



NEWPORT MARINA AND RESIDENTIAL DEVELOPMENT

122-128 CRESCENT RD & 55-57 THE AVENUE

DP210342, DP503390, DP545339 & DP556902

ESSEX DEVELOP

SUBDIVISION DEVELOPMENT APPLICATION

20220005: DRAWING LIST

DRAWING LIST

NUMBER	SHEET NAME
AD-DA900	COVER PAGE
AD-DA901	LOCATION PLAN
AD-DA902	DEMOLITION PLAN
AD-DA903	ARCHITECTURAL ENVELOPE PLAN
AD-DA904	ARCHITECTURAL ENVELOPE SECTIONS
AD-DA905	SUBDIVISION PLAN
AD-DA906	OVERLAY DEMO & NEW

GENERAL NOTES

1. DO NOT SCALE FROM DRAWINGS. WRITTEN DIMENSIONS GOVERN. IF IN DOUBT OBTAIN WRITTEN ADVICE FROM SCOTT CARVER OR WHERE APPLICABLE VIA THE PRINCIPAL'S REPRESENTATIVE
2. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED. ALL DIMENSIONS ARE MINIMUM SETTING OUT REQUIREMENTS
3. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE PRIOR TO PROCEEDING WITH THE WORKS. NOTIFY THE PRINCIPALS REPRESENTATIVE IN WRITING OF ANY DISCREPANCIES
4. ALL ARCHITECTURAL DRAWINGS MUST BE READ IN CONJUNCTION WITH RELEVANT CONTRACTS, ARCHITECTURAL REPORTS, SCHEDULES AND SPECIFICATIONS AND ALL OTHER CONSULTANT / CONTRACT DOCUMENTATION. NOTIFY THE PRINCIPALS REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN DOCUMENTATION IN WRITING TO OBTAIN CLARIFICATION DIRECTION
5. ALL WORK TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE INCLUDING RELEVANT AUSTRALIAN STANDARDS AND REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA AND AUSTRALIAN WORK HEALTH AND SAFETY LEGISLATION
6. DESIGN DRAWINGS ARE BASED ON SURVEY INFORMATION. PRIOR TO DETAILED DESIGN AND CONSTRUCTION, THE CONTRACTOR IS TO UNDERTAKE A FULL SURVEY TO VERIFY ALL DIMENSIONS AND CONFIRM LOCATION OF EXISTING STRUCTURE, SERVICES, BUILDING FABRIC AND SITE FEATURES.
7. ANY CONSULTANT DRAWING INFORMATION SHOWN ON THE ARCHITECTURAL DRAWINGS ARE SUBJECT TO LATEST REQUIREMENT AND ARE TO BE USED AS A GUIDE ONLY



[Status] PRELIMINARY

[Nom. Architect] DOUG SOUTHWELL /7362

[File]

[Print Date] 8/06/2022 10:24:39 AM

History

[Rev#] [Description] [Date]dd.mm.yy
1 SUBDIVISION DA 07.06.2022





LEGEND

- BOUNDARY LINE
- - - DEMOLITION
- - - HIGH WATER MARK
- - - FORESHORE SETBACK
- 01 TREE TO REMAIN
- 01 TREE TO BE DEMOLISHED

FOR DETAILED ARBORIST REPORT REFER TO REPORT 6322 BY RAINTREE CONSULTING - DATED 25.05.2022

EXISTING EASEMENTS
 A. TRANSMISSION LINE
 B. RIGHT OF CARRIAGEWAY
 C. DRAIN WATER (1.83M WIDE)

