

NatHERS Thermal Comfort Inclusions
External Floors
Concrete Slab on Ground
Suspended Timber floor (enclosed) with R3.0 (insulation only value)
Internal Floors
Suspended Timber floor between levels
External Walls
FC Cladding with R3.0 (insulation only value)
Reverse brick veneer with R2.86 (insulation only value)
No insulation to garage walls
External Colour:
Medium (SA 0.475-0.70)
Walls within dwellings
Plasterboard on studs with R2.5 to internal garage walls and walls between bathroom and habitable rooms
Plasterboard on studs with R2.0 to partition wall between main dwelling
Glazing Doors/Windows
Bifold doors:
U-value: 4.8 (equal to or lower than) SHCC: 0.34 (±10%)
Sliding windows:
U-value: 4.8 (equal to or lower than) SHCC: 0.34 (±10%)
Louvers:
U-value: 5.6 (equal to or lower than) SHCC: 0.41 (±10%)
Given values are AFRC total window system values (glass and frame)
Roof and Ceilings
Metal roof
Plasterboard ceiling with R4.0 insulation (insulation only value) where metal roof above
Plasterboard ceiling with R2.5 insulation (insulation only value) to Garage ceiling
External Colour
Dark (SA > 0.70)
Ceiling Penetrations
Sealed LED downlights not to exceed NatHERS certificate
LED recessed downlights (sealed and insulated) included at a rate of 1 per 5m ²
Exhaust fans (sealed and insulated) included to all bathrooms and kitchen
1500mm ceiling fan to Ground floor Living and First floor study area
Floor coverings
Tiles to bathroom and Timber elsewhere
External Shading
Shading as per stamped drawings
Ventilation
All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights proposed will have capped fittings.

DEVELOPMENT APPLICATION

14 Kristine Place

MONA VALE NSW 2103

Lot 11 in DP 242690

Site Area 699.9m²

- DEVELOPMENT APPLICATION ARCHITECTURAL DRAWING LIST**
- DA 01 Site & Analysis Plan
 - DA 02 Waste Management Site Plan
 - DA 03 Ground Floor Plan
 - DA 04 First Floor Plan
 - DA 05 South (Street) and North Elevations
 - DA 06 East and West Elevations
 - DA 07 Typical Sections
 - DA 08 Landscape Plan and Calculations
 - DA09 Stormwater Concept Plan
 - DA10 Shadow Diagrams
 - DA11 External Finishes Concept

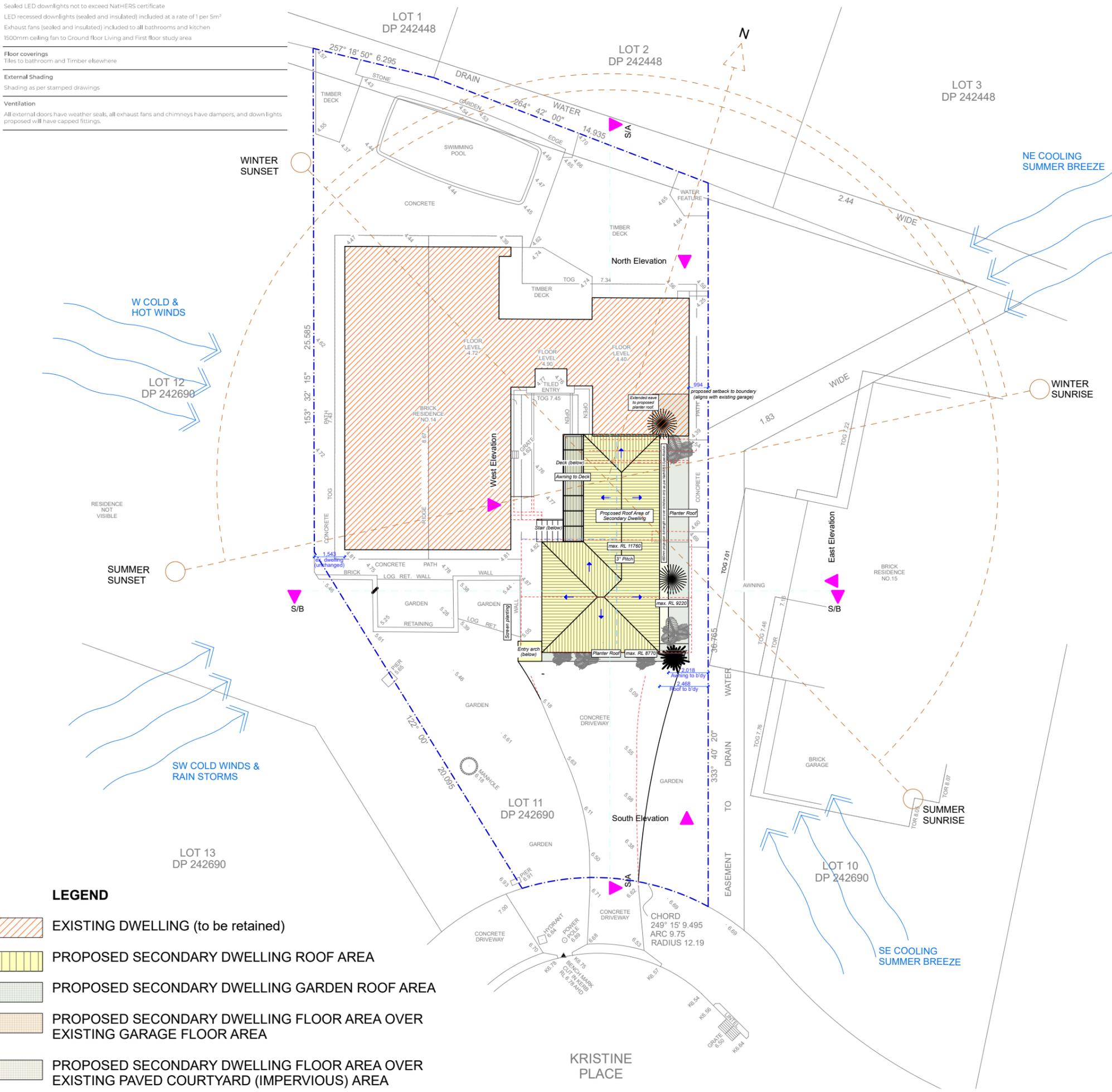


#HR-6DYSBC-01 26/09/2023

Assessor Stefanie Simpson
 Accreditation No. HERA 10035
 Address 14 Kristine Place, MONA VALE, NSW, 2103



<http://www.hero-software.com.au/pdf/HR-6DYSBC-01>



LEGEND

	EXISTING DWELLING (to be retained)
	PROPOSED SECONDARY DWELLING ROOF AREA
	PROPOSED SECONDARY DWELLING GARDEN ROOF AREA
	PROPOSED SECONDARY DWELLING FLOOR AREA OVER EXISTING GARAGE FLOOR AREA
	PROPOSED SECONDARY DWELLING FLOOR AREA OVER EXISTING PAVED COURTYARD (IMPERVIOUS) AREA
	PROPOSED SECONDARY DWELLING ELEVATION
	PROPOSED NEW WALLS

NOTES

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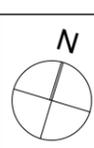
Submission 230630 DA to NORTHERN BEACHES COUNCIL



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2202: SULLMAN
 14 Kristine Place
 MONA VALE NSW 2103
 Lot 11 in DP 242690
 Site Area 699.9m²

Drawing Name Site and Analysis Plan	
Drawing Scale 1:200	Layout ID DA 01
Drawn RT	





