

Peak Mojo

34 Tatiara Crescent, North Narrabeen

Tim and Lucy

General Notes

Coordination

Where applicable refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify discrepancies between architectural and/or other consultant's documentation for direction prior to proceeding with the works.

Specifications and Schedules

Where applicable refer to and coordinate with relevant Specifications and Schedules. Written specifications and schedules take precedence to the extent of any discrepancy. Notify discrepancies between documents for direction prior to proceeding with the works.

Detail Drawings

Unless noted otherwise, refer to detail drawings for set-out information. Drawings at larger scales take precedence over drawings at smaller scales. Notify discrepancies for direction prior to proceeding with the works.

Execution of the works (Standards)

Execute the works in compliance with the current edition of the Building Code of Australia (as amended), current editions of relevant Australian and other applicable published Standards and the relevant requirements of Local and Statutory Authorities.

Units of measurement

Unless noted otherwise:
- Dimensions are shown in millimetres; and
- Levels are shown in meters

To detail

Where a notation refers to an item as "...to detail" the applicable item is to be in accordance with the relevant Architect's detail.

Materials handling and storage

Unless noted otherwise material, fixtures and fittings are to be handled, stored and installed in accordance with the Manufacturer's current written instructions.

Structure

Foundations, footings, reinforced concrete, slabs, retaining walls, framing, bracing, tie-down and other structural elements are to be designed and constructed in accordance with the Structural Engineer's details and specifications.

Hydraulics

Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are to be designed and constructed in accordance with the Local Authority, Statutory Authority, Hydraulic and/or Civil Works Consultant's requirements.

Erosion & Sediment Control

Apply erosion and sediment control measures in accordance with the Local Authority and, where applicable, Hydraulic or Civil Works Consultant's requirements to avoid erosion, sedimentation and/or contamination of the site, surrounds and stormwater drainage system. Apply measures to ensure that the site remains free of water and to prevent water flow over the new work. Erosion & sediment control measures are to be effective from commencement of the works (including demolition) and maintained throughout the course of the works until the site is fully stabilised.

Services (existing & proposed)

Confirm location of existing under and above-ground services and coordinate with the relevant service authority to ensure that services are handled in accordance with the relevant authorities instructions prior to commencement of demolition, excavation and/or construction works.

Levels

Levels shown are consistent with the datum and benchmarks shown on the associated detail survey. In most instances the surveyed levels will be indicated relative to Australian Height Datum. However the existing site levels and datum are to be confirmed on site with reference to the site survey documents.

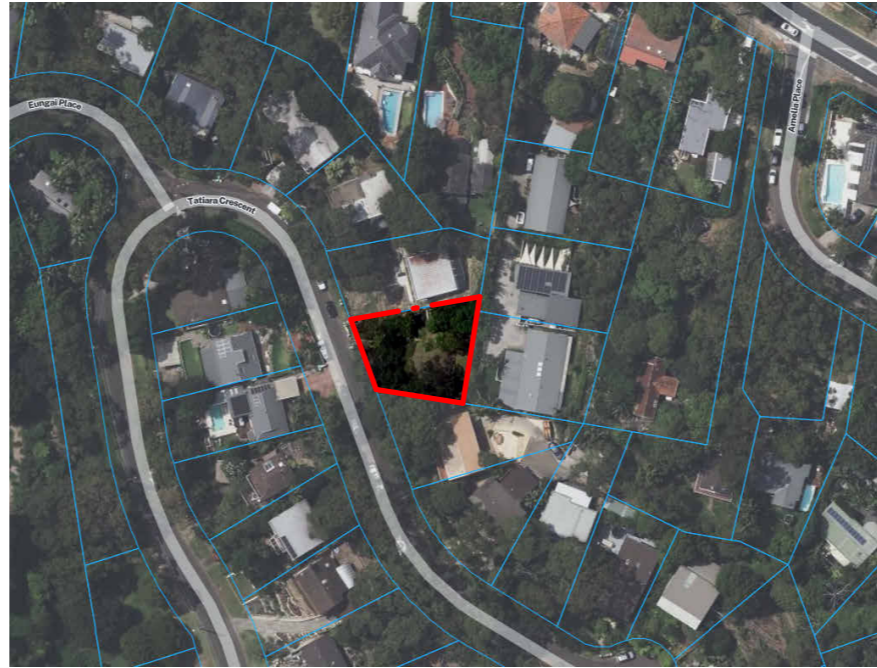
Interpretation

"Provide" means to supply and install.
"Required" means required by the contract documents or by the Local or Statutory Authorities.
"Proprietary" means identifiable by naming the manufacturer, supplier, installer, trade name, brand name, catalogue or reference number.

Standard Abbreviations

A/W	Accordance with
AFFL	Above finished floor level
AP	Access Panel
Awn	Awning
Bal	Balustrade
Bdy	(Property) Boundary
Bhd	Bulkhead
Bldg	Building
Bldr	Builder or building contractor
CJ	Control / construction joint
CL	Centre line
COS	Check / confirm on site
Crs	Centres
Dp	Downpipe
D,Dr	Door
Dwg	Drawing
Eng	Engineer(s)
Est	Estimated
Exst	Existing
Ext	External
FFL	Finished floor level
FGL	Finished ground level
FR	Fire rated
Fxd	Fixed
Gnd	Ground
Hr	Handrail
Hyd	Hydraulic
Inst	Instruction(s)
Int	Internal
Man	Manufacturer(s)
Nom	Nominal
NTS	Not to scale
O/A	Overall
O/H	Overhead
Own	Owner Proprietor Principal
Req	Requirement(s)
RL	Relative Level (to Datum)
Schd	Schedule(s)
SFL	Structural floor level
Sld	Sliding
Spec	Specification(s)
SSL	Structural slab level
Std	Standard
SDr	Surface drainage
SSD	Sub-surface drainage
TBA	To be advised
TBC	To be confirmed
TBD	To be demolished
TBR	To be removed
TOW	Top of wall
Typ	Typical
U/G	Under ground
UNO	Unless noted otherwise
U/S	Underside
W,Win	Window
W/	With
W/O	Without

Location Plan



Subject Site
Source: Six Maps NSW Planning

Architectural Drawings

No.	Name	Rev	Date
D000	Cover Sheet, Title Page & Notes	A	23/07/2025
D001	Specifications	A	23/07/2025
D002	BASIX Commitments	A	23/07/2025
D003	Site Layout and Site Analysis - Existing & Demolition	A	23/07/2025
D004	Site Layout - Proposed	A	23/07/2025
D050	Compliance Plan	A	23/07/2025
D060	Erosion, Sediment, Stormwater Control & Waste Management Plan	A	23/07/2025
D070	Landscape Plan	A	23/07/2025
D101	Street Level Floor Plan	A	23/07/2025
D102	Storage Floor Plan	A	23/07/2025
D103	Ground Floor Plan	A	23/07/2025
D104	First Floor Plan	A	23/07/2025
D301	Section AA	A	23/07/2025
D302	Section BB	A	23/07/2025
D303	Section CC	A	23/07/2025
D304	Section DD	A	23/07/2025
D401	North Elevations	A	23/07/2025
D402	West Elevations	A	23/07/2025
D403	South Elevations	A	23/07/2025
D404	East Elevations	A	23/07/2025
D901	Perspectives & Materials	A	23/07/2025
D902	Perspectives & Materials	A	23/07/2025
D903	Perspectives & Materials	A	23/07/2025
D910	Shadow Diagram_9am June 21st	A	23/07/2025
D911	Shadow Diagram_12pm June 21st	A	23/07/2025
D912	Shadow Diagram_3pm June 21st	A	23/07/2025



Streetscape Perspective

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General Notes	Issue for DA	Rev	Date	Description	Project Issue Date	Date	Scale @ A3	By	Chk	Project #	Drawing #	Rev
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Single Dwelling

Certificate number: 17999155

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled 'BASIX Definitions' dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary
Date of issue: Monday, 16 June 2025
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project summary		
Project name	Peak House	
Street address	34 TATIARA Crescent NORTH NARRABEEN 2101	
Local Government Area	Northern Beaches Council	
Plan type and plan number	Deposited Plan DP236382	
Lot no.	308	
Section no.	-	
Project type	dwelling house (detached)	
No. of bedrooms	4	
Project score		
Water	✓ 42	Target 40
Thermal Performance	✓ Pass	Target Pass
Energy	✓ 72	Target 72
Materials	✓ -60	Target n/a

Certificate Prepared by	
Name / Company Name:	The Trustee for buckandsimple Unit Trust
ABN (if applicable):	

Description of project

Project address		Assessor details and thermal loads	
Project name	Peak House	NatHERS assessor number	n/a
Street address	34 TATIARA Crescent NORTH NARRABEEN 2101	NatHERS certificate number	n/a
Local Government Area	Northern Beaches Council	Climate zone	n/a
Plan type and plan number	Deposited Plan DP236382	Area adjusted cooling load (MJ/m ² /year)	n/a
Lot no.	308	Area adjusted heating load (MJ/m ² /year)	n/a
Section no.	-	Project score	
Project type		Water	✓ 42 Target 40
Project type	dwelling house (detached)	Thermal Performance	✓ Pass Target Pass
No. of bedrooms	4	Energy	✓ 72 Target 72
Site details		Materials	✓ -50 Target n/a
Site area (m ²)	539		
Roof area (m ²)	141		
Conditioned floor area (m ²)	202.0		
Unconditioned floor area (m ²)	15.0		
Total area of garden and lawn (m ²)	118		
Roof area of the existing dwelling (m ²)	0		

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/DCD plans & specs	Certifier check
Landscaping The applicant must plant indigenous or low water use species of vegetation throughout 118 square metres of the site.	✓	✓	
Fixtures The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	✓
Swimming Pool The swimming pool must not have a volume greater than 5.4 kilolitres.	✓	✓	
The swimming pool must have a pool cover.		✓	✓
The swimming pool must be outdoors.	✓	✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/DCD plans & specs	Certifier check
General features The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓

Construction	Area - m ²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - suspended floor above enclosed outdoor; AAC structural panel (> 200 mm); frame: light steel frame.	120	nil with one of the measures to address thermal bridging: polyisocyanurate	* Install additional R1.0 (down) or R1.0 (down) including the additional insulation between floor framing, or * install continuous insulation layer with at least R0.4 above or below the floor framing	reflective foil facing the subfloor; subfloor wall insulation: None
floor - above habitable rooms or mezzanine; AAC structural panel (> 200 mm); frame: light steel frame.	97	nitrocellulose batts, roll or pump-in	nil	

Construction	Area - m ²	Additional insulation required	Options to address thermal bridging	Other specifications
garage floor - concrete slab on ground, 50% cement substitute.	24	none	nil	
external wall - cavity brick; frame: timber - H2 treated softwood.	80	0.50 or 1.20 including construction/foam composite board	nil	wall colour: Light (solar absorptance < 0.48)
external wall - framed metal clad; frame: timber - H2 treated softwood.	40	3.00 or 3.50 including construction/fibreglass batts or roll + reflective foil in the cavity	nil	wall colour: Medium (solar absorptance 0.48-0.7)
internal wall - single skin masonry; frame: no frame.	84	none	nil	
internal wall - plasterboard; frame: timber - H2 treated softwood.	29	fibreglass batts or roll	nil	
ceiling and roof - flat ceiling / flat roof; framed - metal roof, light steel frame.	141	ceiling: 5 (up), roof: foil backed blanket with the measure to address thermal bridging; ceiling: fibreglass batts or roll; roof: foil backed blanket.	* Install continuous insulation layer with at least R0.8 above or below the roof frame members	roof colour: light (solar absorptance < 0.38); ceiling area fully insulated
Note	* Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.			
Note	* If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (B)) of the National Construction Code.			
Note	* In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.			
Note	* Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.			

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/DCD plans & specs	Certifier check		
Ceiling fans The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.	✓	✓	✓		
The applicant must install at least one ceiling fan in each bedroom.	✓	✓	✓		
* The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code .	✓	✓	✓		
Thermal Performance and Materials commitments					
Glazed windows, doors and skylights The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door. The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table. The following requirements must also be satisfied in relation to each window and glazed door: * The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table. * Each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. * Vertical external louvres and blinds must fully shade the glazed window or door beside which they are situated when fully drawn or closed. * Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column. The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	✓	✓	✓		
Skylight no.	Maximum area (m²)	Skylight specification	Shading device		
S01	1.98	aluminium, doubleargon fill clear (U: <=3.5, SHGC: 0.21 - 0.24)	no shading		
Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
North facing					

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
W1.4	2200.00	1400.00	aluminium, single glazed (U-value: <=4.0, SHGC: 0.60 - 0.74)	external louvre/vertical blind (adjustable)	not overshadowed
W1.5	2200.00	3000.00	aluminium, single glazed (U-value: <=4.0, SHGC: 0.60 - 0.74)	external louvre/vertical blind (adjustable)	not overshadowed
W1.8	1000.00	1950.00	aluminium, single glazed (U-value: <=4.0, SHGC: 0.60 - 0.74)	eave 600 mm, 300 mm above head of window or glazed door	2-4 m high, 2-5 m away

Energy Commitments	Show on DA plans	Show on CC/DCD plans & specs	Certifier check
Hot water The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas boosted solar with a performance of more than 45 STCs.	✓	✓	✓
Cooling system The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: 10 star (average zone)	✓	✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 10 star (average zone)	✓	✓	✓
Heating system The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: gas fired fixed heater - non ducted; Energy rating: 6 Star	✓	✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 10 star (average zone)	✓	✓	✓
Ventilation The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, open to façade; Operation control: manual on / timer off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual on / timer off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.	✓	✓	✓
Natural lighting The applicant must install a window and/or skylight in 1 bathroom/s toilet(s) in the development for natural lighting.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CC/DCD plans & specs	Certifier check
Swimming pool The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): no heating		✓	
The applicant must install the following pump for the swimming pool in the development, or a pump with a higher energy rating: single speed with a performance of 8 stars or higher.		✓	
The applicant must install a timer for the swimming pool pump in the development.		✓	
Other The applicant must install a gas cooktop & gas oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend	
In these commitments, 'applicant' means the person carrying out the development.	
Commitments identified with a ✓ in the 'Show on DA plans' column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
Commitments identified with a ✓ in the 'Show on CC/DCD plans and specs' column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
Commitments identified with a ✓ in the 'Certifier check' column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.	



