## Peak Mojo

## 34 Tatiara Crescent, North Narrabeen

## Tim and Lucy

## General Notes

### Coordination

Where applicable refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify discrepancies between architectural and/or other consultant's documentation for direction prior to proceeding with the works.

## Specifications and Schedules

relevant Specifications and Schedules. Written measures in accordance with the Local specifications and schedules take precedence Authority and, where applicable, Hydraulic to the extent of any discrepancy. Notify discrepancies between documents for direction prior to proceeding with the works.

### Detail Drawings

Unless noted otherwise, refer to detail drawings for set-out information. Drawings at larger scales take precedence over drawings at smaller scales. Notify discrepancies for direction prior to proceeding with the works.

### Execution of the works (Standards)

Execute the works in compliance with the current edition of the Building Code of Australia (as amended), current editions of relevant Australian and other applicable published Standards and the relevant requirements of Local and Statutory Authorities

## Units of measurement

Unless noted otherwise:

- Dimensions are shown in millimetres; and

I evels are shown in meters.

Where a notation refers to an item as "...to detail" the applicable item is to be in accordance with the relevant Architect's

## Materials handling and storage

Unless noted otherwise material, fixtures and fittings are to be handled, stored and installed in accordance with the Manufacturer's current written instructions.

## Structure

Foundations, footings, reinforced concrete, slabs, retaining walls, framing, bracing, tiedown and other structural elements are to be designed and constructed in accordance with the Structural Engineer's details and specifications.

### Hydraulics

Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are to be designed and constructed in accordance with the Local Authority, Statutory Authority, Hydraulic and/or Civil Works Consultant's requirements.

### Erosion & Sediment Control

Where applicable refer to and coordinate with Apply erosion and sediment control or Civil Works Consultant's requirements to avoid erosion, sedimentation and/or contamination of the site, surrounds and stormwater drainage system. Apply measures to ensure that the site remains free of water and to prevent water flow over the new work . Erosion & sediment control measures are to be effective from commencement of the works (including demolition) and maintained throughout the course of the works until the site is fully stabilised.

## Services (existing & proposed)

Confirm location of existing under and above-ground services and coordinate with the relevant service authority to ensure that services are handled in accordance with the relevant authorities instructions prior to commencement of demolition, excavation and/or construction works.

Levels shown are consistent with the datum and benchmarks shown on the associated detail survey. In most instances the surveyed levels will be indicated relative to Australian Height Datum. However the existing site levels and datum are to be confirmed on site with reference to the site survey documents.

## Interpretation

"Provide" means to supply and install. "Required" means required by the contract documents or by the Local or Statutory Authorities.

"Proprietary" means identifiable by naming the manufacturer, supplier, installer, trade name, brand name, catalogue or reference

## Standard Abbreviations

A/W Accordance with Above finished floor level Access Panel Awning Bal Balustrade

Bdy (Property) Boundary Bhd Bulkhead

Building Blda Bldr Builder or building contractor

CJ CL Control / construction joint Centre line COS Check / confirm on site

Crs Centres Dp Downpipe Door

Dwg Drawing Engineer('s) Estimated

Existing Ext External FFL Finished floor level

Finished ground level FGL FR Fire rated Fxd Fixed

Gnd Ground Handrail Hyd Hydraulic

Instruction(s) Int Internal Manufacturer('s)

Nominal NTS Not to scale

Overall Overhead

Owner | Proprietor | Principal Own Requirement(s)

RL Relative Level (to Datum) Schd Schedule(s) Structural floor level SFI

Sld Sliding Specification(s)

Structural slab level Std Standard SDr Surface drainage

Sub-surface drainage To be advised

TBC To be confirmed TBD To be demolished TBR To be removed Top of wall

Typical Тур Under ground LINO Unless noted otherwise

U/S Underside W,Win Window W/O Without

TOW

### Location Plan



Subject Site Source: Six Maps NSW Planning

## **Architectural Drawings**

No.	Name	Rev	Date
D000	Cover Sheet, Title Page & Notes	A	23/07/2025
D001	Specifications	A	23/07/2025
D002	BASIX Commitments	А	23/07/2025
D003	Site Layout and Site Analysis - Existing & Demolition	A	23/07/2025
D004	Site Layout - Proposed	А	23/07/2025
D050	Compliance Plan	A	23/07/2025
D060	Erosion, Sediment, Stormwater Control & Waste Management Plan	А	23/07/2025
D070	Landscape Plan	A	23/07/2025
D101	Street Level Floor Plan	A	23/07/2025
D102	Storage Floor Plan	А	23/07/2025
D103	Ground Floor Plan	A	23/07/2025
D104	First Floor Plan	A	23/07/2025
D301	Section AA	A	23/07/2025
D302	Section BB	A	23/07/2025
D303	Section CC	A	23/07/2025
D304	Section DD	A	23/07/2025
D401	North Elevations	A	23/07/2025
D402	West Elevations	А	23/07/2025
D403	South Elevations	A	23/07/2025
D404	East Elevations	А	23/07/2025
D901	Perspectives & Materials	A	23/07/2025
D902	Perspectives & Materials	A	23/07/2025
D903	Perspectives & Materials	A	23/07/2025
D910	Shadow Diagram_9am June 21st	А	23/07/2025
D911	Shadow Diagram_12pm June 21st	А	23/07/2025
D912	Shadow Diagram_3pm June 21st	Α	23/07/2025



Streetscape Perspective

## buck&simple.

doers of stuff

General Notes

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The copyright of inits ususing retribution to properly or accessional authority of buckshimple.

Do not scale from drawings, Confirm dimensions on site prior to the commencement of works. Where a discrepancy arises, seek direction prior to proceeding with the works.

This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

Issue for DA

Contact: info@buckandsimple.com ABN : 86 106 604 025 NSW #8631 VIC #19664

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Description		Date	Rev	
	Issue for DA	23/07/2025	A	
	Issue for DA	23/07/2025	A	l

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		BS	BS
08/04/ Scale @ A3	/2025 By	23/0 Chk	07/2025
Project Issue Date	Date		

## This specification table forms a non-exhaustive list

works. Where an Australian Standard (AS/NZ/int) or provision of the NCC has been ommitted. superseded or replaced the contractor is to ensure all works are carried out, completed and warranted in accordance with the most current form of the standard or provision. Where a discrepancy arises, notify the contract

### Coordination

Where applicable refer to and coordinate information where applicable refer to draw coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify the project administrator of any discrepancies between architectural and/or other consultant's documentation for direction prior to proceeding with the affected part

## <u>Detail Drawings</u> Unless noted otherwise, refer to detail drawings for set-

out information. Drawings at larger scales take precedence over drawings at smaller scales to the extent of any discrepancy. Notify the project administrator of any discrepancies prior to proceeding with the affected part of the works.

- Dimensions are shown in millimetres; and Levels are shown in meters

<u>Fo detail</u> Where a notation refers to an item as "...to detail" the applicable item is to be in accordance with the relevant

Materials handling and storage
Unless noted otherwise material, fixtures and fittings are to be handled, stored and installed in accordance with the Manufacturer's current written instructions.

Erosion & Sediment Control Apply erosion and sediment control measures in accordance with the Local Authority and, where applicable, Hydraulic or Civil Works Consultant's requirements to avoid erosion, sedimentation and/or contamination of the site, surrounds and stormwater drainage system. Apply measures to ensure that the site remains free of water and to prevent water flow over the new work. Erosion & sediment control measures are to be effective from commencement of the site works

## Services (existing 8 proposed)

Confirm location of existing under and above-ground services and coordinate with the relevant service authority to ensure that services are handled in accordance with the relevant authorities instructions prior to commencement of demolition, excavation

Levels shown are consistent with the datum and benchmarks shown on the associated detail survey. Ir most instances the surveyed levels will be indicated relative to Australian Height Datum. However the existing site levels and datum are to be confirmed on site with reference to the site survey documents.

## inish surfaces typically to fall as required to facilitate

## Interpretation

"Provide" means to supply and install.

"Required" means required by the contract documents or by the Local or Statutory Authorities. Proprietary" means identifiable by namina the manufacturer supplier installer trade name brand

### Specifications and schedules

Where a written specification and/or schedule exist and a discrepancy between documents is identified the written documents take precedence over this document to the extent of the discrepancy. Where a discrepancy is identified notify the project administrator for direction prior to proceeding with the part of the works affected by the discrepancy

Execution of the works (Specifications)

Execute the works in compliance with The relevant deemed-to-satisfy provisions of the current edition of the NCC (Volume 2 - Class 1 and 10 buildings) (as amended at the time of execution of the works) Current editions of relevant Australian and other applicable published Standards; and

he relevant requirements of Local and/or Statutory Authorities applicable to the execution of the works. The specification of codes and standards included by outlines the minimum acceptable standards.

### Termite protection Provide termite protection:

In accordance with the NCC 2022 (Valume 2) Part 3.4 Termite Risk Management and to AS/NZS 3660.
Termite Management - New building work. Upon completion, a durable notice must be permanently fixed to the building in a prominent location, such as a meter box or the like, indicating: The method of termite protection, the date of installation of the system, where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label and the installer's or manufacturer's recommendations for the scope and requency of future inspections for termite activity. Provide professional certification of the termite protection measures to the principal certifying authority, confirming compliance with the relevant provisions of the NCC 2022 and Australian Standards

<u>Flashings and damp-proof courses</u> Flashings and damp-proof courses: To AS/NZS 2904 Damp-proof courses and flashings

Fasteners
Steel nails: Hot-dip galvanized to AS/NZS 4680\_Hot-dip galvanized (zinc) coatings on fabricated ferrous articles. Self-drilling screws: To AS 3566.1\_Self-drilling screws for the building and construction industries - General

### Metal finishes

accordance with the NCC 2022 (Volume 2) Part 6.3 Tructural Steel Members; Part 6.3.9\_Corrosion Protection
Preparation of metal surfaces:
To AS 1627.(Various)\_Metal finishing - Preparation and

pretreatment of surfaces.

To AS 1789\_Metallic and other inorganic coatings -Electroplated coatings of zinc with supplementary treatments on iron or steel, at least service condition number 2

Anodising: To AS 1231\_Aluminium and aluminium alloys - Anodic oxidation coatings, at least class AA10. Thermoset powder coating: To AS 3715\_Metal finishing hermoset powder coating for architectural applications Galvanize mild steel components (including fasteners): To AS/NZS 1214\_Hot-dip galvanized coatings on threaded fasteners (ISO metric coarse thread series) (ISO 10684:2004, MOD) or AS/NZS 4680 Hot-dip galvanized (zinc) coatings on fabricated ferrous articles, as appropriate, if exposed to weather, embedded

or in contact with chemically treated timber. Galvanized other components: To AS/NZS 4680 Hot-dip aglyanized (zinc) coatings on

Durability requirements: To AS 2699.2\_Built-in components for masonry

construction - Connectors and accesories

Performance requirements. Cold-form sections from metallic-coated steel To AS 1397 Continuous hot-dip metallic coated stee heet and strip - Coatings of zinc and zinc alloyed with

Zinc-coated or aluminium/zinc allov coated steel: To AS 1397 Continuous hot-dip metallic coated steel sheet and strip - Coatings of zinc and zinc alloyed with aluminium and magnesium, Z450 or AZ150.

Provide certification that all construction methods and any required bushfire prevention measures are installed in accordance with the approvals documentation, the NSW Rural Fire Service and AS 3959 Construction of buildings

protection measures the NSW Rural Fire Service also requires additional construction requirements beyond

requirements, including, but not limited to: NSW Rural Fire Service Addendum: Appendix 3 of Planning for bushfire fire protection.

NSW Rural Fire Service Planning for bushfire fire protection: 7.5.2 NSW State Variations under G5.2(a) (i) and 3.10.5.0(c)(i) of the NCC including, but not limited to the relevant provisions of A3.7

\_The demolition of structures Temporary Support: Provide temporary support for part(s) of the existing structure as required where part(s) of the works to be altered rely on work to be

necessary to prevent damage from the weather and ensure that the site remains secure so as to prevent unauthorised entry.

Secure Site: Prior to the commencement of demolition works ensure that the site is secure and that erosion and other environmental protection measures are in

Code of practice for the safe removal of asbestos

### Earthworks

To be carried out in accordance with: The requirements of the Environmental Planning &

Relevant conditions of development consent; and The relevant requirements of NCC 2022 (Volume 2) H1D4 Footings and slabs H1D12 Piled footings 8 NCC 2022 (ABCB Housing Provisions) Part 3.2

be in accordance with NCC 2022 (ABCB Housing Provisions) Part 3.3.2 & Figure 3.3.2.

Timber piled footing systems: Proprietary System designed to AS 2870\_Residential slabs and footings. v-in foundations: Proprietary System designed to AS 2159\_Piling - Design and installation.

### Structural design

Foundations, footings, reinforced concrete, slabs, retaining walls, framing, bracing, tie-down and other structural elements are to be designed and structural elements are to be designed and constructed in accordance with the Structural Engineer's details and specifications and in cordance with the relevant provisions of the following structural design manuals.

## Site classification

Structural design manuals
AS/NZS 1170.1\_Structural design actions (Permanent, imposed and other actions) or AS 4055\_Wind loads for housing AS/NZS 1170.3\_Structural design actions (Snow and

AS 1170.4\_Structural design actions (Earthquake actions in Australia) AS 1720.1\_Timber structures
AS 2870\_Residential slabs and footings

To AS/N7S 2728 Prefinished/prepainted sheet metal

aluminium and magnesium.

Steel framing:

## Building in bushfire prone areas

hose prescribed in AS3959 as deemed appropriate

minated Australian Standard clauses

Specify all measures installed on the certification.

Demolish existing structures as shown: To AS 2601 demolished for support. Temporary Cover: Provide temporary cover as

place and operational.
Asbestos: Demolition involving the removal of asbestos or materials containing asbestos fibre must only be carried out by persons licensed by Workcover NSW and be in accordance with the National Occupational Health and Safety Commission (WorkSafe Australia)

nent Act 1979;

\_Earthworks.
Excavation for drains adjacent to existing footings: To

To be in accordance with NCC 2022 (Volume 2) Part A6 Building Classification

AS/NZS 1170.2 Structural design actions (Wind loads)

AS 2159 Piling - design and installation AS 2327.1 Composite structures

AS 3600. Concrete structures AS 4773\_Masonry in small buildings

## Structural design certification Submit structural engineer's design certification, in accordance with Local Authority requirements, to the

## Principal Certifying Authority prior to the

Concrete construction

Concrete structures generally: To AS 3600\_Concrete structures Ground slabs and footings: To AS 2870 Residential slabs and footings

Ready mixed supply: To AS 1379\_Specification and supply of concrete Concrete construction is to comply with NCC 2022 (volume 2) Spec 3 Fire hazard properties, Part H1

## Structure, AS 3600 Concrete structures Footings and slabs

Design and construct footings and slabs: In accordance with NCC 2022 (volume 2) H1D4 Footings and slabs, Schedule 5 NSW\_Part 4.2 Footings, slabs and associated elements, Schedule 5 NSW\_H1D4 Footings and slabs and AS 2870\_Residential slabs and footings, AS 3600 Concrete structures and AS 2159 Pilina - Desian and installation.

