

1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS

DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation. For buildings where scaffold, ladders, trestles are not appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

FLOOR FINISHES By Owner

If designer has not not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

- Prevent or restrict access to areas below where the work is being carried out.
- Provide toeboards to scaffolding or work platforms.
- Provide protective structure below the work area.
- Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas. For building where on-site loading/unloading is restricted: Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas. For all buildings: Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines:

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to a building constructed prior to 1990: If this existing building was constructed prior to: 1990 - it therefore may contain asbestos 1986 - it therefore is likely to contain asbestos either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required: Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

NON-RESIDENTIAL BUILDINGS

For non-residential buildings where the end-use has not been identified: This building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end-user.

For non-residential buildings where the end-use is known: This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements. All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

REV	DESCRIPTION	BY	DATE
A	CONCEPT PLAN	FA	09.11.2022
A	PRE-APPROVAL PLAN	FA	01.12.2022
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D	APPROVAL PLAN	LH	19.01.2023
E	APPROVAL PLAN	FA	24.01.2023
F	APPROVAL PLAN	FA	15.02.2023
G	APPROVAL PLAN	FA	10.03.2023

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3.	TENDER DOCUMENT SHALL TAKE PREFERENCE TO THESE DRAWINGS.
4.	FIGURED DIMENSIONS MUST TAKE PREFERENCE TO SCALING.
5.	LEVELS SHOWN ARE APPROXIMATE AND ARE TO BE CONFIRMED ON SITE BY SURVEYOR.
6.	DRAINAGE CONCEPT PLAN IS SCHEMATIC ONLY. RELATED WORKS TO BE VERIFIED BY LICENSED DRAINER AND /OR HYDRAULICS ENGINEER PRIOR TO WORK COMMENCEMENT.
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9.	IN CASE OF ALTERATIONS OR DISCREPANCIES NOTIFY FJA DESIGNS OFFICE IMMEDIATELY.

New Dwelling	
JOB NUMBER	FJ255

Safe Design Sheet

CLIENT Mr Eddie Grobler

LOCATION
**11B Hill Street
 Warriewood NSW 2102**

DP B/-/DP419338

LGA **Northern Beaches COUNCIL**

DESIGNER FA - BDAА Accreditation No.6617

SHEET NO: APPROVAL- 1	SCALE: @ A3
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DATE PRINTED
 Friday, 10 March 2023

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.

THIS INCLUDES (but is not excluded to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.

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New Dwelling

JOB NUMBER FJ255

Perspectives

CLIENT Mr Eddie Grobler

LOCATION
**11B Hill Street
 Warriewood NSW 2102**

DP B/-/DP419338

LGA **Northern Beaches COUNCIL**

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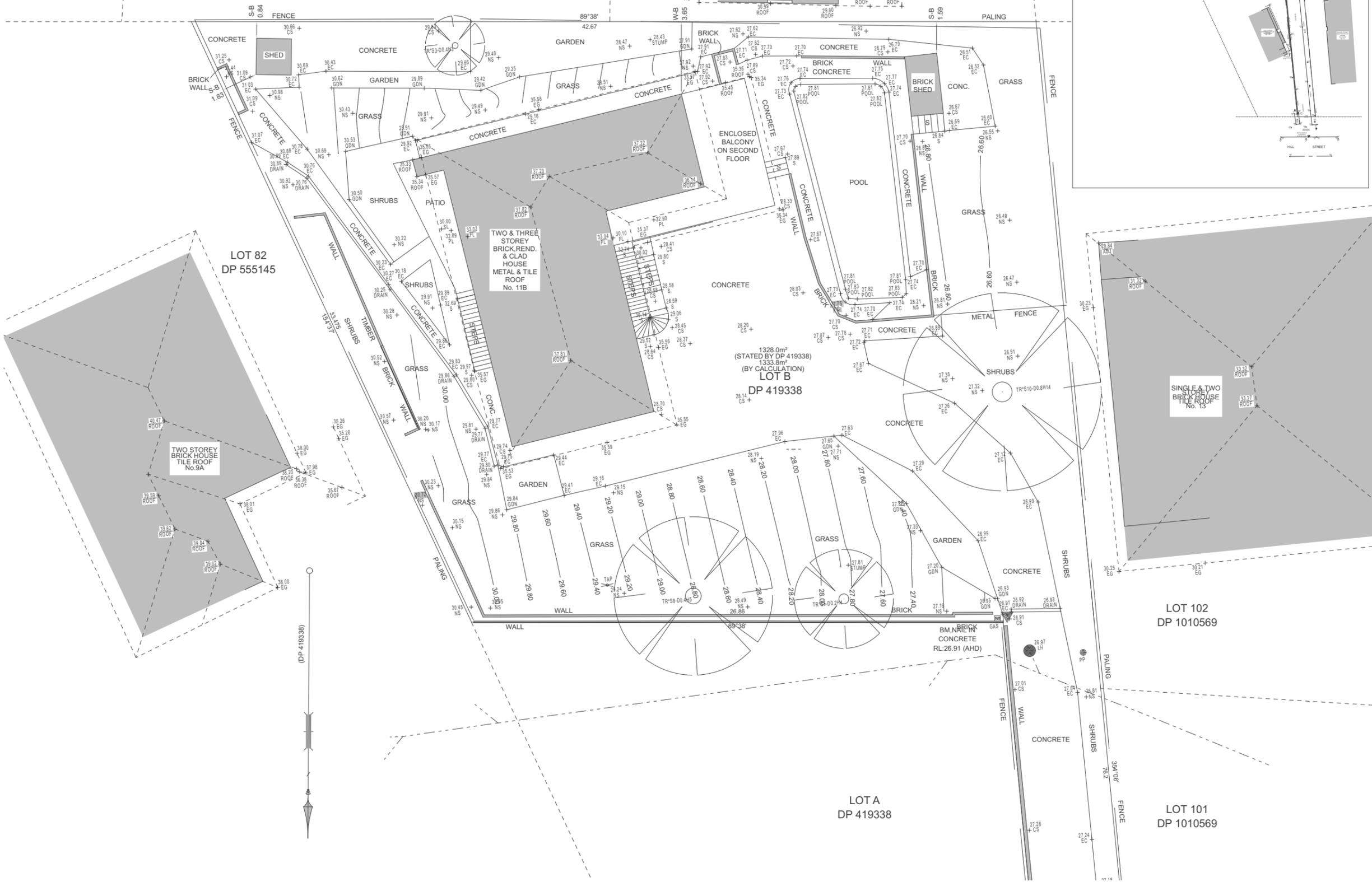
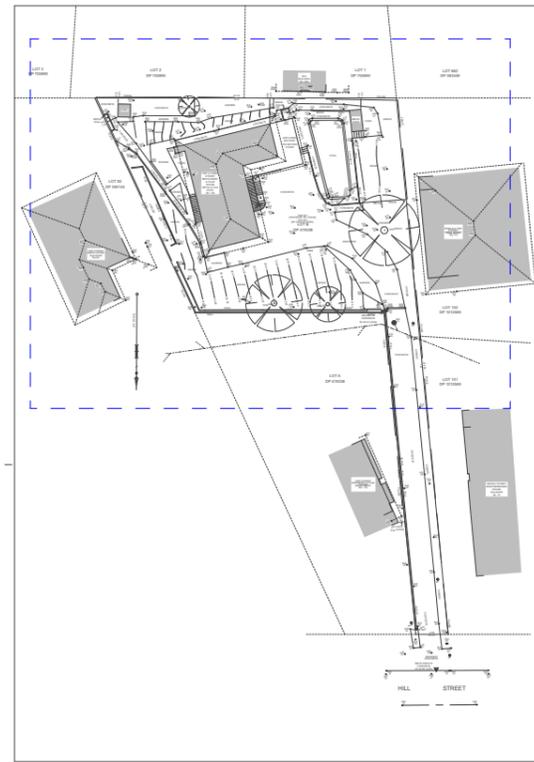
MATERIALS SHOWN ARE DEPICTIVE ONLY AND MAY NOT REFLECT THE SELECTED FINISHES.