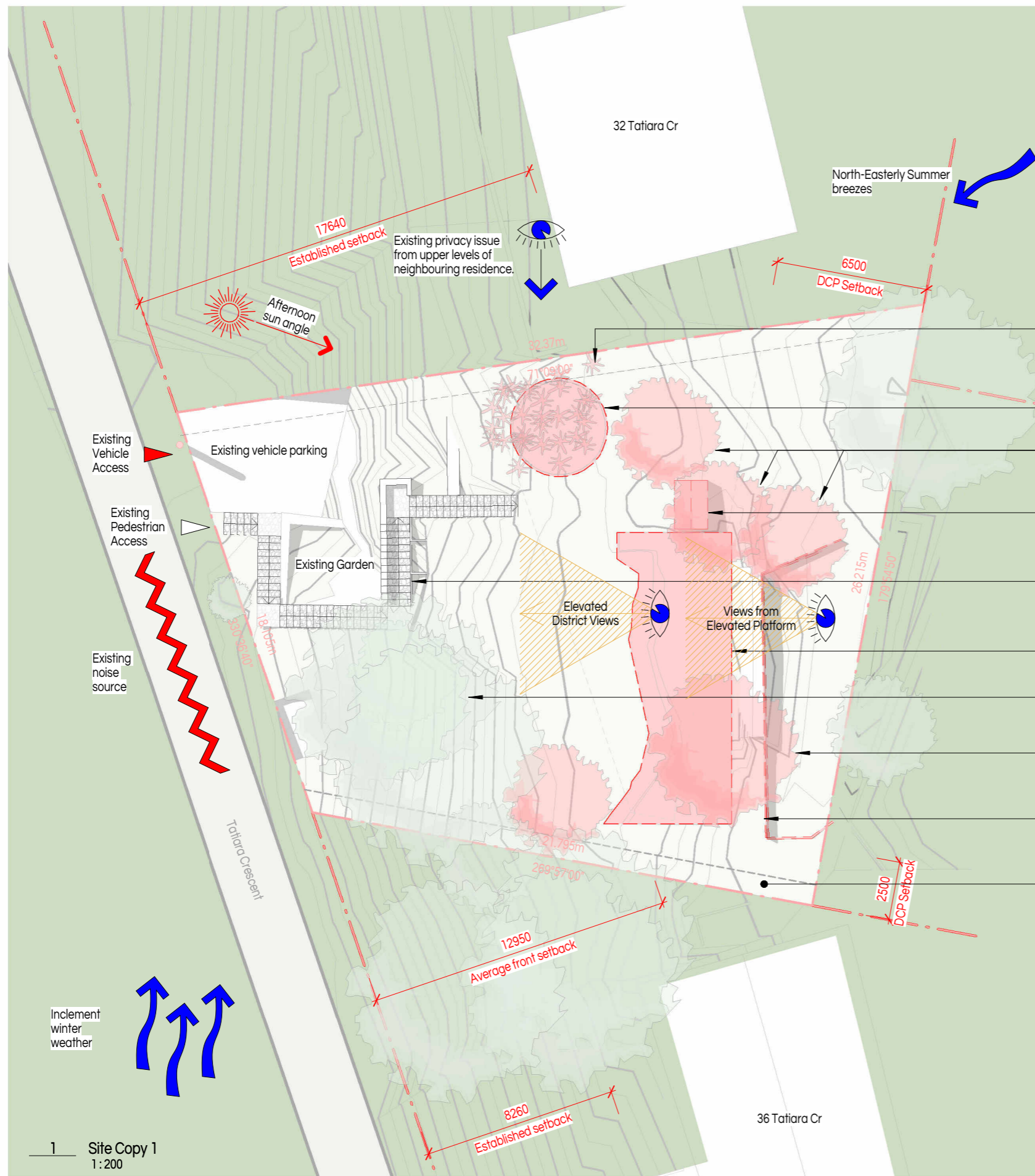
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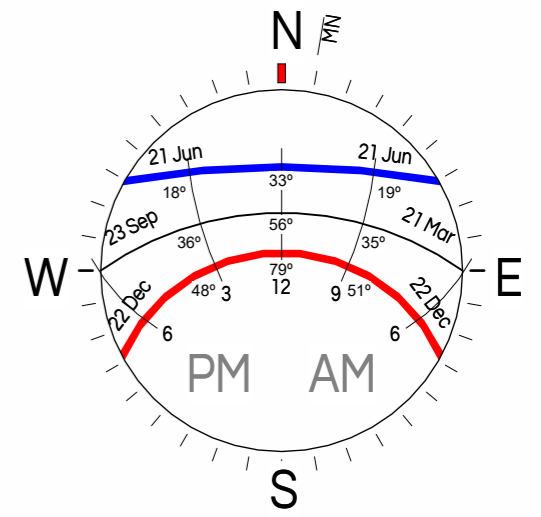
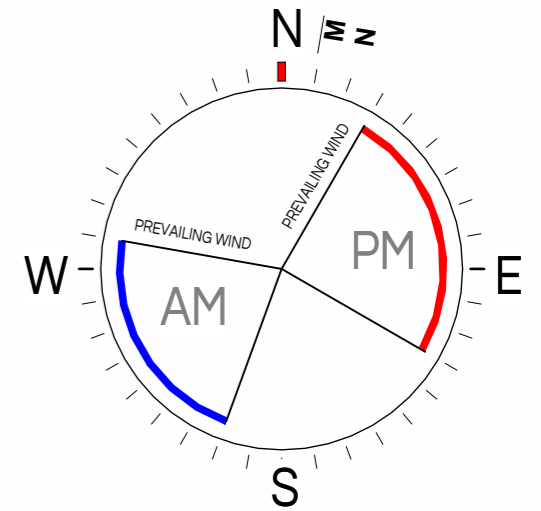
No.	Description	Date
A	Issue for DA	23/07/2025

Project	Peak Mojo
Location	34 Tatiara Crescent, North Narrabeen
Client	Tim and Lucy
Drawing	BASIX Commitments

Scale @ A3	Drawn by	Checked by
	BS	BS
Project Issue Date	Sheet Issue Date	
08/04/2025	23/07/2025	
Project number	Drawing #	Revision
1283	D002	A



- Existing Bamboo clumping to be relocated to screen neighbour at boundary
- Excavation for proposed Pool 18,000L
- Existing trees to be removed. Refer to Arborist report for detail
- Existing cubby to be removed
- Existing stair access to be retained
- Area to be levelled. Fill to be distributed on site
- Existing trees to be retained
- Existing tree to be removed
- Existing timber handrail to be removed
- 0.9m Easement to drain water. Refer survey for detail



1 Site Copy 1
1:200



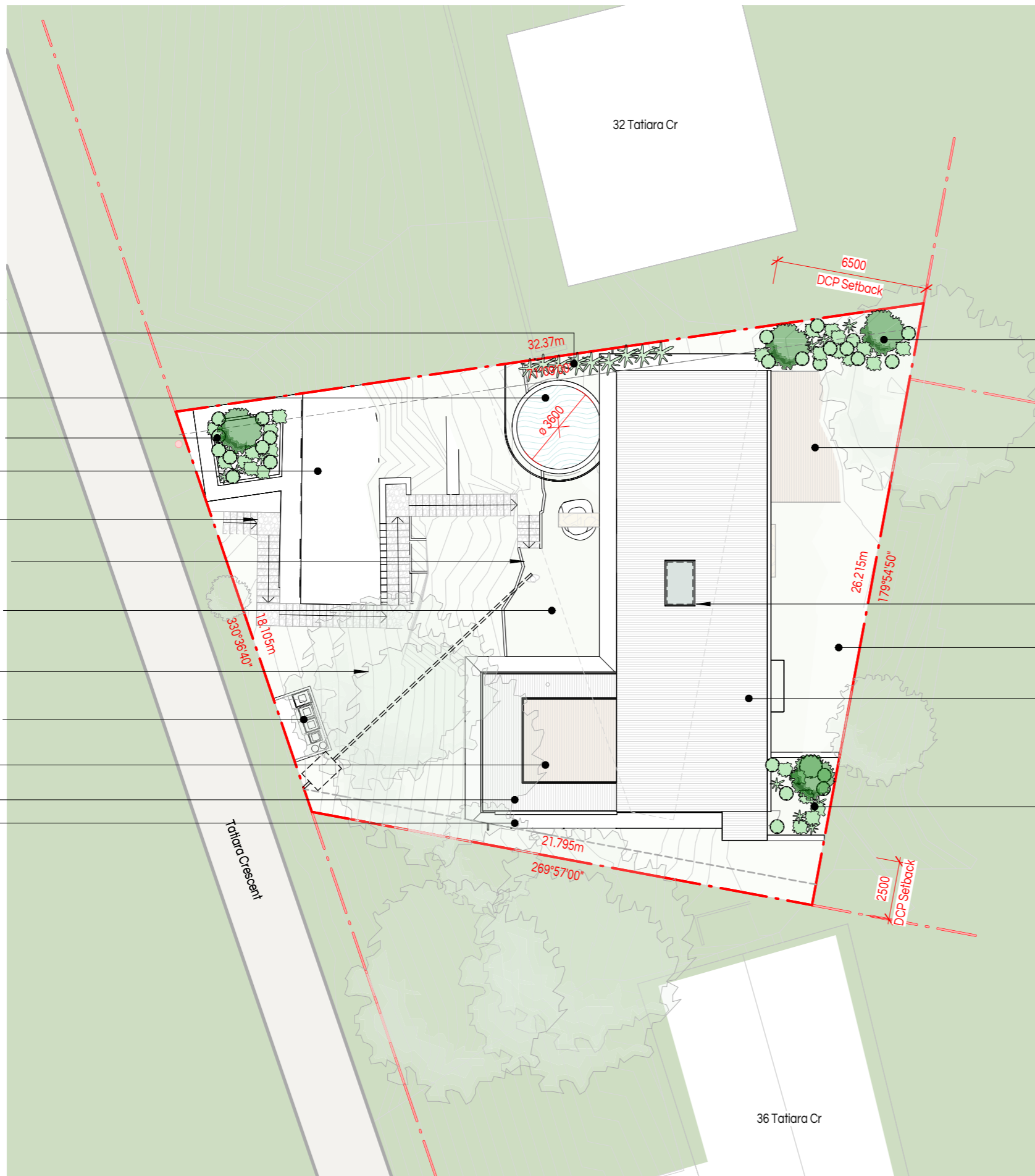
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 Issue for DA

No.	Description	Date
A	Issue for DA	23/07/2025

Project Peak Mojo
Location 34 Tatiara Crescent, North Narrabeen
Client Tim and Lucy
Drawing Site Layout and Site Analysis - Existing & Demolition

Scale @ A3 As indicated	Drawn by BS	Checked by BS
Project Issue Date 08/04/2025	Sheet Issue Date 23/07/2025	
Project number 1283	Drawing # D003	Revision A



- Relocated bamboo for privacy
- Pool 18,000L
- Green roof over Garage
- Roof over Shed
- Existing stairs to be retained
- Proposed retaining wall to follow contours of site
- Area to be levelled. Fill to be distributed on site
- Existing trees to be retained
- Levelled and retained services area. Gas bottles, bins etc
- Deck on stirrup over kliplok roof
- Proposed kliplok roof
- Steel eave

- Proposed dense landscaping for privacy
- Deck to rear yard to avoid unnecessary fill and allow light and overland flow of water to open undercroft
- Velux Skylight 1.8x1.1
- Levelled rear lawn
- Proposed kliplok roof with eaves gutter
- Walled garden accessed from Ensuite