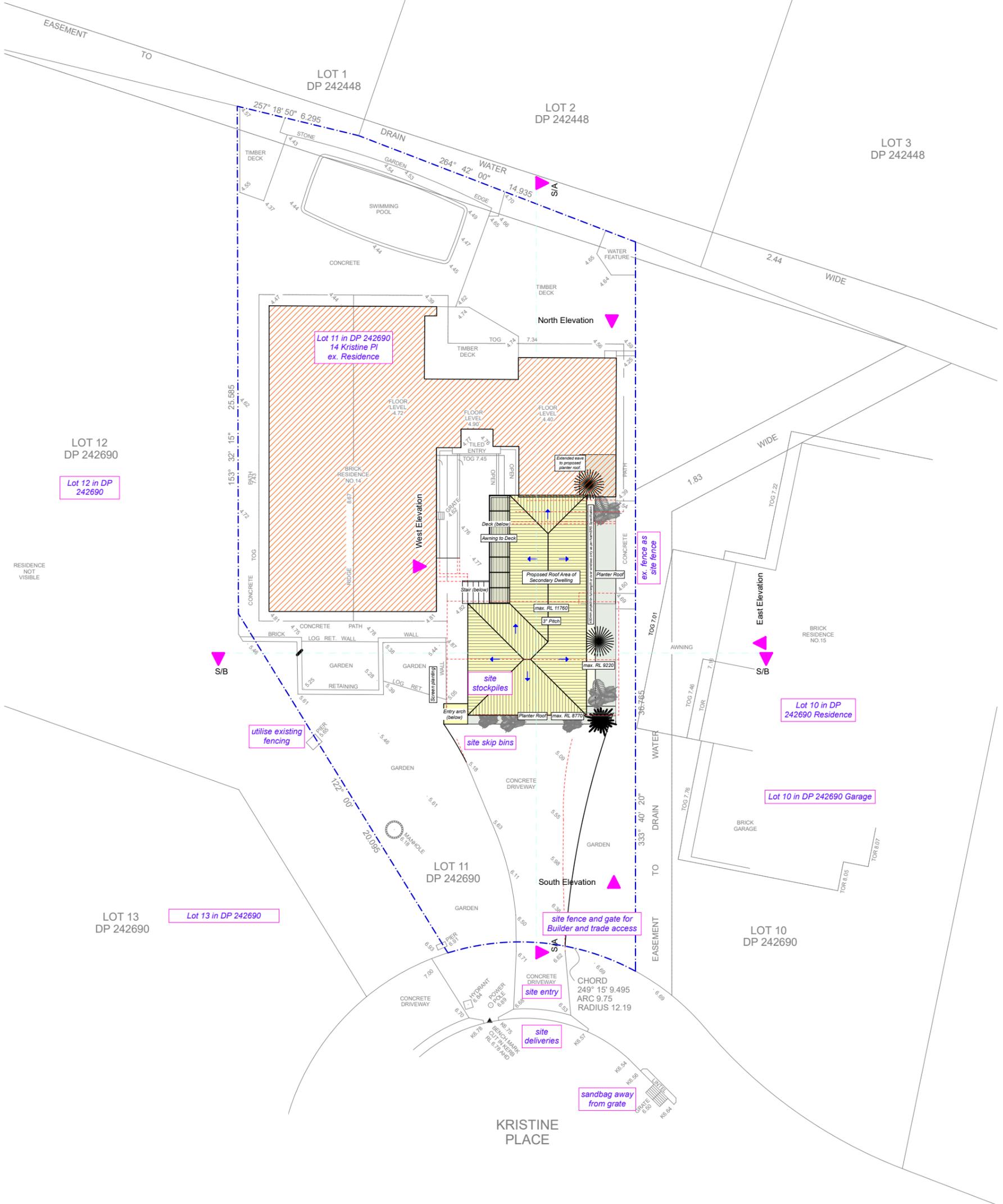
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 Address 14 Kristine Place, MONA VALE, NSW, 2103



<http://www.hero-software.com.au/pdf/HR-6DYSBC-01>

**BOUNDARY IDENTIFICATION
 & DETAIL PLAN OF**
 LOT 11 IN D.P. 242690
 AT No.14 KRISTINE PL., MONA VALE.
 SCALE 1:100@A1 DATUM A.H.D.
 SITE AREA = 699.9 M SQ.



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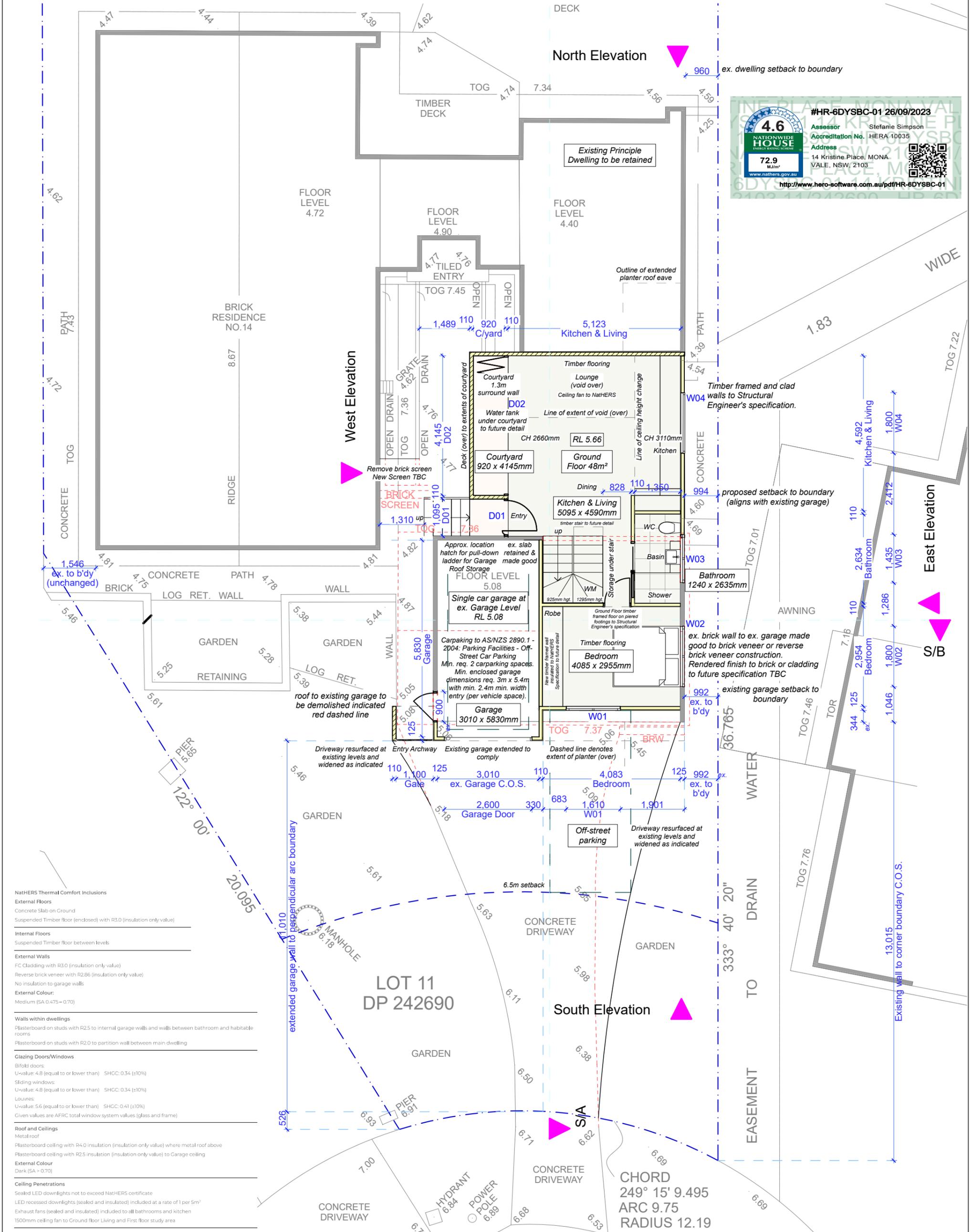
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2202: SULLMAN
 14 Kristine Place
 MONA VALE NSW 2103
 Lot 11 in DP 242690
 Site Area 699.9m²

Drawing Name Waste Management Site Plan	
Drawing Scale 1:200	Layout ID DA 02
Drawn RT	



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Assessor: Stefanie Simpson
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 Address: 14 Kristine Place, MONA VALE, NSW, 2103

4.6
 NATIONWIDE HOUSE ENERGY RATING SCHEME
 72.9 MJ/m²
www.nathers.gov.au

<http://www.hero-software.com.au/pdf/HR-6DYSBC-01>

- NATHERS Thermal Comfort Inclusions
- External Floors**
 Concrete Slab on Ground
 Suspended Timber floor (enclosed) with R3.0 (insulation only value)
- Internal Floors**
 Suspended Timber floor between levels
- External Walls**
 FC Cladding with R3.0 (insulation only value)
 Reverse brick veneer with R2.86 (insulation only value)
 No insulation to garage walls
- External Colour:**
 Medium (SA 0.475 - 0.70)
- Walls within dwellings**
 Plasterboard on studs with R2.5 to internal garage walls and walls between bathroom and habitable rooms
 Plasterboard on studs with R2.0 to partition wall between main dwelling
- Glazing Doors/Windows**
 Bifold doors:
 U-value: 4.8 (equal to or lower than) SHCC: 0.34 (±10%)
 Sliding windows:
 U-value: 4.8 (equal to or lower than) SHCC: 0.34 (±10%)
 Louvres:
 U-value: 5.6 (equal to or lower than) SHCC: 0.41 (±10%)
 Given values are AFRC total window system values (glass and frame)
- Roof and Ceilings**
 Metal roof
 Plasterboard ceiling with R4.0 insulation (insulation only value) where metal roof above
 Plasterboard ceiling with R2.5 insulation (insulation only value) to Garage ceiling
- External Colour**
 Dark (SA > 0.70)
- Ceiling Penetrations**
 Sealed LED downlights not to exceed NATHERS certificate
 LED recessed downlights (sealed and insulated) included at a rate of 1 per 5m²
 Exhaust fans (sealed and insulated) included to all bathrooms and kitchen
 1500mm ceiling fan to Ground floor Living and First floor study area
- Floor coverings**
 Tiles to bathroom and Timber elsewhere
- External Shading**
 Shading as per stamped drawings
- Ventilation**
 All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights proposed will have capped fittings.