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LOT 3
DP 705890

LOT 2
DP 705890

LOT 1
DP 705890



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New Dwelling

JOB NUMBER FJ255

Survey

CLIENT Mr Eddie Grobler

LOCATION
11B Hill Street
Warriewood NSW 2102

DP B/-DP419338

LGA Northern Beaches COUNCIL

DESIGNER FA - BDAA Accreditation No.6617

SHEET NO: APPROVAL- 3 SCALE: 1:1000, 1:200 @ A3

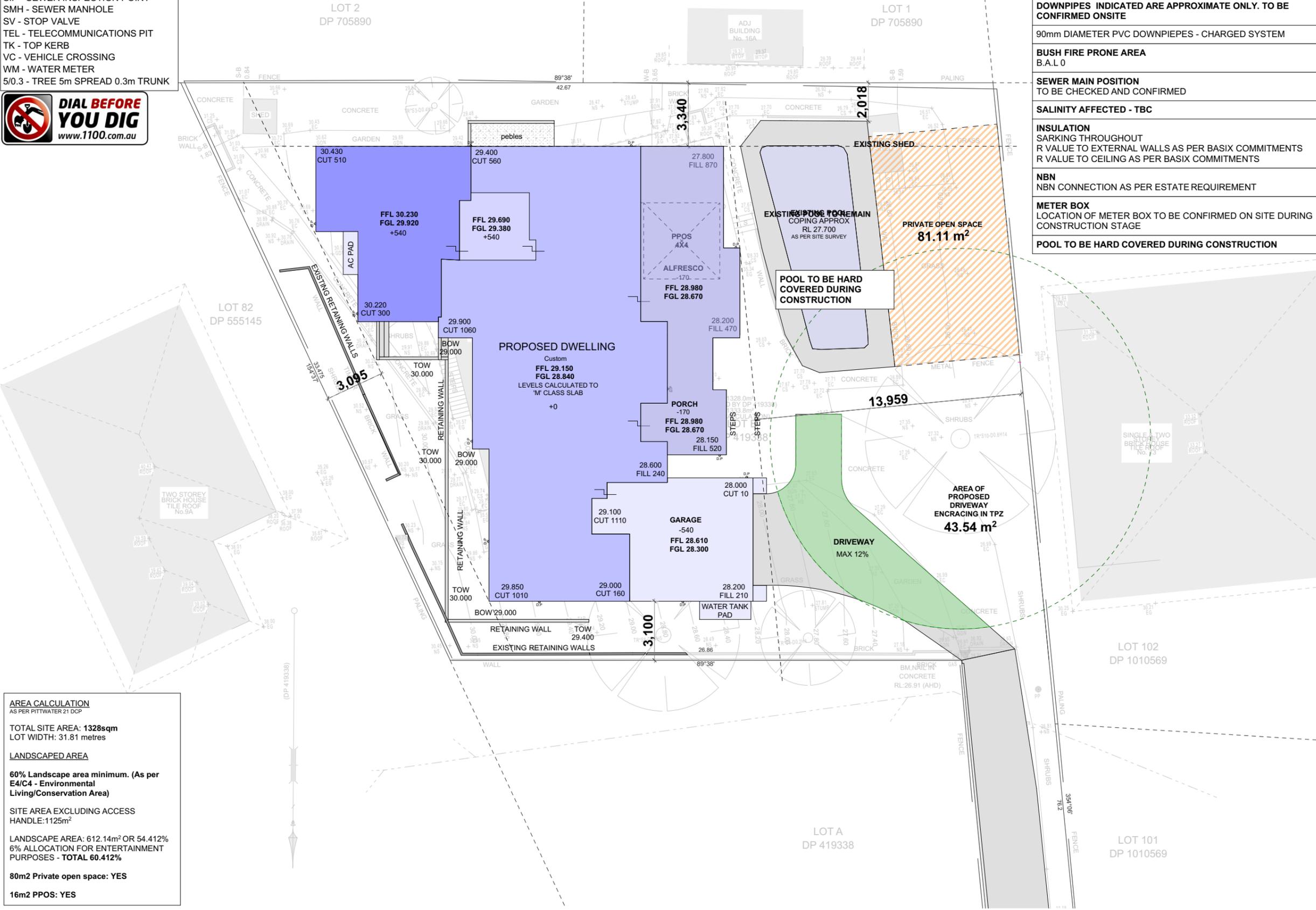
DATE PRINTED Friday, 10 March 2023

LOT A
DP 419338

LOT 101
DP 1010569

LEGEND

- BM - BENCH MARK
- C - CONCRETE
- ELEC - ELECTRICITY KIOSK
- GB - GARDEN BED
- GR - GRATE (PIT)
- H - WINDOW HEADER
- HYD - HYDRANT
- KOP - KERB OUTLET POINT
- LNT - KERB INLET PIT LINTEL
- LP - LIGHT POLE
- PC - PRAM CROSSING
- S - WINDOW SILL
- SIP - SEWER INSPECTION POINT
- SMH - SEWER MANHOLE
- SV - STOP VALVE
- TEL - TELECOMMUNICATIONS PIT
- TK - TOP KERB
- VC - VEHICLE CROSSING
- WM - WATER METER
- 5/0.3 - TREE 5m SPREAD 0.3m TRUNK



AREA CALCULATION
AS PER PITTWATER 21 DCP

TOTAL SITE AREA: 1328sqm
LOT WIDTH: 31.81 metres

LANDSCAPED AREA

60% Landscape area minimum. (As per E4/C4 - Environmental Living/Conservation Area)

SITE AREA EXCLUDING ACCESS HANDLE: 1125m²

LANDSCAPE AREA: 612.14m² OR 54.412%
6% ALLOCATION FOR ENTERTAINMENT PURPOSES - TOTAL 60.412%

80m² Private open space: YES
16m² PPOS: YES

FOR COUNCIL APPROVAL

Approval PLANS
NOT TO BE USED FOR CONSTRUCTION PURPOSES

SITE SOIL CLASSIFICATION
- M CLASS ASSUMED TO BE CHECKED AND CONFIRMED

NATURAL GAS IS AVAILABLE TO SITE
TBC

OVERHEAD POWERLINE PROTECTION
WORKS TO BE PERFORMED BY LOCAL SUPPLY AUTHORITY

SURFACE PICKUPS TO BE PROVIDED WHERE REQUIRED. TO BE CONFIRMED ON SITE BY PLUMBER

POSITION OF STORMWATER DRAINAGE LINES AND DOWNPIPES INDICATED ARE APPROXIMATE ONLY. TO BE CONFIRMED ONSITE

90mm DIAMETER PVC DOWNPIEPES - CHARGED SYSTEM

BUSH FIRE PRONE AREA
B.A.L 0

SEWER MAIN POSITION
TO BE CHECKED AND CONFIRMED

SALINITY AFFECTED - TBC

INSULATION
SARKING THROUGHOUT
R VALUE TO EXTERNAL WALLS AS PER BASIX COMMITMENTS
R VALUE TO CEILING AS PER BASIX COMMITMENTS

NBN
NBN CONNECTION AS PER ESTATE REQUIREMENT

METER BOX
LOCATION OF METER BOX TO BE CONFIRMED ON SITE DURING CONSTRUCTION STAGE

POOL TO BE HARD COVERED DURING CONSTRUCTION

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New Dwelling
JOB NUMBER FJ255