## Brick & block construction (masonry)

Masonry construction: To be in accordance with NCC 2022 (Volume 2) H1D5\_Masonry and to AS 3700 Masonry structures: Masonry units: To AS/NZS 4455 Masonry units, payers. flags and segmental retaining wall units; Clay brick durability below damp-proof course: Use exposure category to AS/NZS 4456.10 Masonry units, seamental pavers and flags - Methods of segiment powers and integer Prelinds of test\_Determining resistance to salt attack Appendix A (Salt attack resistance categories). AS 4773.1\_Masonry in small buildings (Design) and AS 4773.2\_Masonry in small buildings (Construction)

Wall ties
Wall ties: To AS/NZS 2699.1\_Built-in components for masonry construction - Wall ties; Non-seismic areas Type A; Seismic areas: Type B. Wall tile type: To be in accordance with NCC 2022 Wall tile spacing: To NCC 2022 (ABCB Housing Provisions) Part 5.6\_5.6.5 Wall tiles (b) Wall tile corrosion protection: To NCC 2022 (ABCB Housing Provisions) Part 5.6 5.6.5 Wall tiles (c)

### Lintels generally: To be in accordance with NCC 2022 (ABCB Housing Provisions) Part 5.6 5.6.7 Lintels Cold-formed lintels: Proprietary cold-formed flat-based type designed to AS/NZS 4600\_Cold-formed steel structures, manufactured from mild steel galvanized to AS/NZS 4680\_Hot-dip galvanized (zinc) coatings on fabricated ferrous articles: Do not cut after galvanizing. Steel lintels (flats and angles): To be in accorda NCC 2022 (ABCB Housing Provisions) Figure 5.6.7 \_Lintel installation. manufactured from mild steel galvanized to AS/NZS 4680 Hot-dip galvanized (zinc)

coatings on fabricated ferrous articles: Do not cut after ion protection: To AS/N7S 2600 3 Built-in components for masonry construction (Lintels and shelf angles (durability requirements)).

### Timber & steel framed construction

Sub-floor ventilation
Sub floor ventilation: To be in accordance with NCC 2022 (Volume 2) H2D5\_Subfloor Ventilation & NCC 2022 (ABCB Housing Provisions) Part 6.2.1\_Subfloor

Timber wall, floor and roof framing Timber framing: To be in accordance with NCC 2022 (Volume 2) H1D6 Framing and AS 1684.4\_Residential timber-framed constructio (Simplified - Non-cyclonic) or AS 1720.1\_Timber structures (Design methods). Natural durability class of heartwood: To AS 5604 Timber - Natural durability ratings.
Preservative treatment: To the AS 1604 series\_Specification for preservative treatment.
Timber construction is to comply with clause (4) of NCC 2022 (Volume 2) H1D6 Framing and AS 1684.2 (Amdt

Steel framing and structural steel members Steel framing: to be in accordance with NCC 2022 (Volume 2) H1D6\_Framing & AS 4100\_Steel structures. Steel structural members: to be in accordance with NCC 2022 (Volume 2) H1D6\_Framing & AS 4100\_Stee

1), AS1684.3 (Amdt 1) or AS 1684.4 (Amdt 1),

Structural steelwork: To AS 4100\_Steel structures. Cold-formed steel framing: Provide a proprietary system designed to AS 3623\_Domestic metal framing. Welding: To AS/NZS 1554.1\_Structural steel welding Welding of steel structures).

Floors: To AS 1684.4 Residential timber-framed construction (Simplified - Non-Cyclonic Areas)
Particleboard flooring: To AS/NZS 1860.1 Particleboard flooring (Specifications) and install to AS 1860.2 Particleboard flooring (Installation). ed Fibre cement flooring: To AS/NZS 2908.2 Cellulosecement products (Flat sheets), Type A, Category 5.

(Specifications), bond type A, tongue and grooved. Roof trusses installation: To AS 4440\_Installation of nailplated timber trusses.
Anti-ponding boards: To AS 4200.2\_Pliable building

Plywood flooring: To AS/NZS 2269\_Plywood - Structural

Roof and wall cladding Roof tiling
To be in accordance with NCC 2022 (Volume 2) H2D6 Roof and wall cladding and AS 2049 Roof tiles.

Roof tile installation: To AS 2050 Installation of roofing

## Metal roof sheeting

To be in accordance with the NCC 2022 (Volume 2) H1D7\_Roof and wall cladding. Metal roofing design and installation: To AS 1562.1 Design and installation of sheet roof and wall cladding

To be in accordance with NCC 2022 (Volume 2) H2D6 Roof and wall cladding and AS/NZS 3500.3 Plumbing and drainage (Stormwater drainage).

Metal rainwater goods and accessories: To AS/NZS

2179.1 Specifications for rainwater goods, accessories and fasteners (Metal shape or sheet rainwater goods, and metal accessories and fasteners) PVC rainwater goods and accessories: To AS1273 Unplasticized PVC (UPVC) downpipe and fittings fo

### Eaves & soffits

Lining is to comply with NCC 2022 (ABCB Housing Provisions) Part \_7.5.5 Eaves and soffit linings and AS/NZS 2908.2 Cellulose-cement products (Flat sheets) or ISO 8336\_Eibre-cement flat sheets - Product specification and test methods

o be in accordance with NCC 2022 (Volume 2) H2D6 \_Roof and wall cladding Hardboard cladding: To AS/NZS 1859.4 Reconstituted wood-based panels - Specifications (Wet-processed

Fibre cement cladding: To AS/NZS 2908.2\_Cellulose cement products (Flat sheets), Type A, Category 3.

Metal cladding design and installation: To AS 1562.1 Design and installation of metal roof and wall cladding cised polyvinyl chloride (uPVC) sheet: To AS/NZS

4256.4\_Plastic roof and wall cladding materials (Unplasticised polyvinyl chloride (uPVC) wall cladding ourus). Glass fibre reinforced polvester (GRP) sheet: To AS/NZS. 4256.3\_Plastic roof and wall cladding materials (Glass fibre reinforced polyester (GRP)).

Polycarbonate: To AS/NZS 4256.5 Plastic roof and wall

cladding materials (Polycarbonate). Installation of plastic claddings: To AS/NZS 1562.3 \_Design and installation of sheet roof and wall cladding Fiasic).
Fimber cladding to comply with NCC 2022 (Volume 2) NCC 2022 (Volume 2) H2D6\_Roof and wall cladding 6 NCC 2022 (ABCB Housing Provisions) Part 7.5\_Timber and composite wall cladding

Insulation and sarking
Cellulosic fibre (loose fill): To AS/NZS 4859.1 Thermal insulation materials for buildings (General criteria and technical provisions), Section 5. Mineral wool blankets and cut pieces: To AS/NZS 4859.1,

Section 8. Polystyrene (extruded rigid cellular sheets): To AS 1366 4 \_Rigid cellular plastics sheets for thermal insular [Rigid cellular polystyrene - Extruded (RC/PSE)). Polystyrene (moulded rigid cellular sheets): To AS 1366.3 Rigid cellular plastics sheets for thermal insulation Wool: To AS/NZS 4859.1, Section 6. Sarking material: To AS/NZS 4200.1 Pliable building

membranes and underlays (Materials) nstallation of bulk thermal insulation: To AS 3999 Bulk thermal insulation - Installation. Sarking material: To AS/NZS 4200.2\_Pliable building membranes and underlavs (Installation)

Windows and doors Glazing to be in accordance with NCC 2022 (Volume 2) H2D7 Glazina. Glass Selection and installation: To AS 1288\_Glass in buildings - Selection and installation.
Timber doorsets, frames and jamb linings: To AS 2688 Timber and composite doors.

Security screen doors and windows grilles: To AS 5039 \_Security screen doors and security window grilles. Window selection and installation: To AS 2047\_Windows and external glazed doors in buildings.
Doorset installation: To AS 2688. Garage doors: To AS/NZS 4505 Garage doors and other large access doors.

vide certification from a licensed installer that window Lining
Plasterboard: To AS/NZS 2588\_Gypsum plasterboard. Plasterboard installation: To AS/NZS 2589\_Gy linings - Application and finishing Level 4 finish.

Fibre cement: To AS/NZS 2908.2 Cellulose-cement

products (Flat sheets). Type B. Category 2.

## Fibrous plaster products: To AS 2185 Fibrous plaster

Fire separation
To be in accordance with NCC 2022 (Volume 2) Part H3 Fire safety: H3D3\_ Fire separation of external walls; H3D4\_Fire protection of separating walls and floors: H3D5 Fire separation of

separating what an inches, Probagnies separation of garage-top-dwellings Fire separation - Roof lights: NCC 2022 (ABCB Housing Provisions) 9.2.10. Roof lights Refer to architectural details of fire separation methods.

## Flushing to wall openings are to comply with NCC 2022 (ABCB Housing Provisions) 7.5.6\_Flashings to wall openings and AS/NZS 2904\_Damp-proof courses and

Fire safety

o be in accordance with NCC 2022 (Volume 2) H3D6 Smoke alarms and evacuation liahting, AS 3786 Smoke alarms using scattered light, transmitted light or onization and the Manufacturer's instructions. Where ionization, and in evidualacture's instructions. Where consumer mains power is supplied smoke alarms must be connected to mains power. For Class 1A buildings smoke alarms must be installed on every storey. In storevs containing bedrooms smoke alarms are to be located on or near the ceiling:

- If there is no corridor or hallway, between the part of the building containing the bedroom and the remainder of

On storeys not containing bedrooms a smoke alarm must be provided and should be located along the path of travel people will most likely take to evacuate the building. Provide certification from a Licensed electrical contractor

### Heating appliances

To be in accordance with NCC 2022 (Volume 2) H7D5

Heating appliances, fireplaces, chimneys and flues, and
AS 2918\_Domestic solid fuel burning appliances -

## Health and amenity

Wet areas

## Room heights

o be in accordance with NCC 2022 (Volume 2) H4D4\_ Ceiling heights are to comply with NCC 2022 (ABCB Housing Provisions) 10.3.1 Height of rooms and other

Facilities

Natural and artificial light
To be in accordance with NCC 2022 (Volume 2) H4D6

Part 10.6 Ventilation Mechanical Ventilation: NCC 2022 (Volume 2) H4P5 \_Ventilation & AS 1668.2\_The use of ventilation and airconditioning in buildings (Mechanical ventilation in

### To be in accordance with NCC 2022 (Volume 2) H4D8 Sound insulation.

Stair construction
To be in accordance with NCC 2022 (Volume 2) H5D2 \_Stairway and ramp construction. Stair construction must comply with the provisions of the NCC 2022 (ABCB Housing Provisions) 11.2.2\_Stairway construction, treads min 240mm nosing to nosing; risers 115mm - 190mm; slope relationship (2R+G); handrail height 865mm above ing; open treads maximum gap between treads is

### **Balustrades**

To be in accordance with NCC 2022 (Volume 2) H5D3 Barriers and handralls. Balustrade construction must comply with the provisions of the NCC 2022 (ABCB Housing Provisions) 11.3.3\_Barriers to prevent falls. ony balusters must be vertical / non-climbable

## Block and tile finishes

Ceramic tilina: Follow the auidance provided by AS 3958.1\_Ceramic tiles (Guide to the installation of ceramic tiles) and AS 3958.2\_Ceramic tiles (Guide to the selection of a ceramic tiling system). Adhesives: To AS 2358\_Adhesives - For fixing ceramic

To be in accordance with NCC 2022 (Volume 2) H2D8 External waterproofing & H4D2 Wet greas: AS 3740 Naterproofing of domestic wet greas 8 AS 4654.2 

that the waterproofing is installed in accordance with the

Floor coatings and coverings Carpeting: To AS/NZS 2455.1\_Textile floor coverings -Installation practice (General). Resilient finishes: To AS 1884 Floor coverings - Resilient

Painting generally: Follow the guidance provided by AS/NZS 2311\_Guide to the pointing of buildings, AS 2312.1 Guide to the protection of structural steel against atmospheric corrosion by the use of protective coatings (Paint coatinas). Preparation

are surfaces to be painted in accordance with the

No Description

Timber fixtures Hardboard: To AS/N7S 1859 4 Reconstituted wood-

fibreboard).
Particleboard: To AS/NZS 1859.1 Reconstituted wood-

Medium density fibreboard: To AS/NZS 1859.2

<u>Kitchen, sanitary and washing facilities</u>
To be in accordance with NCC 2022 (Volume 2) H4D5

be in accordance with NCC 2022 (Volume 2) H4D7 \_Ventilation Natural Ventilation: NCC 2022 (ABCB Housing Provisions)

## Sound insulation

Refer to architectural details of sound insulation

## Safe movement and access

Balustrade height 1m above finished floor surface. Where around height exceeds 4m from floor level of the deck /

Decorative overlaid wood panels: To AS/NZS 1859.3 certifying that the glarm systeme has been installed in overlaid wood panels)

Reconstituted woodbased panels (Decorative ssure decorative laminate sheets: To AS/N7S 2924.1\_High pressure decorative laminates - Sheets made from thermosetting resins (Classification and

specifications). Domestic kitchen bathroom and other joinen assemblies: To AS 4386\_Cabinetry in the built-in environment - Commercial and domestic.

### Hydraulic (plumbing) installations

Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are t be designed and constructed in accordance with the Local Authority, Statutory Authority, Hydraulic and/or Civil Works Consultant's requirements. Where a discrepancy arises the hydraulic consultant's local or statutory authority's requirements take preceder over the following standards to the extent of the discrepancy.

Plumbing and drainage products: To SA MP52 Manual of authorization procedures for plumbing and drainage products and AS/NZS 3718\_Water supply - Tap ware; Must have a WaterMark product

Stormwater To AS/NZS 3500.3 Plumbing and Drainage (Stormwater drainage).
Wastewater: To AS/NZS 3500.2\_Plumbing and Drainage (Sanitary plumbing and drainage). Waterless composting toilets: To AS/NZS 1546.2\_Onsite domestic wastewater treatment units (Wat mposting toilets).

estic wastewater treatment units: To AS 546.3\_On-site domestic wastewater treatment units (Secondary treatment systems). Septic systems: To AS/NZS 1546.1 On-site domestic wastewater treatment units (Septic tanks). Effluent disposal: To AS/NZS 1547\_On-site domestic

wastewater management.
Freshwater: To AS/NZS 3500.1 Plumbing and Drainage (Water services) and AS/NZS 3500.4 \_Plantbing and brainage (neared water services).
Copper pipe: To AS 4809\_Copper pipe and fittings Installation and commissioning.