NOTES

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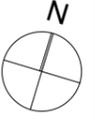
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2202: SULLMAN
 14 Kristine Place
 MONA VALE NSW 2103
 Lot 11 in DP 242690
 Site Area 699.9m²

Drawing Name Ground Floor Plan	
Drawing Scale 1:100	Layout ID DA 03
Drawn RT	



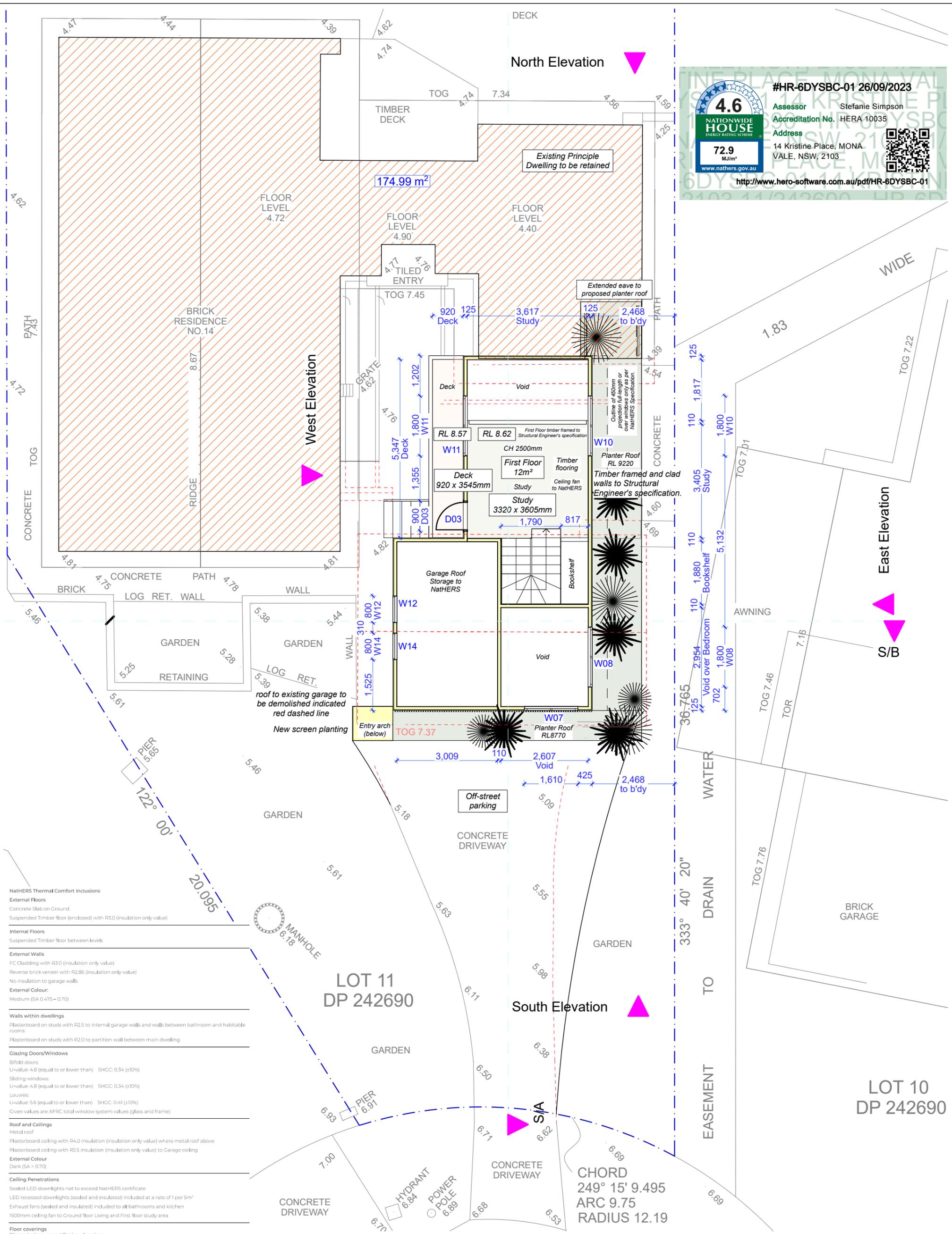
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4.6
NATIONWIDE HOUSE ENERGY RATING SCHEME

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Address: 14 Kristine Place, MONA VALE, NSW, 2103

72.9 MJ/m²
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NatHERS Thermal Comfort Inclusions

External Floors	Concrete Slab on Ground Suspended Timber floor (enclosed) with R3.0 (insulation only value)
Internal Floors	Suspended Timber floor between levels
External Walls	FC Cladding with R3.0 (insulation only value) Reverse brick veneer with R2.86 (insulation only value) No insulation to garage walls
External Colour:	Medium (SA 0.475 – 0.70)
Walls within dwellings	Plasterboard on studs with R2.5 to internal garage walls and walls between bathroom and habitable rooms Plasterboard on studs with R2.0 to partition wall between main dwelling
Glazing Doors/Windows	Bifold doors: U-value: 4.8 (equal to or lower than) SHGC: 0.34 (±10%) Sliding windows: U-value: 4.8 (equal to or lower than) SHGC: 0.34 (±10%) Louvers: U-value: 5.6 (equal to or lower than) SHGC: 0.41 (±10%) Civen values are AFRC total window system values (glass and frame)
Roof and Ceilings	Metal roof Plasterboard ceiling with R4.0 insulation (insulation only value) where metal roof above Plasterboard ceiling with R2.5 insulation (insulation only value) to Garage ceiling
External Colour	Dark (SA > 0.70)
Ceiling Penetrations	Sealed LED downlights not to exceed NatHERS certificate LED recessed downlights (sealed and insulated) included at a rate of 1 per 5m ² Exhaust fans (sealed and insulated) included to all bathrooms and kitchen 1500mm ceiling fan to Ground floor Living and First floor study area
Floor coverings	Tiles to bathroom and Timber elsewhere
External Shading	Shading as per stamped drawings
Ventilation	All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights proposed will have capped fittings.

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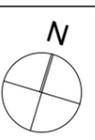
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230630 DA to NORTHERN BEACHES COUNCIL

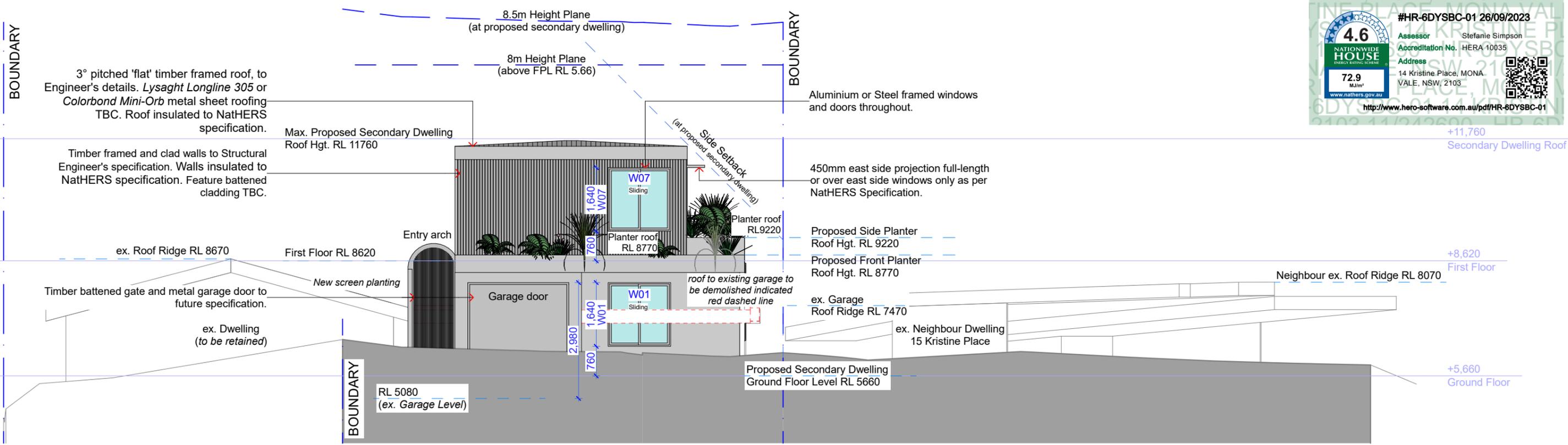
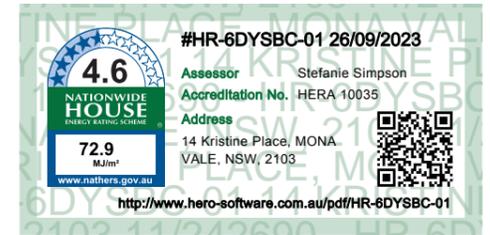


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2202: SULLMAN
14 Kristine Place
MONA VALE NSW 2103
Lot 11 in DP 242690
Site Area 699.9m²