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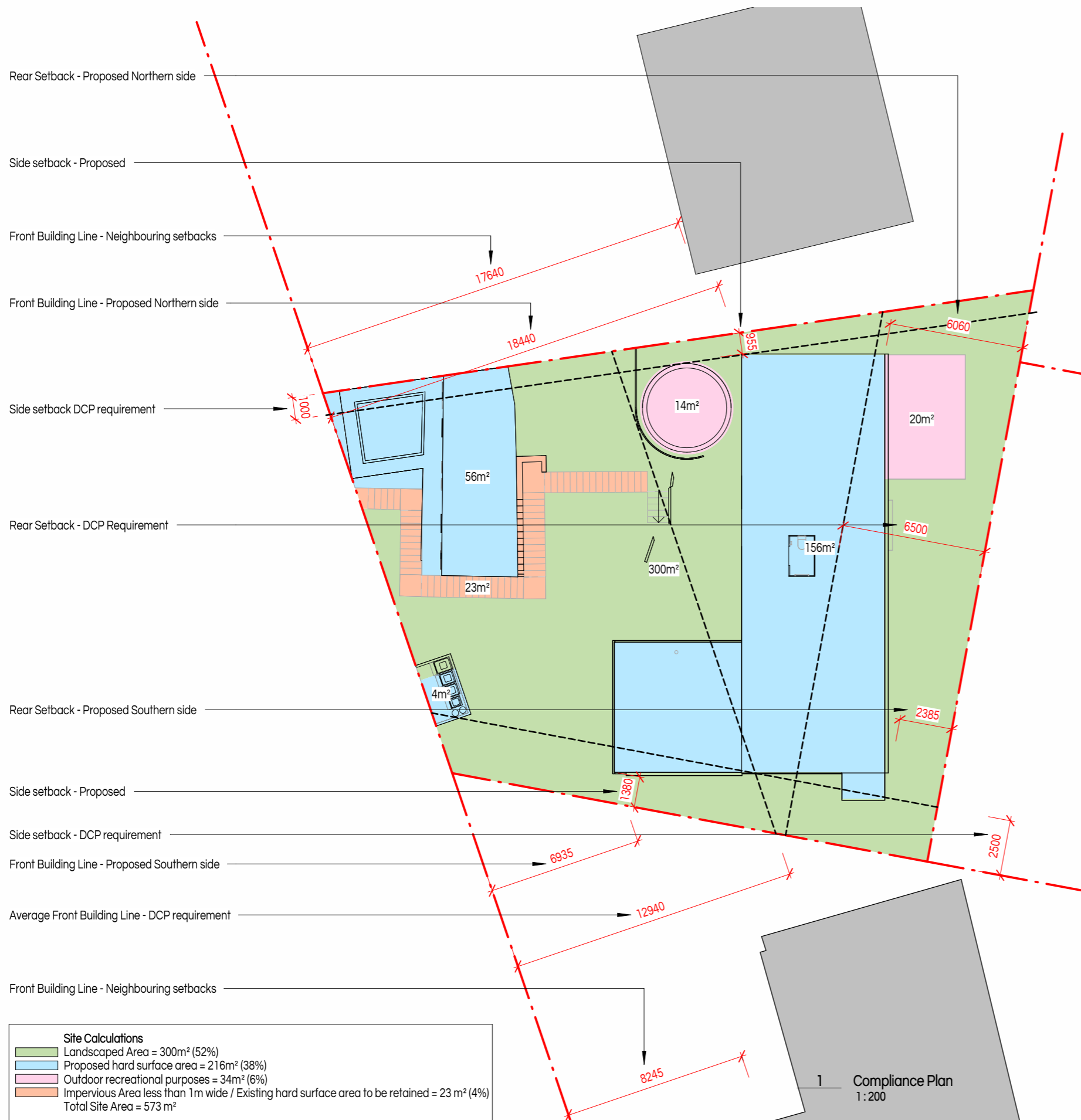
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Issue for DA

No.	Description	Date
A	Issue for DA	23/07/2025

Project Peak Mojo
Location 34 Tatiara Crescent, North Narrabeen
Client Tim and Lucy
Drawing Site Layout - Proposed

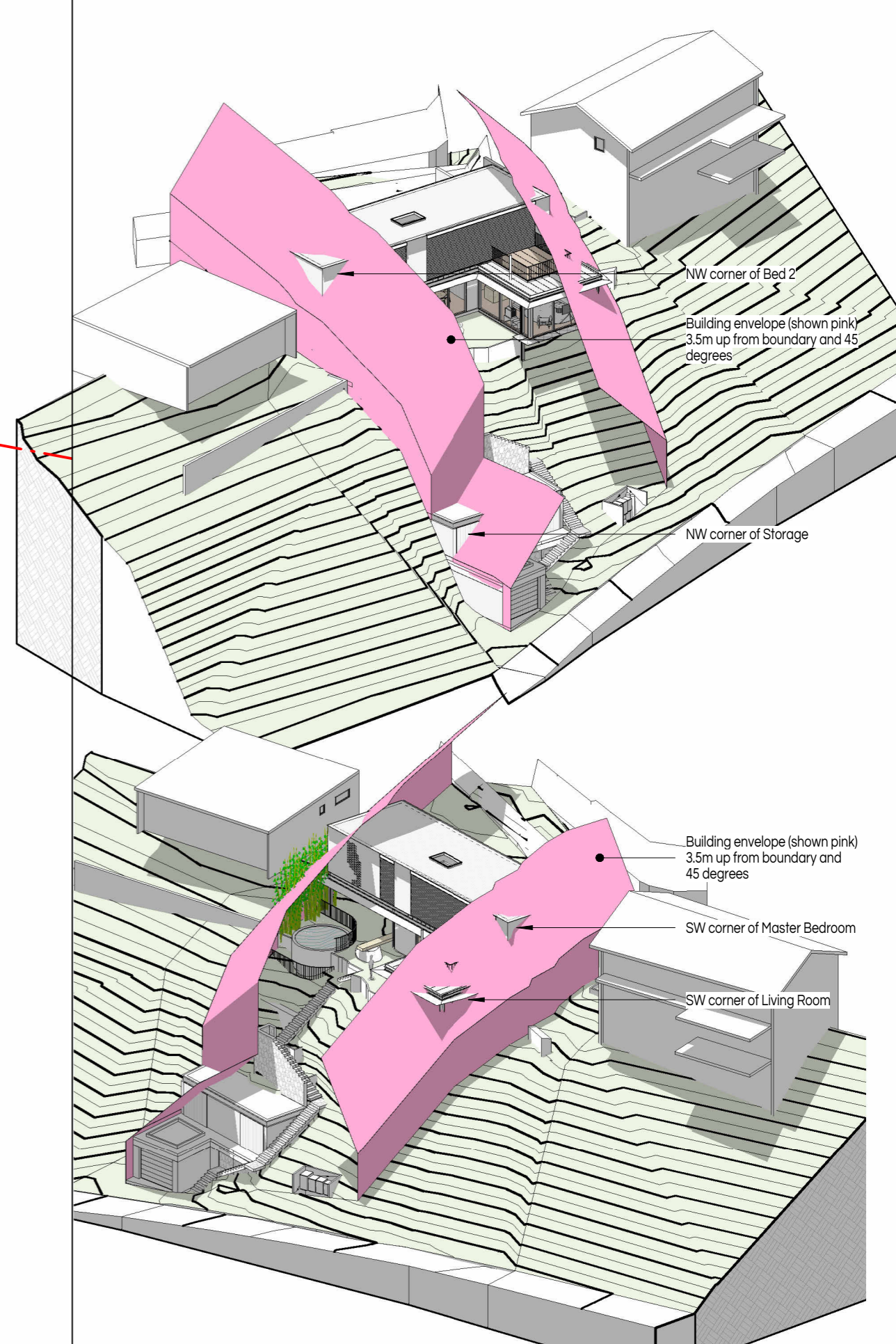
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Project Issue Date 08/04/2025	Sheet Issue Date 23/07/2025	
Project number 1283	Drawing # D004	Revision A



Site Calculations

- Landscaped Area = 300m² (52%)
- Proposed hard surface area = 216m² (38%)
- Outdoor recreational purposes = 34m² (6%)
- Impervious Area less than 1m wide / Existing hard surface area to be retained = 23 m² (4%)
- Total Site Area = 573 m²

1 Compliance Plan
1 : 200



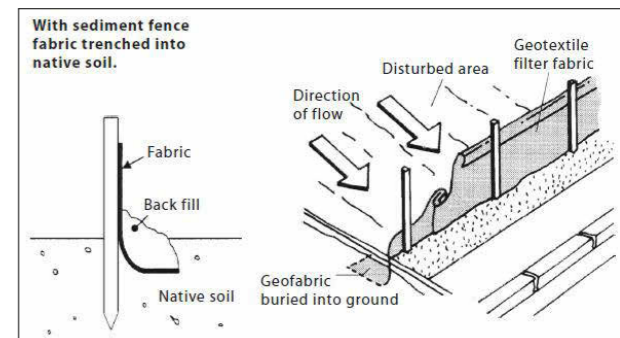
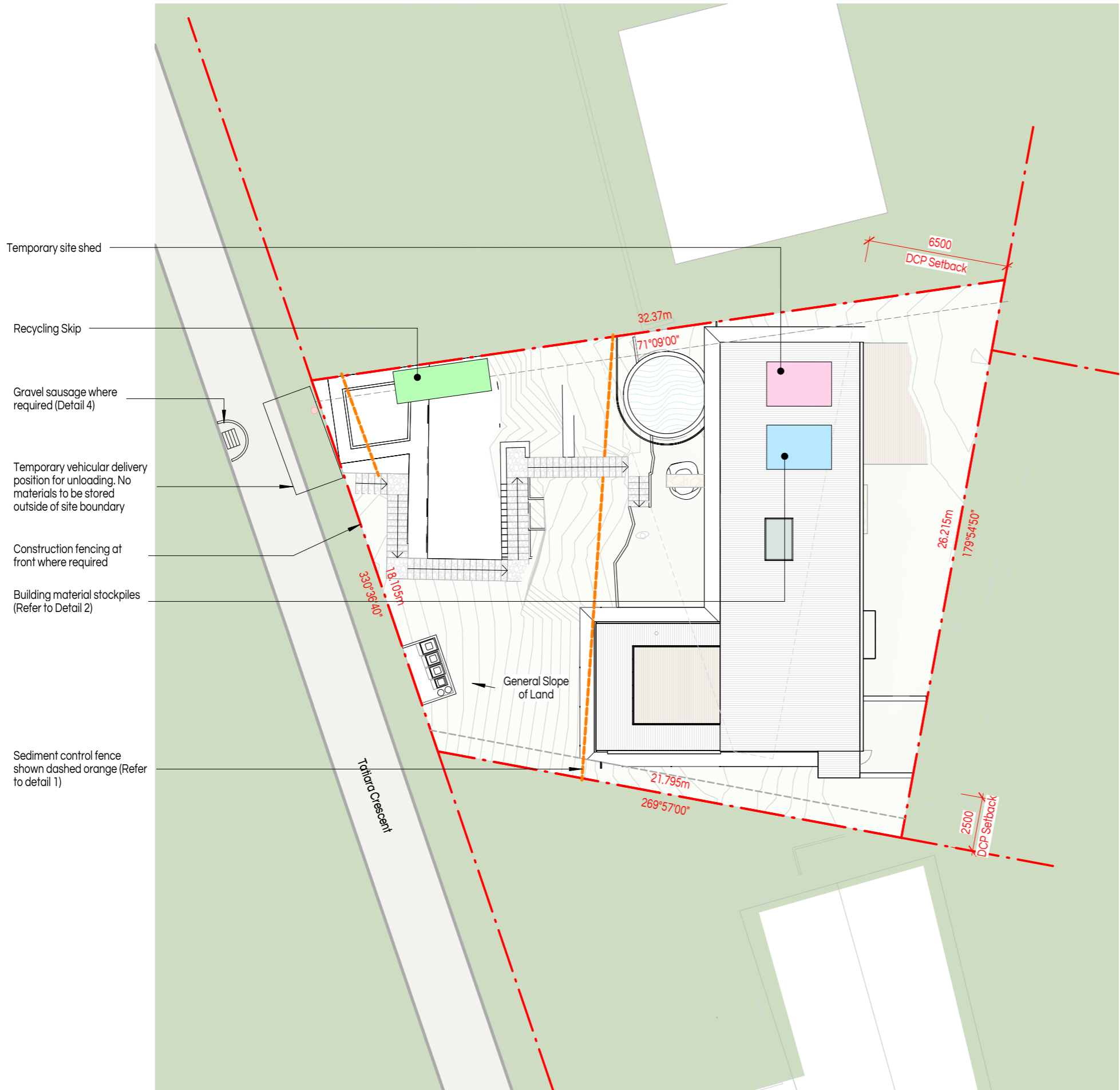
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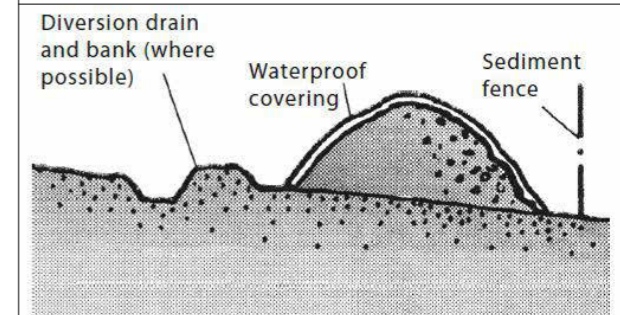
No.	Description	Date
A	Issue for DA	23/07/2025

Project Peak Mojo	
Location 34 Tatiara Crescent, North Narrabeen	
Client Tim and Lucy	
Drawing Compliance Plan	

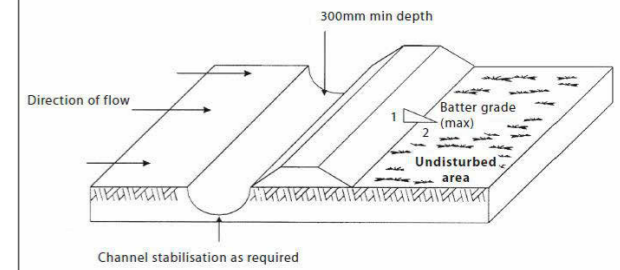
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Project number 1283	Drawing # D050	Revision A



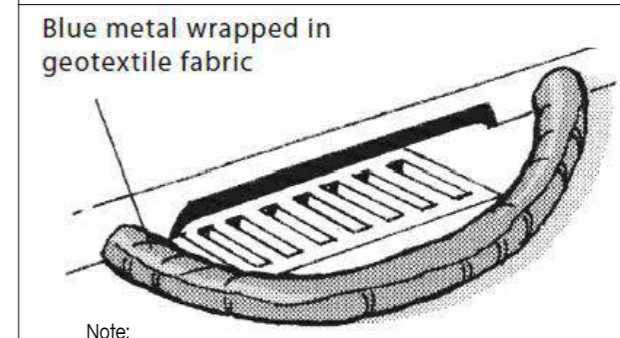
Detail 1 - Sediment Control Fence



Detail 2 - Building Material Stockpiles

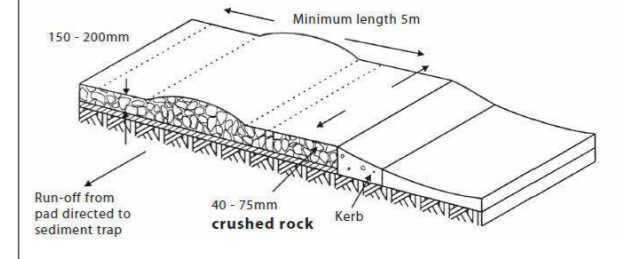


Detail 3 - Diversion Drain



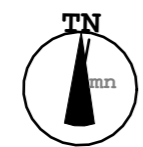
Note: Gravel sausage to be used if there is any evidence of untreated runoff entering nearby stormwater inlets during construction (Refer to Detail 4)

