds and study/maker
- 1 x 1500mm ceiling fan to Rumpus, and main Living
- cooling system must provide for day/night zoning between living areas and bedrooms
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- LED or Fluorescent lighting to min 5 bedrooms/study, 3 living/ dining spaces , kitchen, laundry, bathrooms/toilets, hallways
- Window or skylight in kitchen / minimum 3 bathrooms/toilets
- Induction Cooktop / Electric Oven
- Well Ventilated Fridge Space
- Fixed indoor or sheltered clothes drying line

THERMAL PERFORMANCE SPECIFICATIONS :

Windows
Breezeway Aluminium Framed low-e glazed louvre windows :
U Value ≤ 4.3 and SHGC 0.57 ± 5%
Aluminium Framed clear DG sliding doors :
U Value ≤ 2.2 and SHGC 0.39 ± 5%
Aluminium Framed clear DG sliding windows :
U Value ≤ 3.0 and SHGC 0.53 ± 5%
Aluminium Framed clear DG fixed :
U Value ≤ 2.16 and SHGC 0.55 ± 5%
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External Walls
R 2.5 insulation to external FC-clad framed walls
50mm (R 2.27) PIR + non-reflective airgap to cavity brick external walls
50mm (R 2.27) PIR to brick/block external wall

Internal Walls
R 2.5 to all internal plasterboard lined framed walls
50mm (R 2.27) PIR + non-reflective airgap to cavity brick internal walls between Lower Store and dwelling
50mm (R 2.27) PIR to brick/block wall of Sauna North and internal Sauna wall to Store.

External Floor
R2.0 Insulation below Suspended Slabs where exposed to external air / sub floor

Internal Floor
R2.0 slab Insulation to Slabs on Ground (habitable zones)

Ceilings / Roof
R6.0 to framed ceiling / roof space
R1.79 to suspended slab as roof over

10m DCP HEIGHT LINE
SHOWN AT LINE OF BUILDING ENCLOSURE

8.5m DCP HEIGHT LINE
SHOWN AT LINE OF BUILDING ENCLOSURE

FRONT BOUNDARY

RL45.70

BALLAST ROOF OVER GARAGE

RL44.01

EXISTING TREE TO
BE RETAINED

RL41.6 (GARAGE)

RL41.32 (MASTER LEVEL)

RL41.2 (DECK)

RL38.56 (GUEST)

RL38.20 (DINING)

RL37.90 (LIVING / DECK)

RL34.90 (LOWER LEVEL)

RL34.20 (POOL)

OUTLINE OF NEIGHBOURING RESIDENCE
3 BEACH ROAD BEHIND (TO SOUTH)

METAL ROOF (MEDIUM COLOUR)

PAINTED METAL EAVE

OPEN

ADJUSTABLE HORIZONTAL SHADING
AND PRIVACY SCREEN

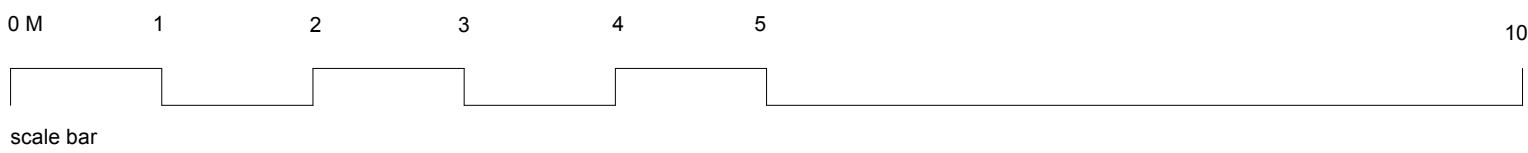
1000mm HIGH BALUSTRADE

APPROX. NATURAL GROUND LINE AT
BOUNDARY, REFER SURVEY

SERVICES BEHIND GRATED
SCREEN

SITE INFORMATION :
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DA8 - 01 SOUTH ELEVATION 1:100