Drawing Name First Floor Plan	
Drawing Scale 1:100	Layout ID DA 04
Drawn RT	

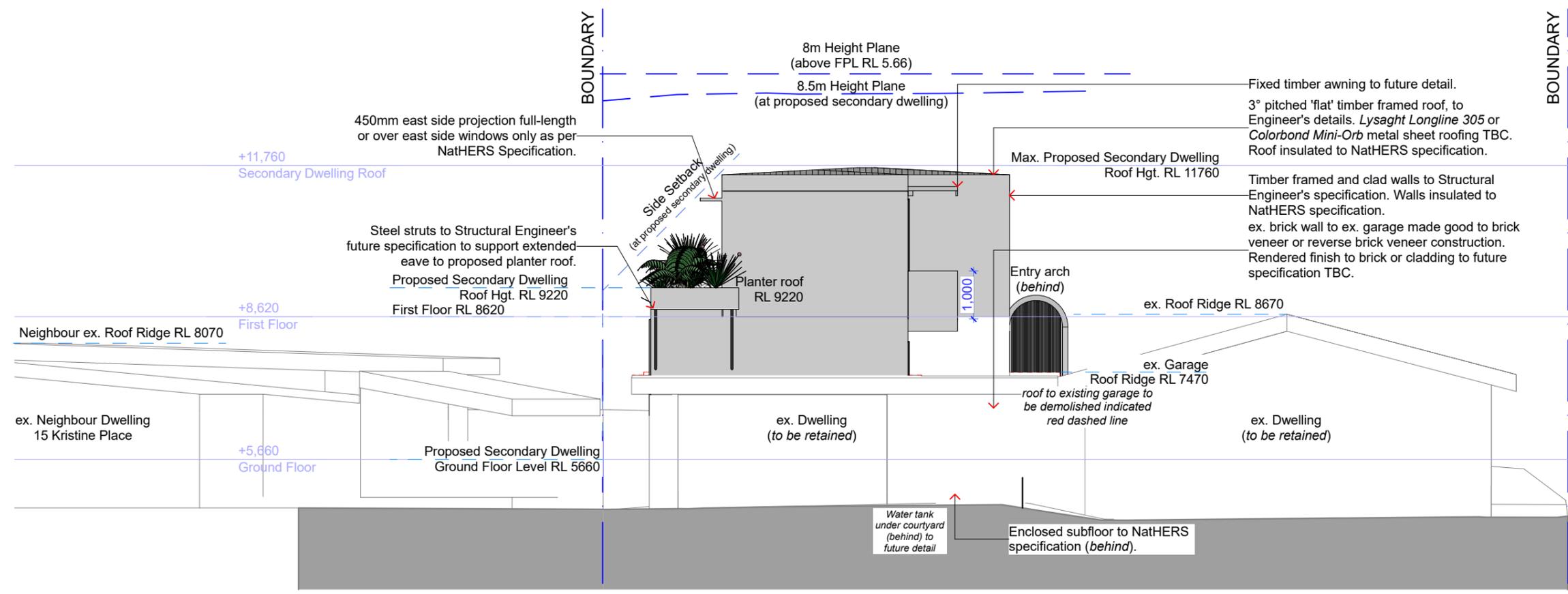




South Elevation

NatHERS Thermal Comfort Inclusions

External Floors	Concrete Slab on Ground Suspended Timber floor (enclosed) with R3.0 (insulation only value)
Internal Floors	Suspended Timber floor between levels
External Walls	FC Cladding with R3.0 (insulation only value) Reverse brick veneer with R2.86 (insulation only value) No insulation to garage walls
External Colour	Medium (SA 0.475 - 0.70)
Walls within dwellings	Plasterboard on studs with R2.5 to internal garage walls and walls between bathroom and habitable rooms Plasterboard on studs with R2.0 to partition wall between main dwelling
Glazing Doors/Windows	Bifold doors: U-value: 4.8 (equal to or lower than) SHCC: 0.34 (±10%) Sliding windows: U-value: 4.8 (equal to or lower than) SHCC: 0.34 (±10%) Louvers: U-value: 5.6 (equal to or lower than) SHCC: 0.41 (±10%) Given values are AFRC total window system values (glass and frame)
Roof and Ceilings	Metal roof Plasterboard ceiling with R4.0 insulation (insulation only value) where metal roof above Plasterboard ceiling with R2.5 insulation (insulation only value) to Garage ceiling
External Colour	Dark (SA > 0.70)
Ceiling Penetrations	Sealed LED downlights not to exceed NatHERS certificate LED recessed downlights (sealed and insulated) included at a rate of 1 per 5m ² Exhaust fans (sealed and insulated) included to all bathrooms and kitchen 1500mm ceiling fan to Ground floor Living and First floor study area
Floor coverings	Tiles to bathroom and Timber elsewhere
External Shading	Shading as per stamped drawings
Ventilation	All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights proposed will have capped fittings.



North Elevation

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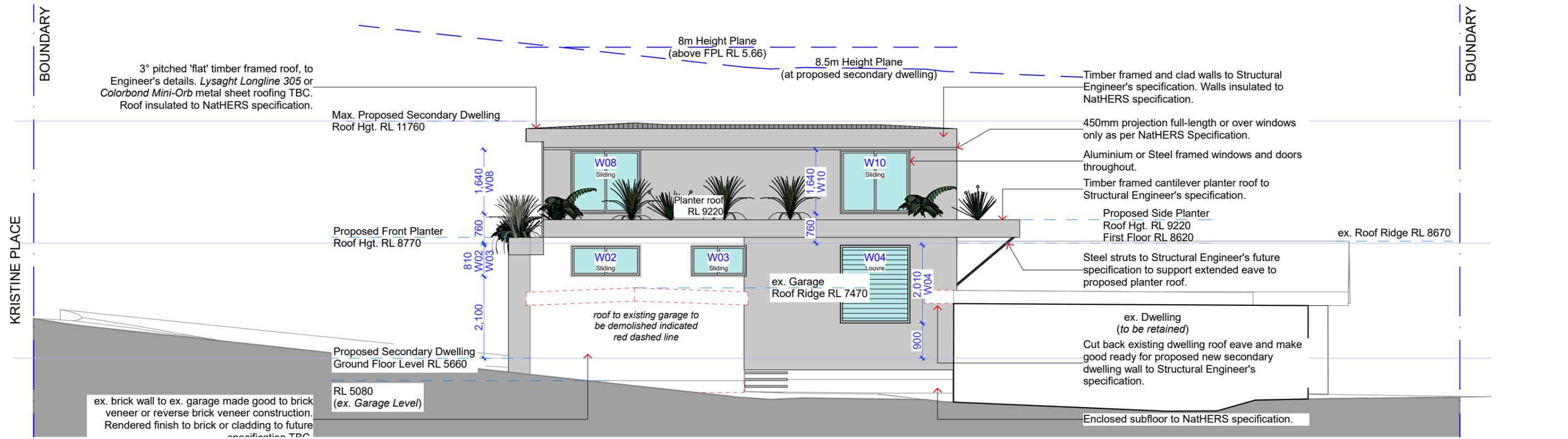
2202: SULLMAN
 14 Kristine Place
 MONA VALE NSW 2103
 Lot 11 in DP 242690
 Site Area 699.9m²

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Drawing Name
South (Street) and North Elevations

Drawing Scale
1:100
 Drawn
 RT

Layout ID
DA 05



East Elevation

NE CNR BOUNDARY

NatHERS Thermal Comfort Inclusions

External Floors
Concrete Slab on Ground
Suspended Timber floor (enclosed) with R3.0 (insulation only value)

Internal Floors
Suspended Timber floor between levels

External Walls
FC Cladding with R3.0 (insulation only value)
Reverse brick veneer with R2.86 (insulation only value)
No insulation to garage walls

External Colour
Medium (SA 0.475 - 0.70)

Walls within dwellings
Plasterboard on studs with R2.5 to internal garage walls and walls between bathroom and habitable rooms
Plasterboard on studs with R2.0 to partition wall between main dwelling

Glazing Doors/Windows
Bifold doors:
U-value: 4.8 (equal to or lower than) SHGC: 0.34 (±10%)
Sliding windows:
U-value: 4.8 (equal to or lower than) SHGC: 0.34 (±10%)
Louvers:
U-value: 5.6 (equal to or lower than) SHGC: 0.41 (±10%)
Given values are AFRC total window system values (glass and frame)

Roof and Ceilings
Metal roof
Plasterboard ceiling with R4.0 insulation (insulation only value) where metal roof above
Plasterboard ceiling with R2.5 insulation (insulation only value) to Garage ceiling

External Colour
Dark (SA = 0.70)

Ceiling Penetrations
Sealed LED downlights not to exceed NatHERS certificate
LED recessed downlights (sealed and insulated) included at a rate of 1 per 5m²
Exhaust fans (sealed and insulated) included to all bathrooms and kitchen
1500mm ceiling fan to Ground floor Living and First floor study area