Detail 4 - Gravel Sausage



Detail 5 - Stabilised Channel

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Issue for DA

No.	Description	Date
A	Issue for DA	23/07/2025

Project Peak Mojo
Location 34 Tatiara Crescent, North Narrabeen
Client Tim and Lucy
Drawing Erosion, Sediment, Stormwater Control & Waste Management Plan

Scale @ A3 As indicated	Drawn by BS	Checked by BS
Project Issue Date 08/04/2025	Sheet Issue Date 23/07/2025	
Project number 1283	Drawing # D060	Revision A



1) Native Grasses (0.5-0.9m):
 Mix of Poa Poiformis (left)
 Lomandra Tanika (middle)
 Lomandra Longifolia (right), or similar

2) Native Shrubs (1.5m):
 Mix of Correa Alba (left),
 Westringia Fruticosa (right) or similar

3) Native Feature Trees
 (3-4m): Corymbia Ficifolia
 (left), Eucalyptus
 Pauciflora (right) or similar

4) Buffalo grass or similar

5) Non climbable planting
 (1.5 - 2.5m):
 Bamboo (left), Star
 Jasmine Vine (right) or
 similar

6) Hard surfaces:
 Left - PV) Recycled (semi-
 permeable) Paving.
 Right - DE) FSC hardwood
 decking in natural finish

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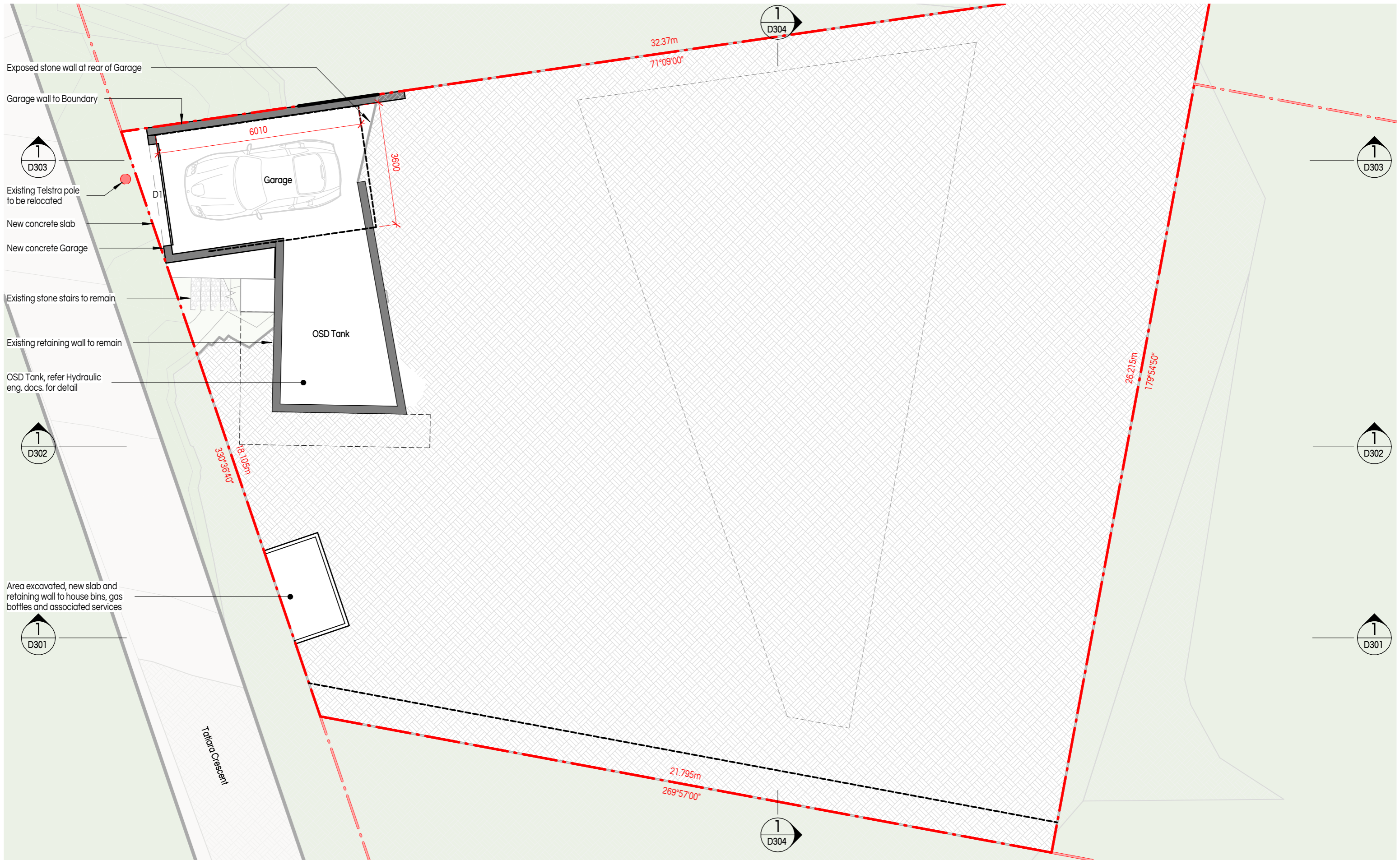
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 Issue for DA

No.	Description	Date
A	Issue for DA	23/07/2025

Project Peak Mojo
Location 34 Tatiara Crescent, North Narrabeen
Client Tim and Lucy
Drawing Landscape Plan

Scale @ A3 As indicated	Drawn by BS	Checked by BS
Project Issue Date 08/04/2025	Sheet Issue Date 23/07/2025	
Project number 1283	Drawing # D070	Revision A



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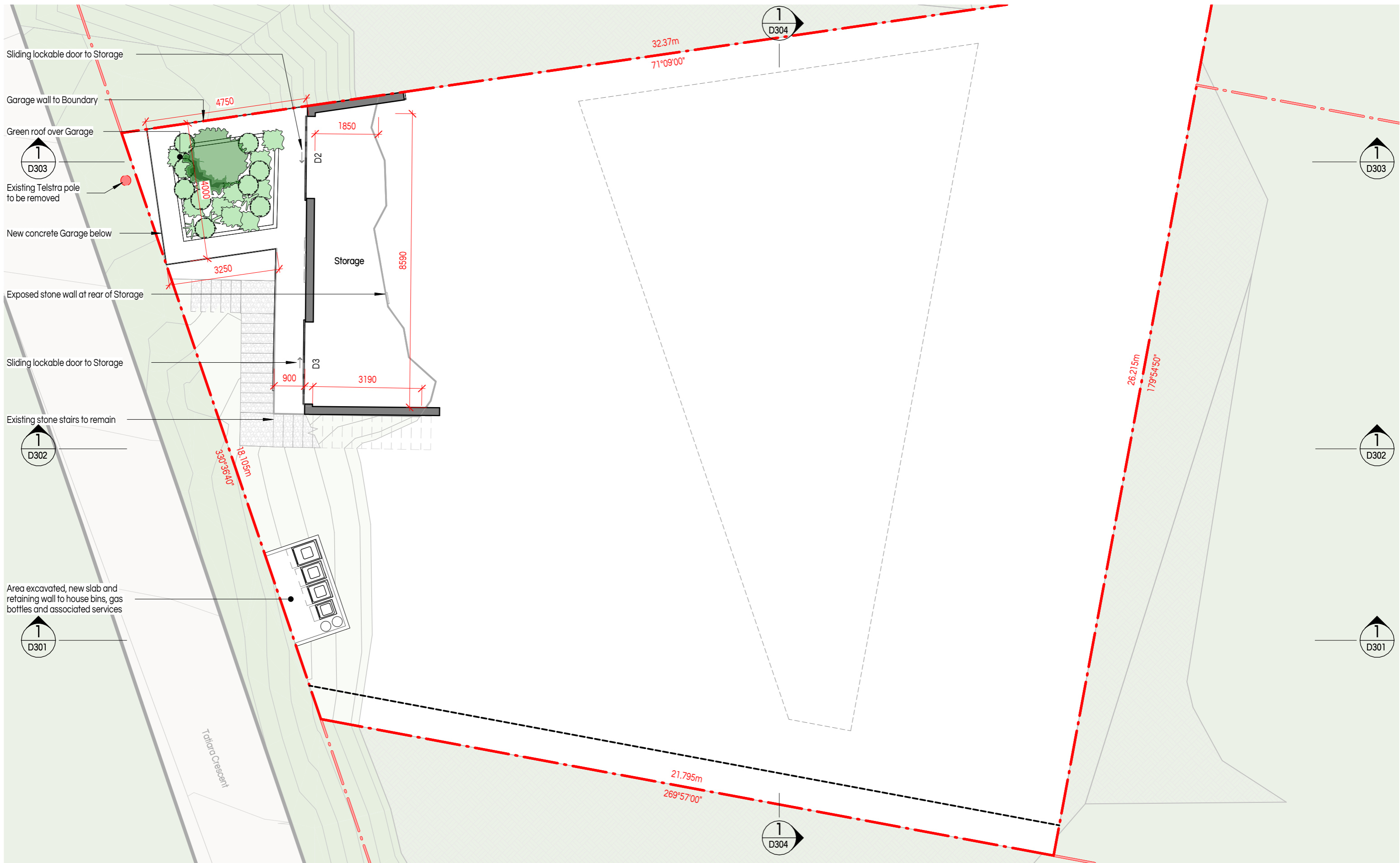
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Issue for DA

No.	Description	Date
A	Issue for DA	23/07/2025

Project
Peak Mojo
Location
34 Tatiara Crescent, North Narrabeen
Client
Tim and Lucy
Drawing
Street Level Floor Plan

Scale @ A3 1 : 100	Drawn by BS	Checked by BS
Project Issue Date 08/04/2025	Sheet Issue Date 23/07/2025	
Project number 1283	Drawing # D101	Revision A



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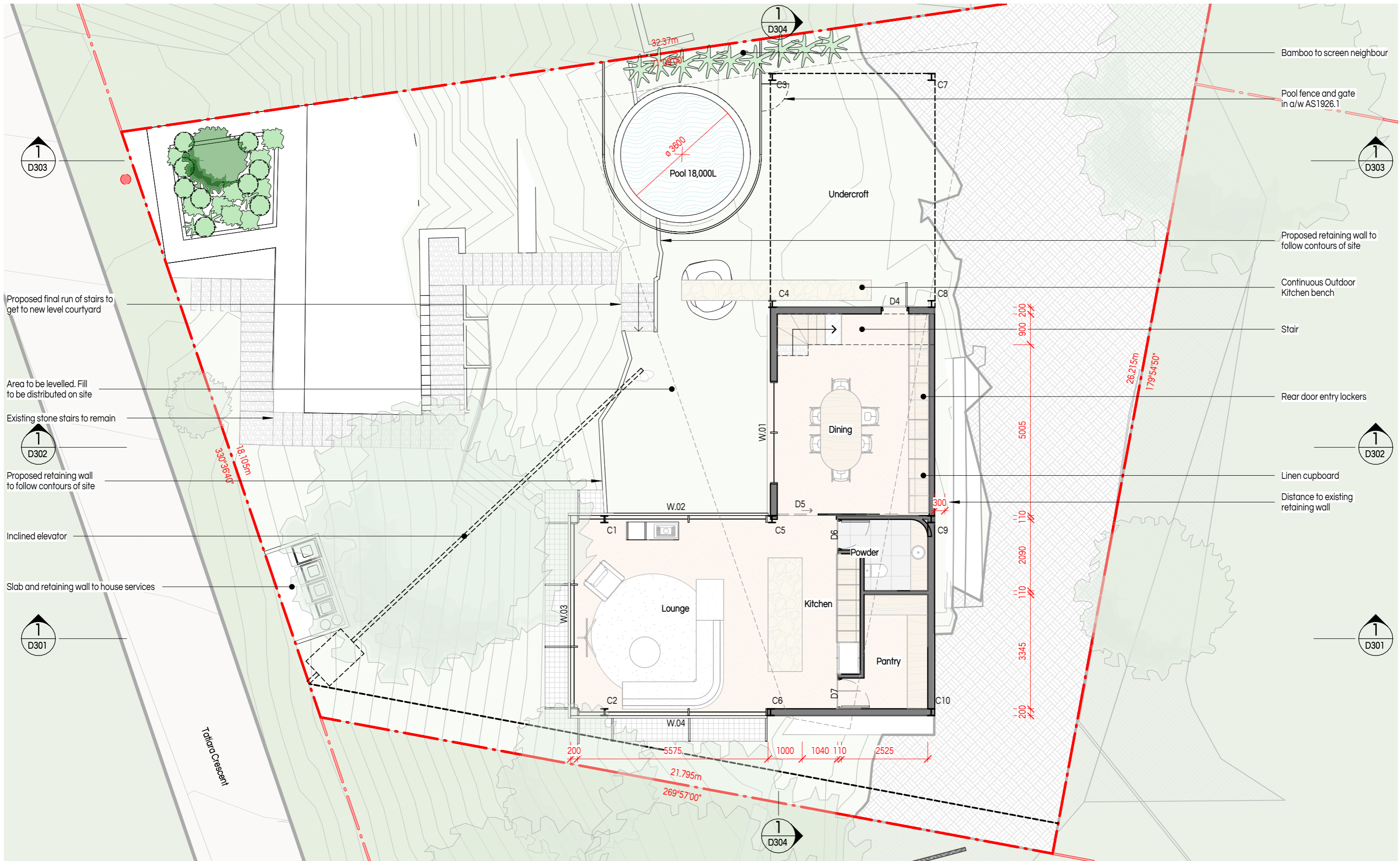
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Issue for DA