REVISION	DATE	DESCRIPTION	BY

INCIDENTAL
ARCHITECTURE

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Nominated Architect: Matthew Elkan NSW Reg # 6821

project
ROWE HOUSE
3A BEACH ROAD, NEWPORT
on the land of the Gadigal people

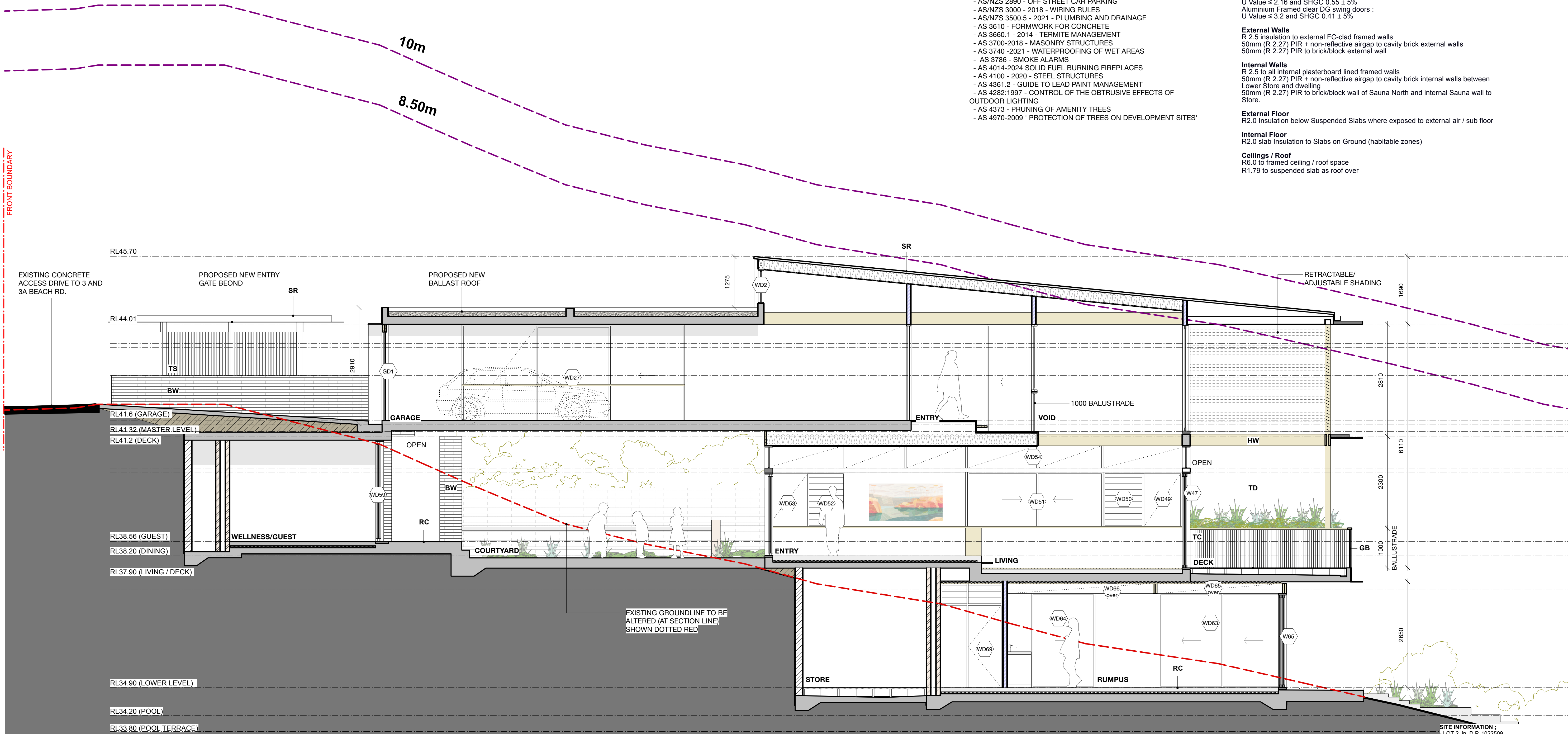
date
AUG 2025

drawing
SOUTH ELEVATION

scale
1:100@A3

page
DA8

FRONT BOUNDARY



DA9 - 01 SECTION AA 1:100

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0 M 1 2 3 4 5 10

scale bar

REVISION DATE DESCRIPTION

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PROJECT
ROWE HOUSE
3A BEACH ROAD, NEWPORT
On the land of the Gadigal people