Floor coverings
Tiles to bathroom and Timber elsewhere

External Shading
Shading as per stamped drawings

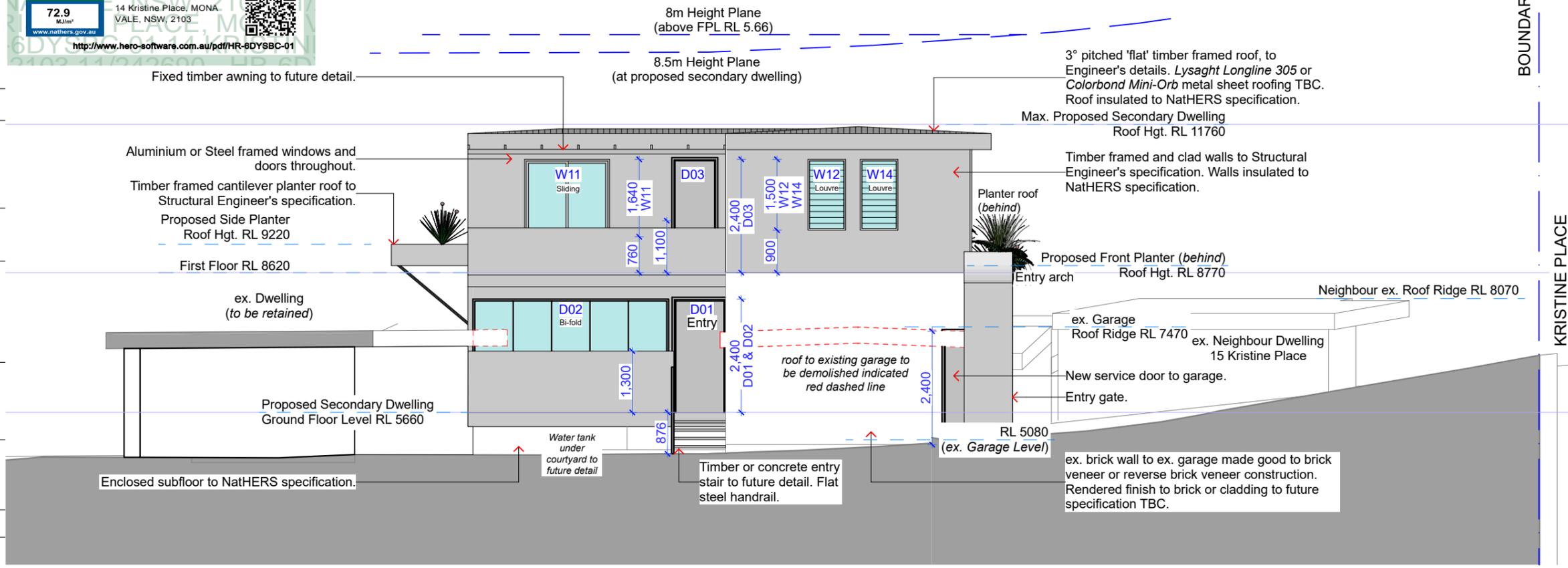
Ventilation
All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights proposed will have capped fittings.

#HR-6DYSBC-01 26/09/2023

Assessor: Stefanie Simpson
Accreditation No.: HERA 10035
Address: 14 Kristine Place, MONA VALE, NSW, 2103

4.6
NATIONWIDE HOUSE ENERGY RATING SCHEME
72.9 MJ/m²
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West Elevation

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Submission
230630 DA to NORTHERN BEACHES COUNCIL

2202: SULLMAN
14 Kristine Place
MONA VALE NSW 2103
Lot 11 in DP 242690
Site Area 699.9m²

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Drawing Name
East and West Elevations

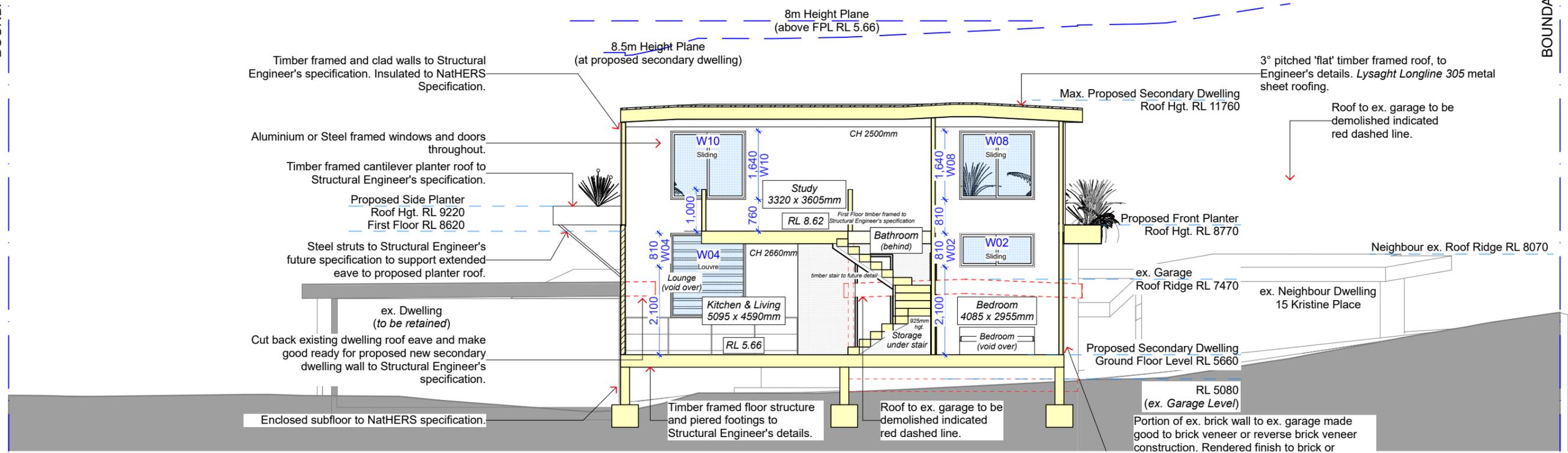
Drawing Scale
1:100
Drawn
RT

Layout ID
DA 06

BOUNDARY

BOUNDARY

KRISTINE PLACE



Section 01 NS

NatHERS Thermal Comfort Inclusions

External Floors
Concrete Slab on Ground
Suspended Timber floor (enclosed) with R3.0 (insulation only value)

Internal Floors
Suspended Timber floor between levels

External Walls
FC Cladding with R3.0 (insulation only value)
Reverse brick veneer with R2.86 (insulation only value)
No insulation to garage walls

External Colour:
Medium (SA 0.475 - 0.70)

Walls within dwellings
Plasterboard on studs with R2.5 to internal garage walls and walls between bathroom and habitable rooms
Plasterboard on studs with R2.0 to partition wall between main dwelling

Glazing Doors/Windows
Bifold doors:
U-value: 4.8 (equal to or lower than) SHGC: 0.34 (±10%)
Sliding windows:
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Louvers:
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Given values are AFRC total window system values (glass and frame)

Roof and Ceilings
Metal roof
Plasterboard ceiling with R4.0 insulation (insulation only value) where metal roof above
Plasterboard ceiling with R2.5 insulation (insulation only value) to Garage ceiling

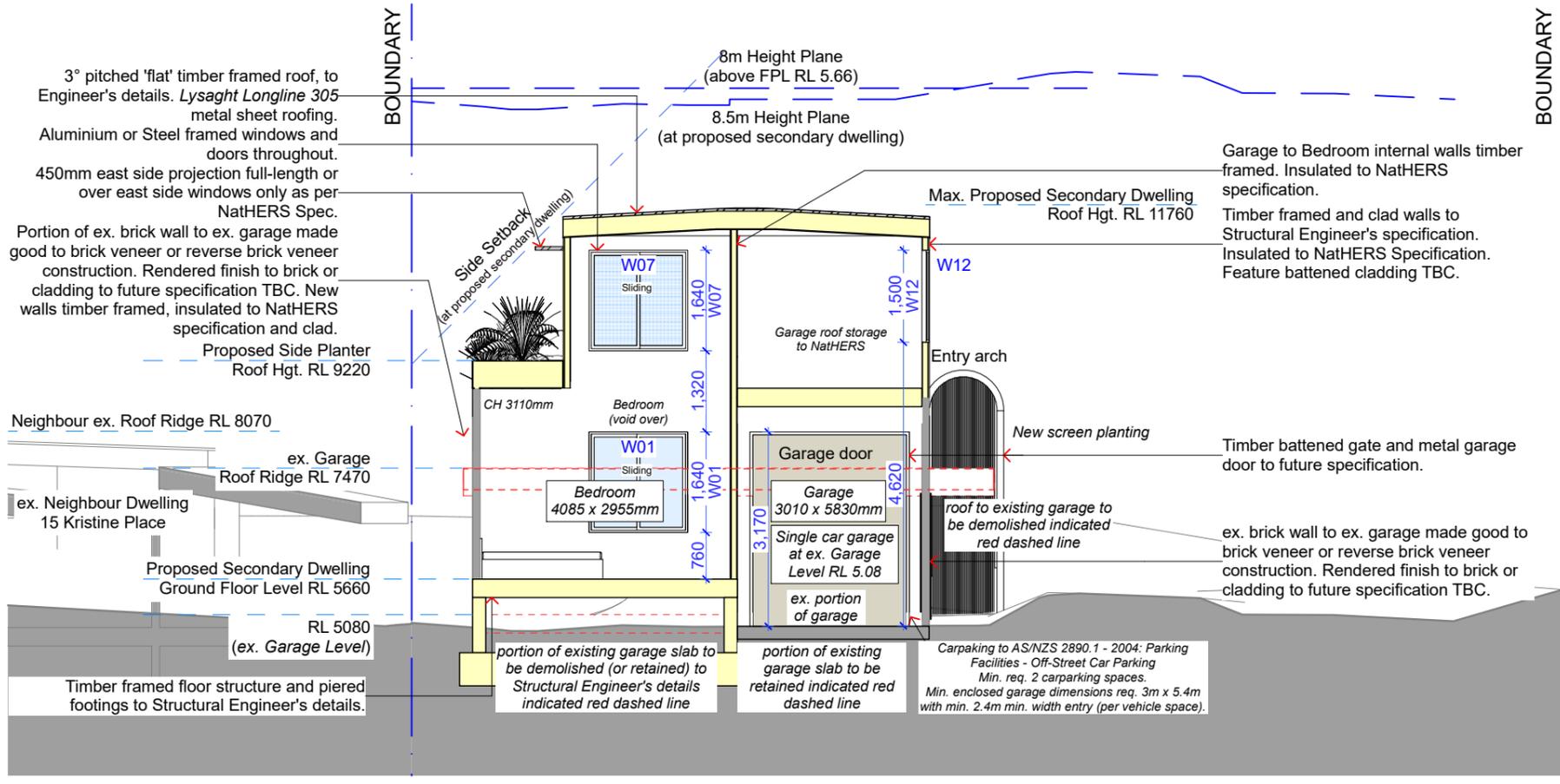
External Colour
Dark (SA > 0.70)

Ceiling Penetrations
Sealed LED downlights not to exceed NatHERS certificate
LED recessed downlights (sealed and insulated) included at a rate of 1 per 5m²
Exhaust fans (sealed and insulated) included to all bathrooms and kitchen
1500mm ceiling fan to Ground floor Living and First floor study area

Floor coverings
Tiles to bathroom and Timber elsewhere

External Shading
Shading as per stamped drawings

Ventilation
All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights proposed will have capped fittings.