Site Plan

CLIENT Mr Eddie Grobler

LOCATION
**11B Hill Street
Warriewood NSW 2102**

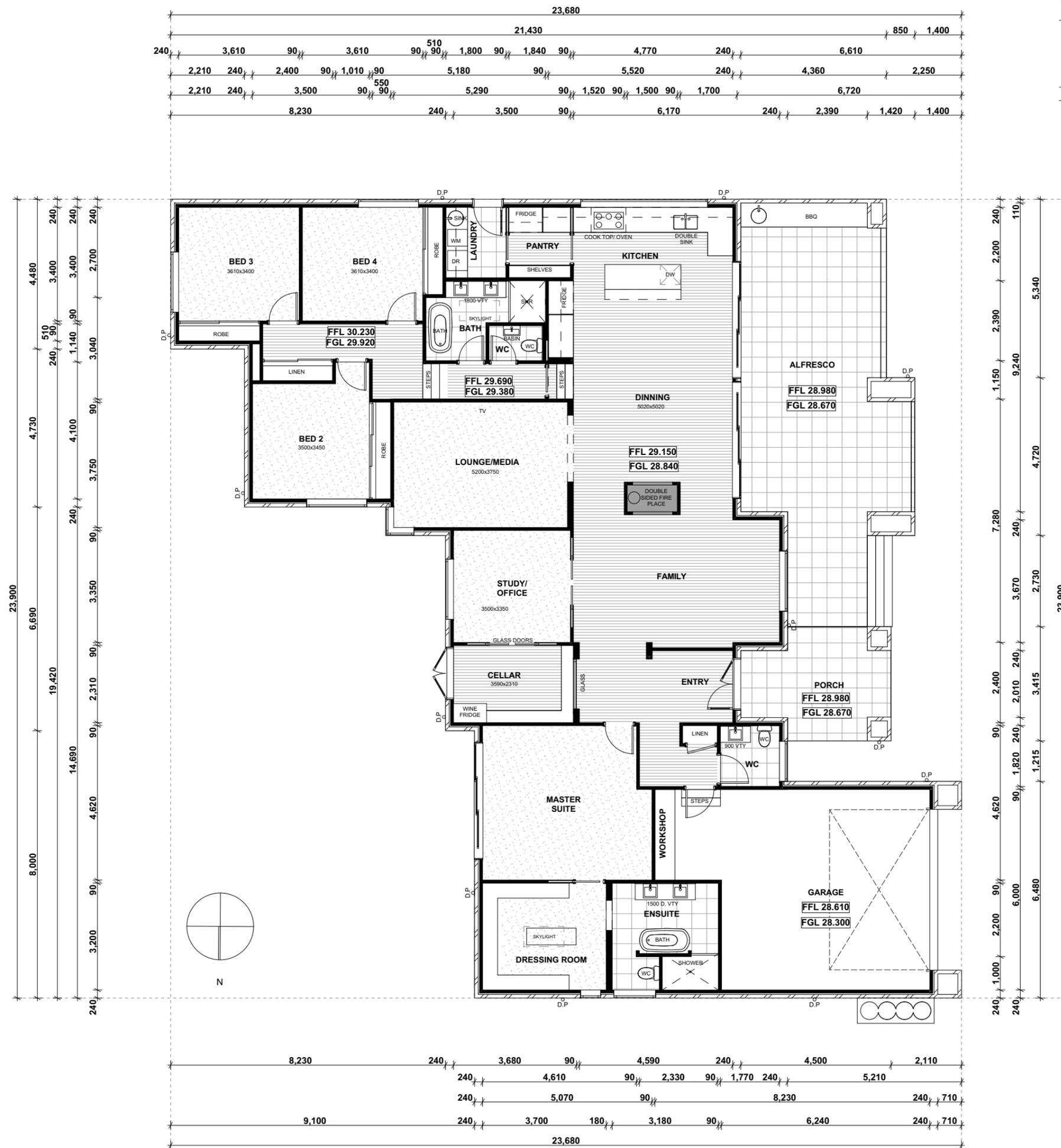
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SHEET NO: **APPROVAL- 4** SCALE: 1:200, 1:194.166 @ A3

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Area Calculations	
Room Name	Area
ALFRESCO	46.87
FLOOR AREA	270.99
GARAGE	46.91
PORCH	13.40
	378.17 m²

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New Dwelling

JOB NUMBER FJ255

Ground Floor Plan

CLIENT Mr Eddie Grobler

LOCATION
 11B Hill Street
 Warriewood NSW 2102

DP B/-DP419338

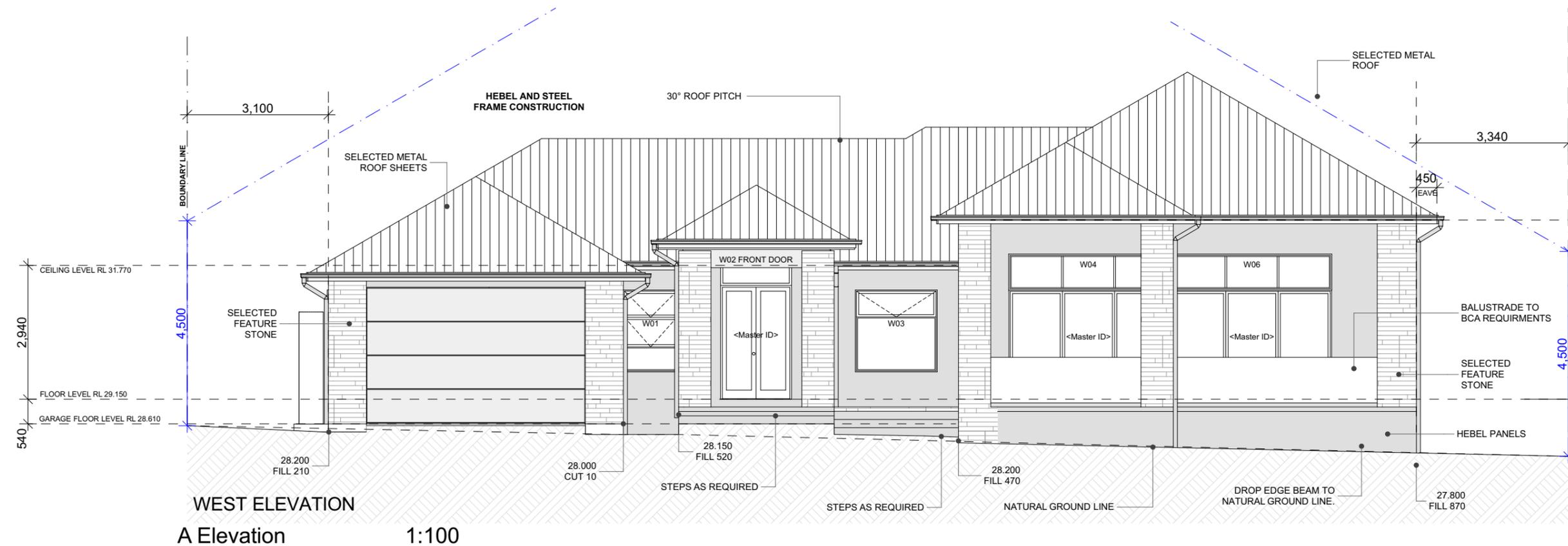
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WEST ELEVATION
A Elevation 1:100