Rainwater tanks installation: To AS/NZS 3500.1. Polyethylene tanks: To AS/N7S 4766 Rotationall moulded buried, partially buried and non-buried storage tanks for water and chemicals. Gas: To AS/NZS 5601.1 Gas installations (General

Gutters & downnines To be in accordance with NCC 2022 (Volume 2) H2D6 \_Roof and wall cladding & AS/NZS 3500.3\_Plumbing

## Electrical installations

and drainage (Stormwater drainage).

Where a discrepancy arrises the electrical consultant's, local or statutory authority's requirements take precedence over the following standards to the extent of the discrepancy Electrical installation: To AS/NZS 3018 Electrical Circuit breakers: To AS/NZS 3947.2\_Low voltage switchgear and controlgear (Circuit-breakers) Flectrical accessories: To AS/NZS 3100, Approval and test specification - General requirements f

equipment. Luminaries: To AS 3137\_Approval and test specification - Luminaries (lighting fittings). Smoke detectors: Refer to "Fire Safetv. Smoke Switchboards: To AS/NZS 3439.1 Low-voltag

switchgear and controlgear assemblies\_Type-tested and partially type-tested assemblies, or AS/NZS 3439.3 Low-voltage switchgear and controlgear Particular requirements ..., as appropriate.
Telecommunications accessories: To AS/CA S008 Requirements for customer cabling products. Television antenna: To AS 1417 Receiving antennas for radio and television in the VHF and UHF broadcas pands - Design, manufacture and performance of outdoor terrestrial television antennas.
Telecommunications installation: To AS/CA S009 Installation requirements for customer cabling Wiring Rules), and the recommendations of SA HB29
\_Communications Cabling Manual, Module 2: Communications Cabling Manual, Module 2: Communications Cabling Handbook. Small office/home office installations: To AS/CA \$009 and AS/NZS 3086 Telecommunications installations Integrated communications cabling systems for small office/home office premises, and in accordance with the recommendations of SA HB29. Television and audio systems: To AS/NZS 1367 Coaxial cable and optical fibre systems for the RI distribution of digital television, radio and in-house analog television signals in single and multiple dwelling installations, and conforming to the ecommendations of Digital Broadcasting Australia Smoke detection installation and testina: To AS 1670.1

Fire detection, warning, control and interest

systems - System design, installation, and commissioning (Fire), in accordance with the

detectors to mains power

Date

requirements of the NCC 2022. Connect smoke

Test electrical installations: To AS/NZS 3017 Electrical Test electrical installations: 10 AS/NZS 3017\_Electrical installations - Verification by inspection and testing.

Test telecommunications cabling: To AS/NZS 3086 and the recommendations of SA HB29. Test the cable link performance in accordance with the recommendations of SA HB29 at the maximum frequency and data rate for the cable class, and the cable category. Certify compliance with AS/NZS 3086.

Test television and audio systems: To AS/NZS 1367 Coaxial cable and optical fibre systems for the RE distribution of digital felevision, radio and in-house analog felevision signals in single and multiple dwelling installations. Test the complete felevision and audio system. Certify compliance with AS/NZS 1367.

### Mechanical installations

Mechanical ventilation: To AS 1668.2\_The use of ventilation and airconditioning in buildings (Mechanica ventilation in buildings) - Grade 2 amenity. Refrigeration systems: To AS1677 Refrigerating systems, and the recommendations of SA HB40.1 (The Australian Refrigeration and Air Conditioning Code of Good Practice - Reduction of Emissions of Fluorocarbon Refrigerants in Commercial and Industrial Refrigeration and Airconditioning Applications) and HB40.2 (... in Residential Airconditioning Applications HB40.2 (... in Residential Airconditioning Application Non-ducted airconditioners: To AS/NZS 3823.1.1

Performance of electrical appliances - Airconditioner and heat numns (Non-ducted airconditioners and heat and ried purings (Norraducted aircontainliners a pumps - Testing and rating for performance). Ducted airconditioners: To AS/NZS 3823.1.2 \_Performance of electrical appliances - Aircon

and heat pumps (Ducted airconditioners and air-to-air heat pumps - Testing and rating for performance) and AS/NZS 3823.2 Performance of electrical appliances minimum energy performance standards (MEPS reauirements)

Filters: Washable panel type with minimum average refficiency to AS 1324.2\_Air filters for use in gene ventilation and airconditioning (Methods of test) Refrigeration pipes: To AS/NZS 1571\_Copper -Seamless tubes for airconditioning and refrigeration Condensate drains: Provide tranned > DN 20 condensate drains to AS/NZS 3666 1 Air-handling and water systems of buildings - Microbial control (Design, nstallation and commissionina) Flexible Ductwork: To AS 4254 1 Ductwork for airhandling systems in buildings (Flexible duct).
Rigid Ductwork: To AS 4254.2\_Ductwork for air-handling

systems in buildings (Rigid duct).
Insulation and sealing: To NCC 2022 (ABCB Housing

## Provisions) 13.7.2 Insulation of services External works

Fences and external walls Steel posts: Galvanize to AS/NZS 4680 Hot-dip galvanized (zinc) coatings on fabricated ferrous articles. Brick fences: Follow the guidance given in Clay Brick and Paver Institute Technical Notes 21A (The Design of Freestanding Clay-Brick Walls) and 21B(Brick Beam

## To be in accordance with the Swimming Pools Act 1992 and AS 1926.1\_Swimming pool safety (Safety barriers for swimming pools) & AS 1926.2 Swimming pool safety (Location of safety barriers for swimming pools). Refer to architectural details of swimming pool fencing.

concrete paving over the prepared base course to 2734\_Asphalt (hot-mixed) paving - Guide to good practice. Unit paving Standard: To AS/NZS 4455.2\_Masonry units, pavers, flags and segmental retaining wall units Pavers and flags).
n-situ concrete paving: To AS 1379\_Specification and

Hot-mixed pavina: Place and compact asphaltic

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Issue for DA

Contact: info@buckandsimple.com

A Issue for DA

Peak Mojo 34 Tatiara Crescent, North Narrabeen Tim and Lucy Specifications

23/07/2025 11:38:25 AM

## BASIX™Certificate

Single Dwelling



Project name	Peak House		
Street address	34 TATIARA Crescent NORTH NARRABEEN 2101		
Local Government Area	Northern Beaches Counc	il	
Plan type and plan number	Deposited Plan DP23838	32	
Lot no.	308		
Section no.			
Project type	dwelling house (detached)		
No. of bedrooms	4		
Project score			
Water	<b>✓</b> 42	Target 40	
Thermal Performance	✓ Pass	Target Pass	
Energy	<b>✓</b> 72	Target 72	
Materials	✓ -50	Target n/a	

Description of project

Certificate Prepared by	
Name / Company Name: The Trustee for buckandsimple Unit Trust	
ABN (if applicable):	

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
garage floor - concrete slab on ground, 60% cement substitute.	24	none	nil	
external wall: cavity brick; frame: timber - H2 treated softwood.	80	0.50 (or 1.20 including construction);foil-foam composite board	nil	wall colour: Light (solar absorptance < 0.48)
external wall: framed (metal clad); frame: timber - H2 treated softwood.	40	3.00 (or 3.50 including construction); fibreglass batts or roll + reflective foil in the cavity	nil	wall colour: Medium (solar absorptance 0.48-0.7)
internal wall: single skin masonry; frame: no frame.	84	none	nil	
internal wall: plasterboard; frame: timber - H2 treated softwood.	29	fibreglass batts or roll	nil	
ceiling and roof - flat ceiling / flat roof, framed - metal roof, light steel frame.	141	ceiling: 5 (up), roof: foil backed blanket with the measure to address thermal bridging; ceiling: fibreglass batts or roll; roof: foil backed blanket.	Install continuous insulation layer with at least R0.6 above or below the roof frame members	roof colour: light (solar absorptance < 0.38); ceiling are fully insulated

Note	Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.
Note	If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (6)) of the National Construction Code.
Note	In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.
Note	Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.
v.	Department of Blancies and uses body now and as Various 4.02 / ELPALVETTIS 02.04.0 Coefficies No. 17000155 Monday 45 line 2025

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
W1.4	2200.00	1400.00	aluminium, single glazed (U- value: <=4.0, SHGC: 0.60 - 0.74)	external louvre/vertical blind (adjustable)	not overshadowed
W1.5	2200.00	3000.00	aluminium, single glazed (U- value: <=4.0, SHGC: 0.60 - 0.74)	external louvre/vertical blind (adjustable)	not overshadowed
W1.8	1000.00	1950.00	aluminium, single glazed (U- value: <=4.0, SHGC: 0.60 -	eave 600 mm, 300 mm above head of window or	2-4 m high, 2-5 m away

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifi
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas boosted solar with a performance of more than 45 STCs.	~	~	-
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: 10 star (average zone)		~	~
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 10 star (average zone)		v	-
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: gas fixed flued heater - non ducted; Energy rating: 6 Star		~	-
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 10 star (average zone)		~	~
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, open to façade; Operation control: manual on / timer off		V	-
Kitchen: individual fan, ducted to façade or roof; Operation control: manual on / timer off		-	-
Laundry: natural ventilation only, or no laundry; Operation control: n/a		~	-
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting- diode (LED) lamps.		~	~
Natural lighting			
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	U	· ·	

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: gas fixed flued heater - non ducted; Energy rating: 6 Star		~	-
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 10 star (average zone)		~	~
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, open to façade; Operation control: manual on / timer off		~	-
Kitchen: individual fan, ducted to façade or roof, Operation control: manual on / timer off		~	-
Laundry: natural ventilation only, or no laundry; Operation control: n/a		~	~
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting- diode (LED) lamps.		~	~
Natural lighting			
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	v	~	~
X Department of Planning, Housing and www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 17999/ Infrastructure	15S Mc	inday, 16 June 2025	page 10

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Target 72

	objectively	00000001100
	No. Description	Date
Contact: info@buckandsimple.com  ABN: 86 106 604 025  NSW #8631 VIC #19664  Duckandsimple.com	A issue for DA	23/07/20
Issue for DA		

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 118 square metres of the site.	~	~	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 8 L/min plus spray force and/or coverage tests) in all showers in the development.		~	V
The applicant must install a tollet flushing system with a minimum rating of 6 star in each toilet in the development.		~	~
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		~	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		~	
Swimming Pool			
The swimming pool must not have a volume greater than 5.4 kilolitres.	~	~	
The swimming pool must have a pool cover.		~	
The swimming pool must be outdoors.	v	~	

	skylights							
The applicant must install th	e windows, glaze		hading devices described in the specifications must be satisfied to			_		-
The dwelling may have 1 sk	ylight (<0.7 squar	e metres) whi	ch is not listed in the table.			V	~	-
The following requirements	must also be satis	fied in relation	n to each window and glazed do	or:		V	~	~
<ul> <li>The applicant must install table.</li> </ul>	windows and glaz	ed doors in a	ccordance with the height and v	vidth, frame and glazing types I	listed in the	v	~	~
			reater than that listed and a Sol lculated in accordance with Nat				~	~
<ul> <li>Vertical external louvres a closed.</li> </ul>	and blinds must ful	ly shade the g	glazed window or door beside w	hich they are situated when ful	ly drawn or	V	~	~
	Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.					~	~	~
	ed 3 square metro	es (the 3 squa	le below, in accordance with the re metre limit does not include t sle).			•	~	~
Skylight no.		Maximum a	area (m²)	Skylight specification		Shadin	g device	
S01		1.98		aluminium, double/argon f SHGC: 0.21 - 0.24)	ill clear (U: <=3.5,	no shao	ling	
Glazed windowldoor no.	Maximum he	ight (mm)	Maximum width (mm)	Frame and glass specification	Shading dev (Dimension		Overshadowir	g

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): no heating		~	
The applicant must install the following pump for the swimming pool in the development, or a pump with a higher energy rating: single speed with a performance of 8 stars or higher.		~	
The applicant must install a timer for the swimming pool pump in the development.		~	
Other			
The applicant must install a gas cooktop & gas oven in the kitchen of the dwelling.		~	
The applicant must install a fixed outdoor clothes drying line as part of the development.		~	

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Do-it-yourself Method			
General features			
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.	~	~	~
The conditioned floor area of the dwelling must not exceed 300 square metres.	v	~	~
The dwelling must not contain open mezzanine area exceeding 25 square metres.	~	~	~
The dwelling must not contain third level habitable attic room.	v	~	~
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	¥	~	V
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.	~	~	~
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			U

Construction		Additional insulation required	Options to address thermal bridging	Other specifications
loor - suspended floor above enclosed subfloor, AAC structural panel (> 200 mm); frame: light steel frame.	120	nil with one of the measures to address thermal bridging;polystyrene	Install additional R1.0 (down)     (or R1.0 (down) including the additional insulation between floor framing), or • Install continuous insulation layer with at least R0.4 above or below the floor framing.	reflective foil facing the subfloor; subfloor wall insulation: None
Toor - above habitable rooms or mezzanine, AAC structural panel (> 200 mm); frame: light steel frame	97	nil;rockwool batts, roll or pump-in	nil	

BASIX	www.basix.nsw.gov.au	Version: 4.03 / EUCALYPTUS_03_01_0	Certificate No.: 1799915S	Monday, 16 June 2025	pa

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
WG.2	2200.00	4800.00	aluminium, single glazed (U- value: <=4.0, SHGC: 0.60 - 0.74)	external louvre/vertical blind (adjustable)	not overshadowed
East facing					
W1.7	2200.00	3000.00	aluminium, single glazed (U- value: <=4.0, SHGC: 0.60 - 0.74)	external louvre/vertical blind (adjustable)	not overshadowed
W1.8	2200.00	3000.00	aluminium, single glazed (U- value: <=4.0, SHGC: 0.60 - 0.74)	external louvre/vertical blind (adjustable)	not overshadowed
W1.6	2200.00	2000.00	aluminium, single glazed (U- value: <=4.0, SHGC: 0.60 - 0.74)	external louvre/vertical blind (adjustable)	not overshadowed
South facing					
WG.4	2200.00	4800.00	aluminium, single glazed (U- value: <=4.0, SHGC: 0.60 - 0.74)	external louvre/vertical blind (adjustable)	not overshadowed
West facing				,	
WG.1	2200.00	2400.00	aluminium, single glazed (U- value: <=4.0, SHGC: 0.60 - 0.74)	external louvre/vertical blind (adjustable)	not overshadowed
WG.3	2200.00	5400.00	aluminium, single glazed (U- value: <=4.0, SHGC: 0.60 - 0.74)	external louvre/vertical blind (adjustable)	not overshadowed
W1.1	2200.00	1500.00	aluminium, single glazed (U- value: <=4.0, SHGC: 0.60 - 0.74)	external louvre/vertical blind (adjustable)	not overshadowed
W1.2	2200.00	1500.00	aluminium, single glazed (U- value: <=4.0, SHGC: 0.60 - 0.74)	external louvre/vertical blind (adjustable)	not overshadowed
W1.3	2200.00	1400.00	aluminium, single glazed (U- value: <=4.0, SHGC: 0.60 - 0.74)	external louvre/vertical blind (adjustable)	not overshadowed