BASED ON SURVEY BY BOXALL DATED 05.05.2022 - DRAWING NO. 11369-001-A





LEGEND

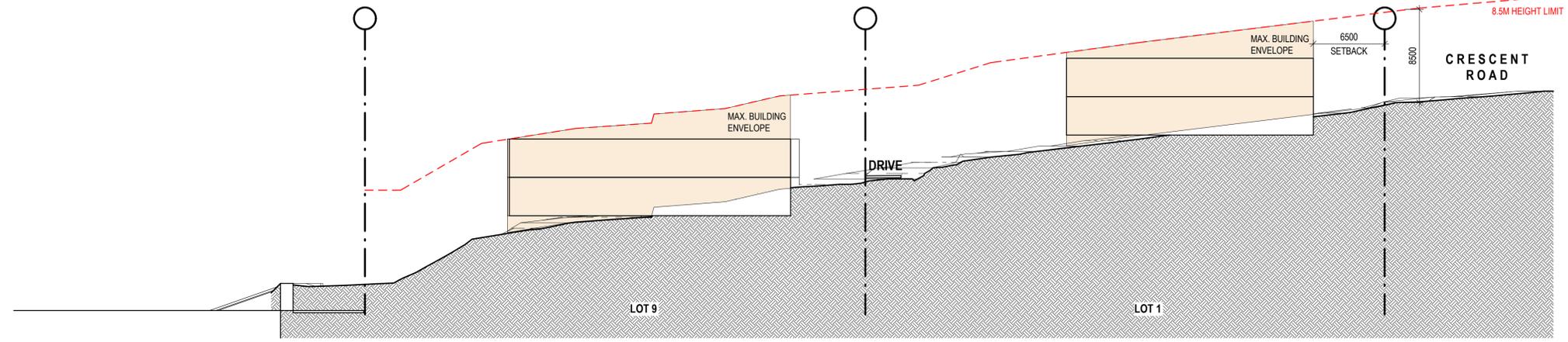
- BOUNDARY LINE
- - - HIGH WATER MARK
- - - FORESHORE SETBACK
- - - RIGHT OF WAY
- ▨ DRAINAGE EASEMENTS REFER TO SITEWORKS AND DRAINAGE PLAN FROM BG&E
- ▨ UNDERGROUND CABLE EASEMENT REFER TO PROPOSED UNDERGROUND SERVICES PLAN FROM IGS
- [] INDICATIVE BUILDING FOOTPRINT SUBJECT TO FUTURE DWELLING DA
- ▨ INDICATIVE LANDSCAPED AREA
- ▨ BUILDING SETBACK
- 01 TREE TO REMAIN

FOR DETAILED ARBORIST REPORT REFER TO REPORT 6322 BY RAINTREE CONSULTING - DATED 25.05.2022

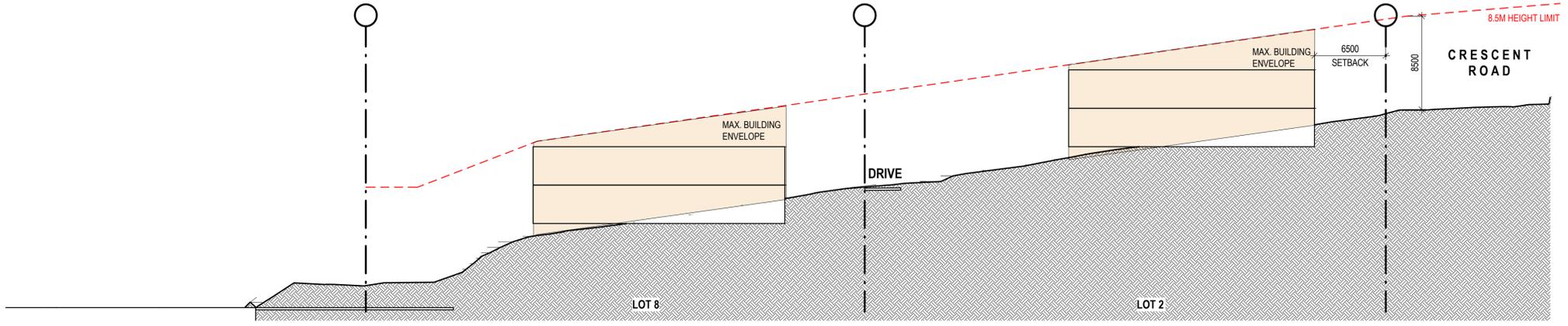
BASED ON SURVEY BY BOXALL DATED 05.05.2022 - DRAWING NO. 11369-001-A