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New Dwelling

JOB NUMBER FJ255

Elevations

CLIENT Mr Eddie Grobler

LOCATION
11B Hill Street
Warriewood NSW 2102

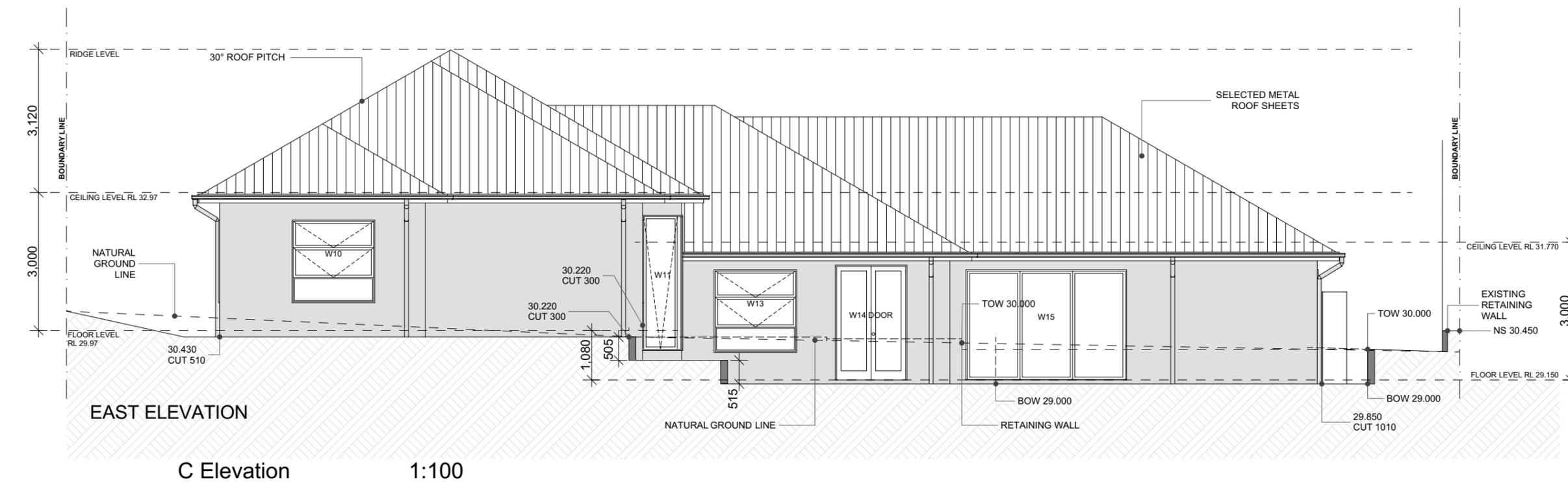
DP B/-DP419338

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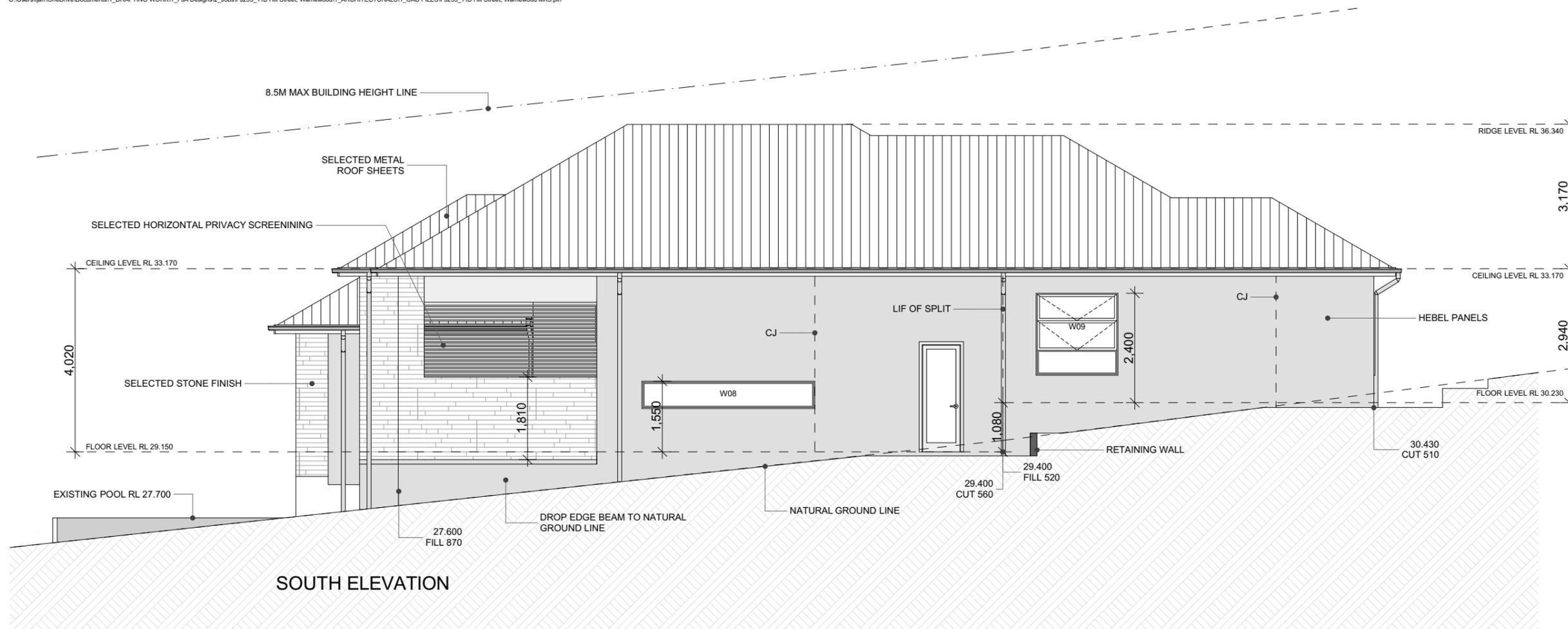
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EAST ELEVATION
C Elevation 1:100

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F	APPROVAL PLAN	FA	15.02.2023
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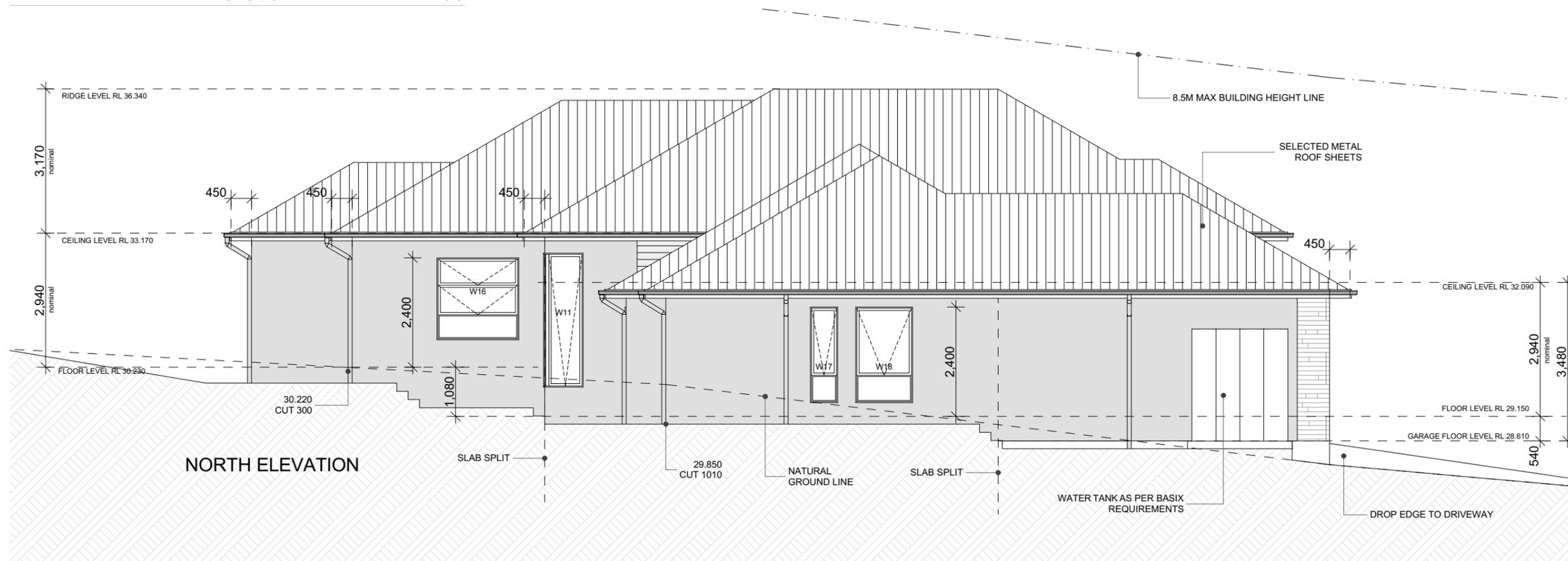
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New Dwelling