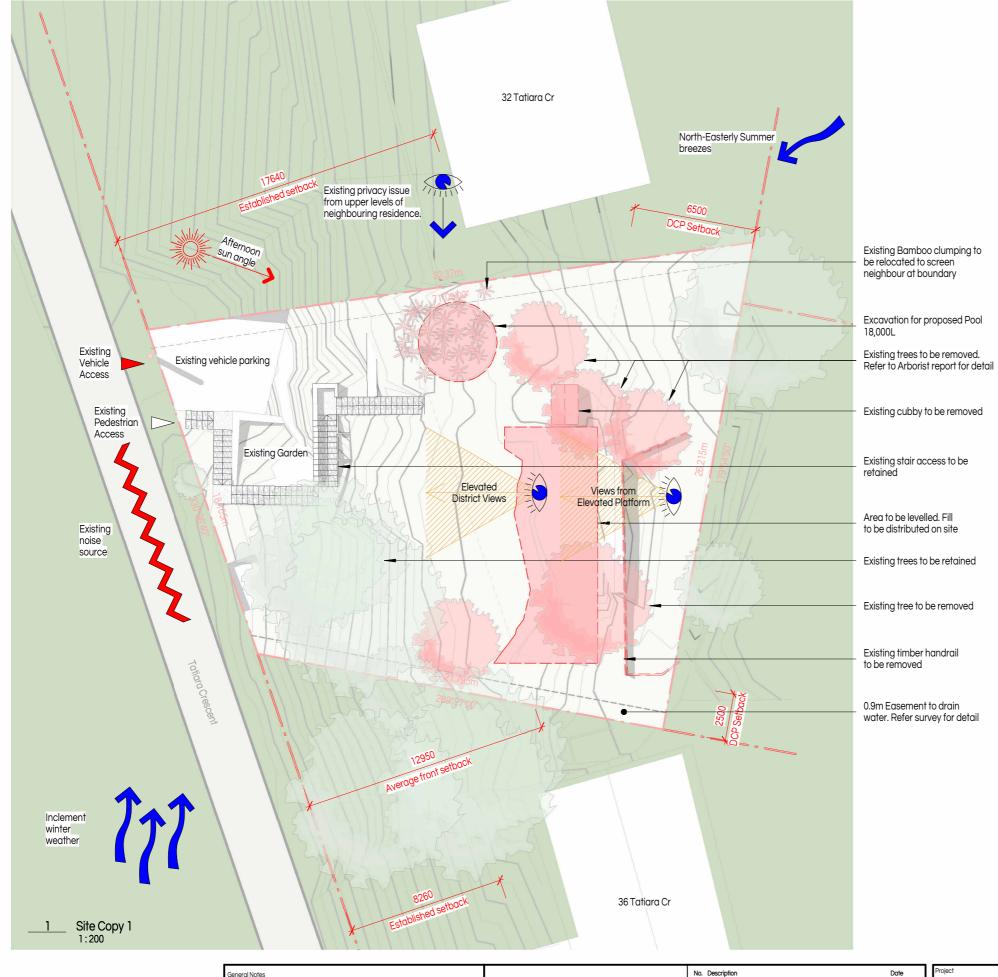
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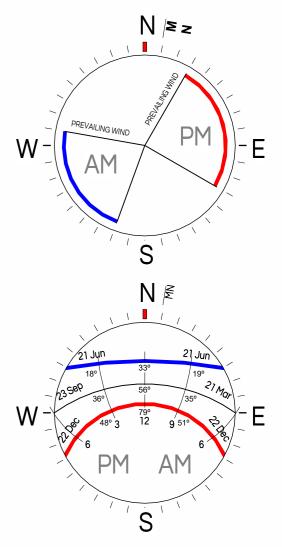
these commitments, "applicant" means the person carrying out the development.						
Commitments identified with a 🎷 in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).						
Commitments identified with a 🐓 in the "Show on CCICDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.						
Commitments identified with a 🎺 in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.						

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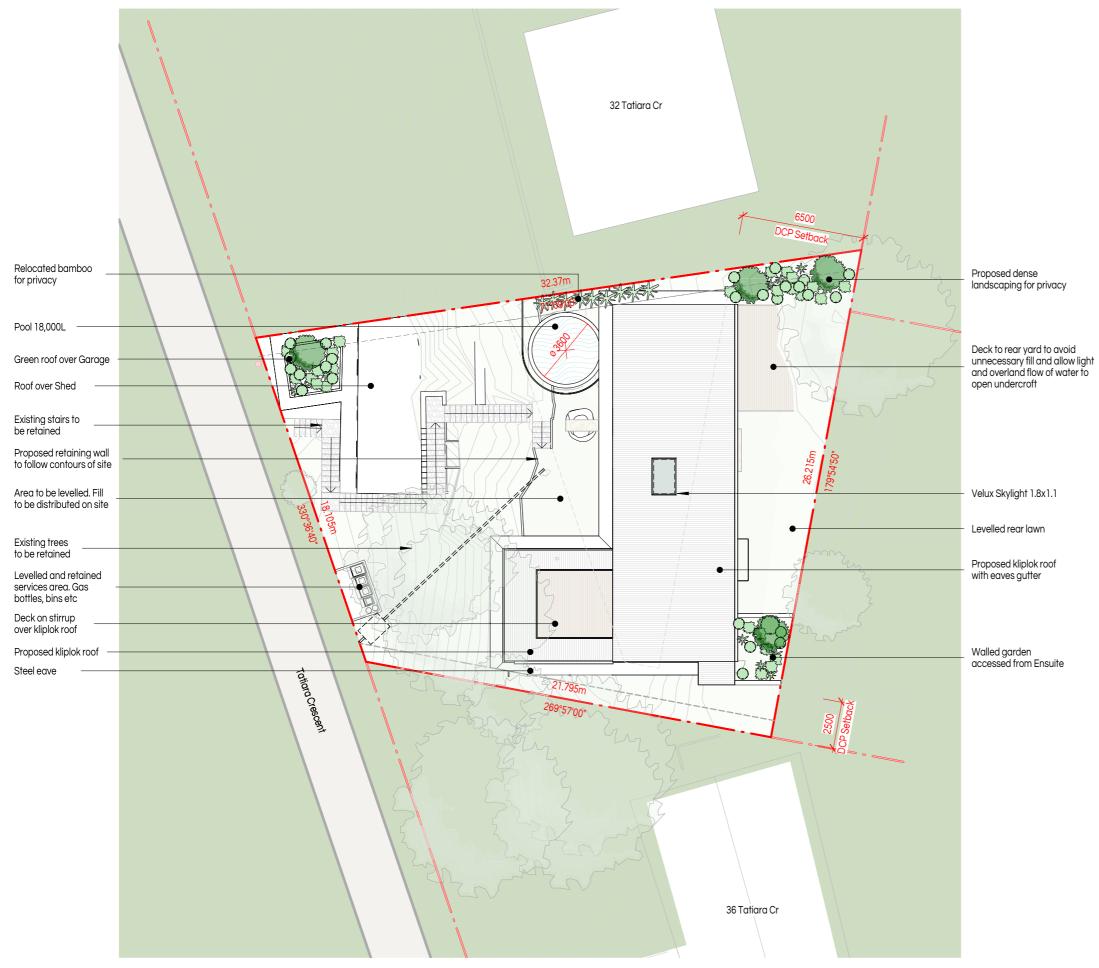
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	106 604 025				
NSW #8631	VIC #19664				
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Issue for DA

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l	Issue for DA	23/07/2025

Project Peak Mojo	S
Location 34 Tatiara Crescent, North Narrabeen	Pi
Client Tim and Lucy	P
Drawing Site Layout and Site Analysis - Existing & Demolition	l

	Scale @ A3		Drawn by	Checked by	
	As indicated		BS	BS	
	Project Issue Date 08/04/2025		Sheet Issue Date 23/07/2025		
	Project number Drav	wing:	<b>*</b>	Revision	
	1283		D003	Α	







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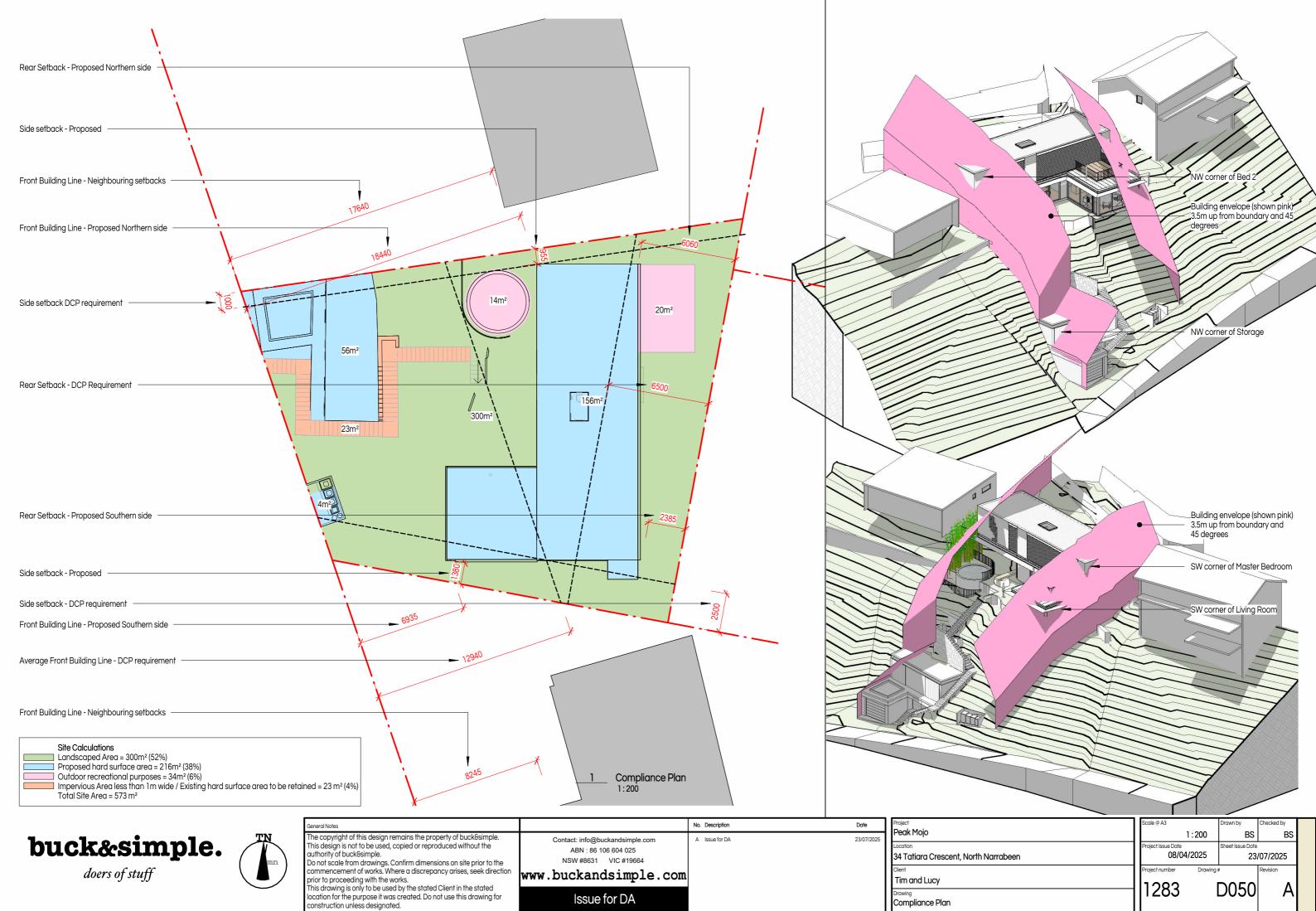
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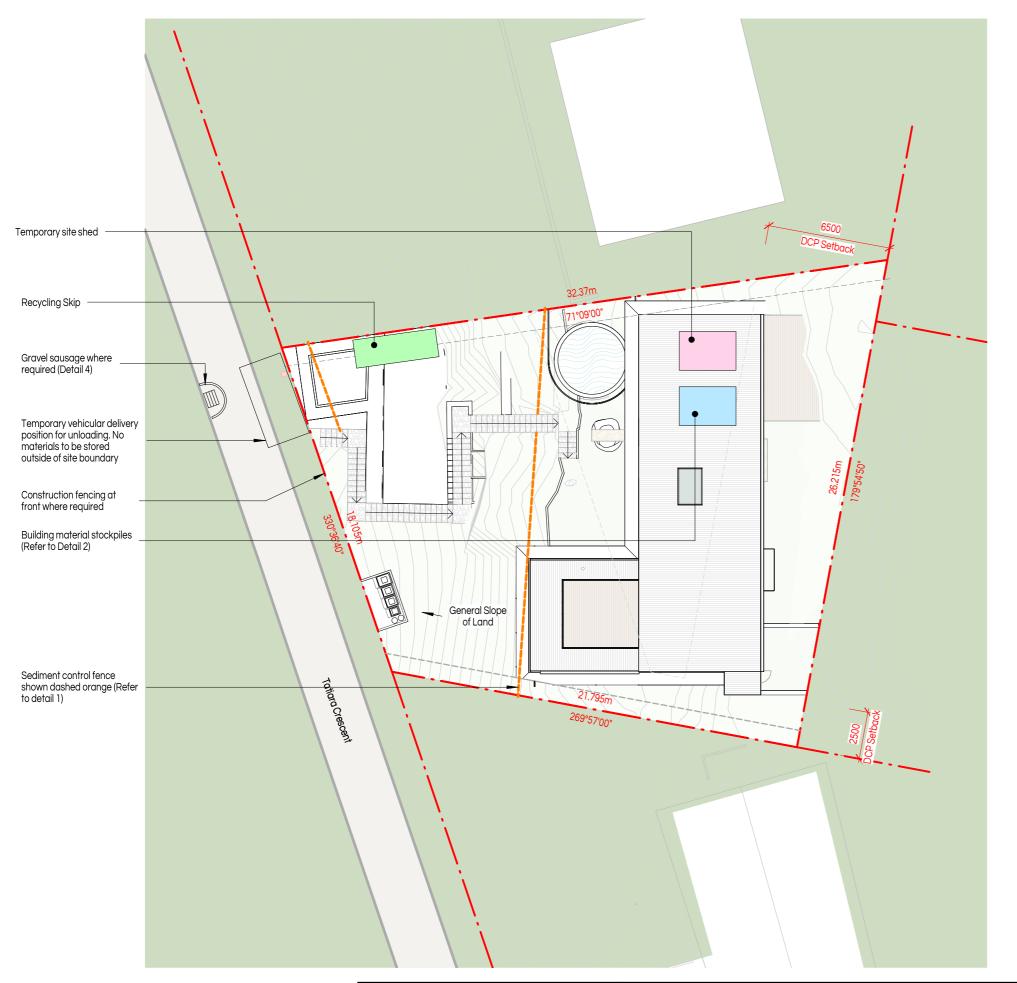
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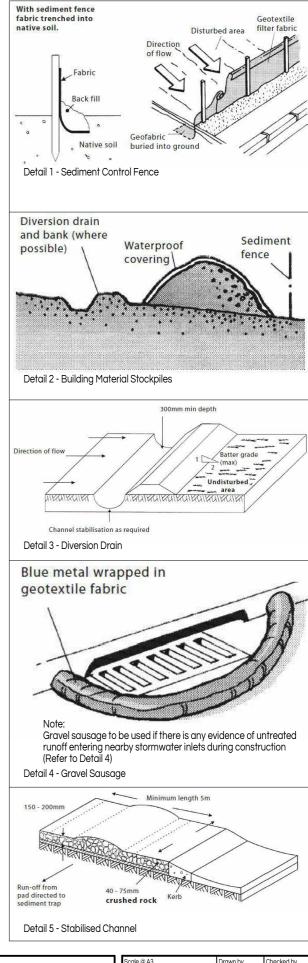
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Project	
Peak Mojo	
Location	
34 Tatiara Crescent, North Narrabeen	
Client	
Tim and Lucy	
Drawing	
Site Layout - Proposed	- 11