AUG 2025

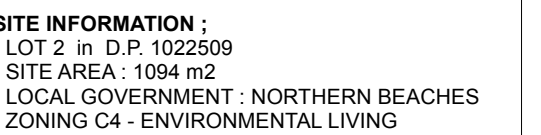
1:100@A3

SECTION AA

DA ISSUE

DA9

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10

REVISION	DATE	DESCRIPTION



project : **ROWE HOUSE**
3A BEACH ROAD, NEWPORT
On the land of the Gadigal people

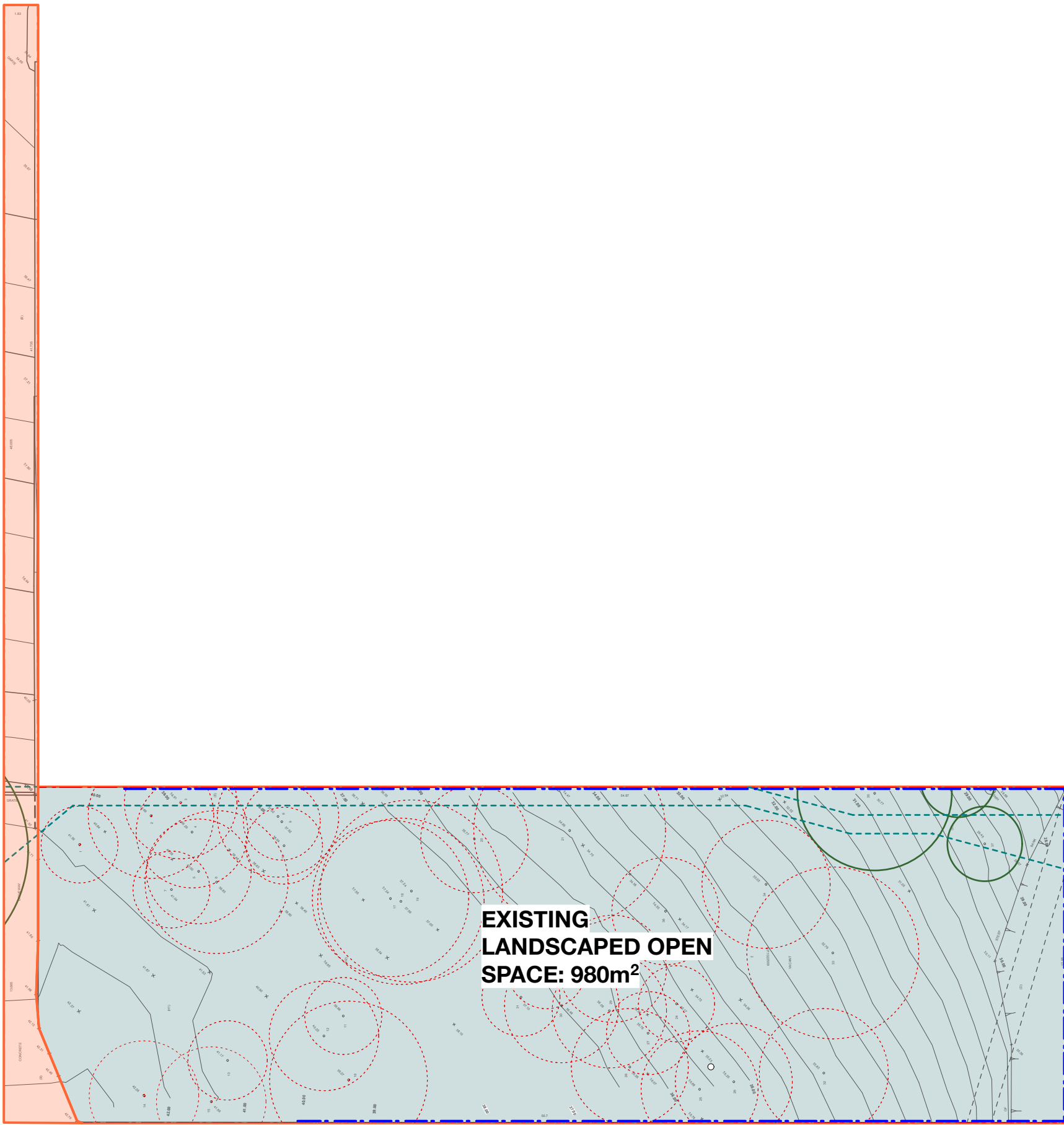
AUG 2025

1:200@A3

D11 - 01 EXISTING LANDSCAPED OPEN SPACE 1:500

EXISTING LANDSCAPED OPEN SPACE CALCULATION

SITE AREA:	1094m2
EXISTING LANDSCAPED AREA (DUE TO SIZE OF BATTLEAXE ACCESS DRIVEWAY)	980m2 (89.5%)