JOB NUMBER FJ255

Elevations

CLIENT Mr Eddie Grobler

LOCATION
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 Warriewood NSW 2102

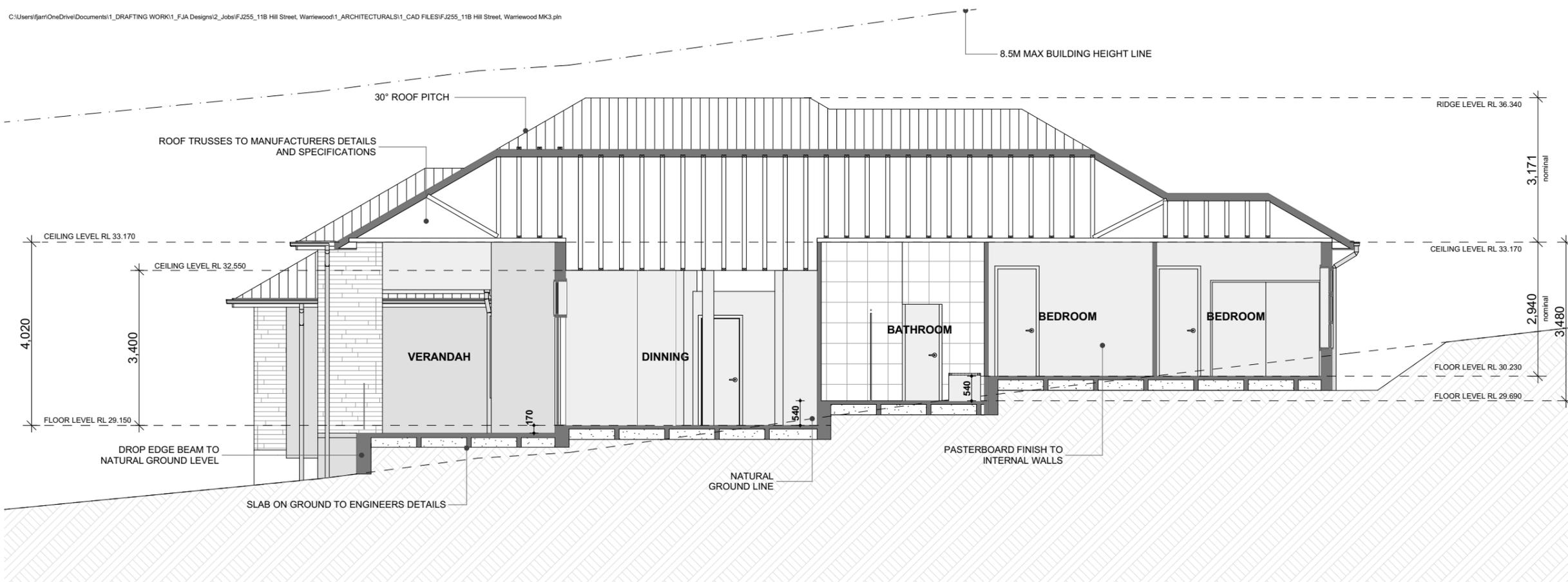
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AA Section 1:100

Window Code	W01	W02 FR...	W03	W04	W06	W08	W09	W10	W11	W11
Height	1,800	785	1,800	785	785	600	1,800	1,800	2,940	2,940
Width	1,200	1,560	1,800	3,500	3,500	3,800	1,800	1,800	780	780
Head height	2,400	3,285	2,400	3,185	3,185	1,550	2,400	2,400	3,582	3,582
Surface Area	2.16	1.22	3.24	2.75	2.75	2.28	3.24	3.24	2.29	2.29
Quantity	1	1	1	1	1	1	1	1	1	1
Elevation										
Room Location										
Window Type	AW	FIXED	AW	FIXED	FIXED	FIXED	AW	AW		AW

Window Code	W13	W14 DOOR	W15	W16	W17	W18
Height	1,800	2,500	2,400	1,800	2,100	2,100
Width	1,800	1,560	3,500	1,800	600	1,250
Head height	2,400	2,500	2,400	2,400	2,400	2,400
Surface Area	3.24	3.90	8.40	3.24	1.26	2.63
Quantity	1	1	1	1	1	1
Elevation						
Room Location						
Window Type	AW		SLIDING DOOR	AW	AW	AW

CODE KEY
 CSD= CAVITY SLIDING DOOR
 LOH=LIFT OF HINGE DOORS
 DG= DOUBLE GLASS (REFER TO TENDER)
 OBS= OBSCURE GLAZING AS SELECTED
 RD= ROBE DOOR
 MR=MIRROR
 SP=SPECIALY MADE
 SQ SET= SQUARE SET OPENING
 SHR= SHOWER LOCATION
 AA= ALUMINIUM AWNING WINDOW
 AS= ALUMINIUM SLIDING WINDOW
 ASDI= ALUMINIUM SLIDING DOOR
 ASSD= ALUMINIUM STACKER DOOR
 CR= OPEN CORNER (NO POST)
 EXT= EXTERNAL DOOR (CLEAR GLAZING U.N.O.)

WINDOW SCHEDULE IS MESURED TO THE ALUMINIUM - ALL WINDOW SIZES ARE NOMINAL AND ARE SUBJECT TO WINDOW MANUFACTURERS STANDARD SIZES AND FINAL DETAILS