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		1:200	BS	BS
	Project Issue Date 08/04/2025		Sheet Issue Date 23/07/2025	
	Project number Drawing #		*	Revision
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Issue for DA

No.	Description	Date	Project
Α	Issue for DA	23/07/2025	Peak Mojo
			Location
			34 Tatiara C
			Client
			Tim and Lu
			Drawing Erosion, Sec

Project	11	Scale @ A3		Drawn by	Checked by	
Peak Mojo	Ш	As indic	ated	BS	BS	
Location	11	Project Issue Date		Sheet Issue Date		1
34 Tatiara Crescent, North Narrabeen	Ш	08/04/	2025	23,	/07/2025	
Client	П	Project number	Drawing :	#	Revision	1
Tim and Lucy	Ш	1202	1	חפח	۸	
Drawing Erosion, Sediment, Stormwater Control & Waste Management Plan	$\ $	1203	l	טסטע	A	



Native Grasses (0.5-0.9m): Mix of Poa Poiformis (left) Lomandra Tanika (middle) Lomandra Longifolia (right), or similar







2) Native Shurbs (1.5m): Mix of Correa Alba (left), Westringia Fruticosa (right) or similar





3)
Native Feature Trees
(3-4m): Corymbia Ficifolia
(left), Eucalyptus
Pauciflora (right) or similar





4) Buffalo grass or similar



5)
Non climbable planting
(1.5 - 2.5m):
Bamboo (left), Star
Jasmine Vine (right) or
similar





6) Hard surfaces: Left - PV) Recycled (semipermeable) Paving. Right - DE) FSC hardwood decking in natural finish





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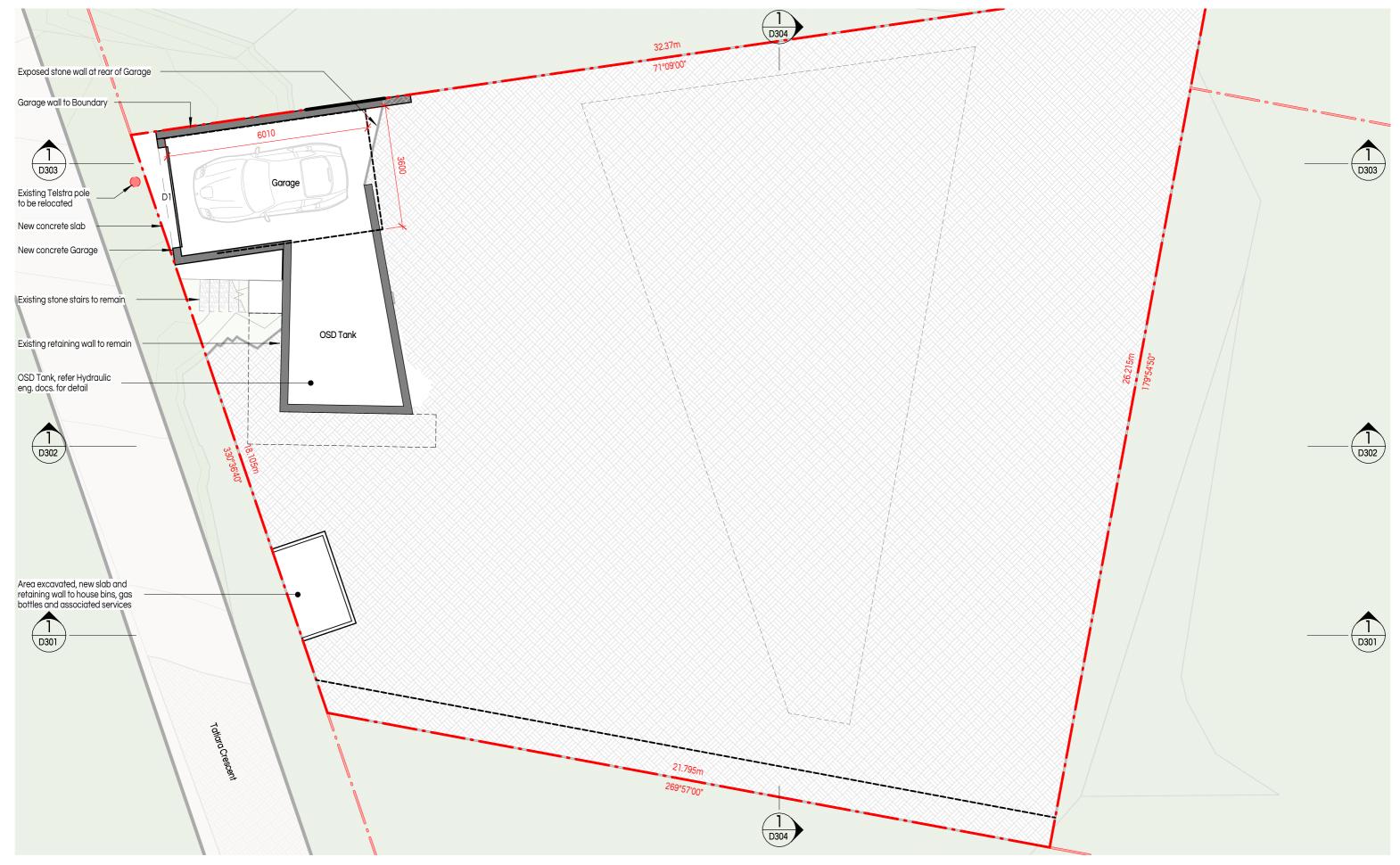
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A Issue for DA

Date	Project Peak Mo
23/07/2025	ι∟
	Location 34 Tatia
	Client Tim and
	Drawing

Project Peak Mojo	\$
Location 34 Tatiara Crescent, North Narrabeen	Ī
Client Tim and Lucy	F
Drowing Landscape Plan	l

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			BS	BS
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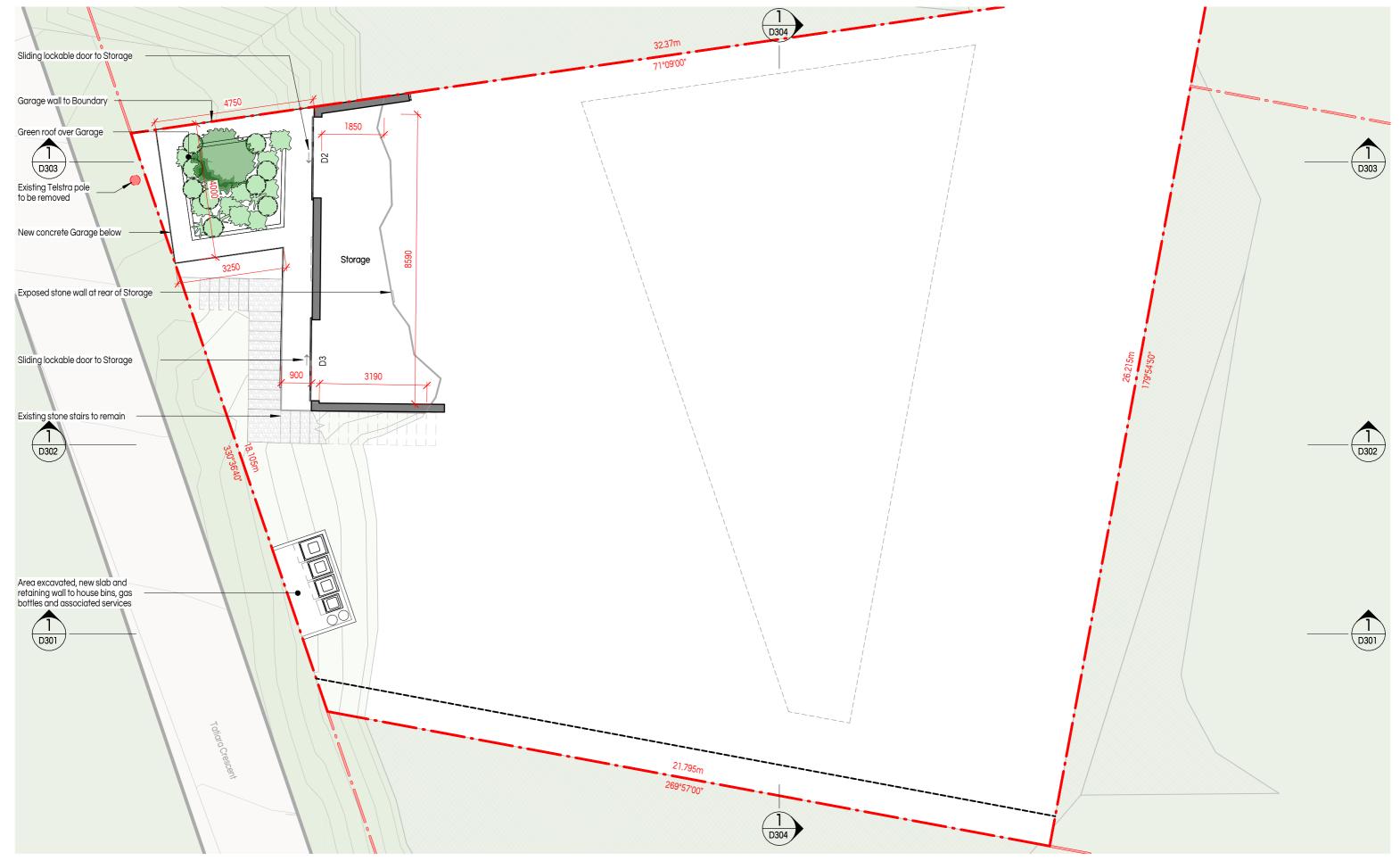
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A Issue for DA

No. Description

Peak Mojo 34 Tatiara Crescent, North Narrabeen Tim and Lucy Street Level Floor Plan

Scale @ A3		Drawn by	Checked by	
1:100		BS	BS	
Project Issue Date 08/04/2025		Sheet Issue Date 23/07/2025		
Project number	Project number Drawing #		Revision	
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ABN: 86 106 604 025	
Contact: info@buckandsimple.co	om

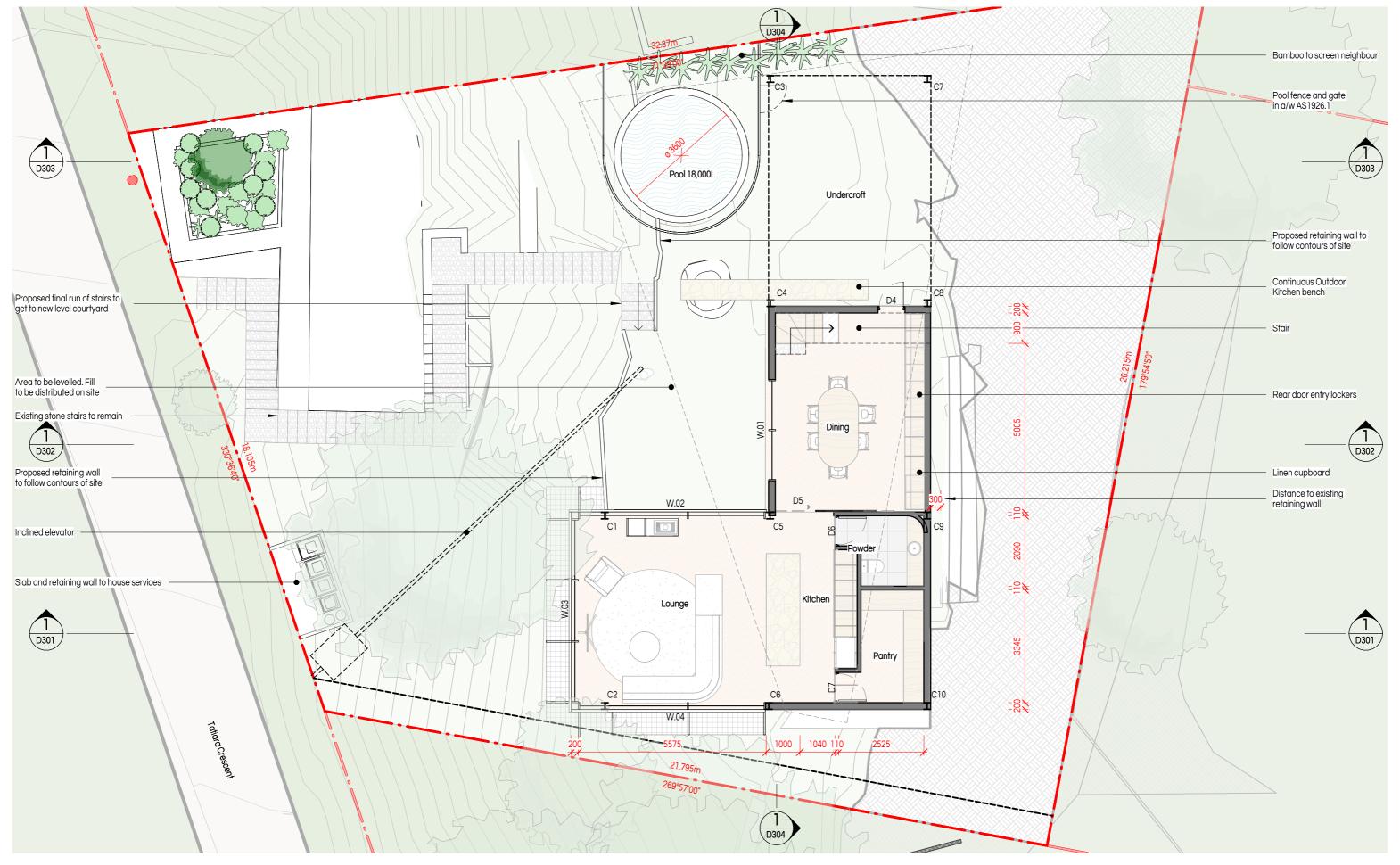
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No. Description