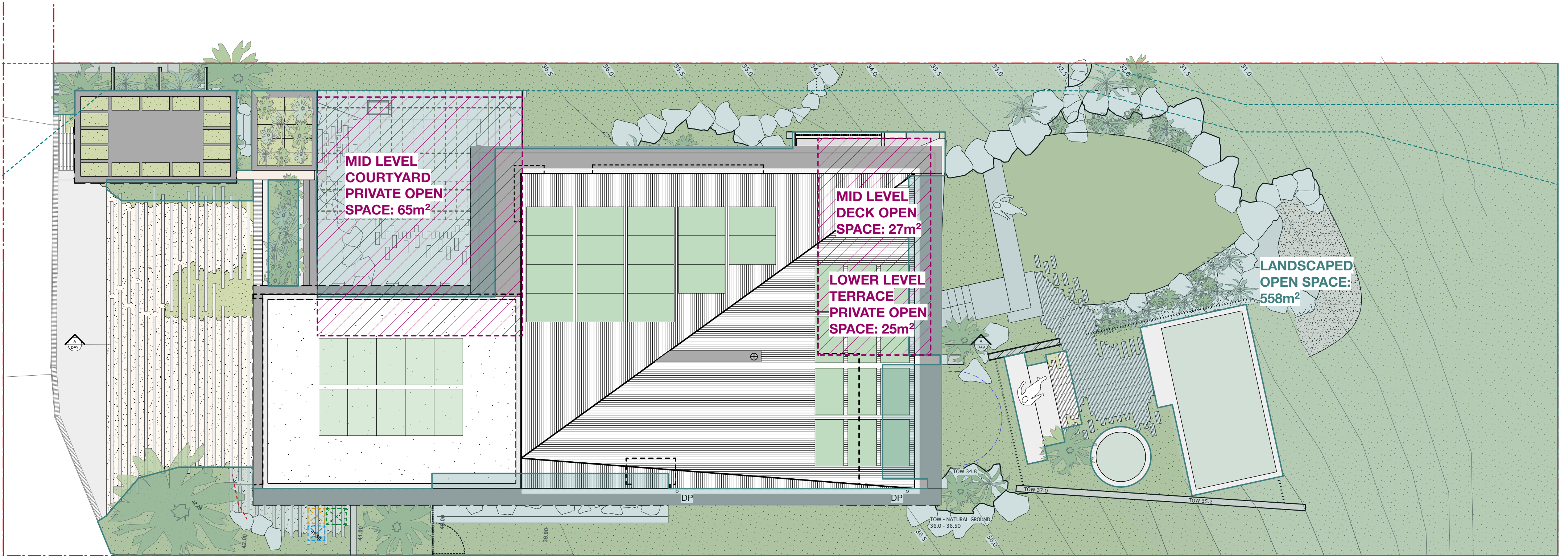
D11 - 02 LANDSCAPED OPEN SPACE & PRIVATE OPEN SPACE PLAN 1:200

LANDSCAPED OPEN SPACE CALCULATIONS

SITE AREA:	1094m2
AVAILABLE SITE AREA DUE TO BATTLEAXE DRIVEWAY ACCESS : (EXCLUDED AREA SHOWN SHADED RED IN DIAGRAM D12-01)	980m2
MINIMUM LANDSCAPED AREA REQUIRED, BASED ON AVAILABLE SITE AREA (60% AS PER PITTWATER DCP (ZONE C4, NEWPORT LOCALITY 2014)	588m2
PROPOSED LANDSCAPED AREA AT NATURAL GROUND LEVEL, INCL. 6% EXEMPTION AS PER PITTWATER DCP (NEWPORT LOCALITY 2014)	591m2 (60%)
COMPLIANT:	YES (60%)
ADDITIONAL LANDSCAPED AREAS PROPOSED AS ROOFTOP PLANTING / IN BUILT PLANTER BOXES :	26m2 (3%)
TOTAL LANDSCAPED OPEN SPACE	617m2 (63%)

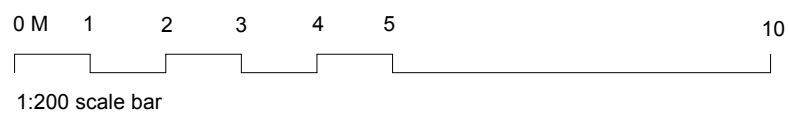
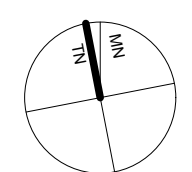
PRIVATE OPEN SPACE CALCULATIONS

MINIMUM PRIVATE OPEN SPACE: (AS PER PITTWATER DCP (NEWPORT LOCALITY) 2014)	80m2
PRINCIPAL PRIVATE OPEN SPACE:	117m2 +
COMPLIANT:	YES (117 > 80 m2)