New Dwelling

JOB NUMBER FJ255

Section

CLIENT Mr Eddie Grobler

LOCATION
**11B Hill Street
 Warriewood NSW 2102**

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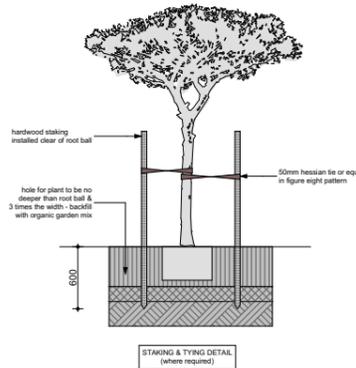
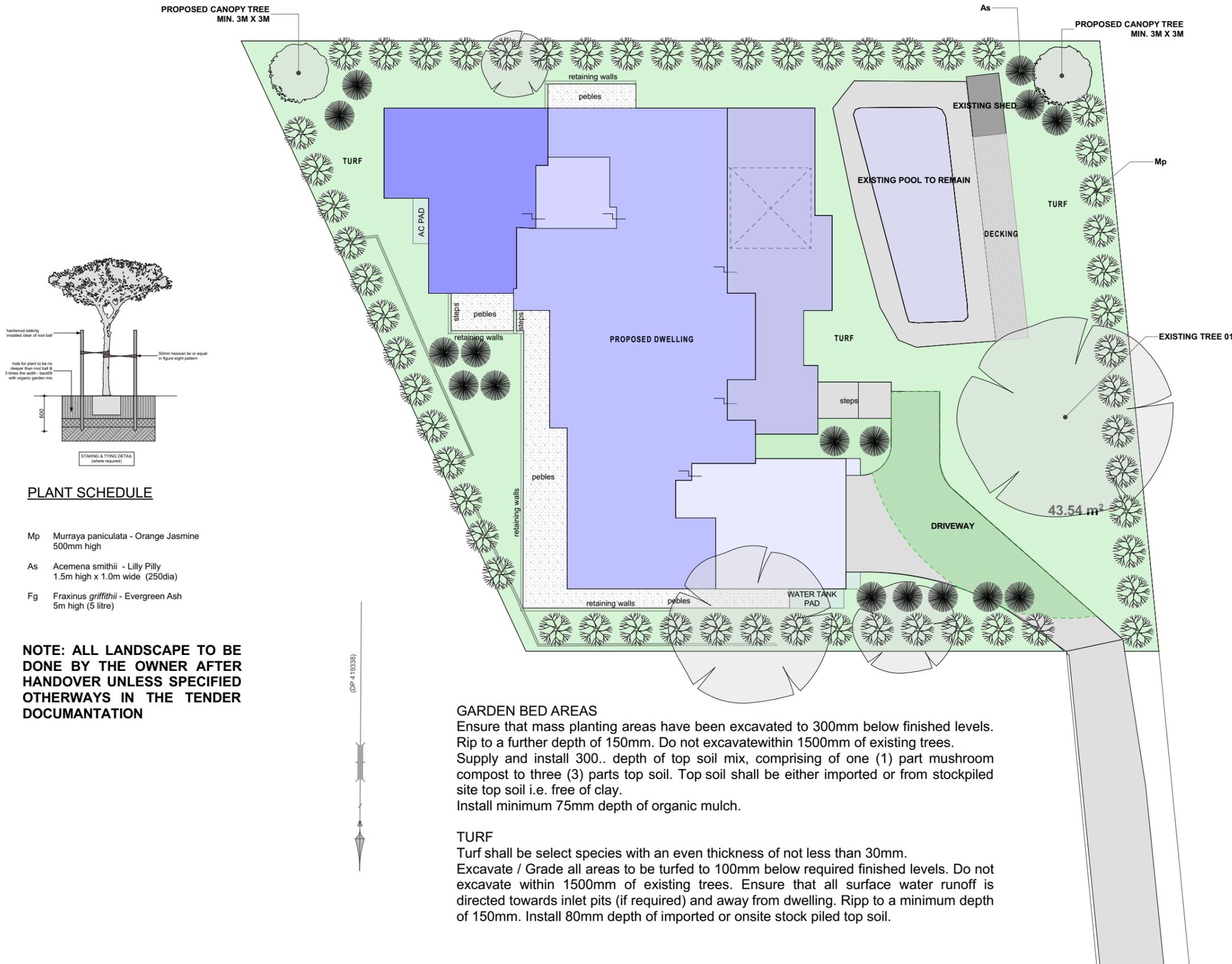
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PLANT SCHEDULE

- Mp *Murraya paniculata* - Orange Jasmine
500mm high
- As *Acemena smithii* - Lilly Pilly
1.5m high x 1.0m wide (250dia)
- Fg *Fraxinus griffithii* - Evergreen Ash
5m high (5 litre)

NOTE: ALL LANDSCAPE TO BE DONE BY THE OWNER AFTER HANDOVER UNLESS SPECIFIED OTHERWISE IN THE TENDER DOCUMENTATION

GARDEN BED AREAS
Ensure that mass planting areas have been excavated to 300mm below finished levels. Rip to a further depth of 150mm. Do not excavate within 1500mm of existing trees. Supply and install 300.. depth of top soil mix, comprising of one (1) part mushroom compost to three (3) parts top soil. Top soil shall be either imported or from stockpiled site top soil i.e. free of clay. Install minimum 75mm depth of organic mulch.

TURF
Turf shall be select species with an even thickness of not less than 30mm. Excavate / Grade all areas to be turfed to 100mm below required finished levels. Do not excavate within 1500mm of existing trees. Ensure that all surface water runoff is directed towards inlet pits (if required) and away from dwelling. Ripp to a minimum depth of 150mm. Install 80mm depth of imported or onsite stock piled top soil.



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New Dwelling

JOB NUMBER FJ255

Landscape Plan

CLIENT Mr Eddie Grobler

LOCATION
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DP B/-/DP419338

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New Dwelling

JOB NUMBER FJ255

Site Analysis Plan

CLIENT Mr Eddie Grobler

LOCATION
**11B Hill Street
 Warriewood NSW 2102**

DP B/-/DP419338

LGA **Northern Beaches COUNCIL**

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New Dwelling

JOB NUMBER FJ255

Site Management Plan

CLIENT Mr Eddie Grobler

LOCATION
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 Warriewood NSW 2102

DP B/-DP419338

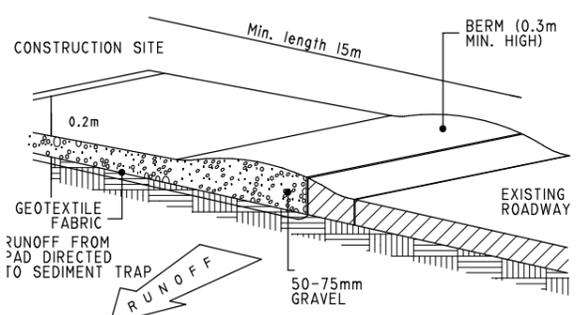
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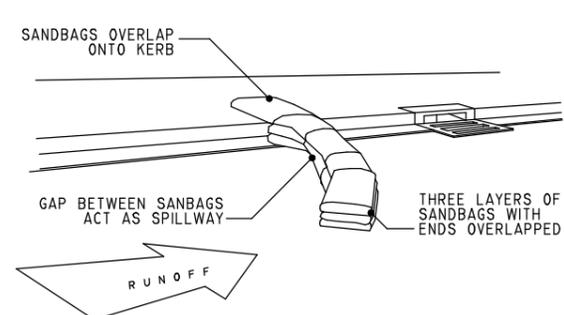
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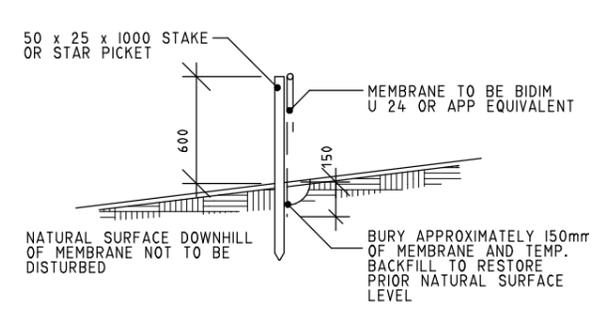
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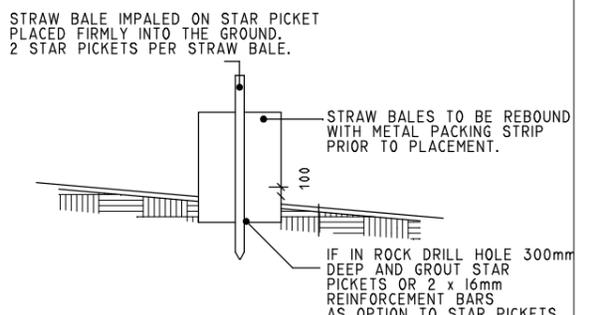
SANDBAG KERB INLET SEDIMENTATION TRAP