No.	Description	Date
A	Issue for DA	23/07/2025

Project
Peak Mojo
Location
34 Tatiara Crescent, North Narrabeen
Client
Tim and Lucy
Drawing
Storage Floor Plan

Scale @ A3	1 : 100	Drawn by	BS	Checked by	BS
Project Issue Date	08/04/2025	Sheet Issue Date	23/07/2025		
Project number	1283	Drawing #	D102	Revision	A



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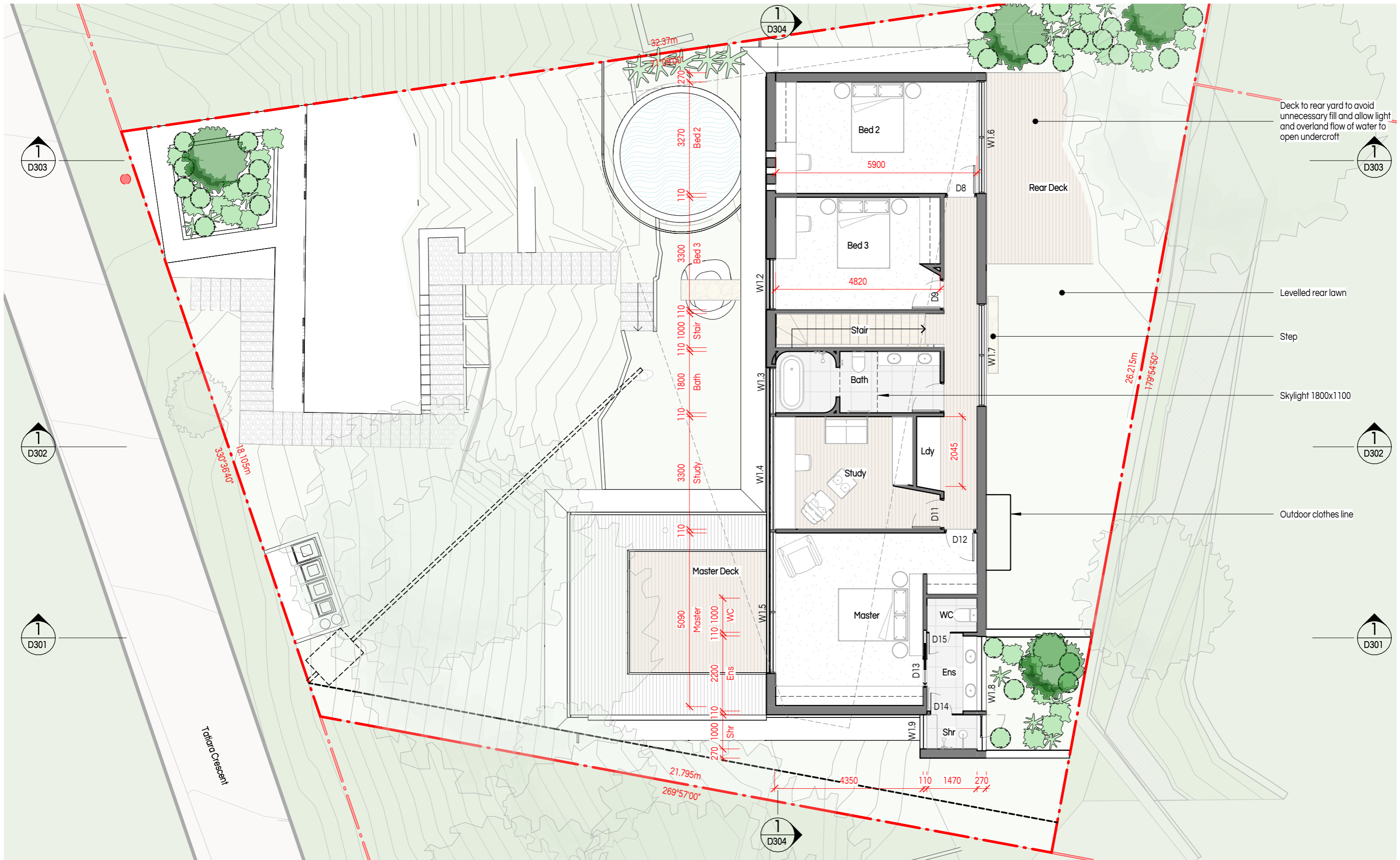
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Issue for DA

No.	Description	Date
A	Issue for DA	23/07/2025

Project Peak Mojo
Location 34 Tatiara Crescent, North Narrabeen
Client Tim and Lucy
Drawing Ground Floor Plan

Scale @ A3 1 : 100	Drawn by BS	Checked by BS
Project Issue Date 08/04/2025	Sheet Issue Date 23/07/2025	
Project number 1283	Drawing # D103	Revision A



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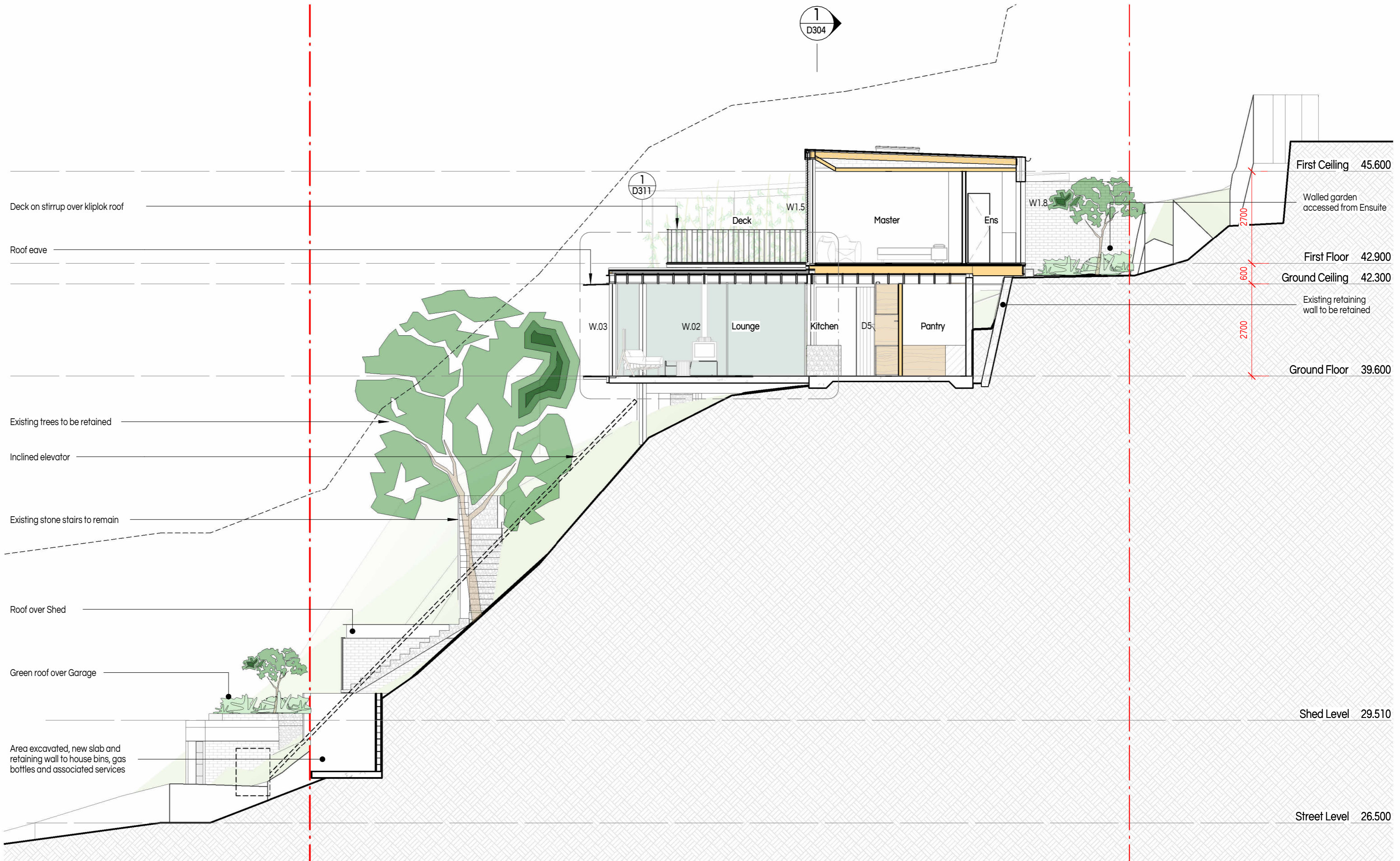
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Issue for DA

No.	Description	Date
A	Issue for DA	23/07/2025

Project
Peak Mojo
Location
34 Tatiara Crescent, North Narrabeen
Client
Tim and Lucy
Drawing
First Floor Plan

Scale @ A3 1 : 100	Drawn by BS	Checked by BS
Project Issue Date 08/04/2025	Sheet Issue Date 23/07/2025	
Project number 1283	Drawing # D104	Revision A



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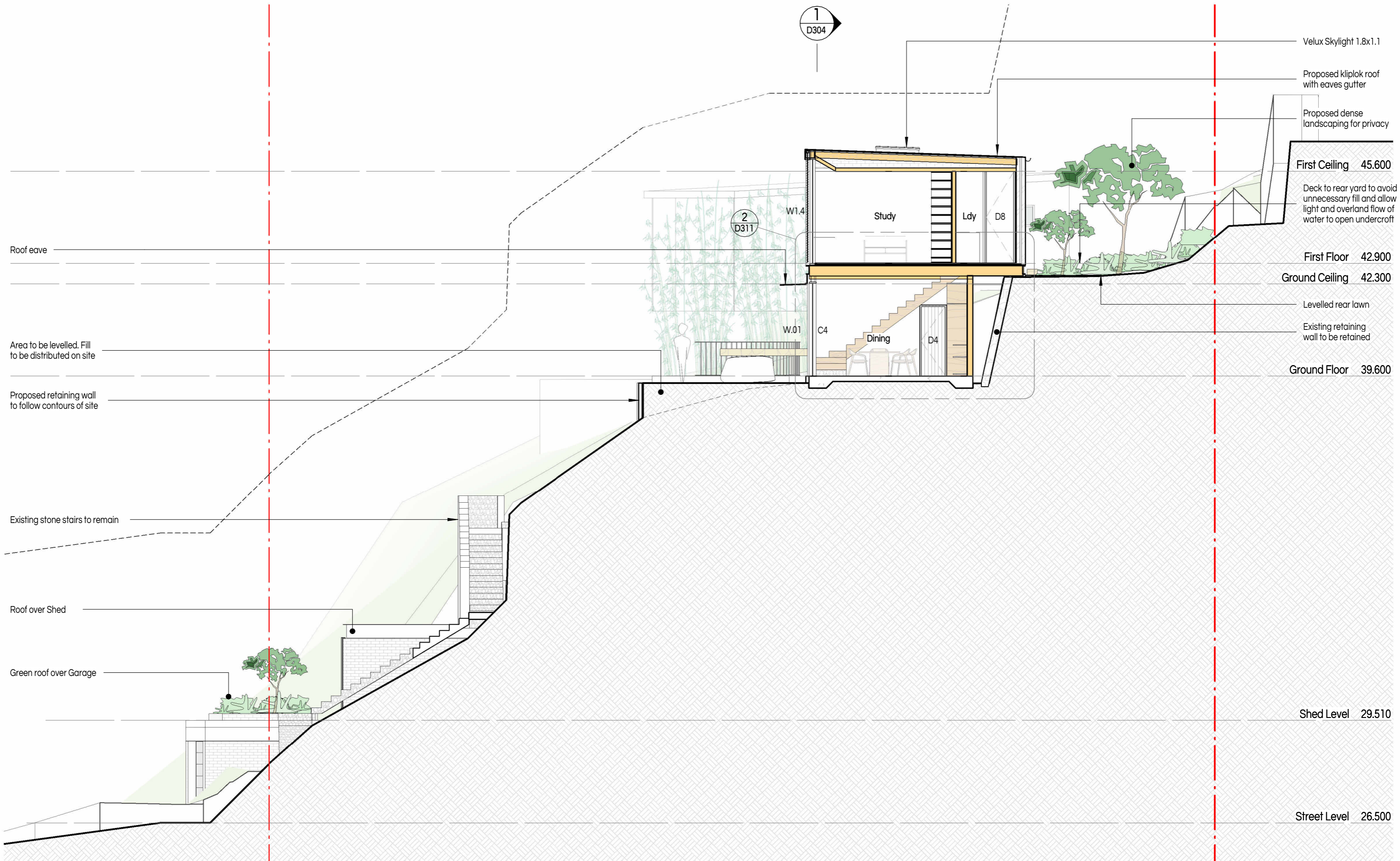
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Issue for DA

No.	Description	Date
A	Issue for DA	23/07/2025

Project
Peak Mojo
Location
34 Tatiara Crescent, North Narrabeen
Client
Tim and Lucy
Drawing
Section AA

Scale @ A3 1 : 100	Drawn by BS	Checked by BS
Project Issue Date 08/04/2025	Sheet Issue Date 23/07/2025	
Project number 1283	Drawing # D301	Revision A