Section 02 EW

#HR-6DYSBC-01 26/09/2023

Assessor Stefanie Simpson

Accreditation No. HERA 10035

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4.6
NATIONWIDE HOUSE ENERGY RATING SCHEME

72.9 MJ/m²

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Submission
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Lot 11 in DP 242690
Site Area 699.9m²

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Drawing Name
Typical Sections

Drawing Scale
1:100

Drawn
RT

Layout ID
DA07

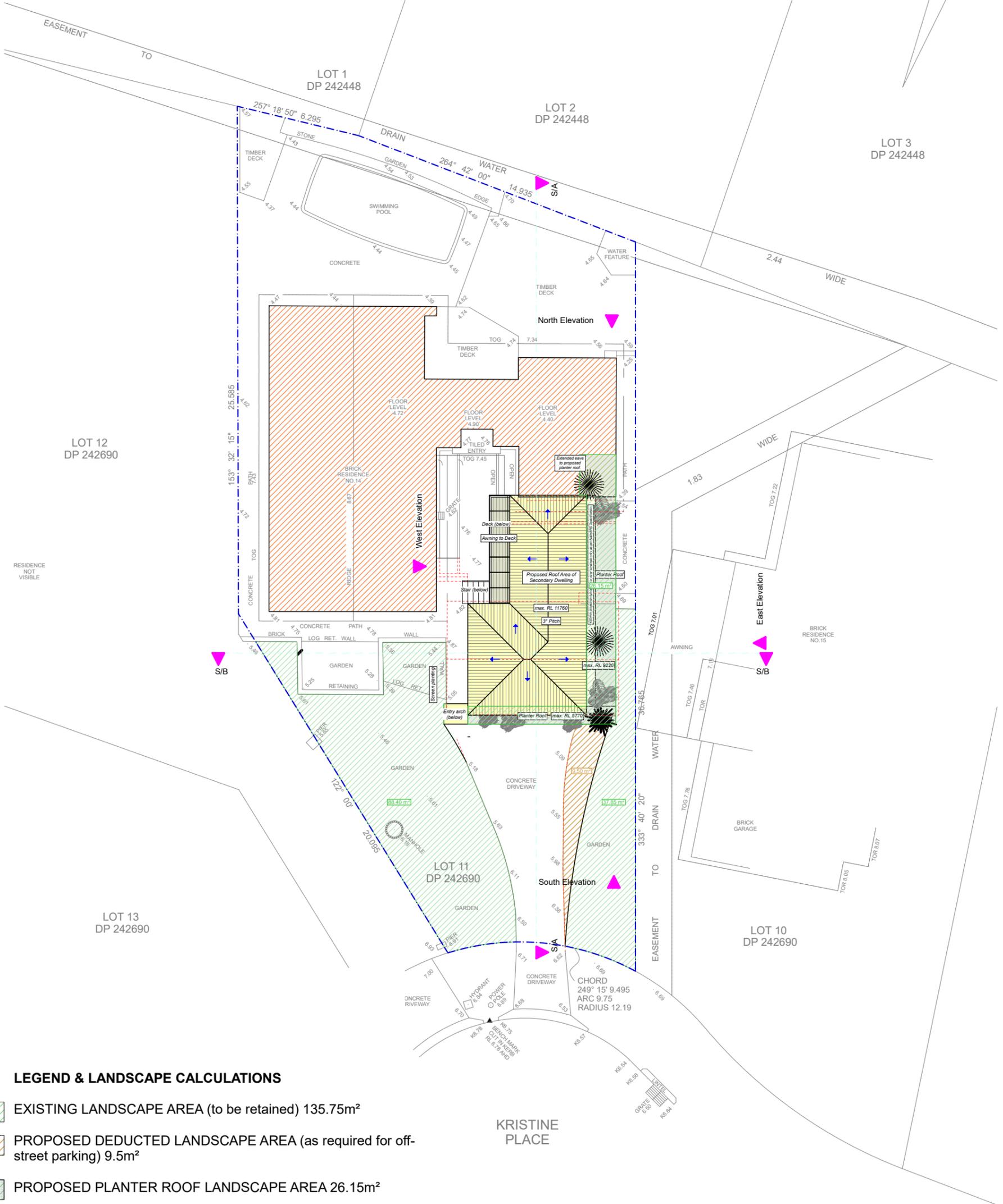
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4.6
NATIONWIDE HOUSE ENERGY RATING SCHEME
72.9 MJ/m²
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BOUNDARY IDENTIFICATION & DETAIL PLAN OF
LOT 11 IN D.P. 242690
AT No.14 KRISTINE PL., MONA VALE.
SCALE 1:100@A1 DATUM A.H.D.
SITE AREA = 699.9 M SQ.



LEGEND & LANDSCAPE CALCULATIONS

-  EXISTING LANDSCAPE AREA (to be retained) 135.75m²
 -  PROPOSED DEDUCTED LANDSCAPE AREA (as required for off-street parking) 9.5m²
 -  PROPOSED PLANTER ROOF LANDSCAPE AREA 26.15m²
- TOTAL LANDSCAPE AREA PROPOSED 152.4m²
PROPOSED INCREASE IN LANDSCAPE AREA 16.65m²

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2202: SULLMAN
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Lot 11 in DP 242690
Site Area 699.9m²