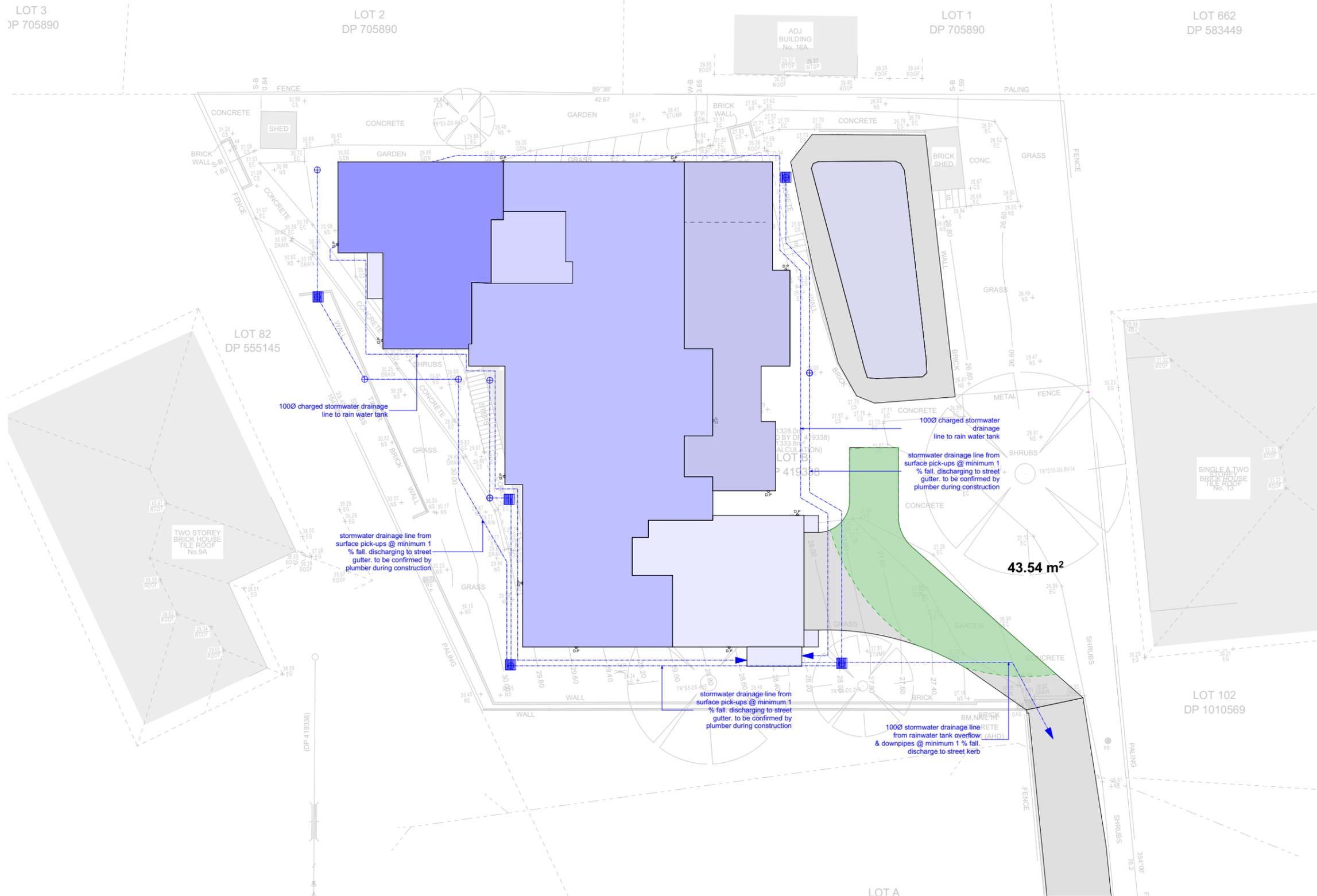
SILT FENCING DETAIL



STRAW BALE BARRIER (TYPICAL SECTION)



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New Dwelling

JOB NUMBER FJ255

Stormwater concept Plan

CLIENT Mr Eddie Grobler

LOCATION
 11B Hill Street
 Warriewood NSW 2102

DP B/-DP419338

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SHEET NO: APPROVAL- 12 SCALE: 1:200 @ A3

DATE PRINTED Friday, 10 March 2023

BASIX/NatHERS Project Commitments

Proposed: Proposed Single Storey Dwelling
 Address: 11B Hill Street, Warriewood NSW
 Lot No. / DP: B/419338

Note: Refer to certifications for full details and confirmation of all items

Water

Fixtures	Specification
Shower Head Rating	4 star (> 4.5 but <= 6 L/min)
Toilet Rating	4 star
Kitchen Taps Rating	3 star
Bathroom Taps Rating	3 star

Alternative Water Details

Rainwater Tank	Minimum capacity of 3,000L to collect runoff of at least 150sqm of roof area
----------------	--

Thermal Comfort

External Walls	Requirements
Hebel Veneer, Plasterboard	Glass fibre batt: R2.0 + wall wrap

Internal Walls

Cavity Stud Walls, Direct Fix Plasterboard	Glass fibre batt: R2.0 to Garage and WC internal walls
--	--

Ceiling

Plasterboard	Glass fibre batt: R4.1
--------------	------------------------

Roof

Sheet Metal Roof	55mm foil backed blanket under sheet metal roof
------------------	---

Floors

Concrete Slab On Ground	Nil
-------------------------	-----

Windows (Refer to NatHERS Certificate for locations & substitution tolerances)

ALM-002-01 A Aluminium B SG Clear	≤ U-value 6.7 and SHGC 0.66 - 0.74
ALM-001-01 A Aluminium A SG Clear	≤ U-value 6.7 and SHGC 0.54 - 0.60
TIM-001-01 W Timber A SG Clear	≤ U-value 5.4 and SHGC 0.53 - 0.59

Downlights

Sealed Downlight Covers	Sealed downlight covers to be used to all downlights where insulation is installed.
-------------------------	---

Energy

Hot Water	Specification	Rating
Individual System	Gas instantaneous	4 stars

Ventilation

Bathroom Ventilation System	Individual fan, ducted to façade or roof (manual switch on/off)
Kitchen Ventilation System	Individual fan, ducted to façade or roof (manual switch on/off)
Laundry Ventilation System	Natural ventilation only

Cooling (Zoned)

Individual Systems - Living Areas	3 phase airconditioning	EER 2.5 - 3.0
Individual Systems - Bedroom Areas	3 phase airconditioning	EER 2.5 - 3.0

Heating (Zoned)

Individual Systems - Living Areas	3 phase airconditioning	EER 2.5 - 3.0
Individual Systems - Bedroom Areas	3 phase airconditioning	EER 2.5 - 3.0

Appliances

Cooktop/Oven	Gas cooktop & electric oven
Well Ventilated Fridge Space	No
Outdoor/Unsheltered Clothes Drying Line	Yes
Indoor/Sheltered Clothes Drying Line	No

Alternative Energy

Photovoltaic System	Minimum capacity of producing 1kW's of peak electricity
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New Dwelling