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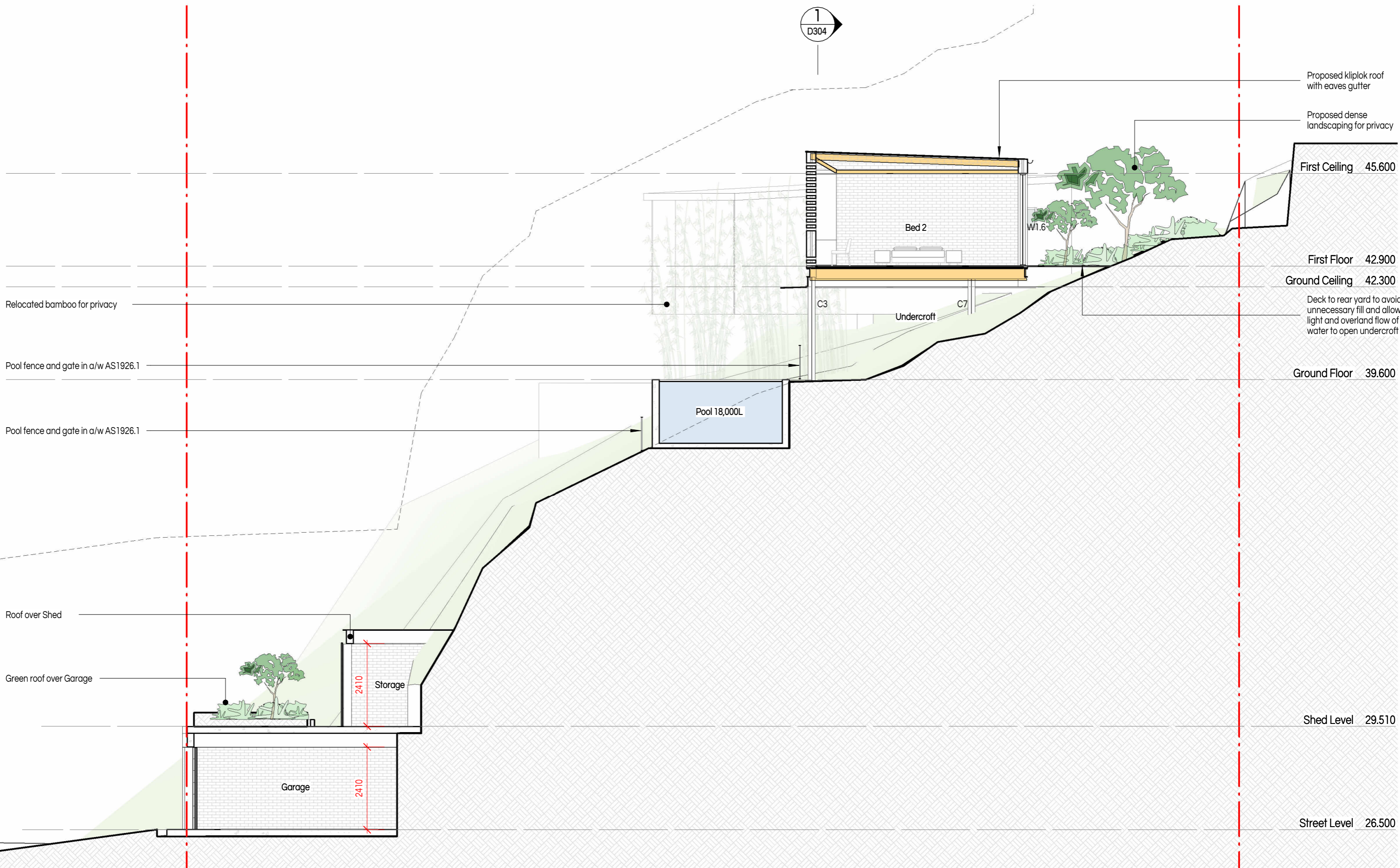
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Issue for DA

No.	Description	Date
A	Issue for DA	23/07/2025

Project
Peak Mojo
Location
34 Tatiara Crescent, North Narrabeen
Client
Tim and Lucy
Drawing
Section BB

Scale @ A3	1 : 100	Drawn by	BS	Checked by	BS
Project Issue Date	08/04/2025	Sheet Issue Date	23/07/2025		
Project number	1283	Drawing #	D302	Revision	A



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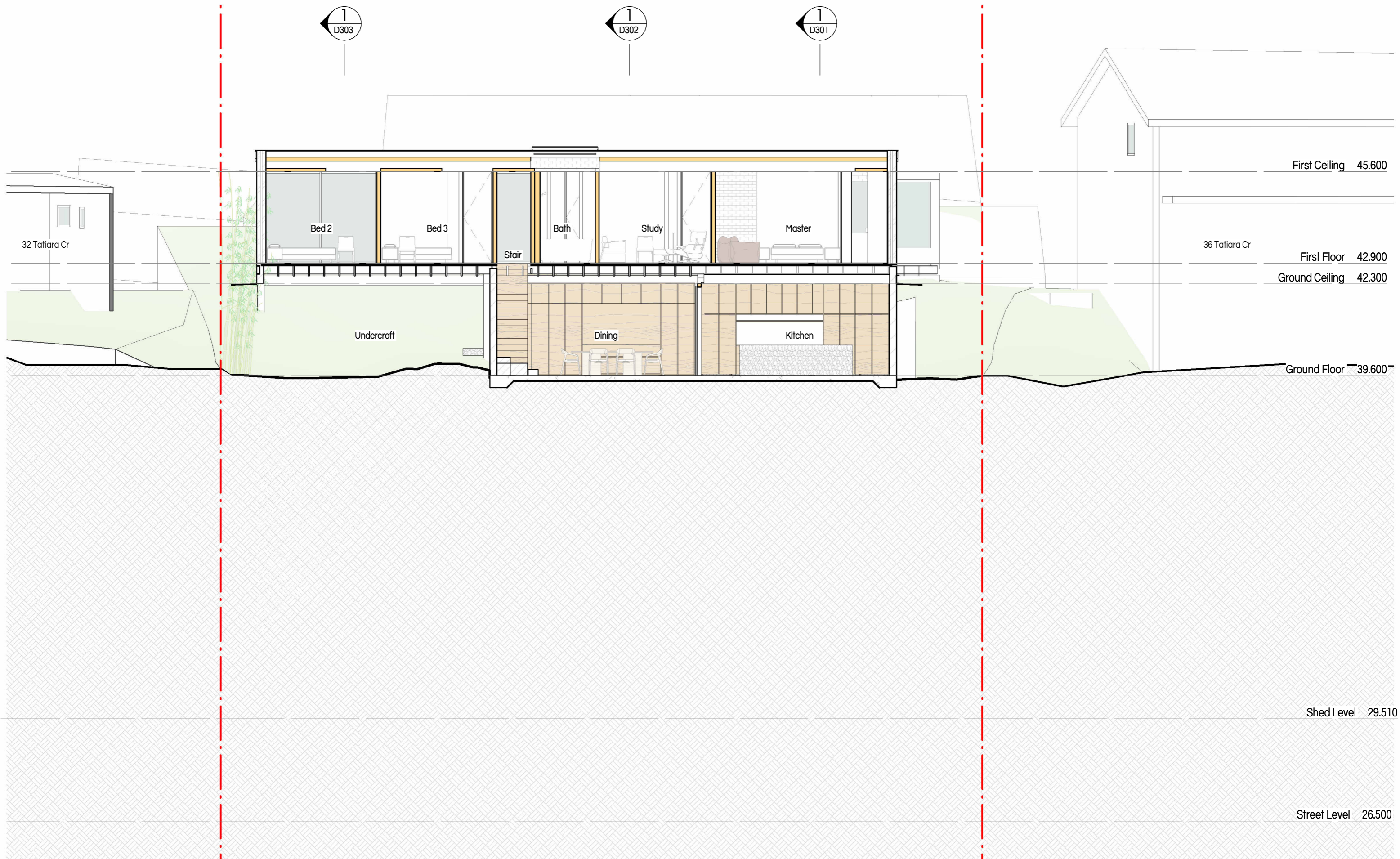
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Issue for DA

No.	Description	Date
A	Issue for DA	23/07/2025

Project Peak Mojo
Location 34 Tatiara Crescent, North Narrabeen
Client Tim and Lucy
Drawing Section CC

Scale @ A3 1 : 100	Drawn by BS	Checked by BS
Project Issue Date 08/04/2025	Sheet Issue Date 23/07/2025	
Project number 1283	Drawing # D303	Revision A



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Issue for DA

No.	Description	Date
A	Issue for DA	23/07/2025

Project Peak Mojo
Location 34 Tatiara Crescent, North Narrabeen
Client Tim and Lucy
Drawing Section DD

Scale @ A3 1 : 100	Drawn by BS	Checked by BS
Project Issue Date 08/04/2025	Sheet Issue Date 23/07/2025	
Project number 1283	Drawing # D304	Revision A



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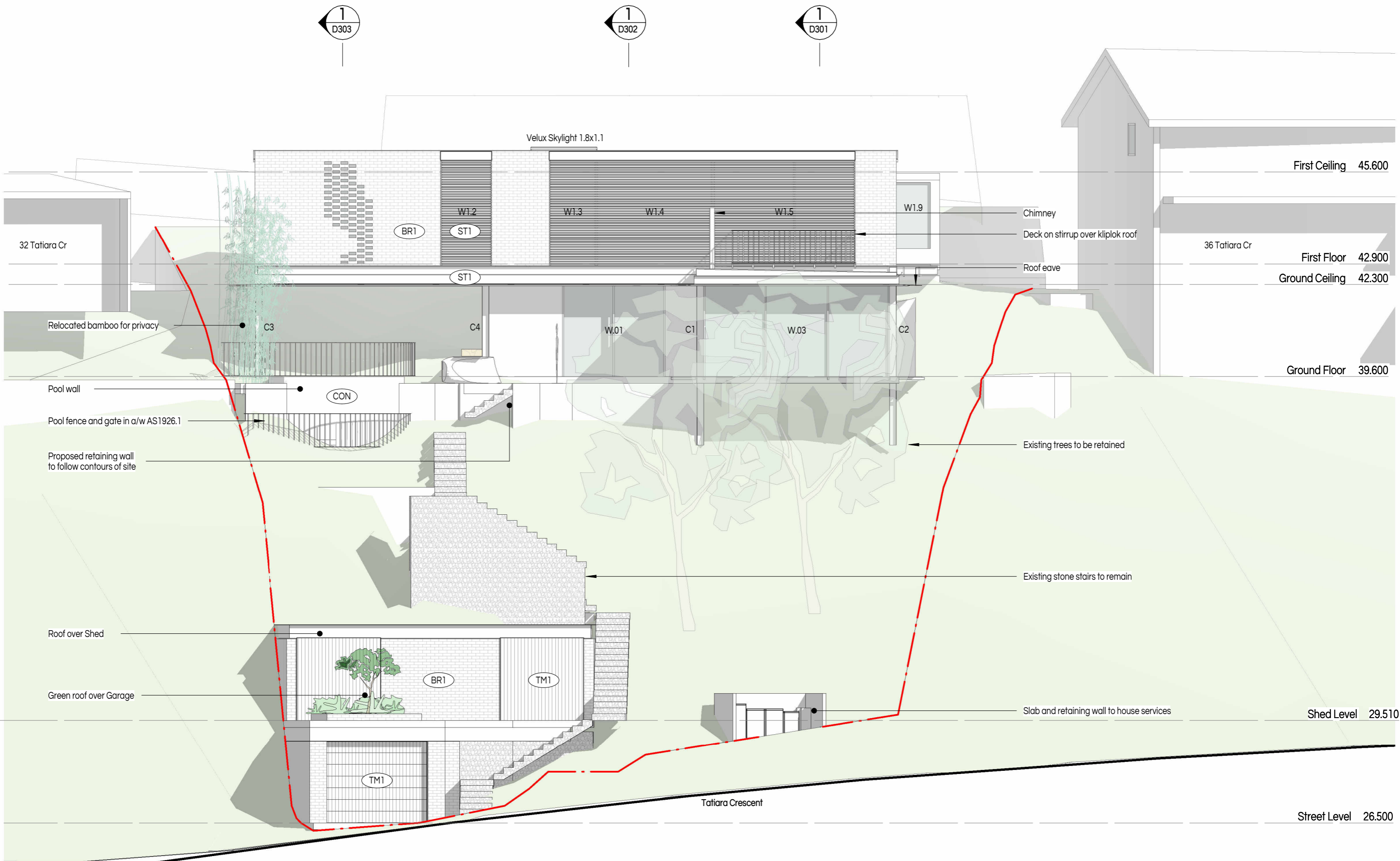
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Issue for DA

No.	Description	Date
A	Issue for DA	23/07/2025

Project Peak Mojo
Location 34 Tatiara Crescent, North Narrabeen
Client Tim and Lucy
Drawing North Elevations

Scale @ A3 1 : 100	Drawn by BS	Checked by BS
Project Issue Date 08/04/2025	Sheet Issue Date 23/07/2025	
Project number 1283	Drawing # D401	Revision A