Drawing Name
Landscape Plan and Calculations

Drawing Scale
1:200
Drawn
RT

Layout ID
DA08

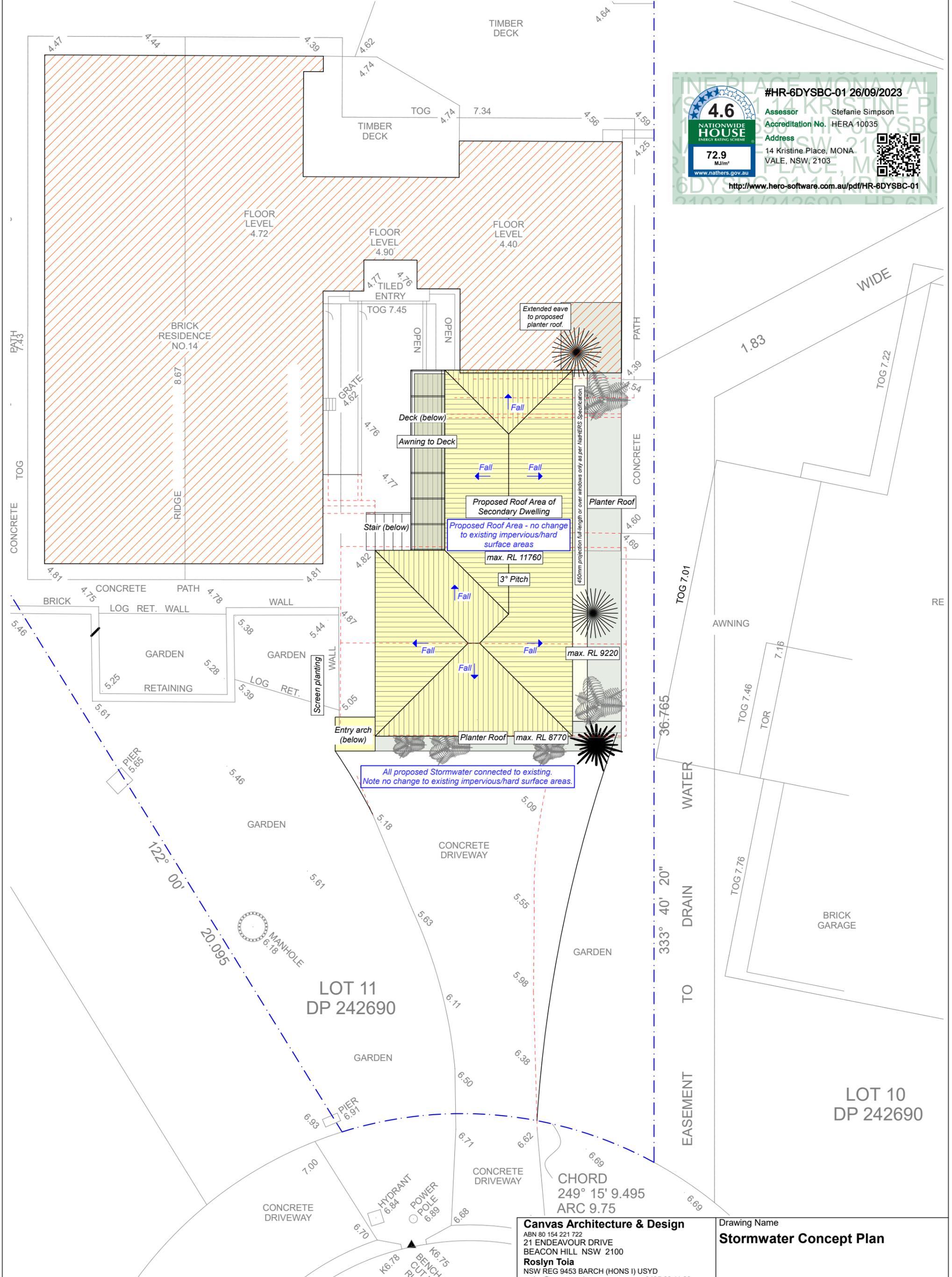


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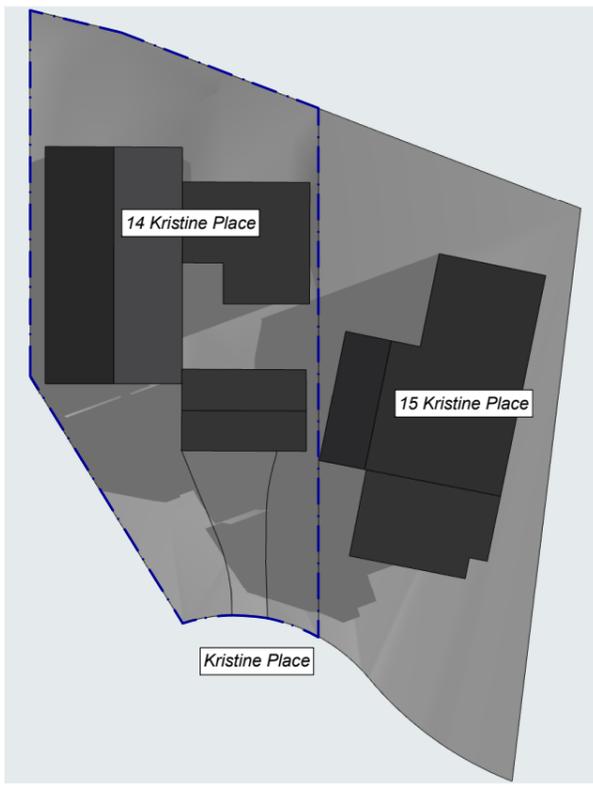
2202: SULLMAN
 14 Kristine Place
 MONA VALE NSW 2103
 Lot 11 in DP 242690
 Site Area 699.9m²

Drawing Name
Stormwater Concept Plan

Drawing Scale
1:100

Layout ID
DA09

Drawn
 RT



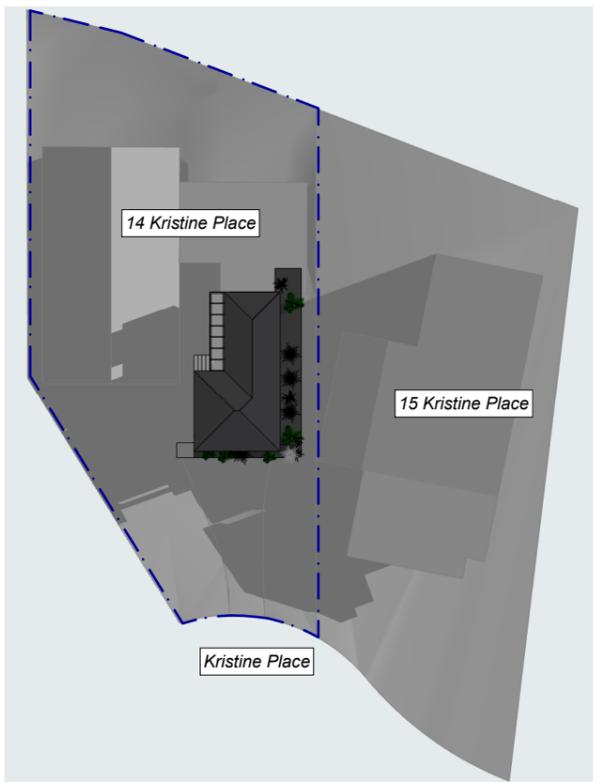
Sullman_9am Shadow Diagram_Existing



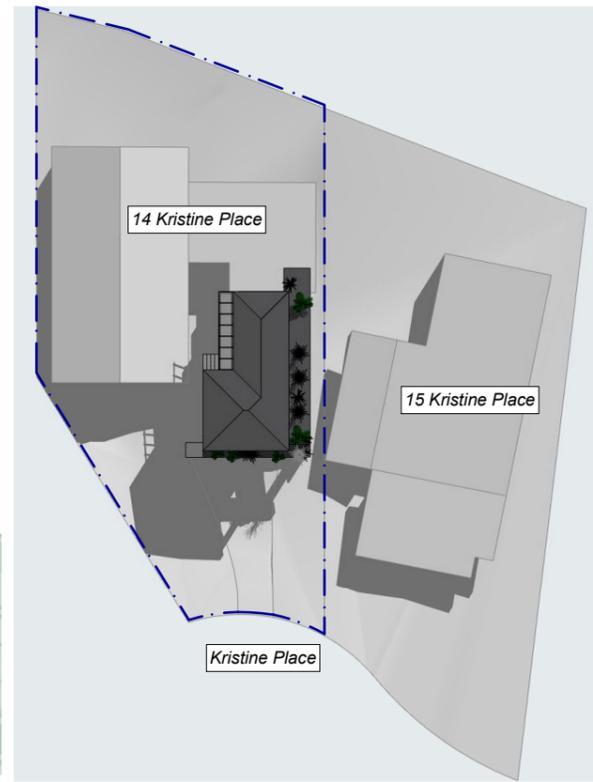
Sullman_12pm Shadow Diagram_Existing



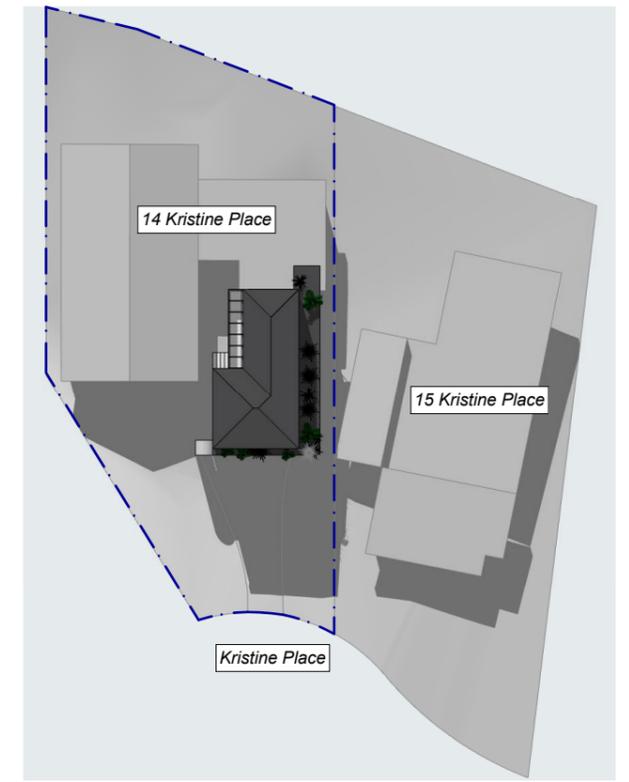
Sullman_3pm Shadow Diagram_Existing



Sullman_9am Shadow Diagram_Proposed



Sullman_12pm Shadow Diagram_Proposed



Sullman_3pm Shadow Diagram_Proposed

4.6
NATIONWIDE HOUSE ENERGY RATING SCHEME
72.9 MJ/m²
www.nathers.gov.au

#HR-6DYSBC-01 26/09/2023
Assessor Stefanie Simpson
Accreditation No. HERA 10035
Address 14 Kristine Place, MONA VALE, NSW, 2103
<http://www.hero-software.com.au/pdf/HR-6DYSBC-01>

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Submission 230630 DA to NORTHERN BEACHES COUNCIL



2202: SULLMAN
14 Kristine Place
MONA VALE NSW 2103
Lot 11 in DP 242690
Site Area 699.9m²

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Drawing Name
Shadow Diagrams June 21