JOB NUMBER FJ255

BASIX requirements

CLIENT Mr Eddie Grobler

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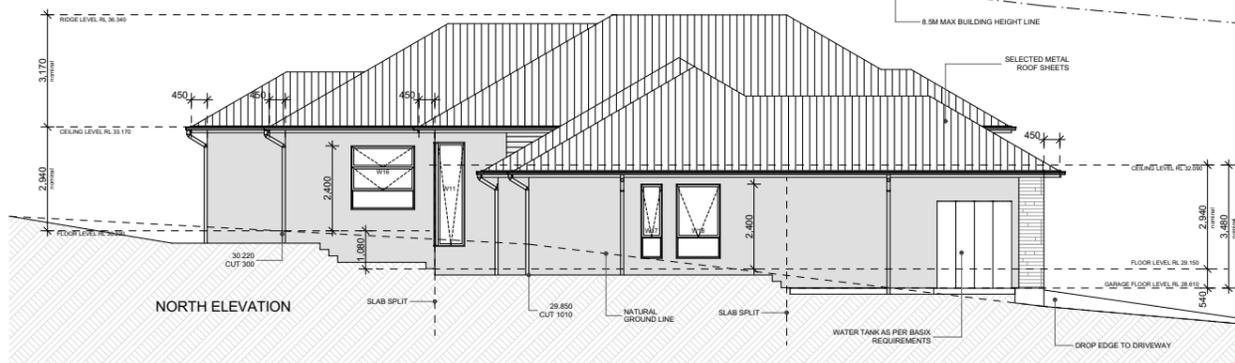
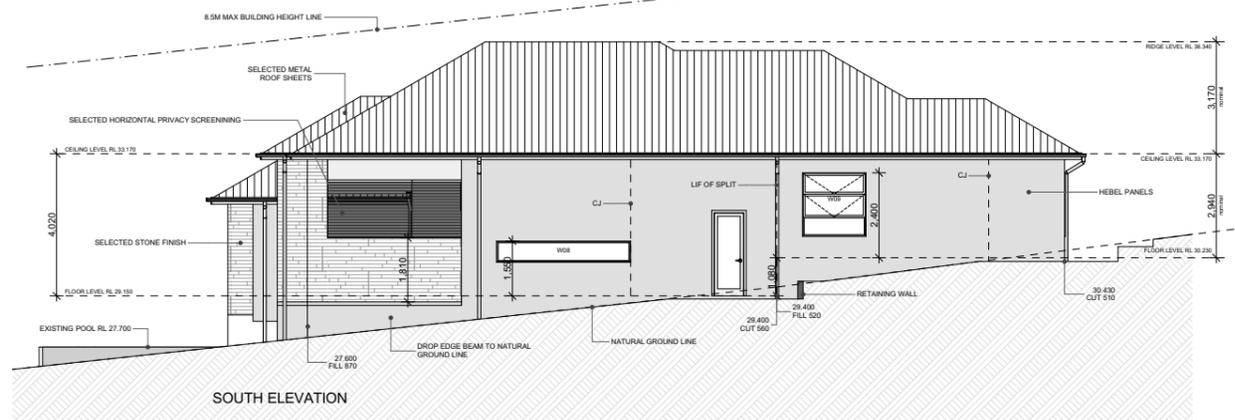
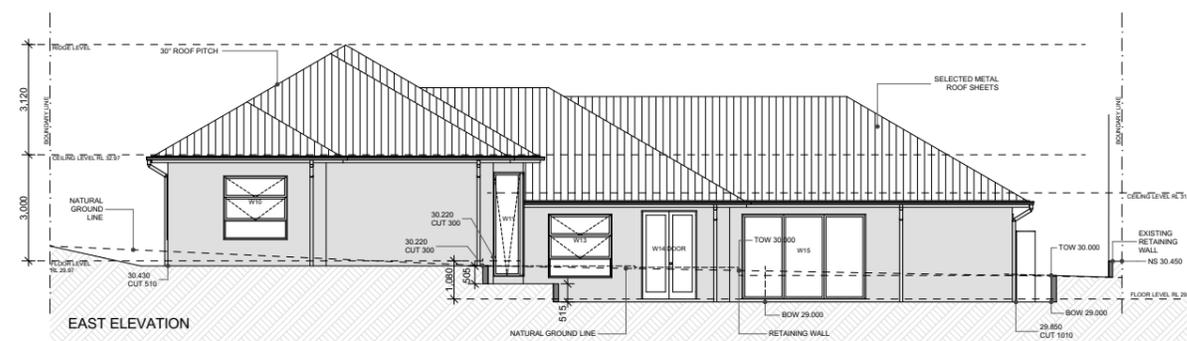
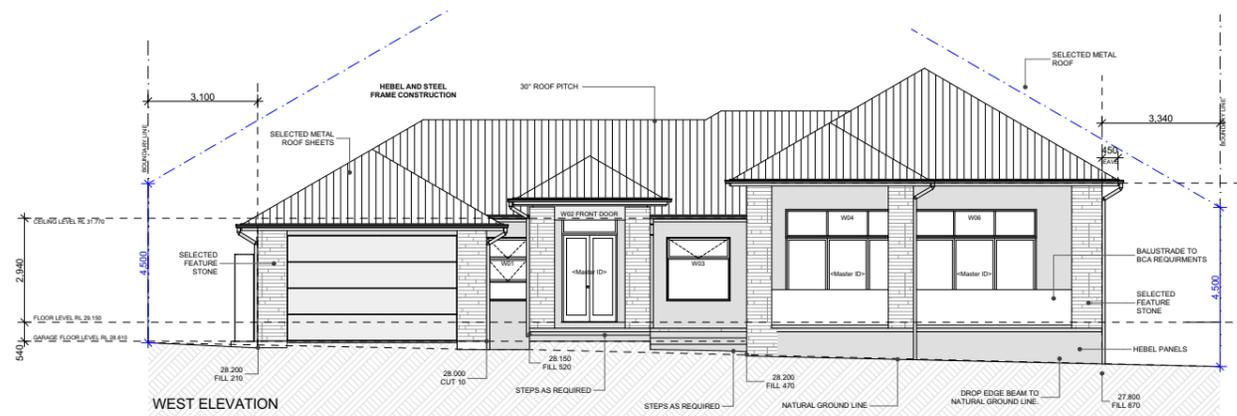
DP B/-/DP419338

LGA **Northern Beaches COUNCIL**

DESIGNER FA - BDAA Accreditation No.6617

SHEET NO: **APPROVAL- 13** SCALE: 1:1.048 @ A3

DATE PRINTED
 Friday, 10 March 2023



REV	DESCRIPTION	BY	DATE
A	CONCEPT PLAN	FA	09.11.2022
A	PRE-APPROVAL PLAN	FA	01.12.2022
C	PRE-APPROVAL PLAN	LH	17.12.2022
D	APPROVAL PLAN	LH	19.01.2023
E	APPROVAL PLAN	FA	24.01.2023
F	APPROVAL PLAN	FA	15.02.2023
G	APPROVAL PLAN	FA	10.03.2023



Building Design + Drafting Services

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GENERAL BUILDING NOTES

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED.
2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH BUILDER'S TENDER/CONTRACT DOCUMENTATION.
3. TENDER DOCUMENT SHALL TAKE PREFERENCE TO THESE DRAWINGS.
4. FIGURED DIMENSIONS MUST TAKE PREFERENCE TO SCALING.
5. LEVELS SHOWN ARE APPROXIMATE AND ARE TO BE CONFIRMED ON SITE BY SURVEYOR.
6. DRAINAGE CONCEPT PLAN IS SCHEMATIC ONLY. RELATED WORKS TO BE VERIFIED BY LICENSED DRAINER AND /OR HYDRAULICS ENGINEER PRIOR TO WORK COMMENCEMENT.
7. IF ENGINEER DRAWINGS ARE REQUIRED SUCH MUST TAKE PREFERENCE TO THESE DRAWINGS.
8. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BEFORE COMMENCEMENT OF BUILDING WORKS BY REGISTERED SURVEYOR.
9. IN CASE OF ALTERATIONS OR DISCREPANCIES NOTIFY FJA DESIGNS OFFICE IMMEDIATELY.

New Dwelling

JOB NUMBER FJ255

Notification Plan

CLIENT Mr Eddie Grobler

LOCATION
 11B Hill Street
 Warriewood NSW 2102

DP B/-DP419338

LGA Northern Beaches COUNCIL

DESIGNER FA - BDAA Accreditation No.6617

SHEET NO: APPROVAL- 14 SCALE: 1:500, 1:200 @ A3

DATE PRINTED Friday, 10 March 2023

FADesigns

Building Design + Drafting Services

11B HILL STREET, WARRIEWOOD NSW 2102

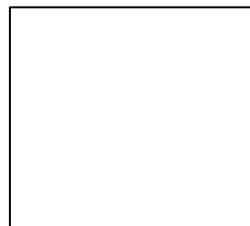
EXTERNAL COLOUR SCHEME



Cladding: Dulux Tranquil Retreat



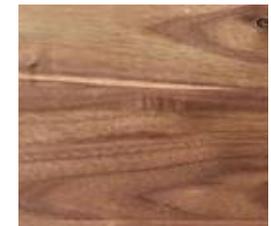
Roof & Gutters: Colourbond Windspray



Fascia, Window trims & Garage Door: Vivid White



Feature Stone: Cinajus Natural Stone – Aspen Limestone Wall Cladding



Double glass front door with timber frame: Walnut

MATERIALS SHOWN ARE DEPICTIVE ONLY AND MAY NOT REFLECT THE SELECTED FINISHES.