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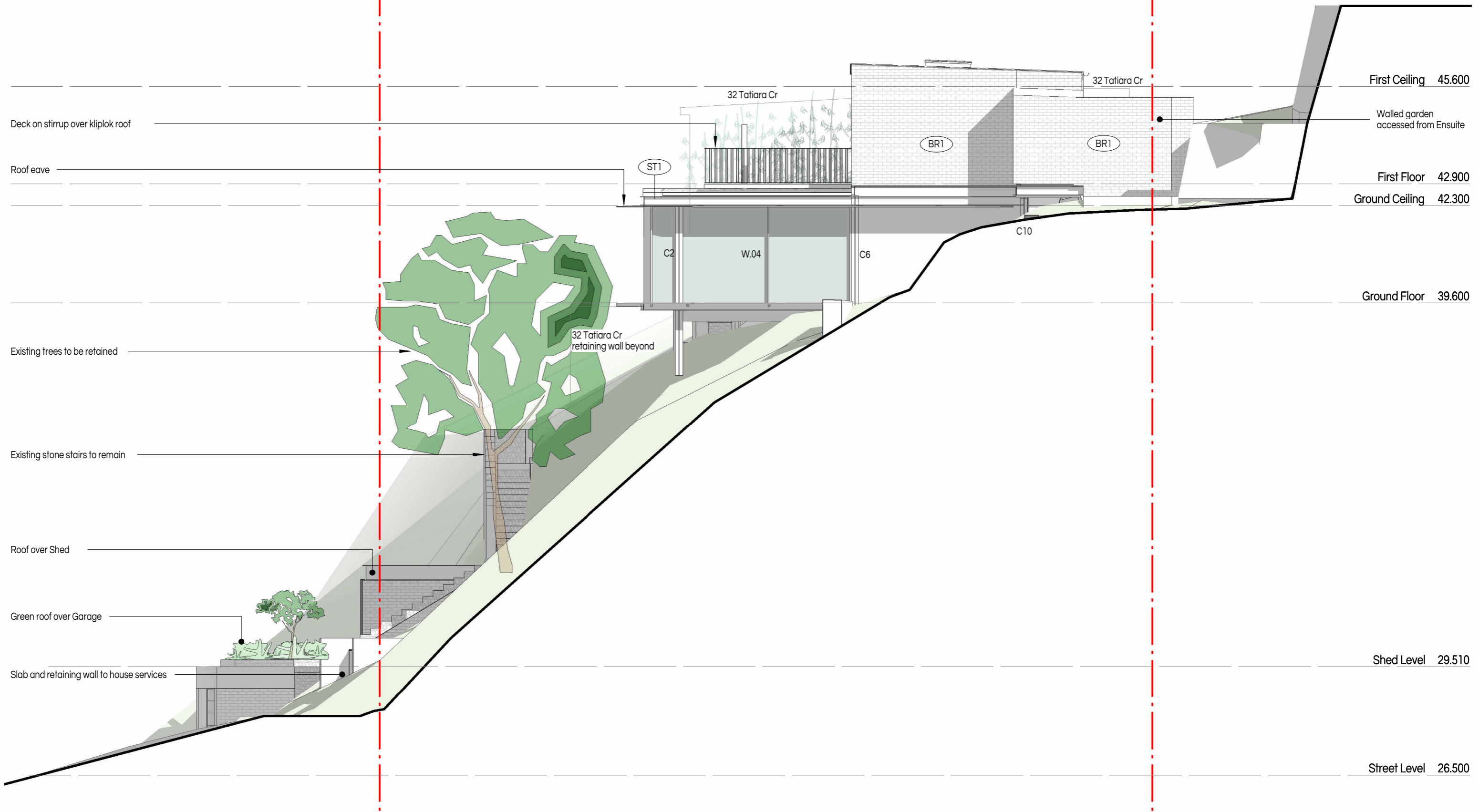
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Issue for DA

No.	Description	Date
A	Issue for DA	23/07/2025

Project Peak Mojo
Location 34 Tatiara Crescent, North Narrabeen
Client Tim and Lucy
Drawing West Elevations

Scale @ A3 1 : 100	Drawn by BS	Checked by BS
Project Issue Date 08/04/2025	Sheet Issue Date 23/07/2025	
Project number 1283	Drawing # D402	Revision A



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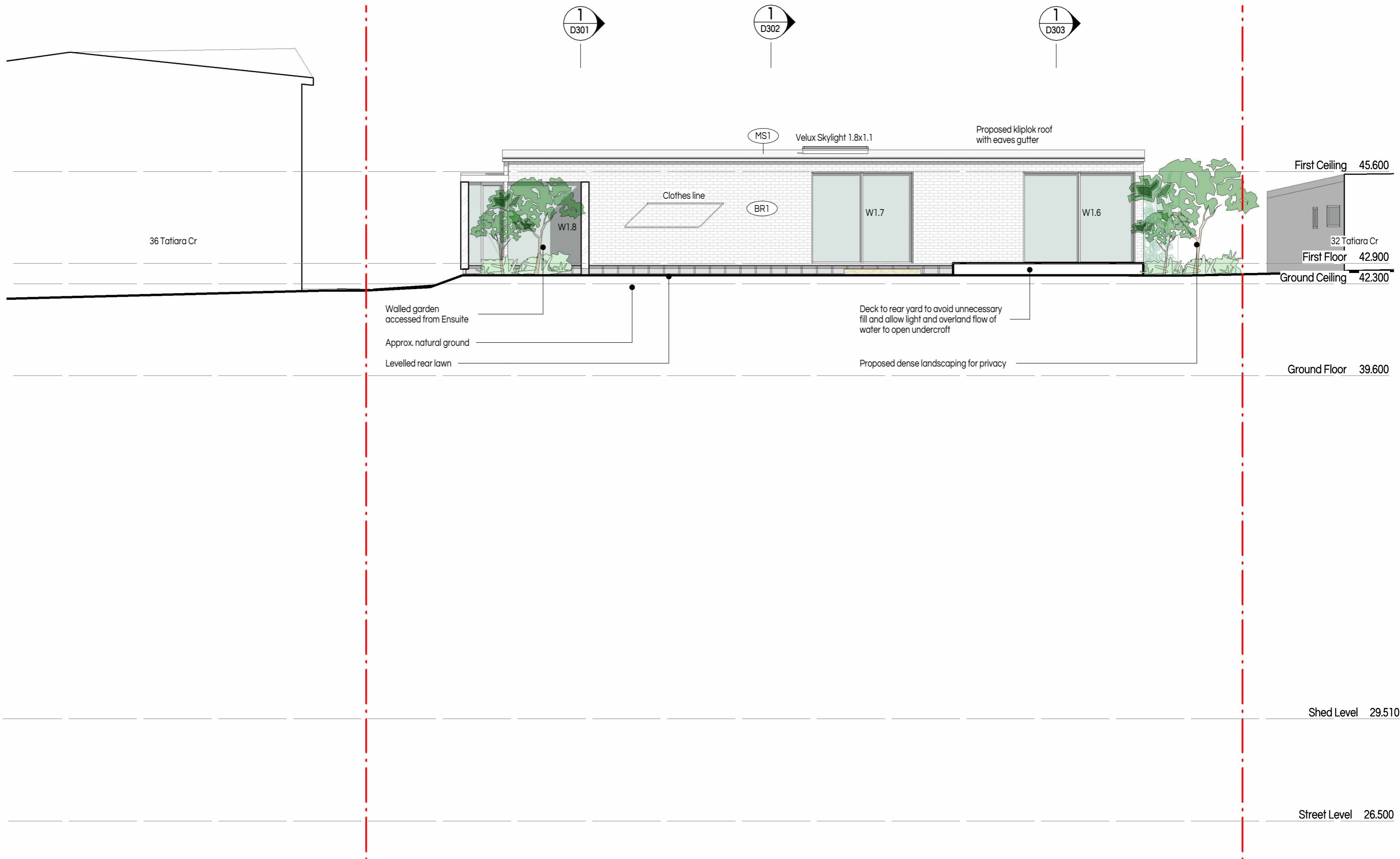
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Issue for DA

No.	Description	Date
A	Issue for DA	23/07/2025

Project
Peak Mojo
Location
34 Tatiara Crescent, North Narrabeen
Client
Tim and Lucy
Drawing
South Elevations

Scale @ A3 1 : 100	Drawn by BS	Checked by BS
Project Issue Date 08/04/2025	Sheet Issue Date 23/07/2025	
Project number 1283	Drawing # D403	Revision A



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Issue for DA

No.	Description	Date
A	Issue for DA	23/07/2025

Project
Peak Mojo
Location
34 Tatiara Crescent, North Narrabeen
Client
Tim and Lucy
Drawing
East Elevations

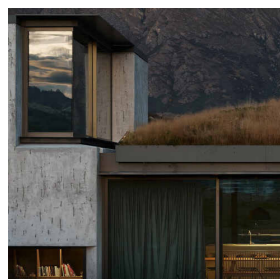
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Project Issue Date 08/04/2025	Sheet Issue Date 23/07/2025	
Project number 1283	Drawing # D404	Revision A



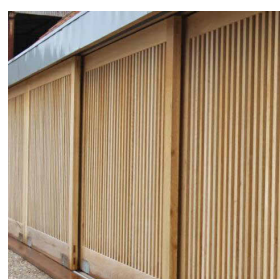
BR1 - Brick



CON - Concrete



ST1 - Black painted metal / black powdercoat



TM1 - Natural timber or timber look aluminium



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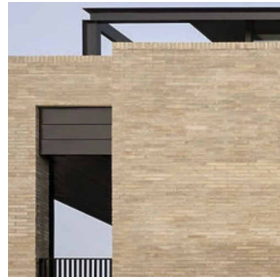
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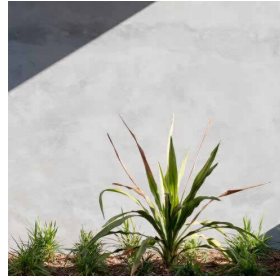
No.	Description	Date
A	Issue for DA	23/07/2025

Project Peak Mojo
Location 34 Tatiara Crescent, North Narrabeen
Client Tim and Lucy
Drawing Perspectives & Materials

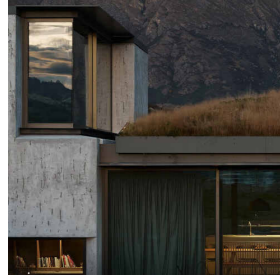
Scale @ A3 1 : 100	Drawn by BS	Checked by BS
Project Issue Date 08/04/2025	Sheet Issue Date 23/07/2025	
Project number 1283	Drawing # D901	Revision A



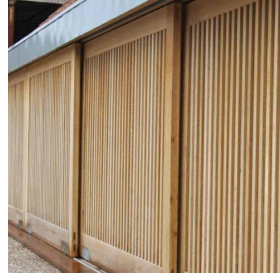
BR1 - Brick



CON - Concrete



ST1 - Black painted metal / black powdercoat



TM1 - Natural timber or timber look aluminium



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Issue for DA

No.	Description	Date
A	Issue for DA	23/07/2025

Project Peak Mojo
Location 34 Tatiara Crescent, North Narrabeen
Client Tim and Lucy
Drawing Perspectives & Materials

Scale @ A3 1 : 100	Drawn by BS	Checked by BS
Project Issue Date 08/04/2025	Sheet Issue Date 23/07/2025	
Project number 1283	Drawing # D902	Revision A



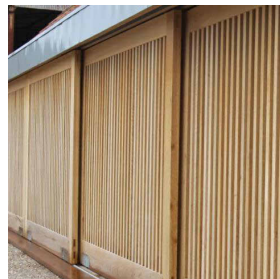
BR1 - Brick



CON - Concrete



ST1 - Black painted metal / black powdercoat

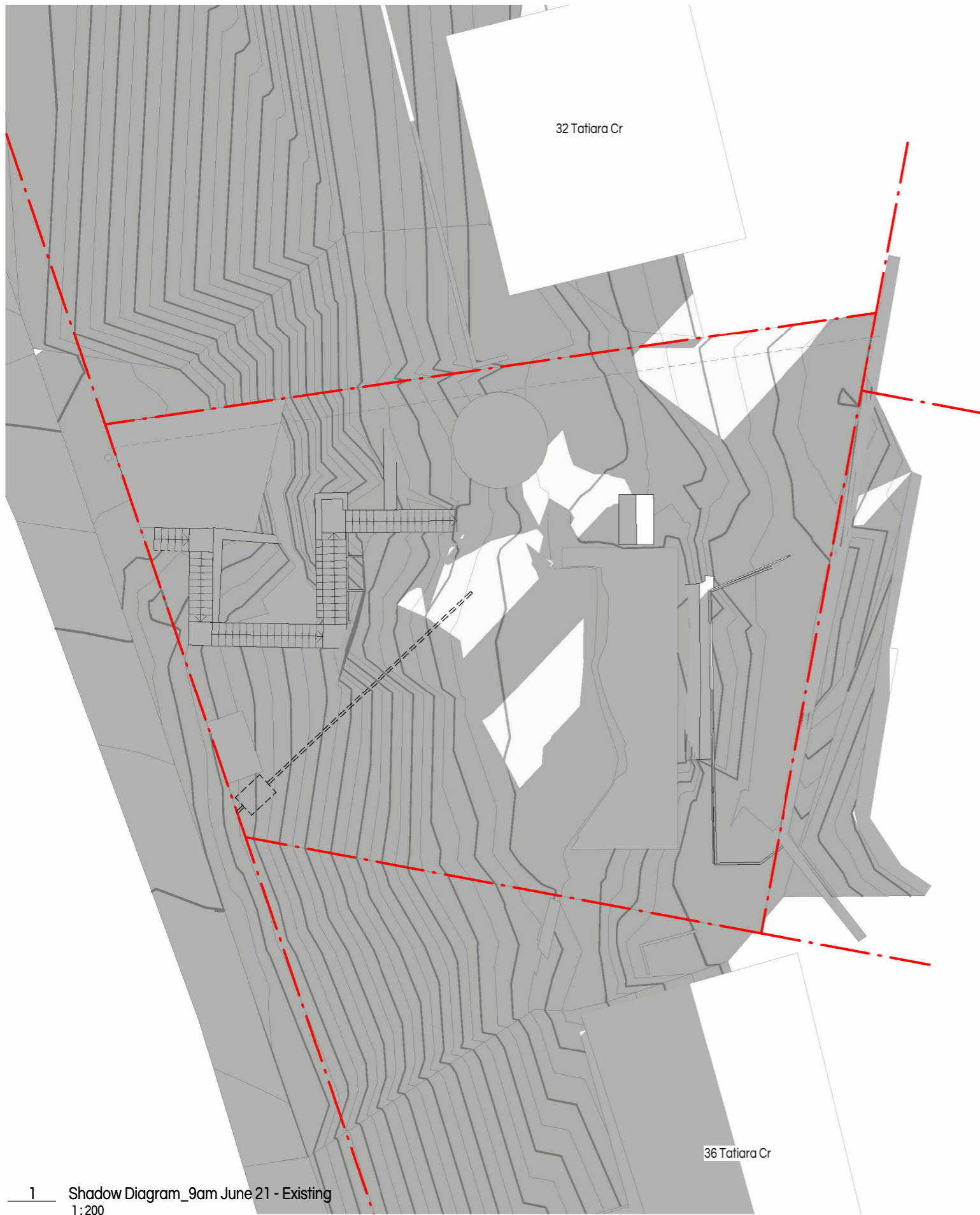


TM1 - Natural timber or timber look aluminium



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		<p>Location</p> <p>34 Tatiara Crescent, North Narrabeen</p>		<p>Project Issue Date</p> <p>08/04/2025</p>	<p>Sheet Issue Date</p> <p>23/07/2025</p>				
		<p>Client</p> <p>Tim and Lucy</p>		<p>Project number</p> <p>1283</p>	<p>Drawing #</p> <p>D903</p>	<p>Revision</p> <p>A</p>			
		<p>Drawing</p> <p>Perspectives & Materials</p>							