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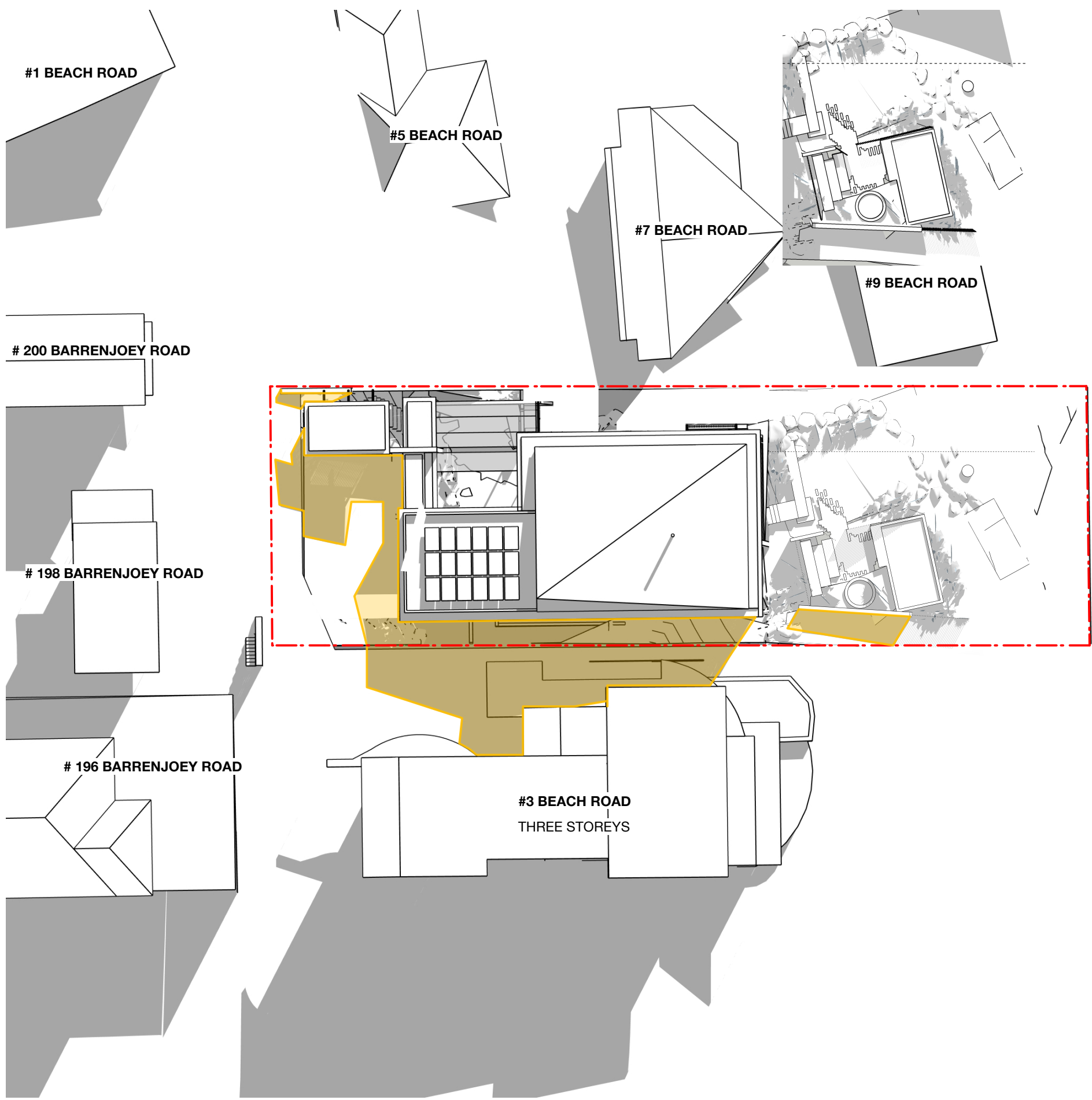
PROJECT:	ROWE HOUSE 3A BEACH ROAD, NEWPORT <small>On the land of the Gadigal people</small>	DATE:	AUG 2025
DRAWING:	LANDSCAPED OPEN SPACE/ OPEN PRIVATE SPACE	SCALE:	1:200 / 1:500 @A3
PAGE:	11		