A Issue for DA

7	Project Peak Mojo	S
	A Tatiara Crescent, North Narrabeen	Р
	Client Tim and Lucy	P
ı	Drawing Storage Floor Plan	

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Issue for DA

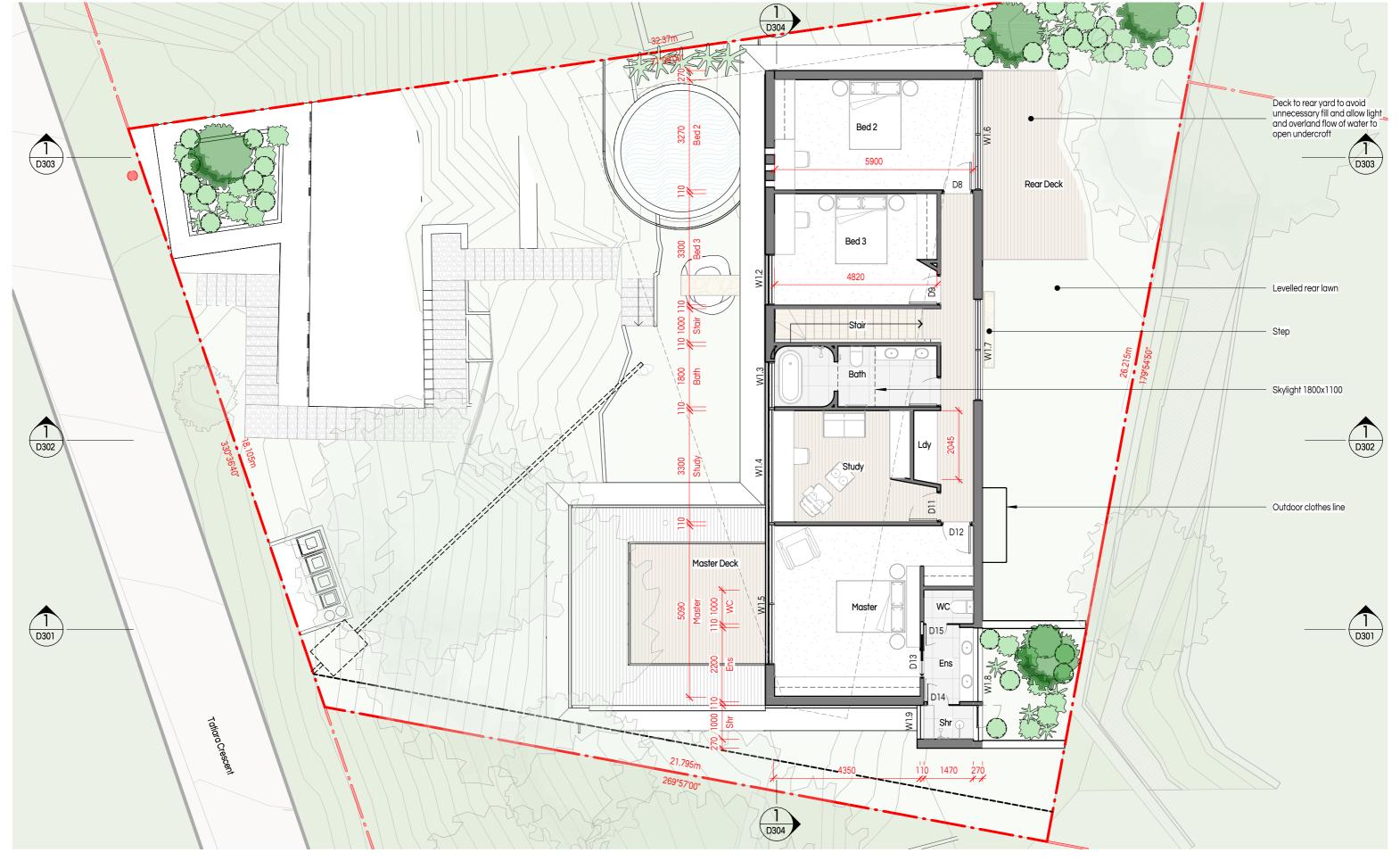
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Date

No. Description

Peak Mojo 34 Tatiara Crescent, North Narrabeen Tim and Lucy Ground Floor Plan

Scale @ A3		Drawn by	Checked by
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Project Issue Date 08/04	1/2025	Sheet Issue Date	/07/2025
Project number	Drawing :	#	Revision
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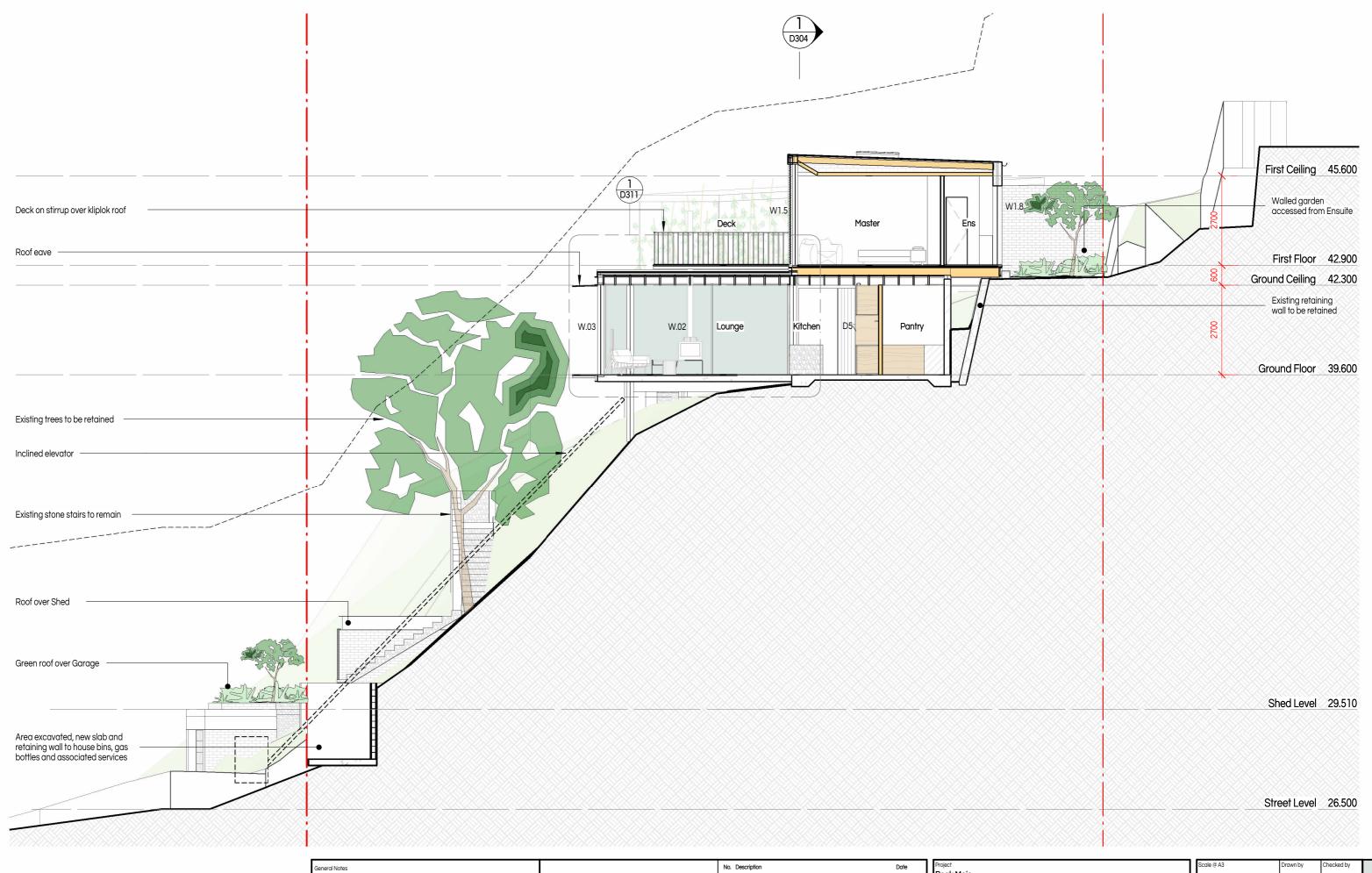
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Issue for DA

 No.
 Description
 Date

 A
 Issue for DA
 23/07/2025

Project
Peak Mojo
Location
34 Tatiara Crescent, North Narrabeen
Client
Tim and Lucy
Drawing
First Floor Plan



General Notes		No. Description	Date
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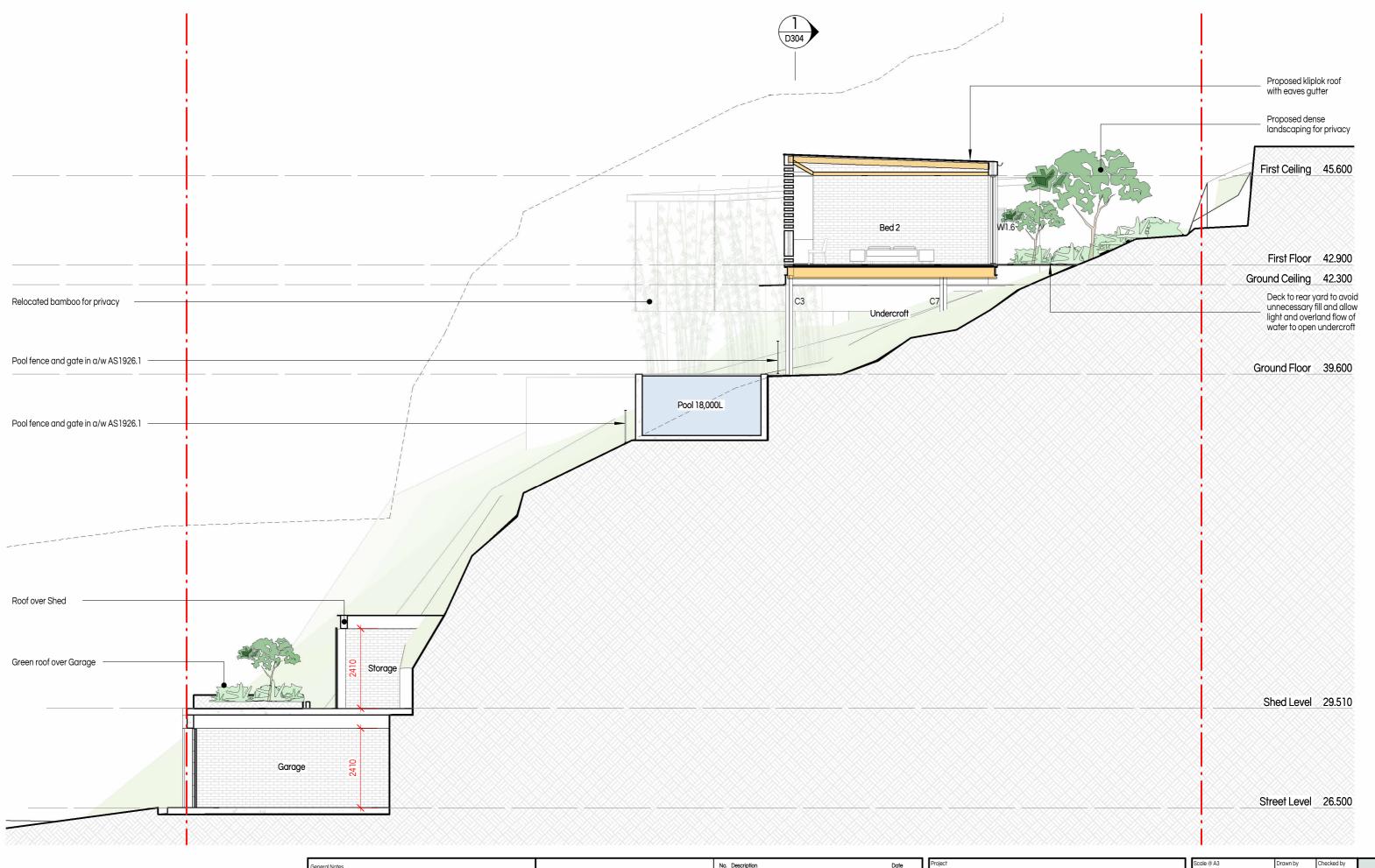
Project Peak Mojo	Scale @ A3
Location 34 Tatiara Crescent, North Narrabeen	Project Issu
Client Tim and Lucy	Project nun
Drawing Section AA	