1 Shadow Diagram_9am June 21 - Existing
1:200



2 Shadow Diagram_9am June 21 - Proposed
1:200

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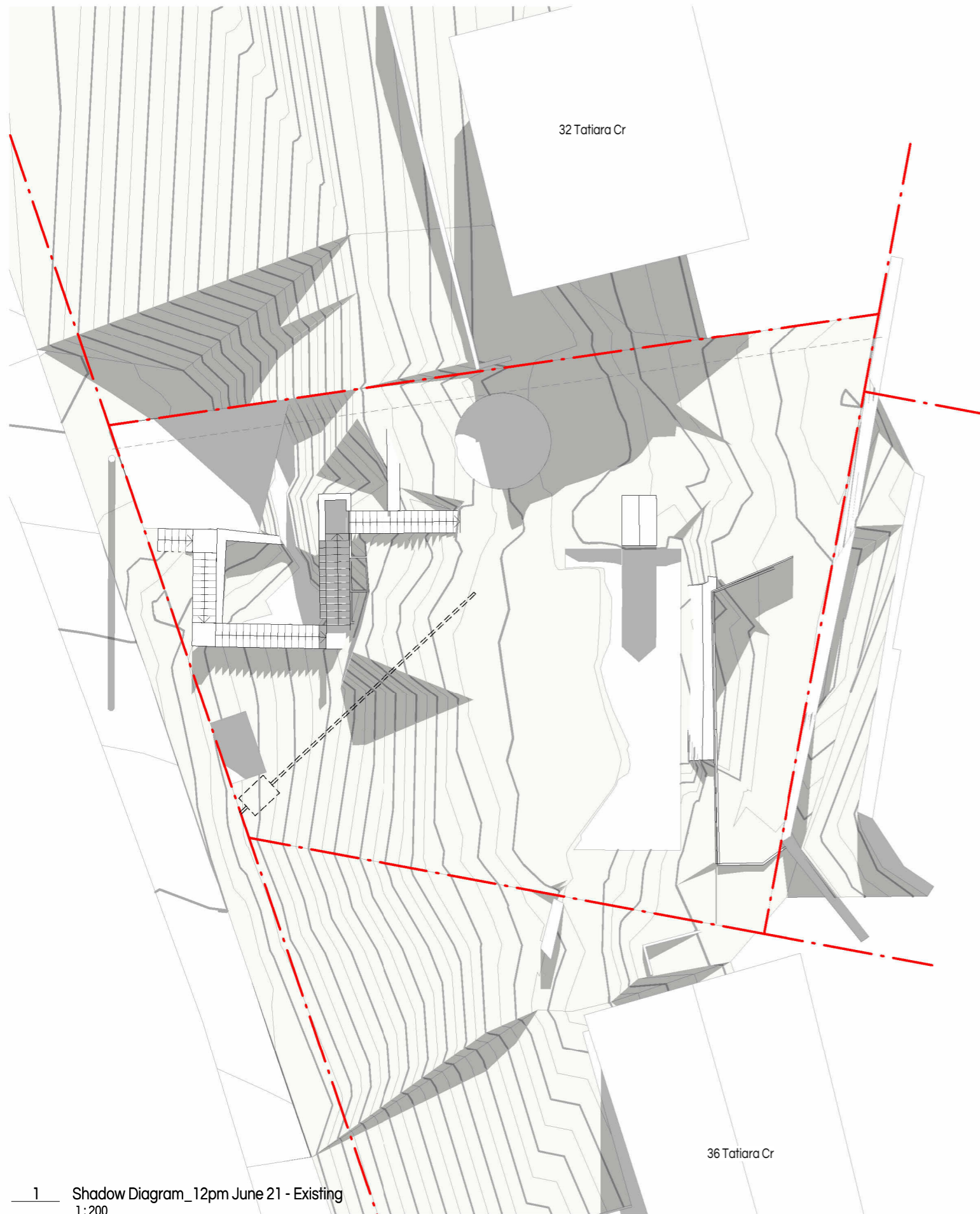
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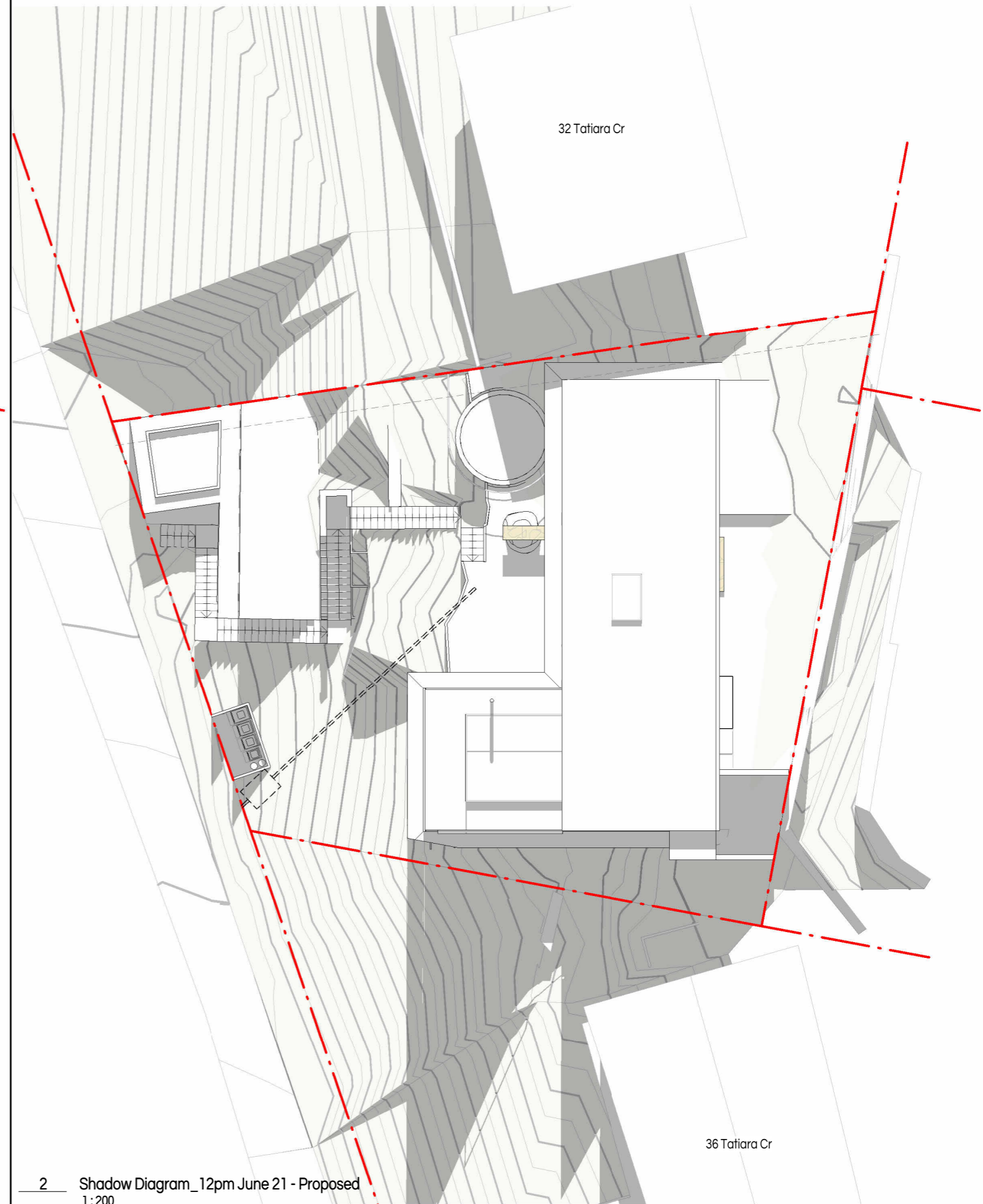
No.	Description	Date
A	Issue for DA	23/07/2025

Project Peak Mojo
Location 34 Tatiara Crescent, North Narrabeen
Client Tim and Lucy
Drawing Shadow Diagram_9am June 21st

Scale @ A3 1:200	Drawn by BS	Checked by BS
Project Issue Date 08/04/2025	Sheet Issue Date 23/07/2025	
Project number 1283	Drawing # D910	Revision A



1 Shadow Diagram_12pm June 21 - Existing
1:200



2 Shadow Diagram_12pm June 21 - Proposed
1:200

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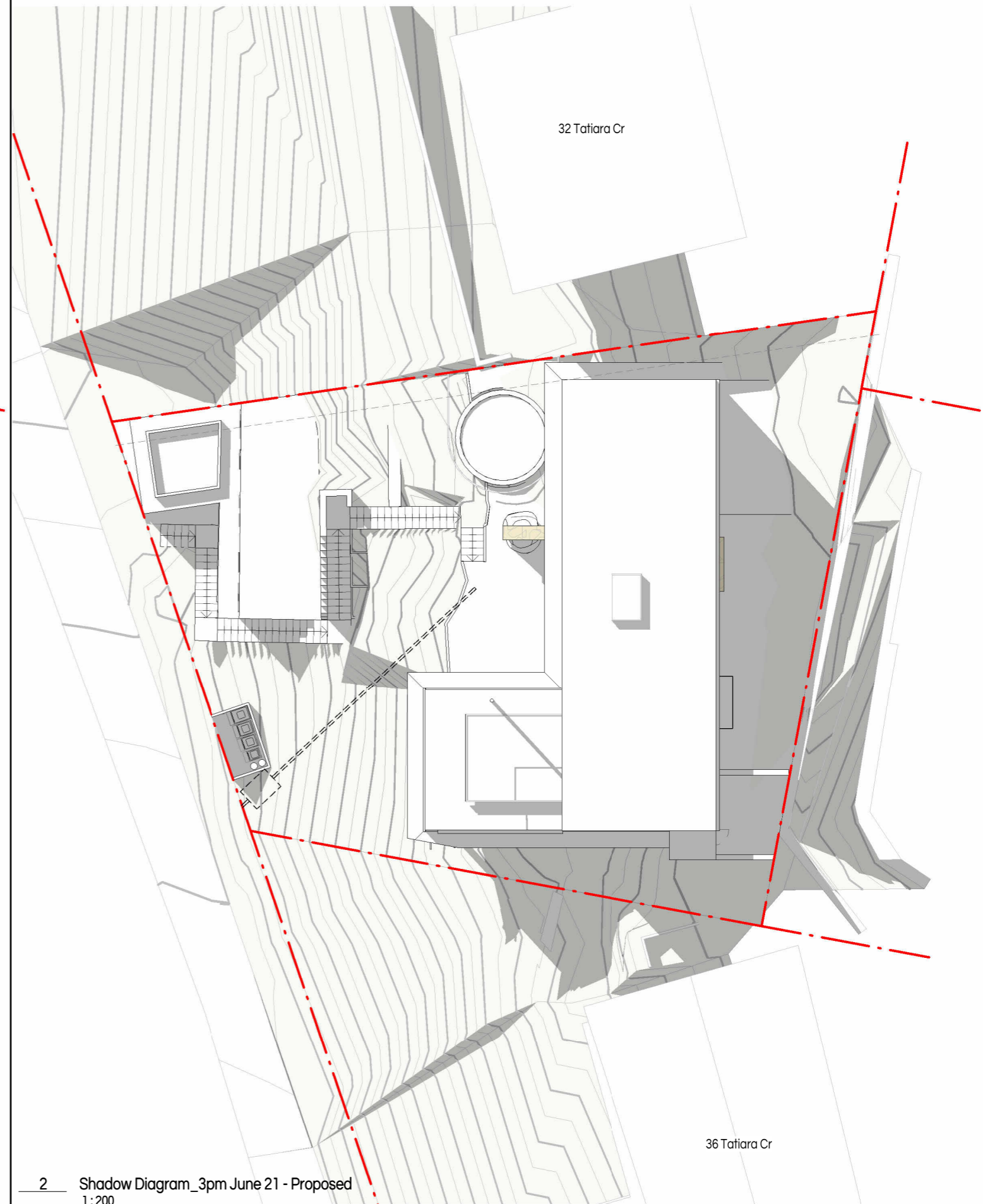
No.	Description	Date
A	Issue for DA	23/07/2025

Project Peak Mojo
Location 34 Tatiara Crescent, North Narrabeen
Client Tim and Lucy
Drawing Shadow Diagram_12pm June 21st

Scale @ A3 1:200	Drawn by BS	Checked by BS
Project Issue Date 08/04/2025	Sheet Issue Date 23/07/2025	
Project number 1283	Drawing # D911	Revision A



1 Shadow Diagram_3pm June 21 - Existing
1:200



2 Shadow Diagram_3pm June 21 - Proposed
1:200

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Issue for DA

No.	Description	Date
A	Issue for DA	23/07/2025

Project Peak Mojo
Location 34 Tatiara Crescent, North Narrabeen
Client Tim and Lucy
Drawing Shadow Diagram_3pm June 21st

Scale @ A3 1:200	Drawn by BS	Checked by BS
Project Issue Date 08/04/2025	Sheet Issue Date 23/07/2025	
Project number 1283	Drawing # D912	Revision A