LEGEND

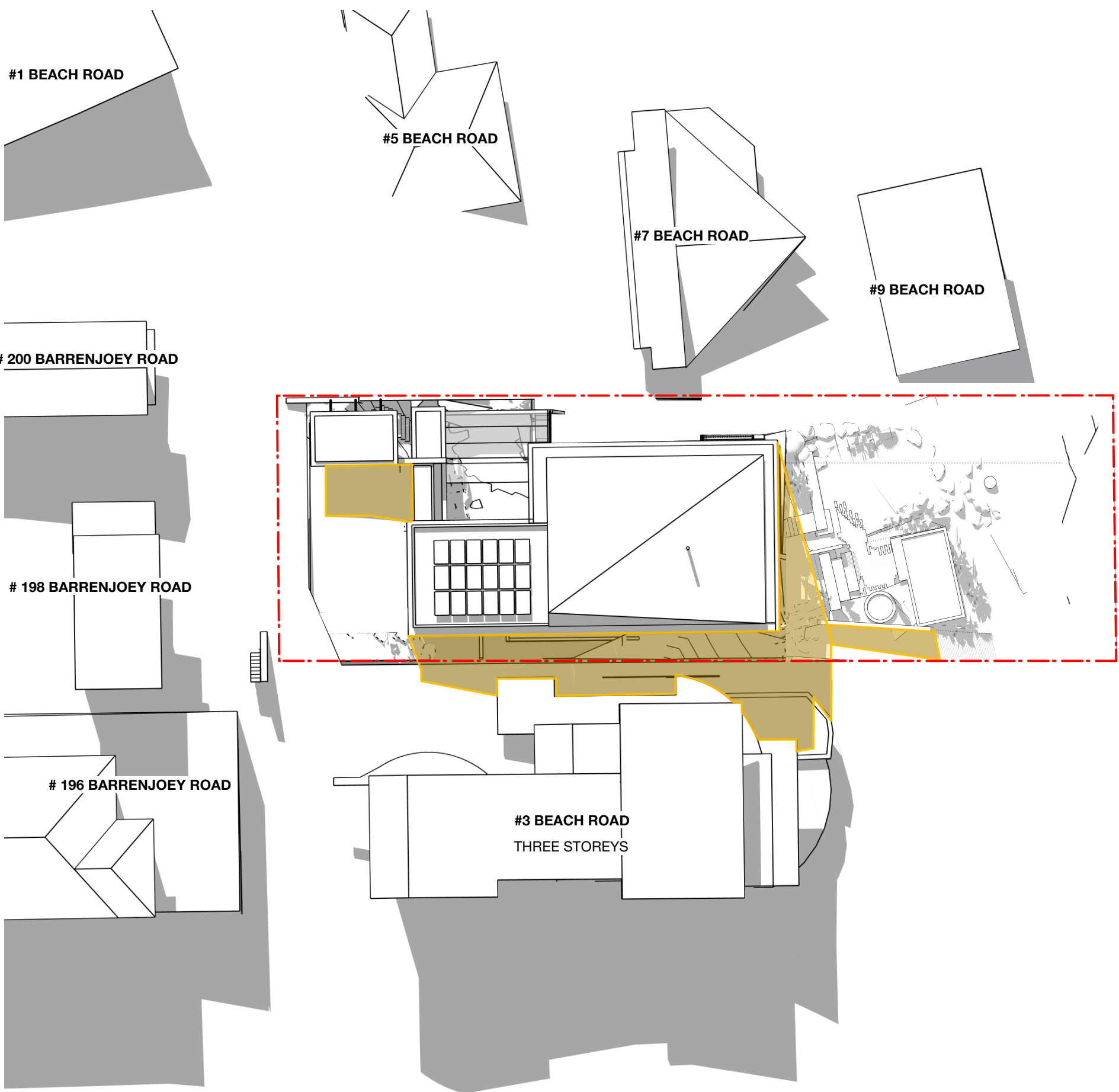
- SITE BOUNDARY
- NEW SHADOW GENERATED BY PROPOSED BUILDING

NOTES :

- THIS DRAWING IS SCHEMATIC ONLY.
- HEIGHT AND POSITION OF EXISTING STRUCTURES FROM SURVEY PLAN
- RIDGE HEIGHTS, GUTTER HEIGHTS AND SILL HEIGHTS AND NATURAL GROUND LEVELS FROM SURVEY PLAN



DA11 - 01 SHADOWS 21st JUNE 9AM NTS



DA11 - 02 SHADOWS 21st JUNE 12PM NTS



DA11 - 02 SHADOWS 21st JUNE 3PM NTS

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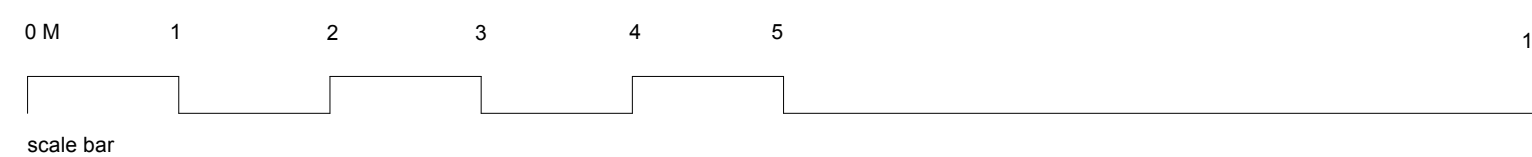
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drawing :
SHADOW DIAGRAMS

DATE :
AUG 2025

SCALE :
NTS

page :
DA 12



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