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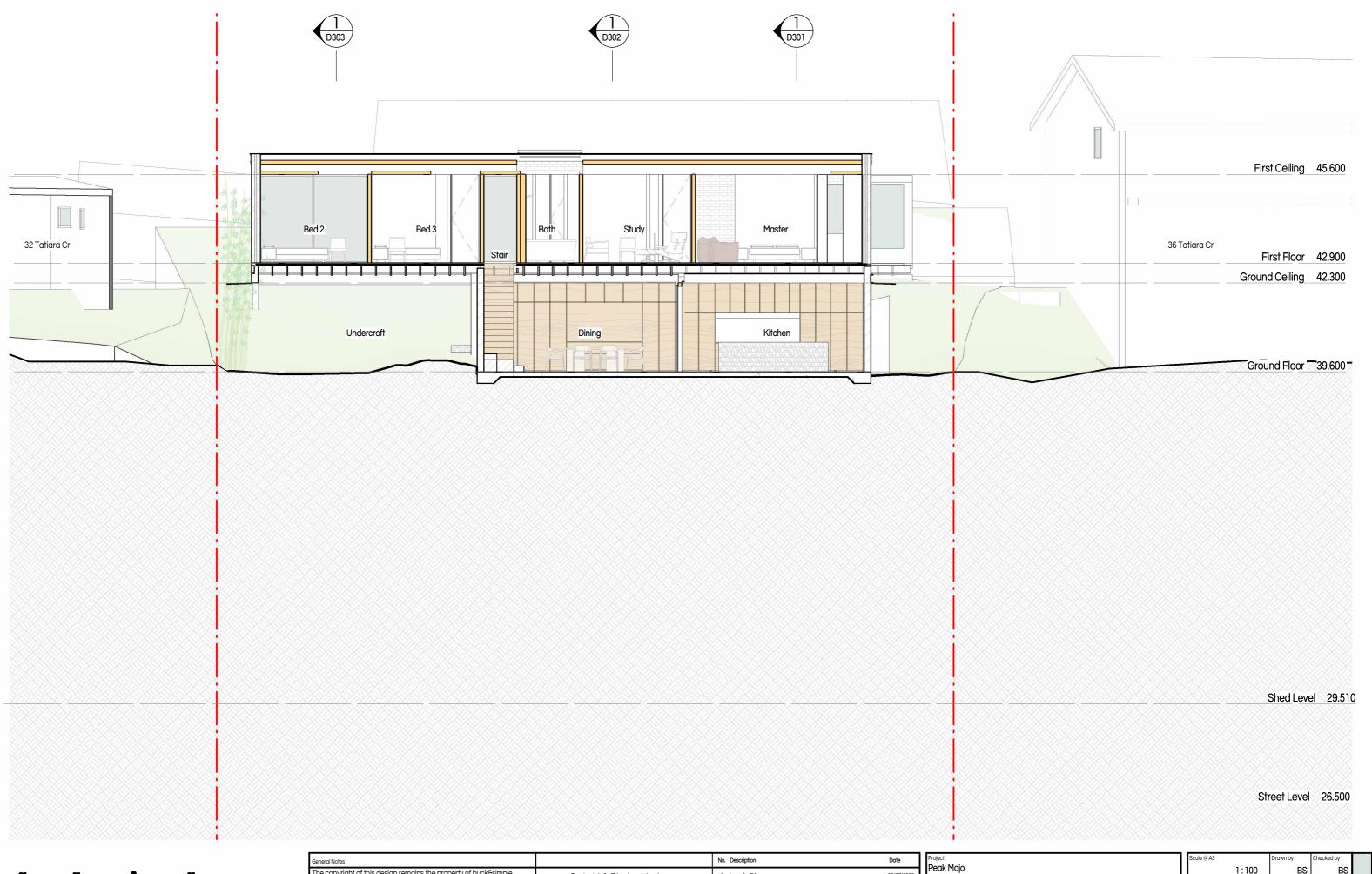
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5	Location 34 Tatiara Crescent, North Narrabeen	F
	Client Tim and Lucy	F
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П	Scale @ A3		Drawn by	Checked by	
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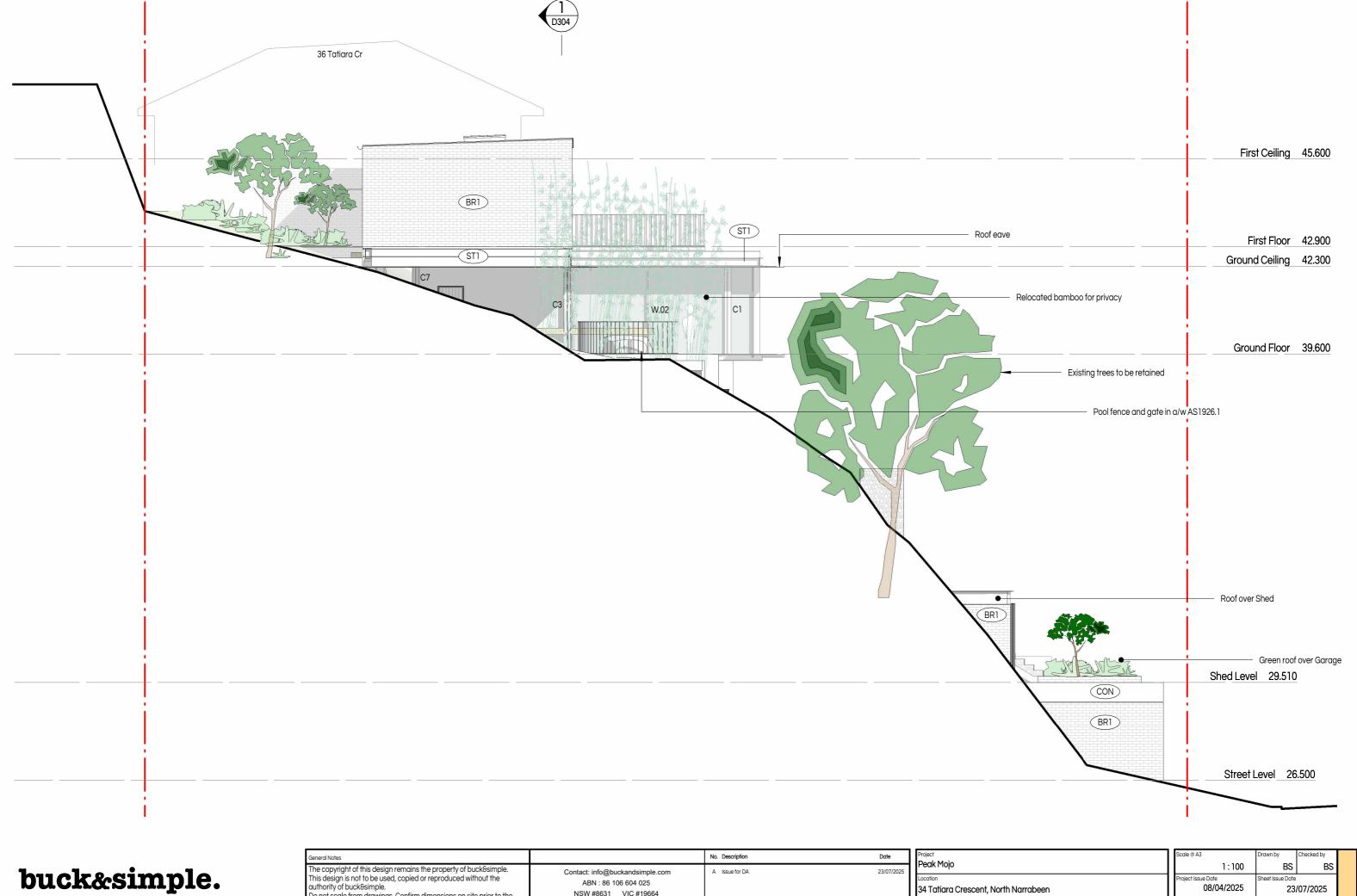
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Client	Project number	Drawing #
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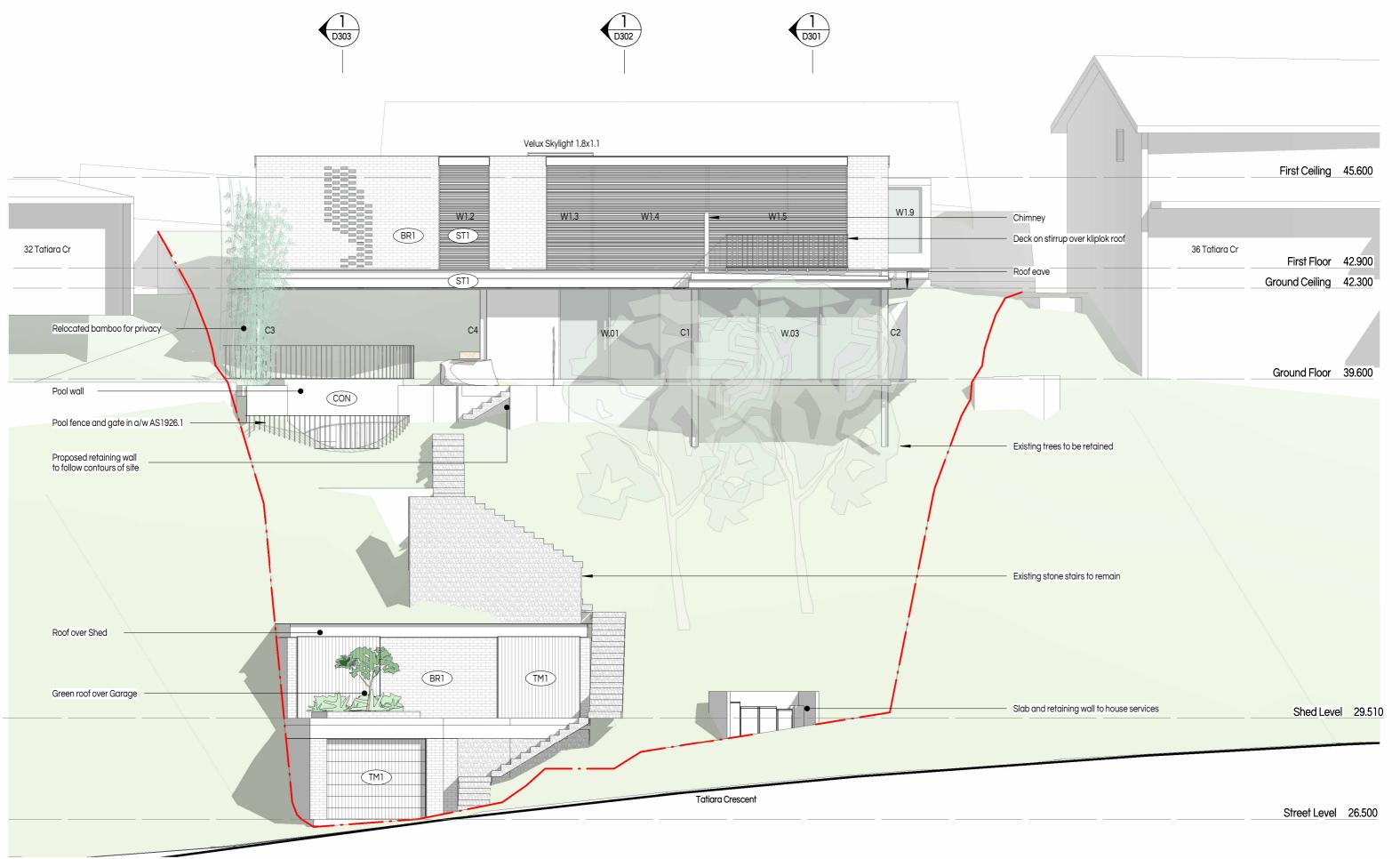
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5	Location 34 Tatiara Crescent, North Narrabeen	Pı
	Client Tim and Lucy	Pi
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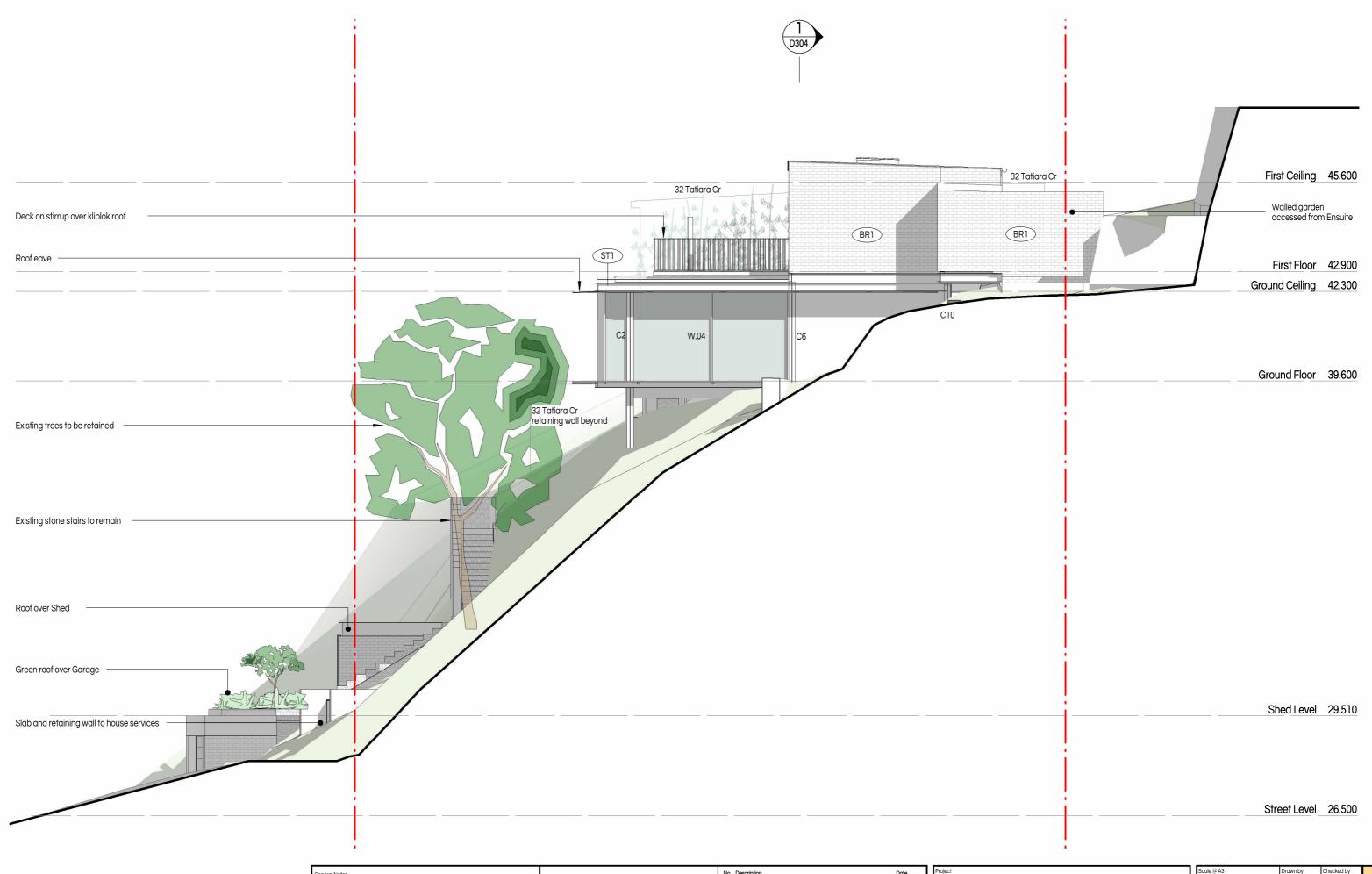
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Location 34 Tatiara Crescent, North Narrabeen	Project Issue Date 08/04/20	Sheet Issue D
Client Tim and Lucy	11 '	Drawing #
Drawing North Elevations	1283	D40