Drawing Scale
NTS
Drawn
RT

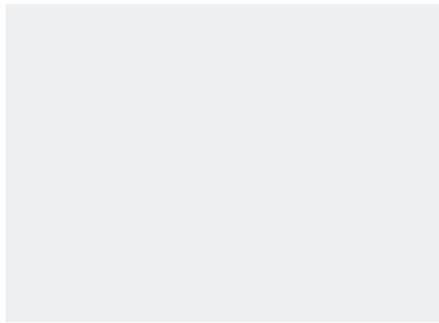
Layout ID
DA10



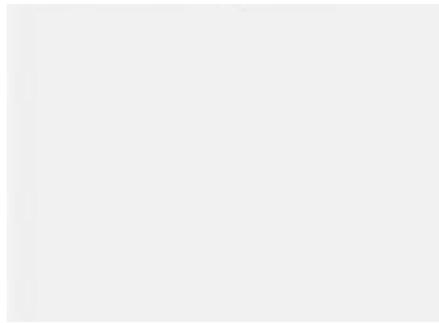
NatHERS Thermal Comfort Inclusions
External Floors
Concrete Slab on Ground
Suspended Timber floor (enclosed) with R3.0 (insulation only value)
Internal Floors
Suspended Timber floor between levels
External Walls
FC Cladding with R3.0 (insulation only value)
Reverse brick veneer with R2.86 (insulation only value)
No insulation to garage walls
External Colour:
Medium (SA 0.475 – 0.70)
Walls within dwellings
Plasterboard on studs with R2.5 to internal garage walls and walls between bathroom and habitable rooms
Plasterboard on studs with R2.0 to partition wall between main dwelling
Glazing Doors/Windows
Bifold doors:
U-value: 4.8 (equal to or lower than) SHGC: 0.34 (±10%)
Sliding windows:
U-value: 4.8 (equal to or lower than) SHGC: 0.34 (±10%)
Louvers:
U-value: 5.6 (equal to or lower than) SHGC: 0.41 (±10%)
Given values are AFRC total window system values (glass and frame)
Roof and Ceilings
Metal roof
Plasterboard ceiling with R4.0 insulation (insulation only value) where metal roof above
Plasterboard ceiling with R2.5 insulation (insulation only value) to Garage ceiling
External Colour
Dark (SA > 0.70)
Ceiling Penetrations
Sealed LED downlights not to exceed NatHERS certificate
LED recessed downlights (sealed and insulated) included at a rate of 1 per 5m ²
Exhaust fans (sealed and insulated) included to all bathrooms and kitchen
1500mm ceiling fan to Ground floor Living and First floor study area
Floor coverings
Tiles to bathroom and Timber elsewhere
External Shading
Shading as per stamped drawings
Ventilation
All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights proposed will have capped fittings.



'Colorbond Mini-Orb' or 'Lysaght long-line' metal sheet roofing in 'Monument'



'Dulux' eaves colour 'White on White'



'Dulux' trims and aluminium framed low-profile windows and doors colour 'Lexicon Quarter White'



'Dulux' external walls and cladding colour 'Riversand'



*Timber feature battening and/or cladding proposed to be natural blackbutt timber (or timber look) finish (TBC).
Timber details including proposed timber screens and gaate to be natural blackbutt timber (or timber look) finish (TBC).*



External colour medium beige & white low-profile aluminium framed windows and doors throughout.



'Lysaght Long-line' metal sheet roofing TBC in 'Monument'



'Colorbond Mini-Orb' metal sheet roofing TBC in 'Monument'

#HR-6DYSBC-01 26/09/2023

4.6 Assessor Stefanie Simpson
Accreditation No. HERA 10035
Address 14 Kristine Place, MONA VALE, NSW, 2103

72.9 MJ/m²
www.nathers.gov.au

<http://www.hero-software.com.au/pdf/HR-6DYSBC-01>

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Submission 230630
DA to NORTHERN BEACHES COUNCIL



2202: SULLMAN
14 Kristine Place
MONA VALE NSW 2103
Lot 11 in DP 242690
Site Area 699.9m²

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Drawing Name
External Finishes Concept

Drawing Scale
NTS
Drawn
RT

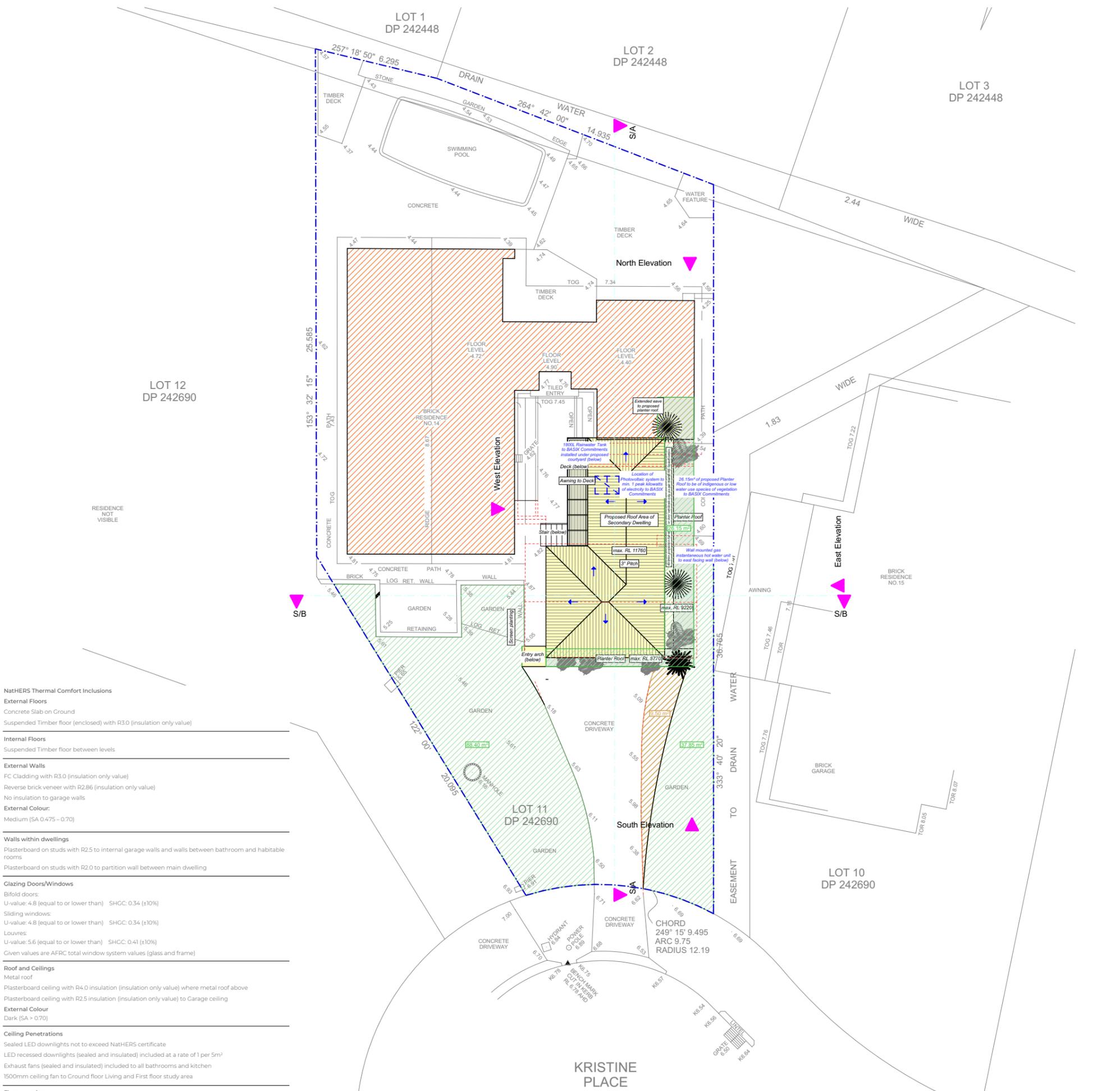
Layout ID
DA11

External walls weatherboard cladding options (TBC by Clients) additional external finishes



Horizontal weatherboard cladding options (TBC by Clients)

Vertical weatherboard cladding options (TBC by Clients)



NATHERS Thermal Comfort Inclusions

External Floors
Concrete Slab on Ground
Suspended Timber floor (enclosed) with R3.0 (insulation only value)

Internal Floors
Suspended Timber floor between levels

External Walls
FC Cladding with R3.0 (insulation only value)
Reverse brick veneer with R2.86 (insulation only value)
No insulation to garage walls

External Colour:
Medium (SA 0.475 - 0.70)

Walls within dwellings
Plasterboard on studs with R2.5 to internal garage walls and walls between bathroom and habitable rooms
Plasterboard on studs with R2.0 to partition wall between main dwelling

Glazing Doors/Windows
Bifold doors:
U-value: 4.8 (equal to or lower than) SHCC: 0.34 (±10%)
Sliding windows:
U-value: 4.8 (equal to or lower than) SHCC: 0.34 (±10%)
Louvers:
U-value: 5.6 (equal to or lower than) SHCC: 0.41 (±10%)
Given values are AFRC total window system values (glass and frame)

Roof and Ceilings
Metal roof
Plasterboard ceiling with R4.0 insulation (insulation only value) where metal roof above
Plasterboard ceiling with R2.5 insulation (insulation only value) to Garage ceiling

External Colour
Dark (SA > 0.70)

Ceiling Penetrations
Sealed LED downlights not to exceed NATHERS certificate
LED recessed downlights (sealed and insulated) included at a rate of 1 per 5m²
Exhaust fans (sealed and insulated) included to all bathrooms and kitchen
1500mm ceiling fan to Ground floor Living and First floor study area

Floor coverings
Tiles to bathroom and Timber elsewhere

External Shading
Shading as per stamped drawings

Ventilation
All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights proposed will have capped fittings.

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Submission
230630 DA to NORTHERN BEACHES COUNCIL



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2202: SULLMAN
14 Kristine Place
MONA VALE NSW 2103
Lot 11 in DP 242690
Site Area 699.9m²

Drawing Name BASIX Commitments Additional	
Drawing Scale 1:200	Layout ID DA12
Drawn RT	