General Notes		No. Description	Date
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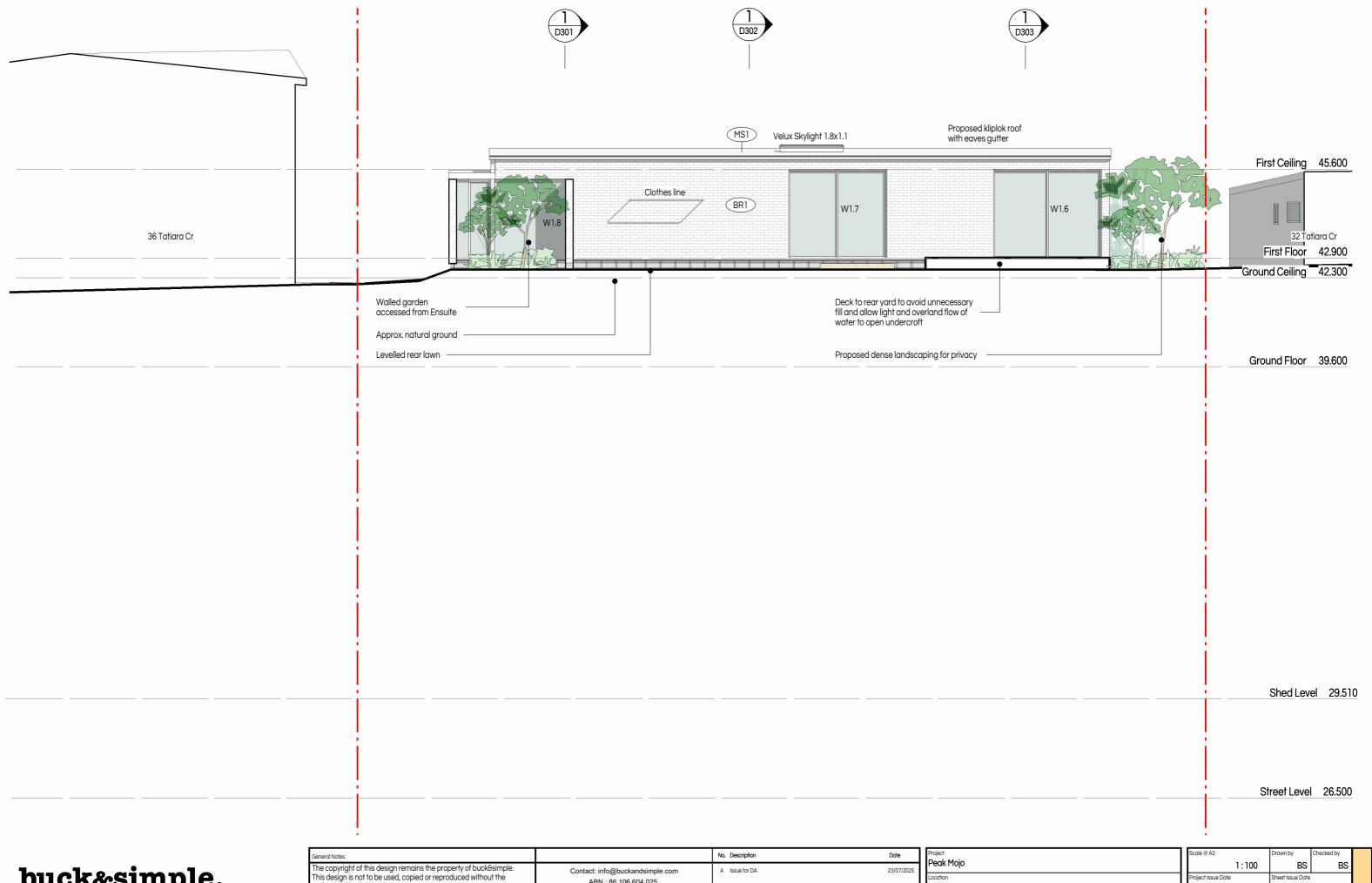
Project Peak Mojo	Scale @ A3
Location 34 Tatiara Crescent, North Narrabeen	Project Issue Dat <b>08/</b>
Client Tim and Lucy	Project number
Drawing West Elevations	1283

П	Scale @ A3		Drawn by	Checked by	
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General Notes		No. Description	Date
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Drawing South Elevations	1283		<b>U</b> 4
Client Tim and Lucy	Project number	Drawing :	# <b></b>
34 Tatiara Crescent, North Narrabeen	Project Issue Date 08/04		Sheet I
Peak Mojo		1:100	Drawn



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Project	Scale @ A3		Drawn by
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Location	Project Issue Date		Sheet Iss
34 Tatiara Crescent, North Narrabeen	08/0	4/2025	
Client	Project number	Drawing	#
Tim and Lucy			
Drawing	<del>  </del>   1283		<b>U4</b> (
East Elevations			

23/07/2025



BR1 - Brick





ST1 - Black painted metal / black powdercoat



TM1 - Natural timber or timber look aluminium



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Issue for DA

No. Description A Issue for DA

Project	Scale
Peak Mojo	
Location	Proje
34 Tatiara Crescent, North Narrabeen	- 11
Client	Proje
Tim and Lucy	-
Drawing Perspectives & Materials	

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Project Issue Date 08/04	/2025	Sheet Issue Date	/07/2025	
Project number	Drawing :	#	Revision	1
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l <b>I</b>			1	



BR1 - Brick





ST1 - Black painted metal / black powdercoat



TM1 - Natural timber or timber look aluminium



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Issue for DA

No. Description

Peak Mojo 34 Tatiara Crescent, North Narrabeen Tim and Lucy Drawing
Perspectives & Materials

Scale @ A3		Drawn by	Checked by	Γ
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Project Issue Date 08/04	/2025	Sheet Issue Date	/07/2025	
Project number	Drawing :	#	Revision	l
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BR1 - Brick





ST1 - Black painted metal / black powdercoat



TM1 - Natural timber or timber look aluminium



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General Notes		No. Descript
prior to proceeding with the works.	Contact: info@buckandsimple.com ABN: 86 106 604 025 NSW #8631 VIC #19664 www.buckandsimple.com	A Issue for
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34 Tatiara Crescent, North Narrabeen	08/	04/2025	23.	/07/2025
Client	Project number	Drawing	#	Revision
Tim and Lucy	1283		D903	
Drawing Perspectives & Materials	1203		Dans	A



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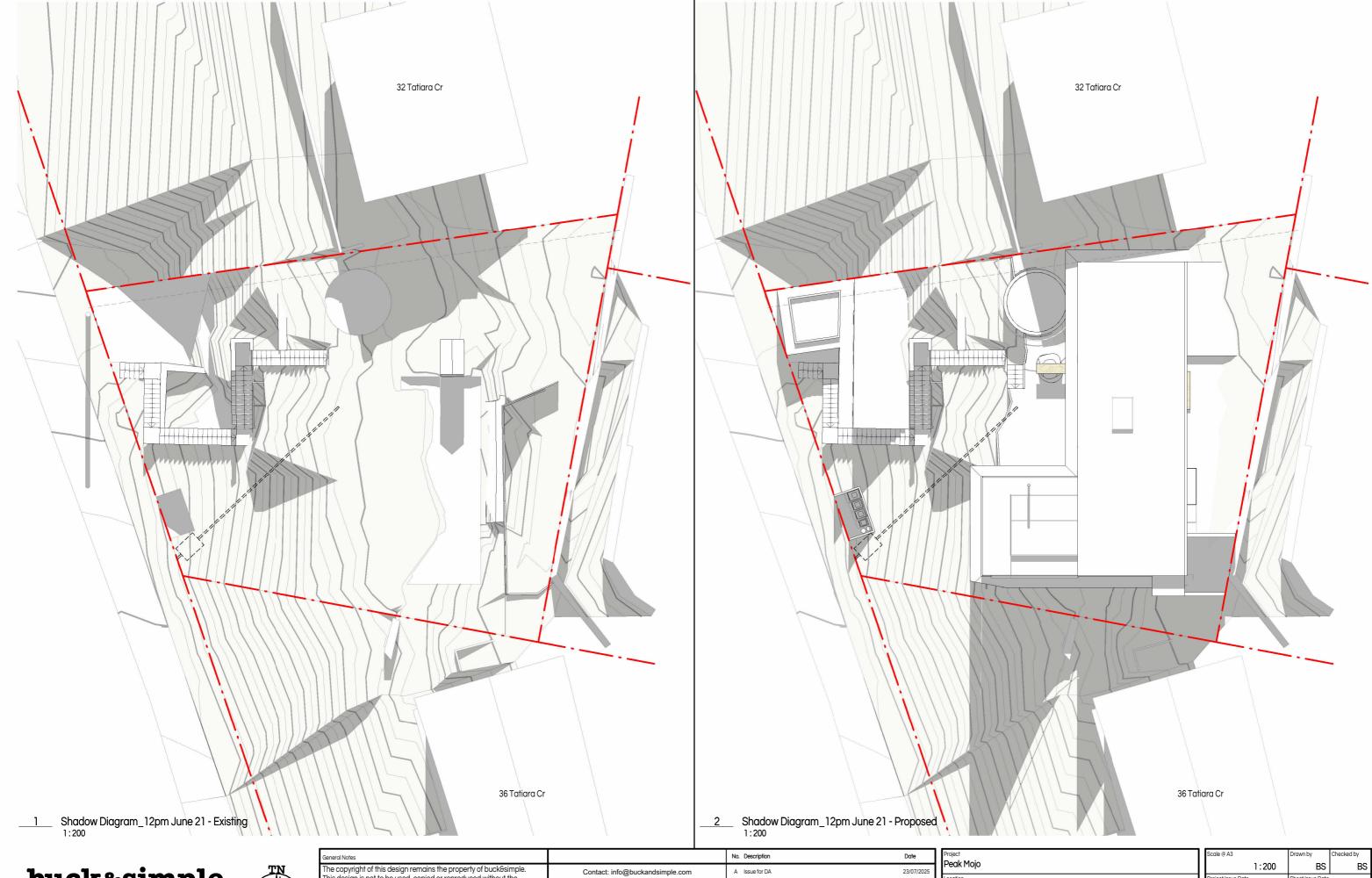
ABN: 86 106 604 025 NSW #8631 VIC #19664

www.buckandsimple.com Issue for DA

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١	Issue for DA	23/07/2025

Project	П	١
Peak Mojo		
Location	П	F
34 Tatiara Crescent, North Narrabeen		
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Shadow Diagram_9am June 21st		

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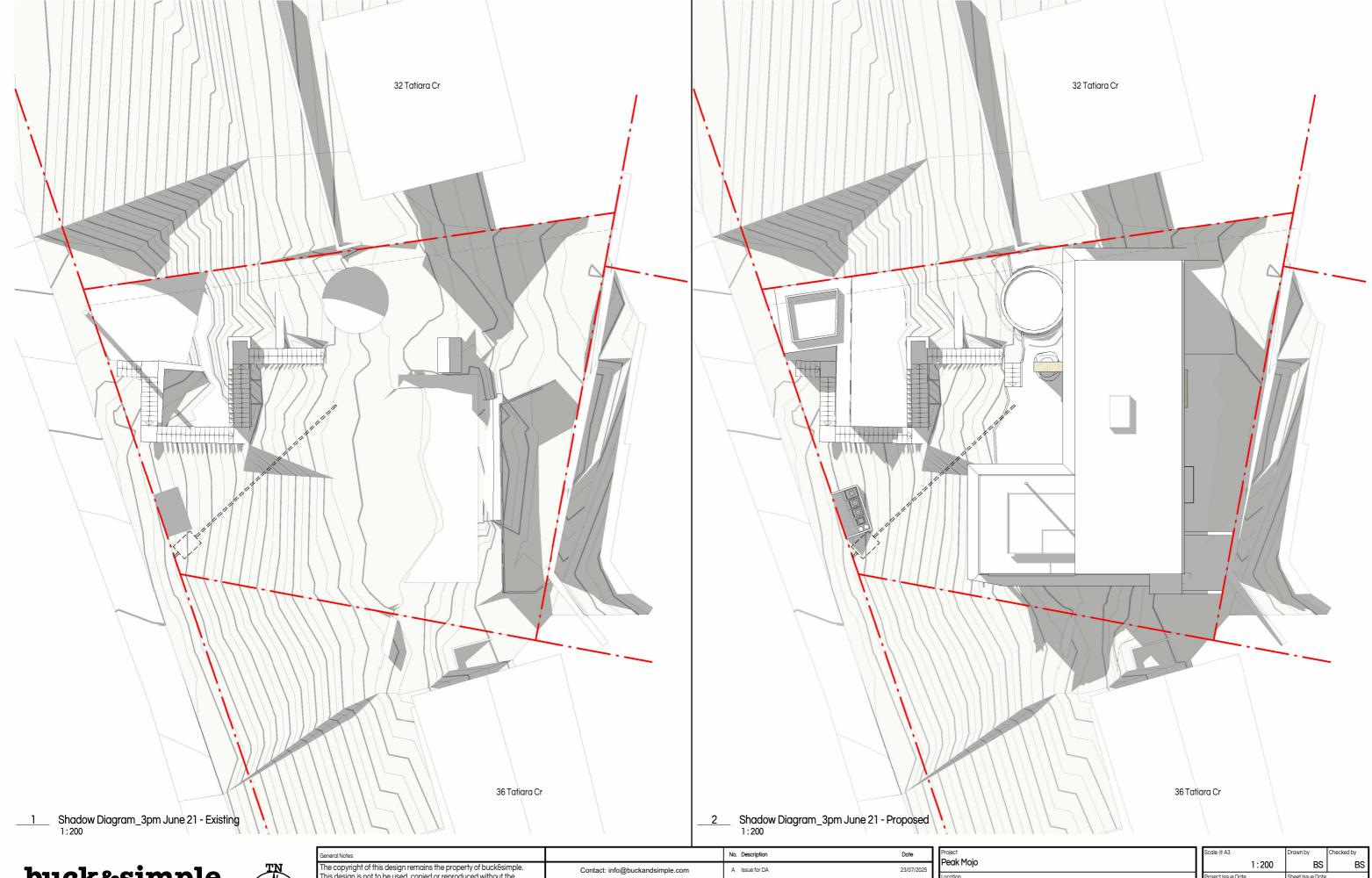
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Issue for DA

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Project	Ş
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Client	F
Tim and Lucy	
Drawing Shadow Diagram_12pm June 21st	

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٥.	Description	Date
١	Issue for DA	23/07/2025

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