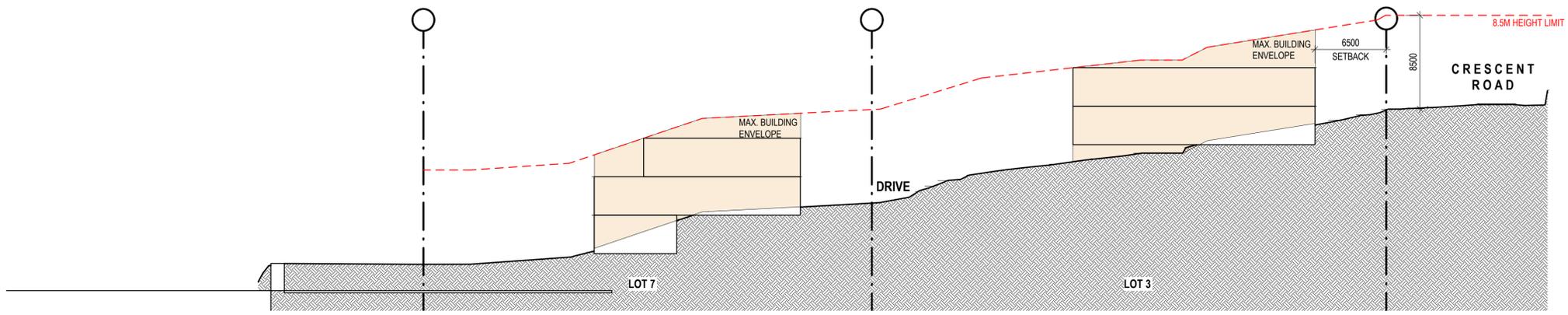
4 SECTION 4
 1 : 250



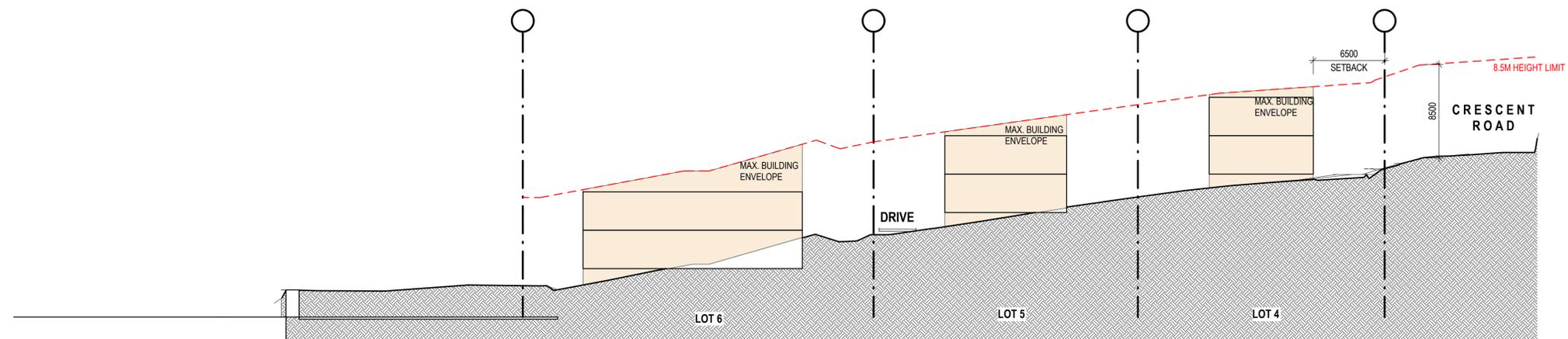
3 SECTION 3
 1 : 250



2 SECTION 2
 1 : 250



1 SECTION 1
 1 : 250





- LEGEND**
- BOUNDARY LINE
 - - - HIGH WATER MARK
 - · - · - FORESHORE SETBACK
 - · - · - RIGHT OF WAY
 - ▨ DRAINAGE EASEMENTS REFER TO SITWORKS AND DRAINAGE PLAN FROM BG&E
 - ▨ UNDERGROUND CABLE EASEMENT REFER TO PROPOSED UNDERGROUND SERVICES PLAN FROM IGS

BASED ON SURVEY BY BOXALL DATED 05.05.2022 - DRAWING NO. 11369-001-A



LEGEND

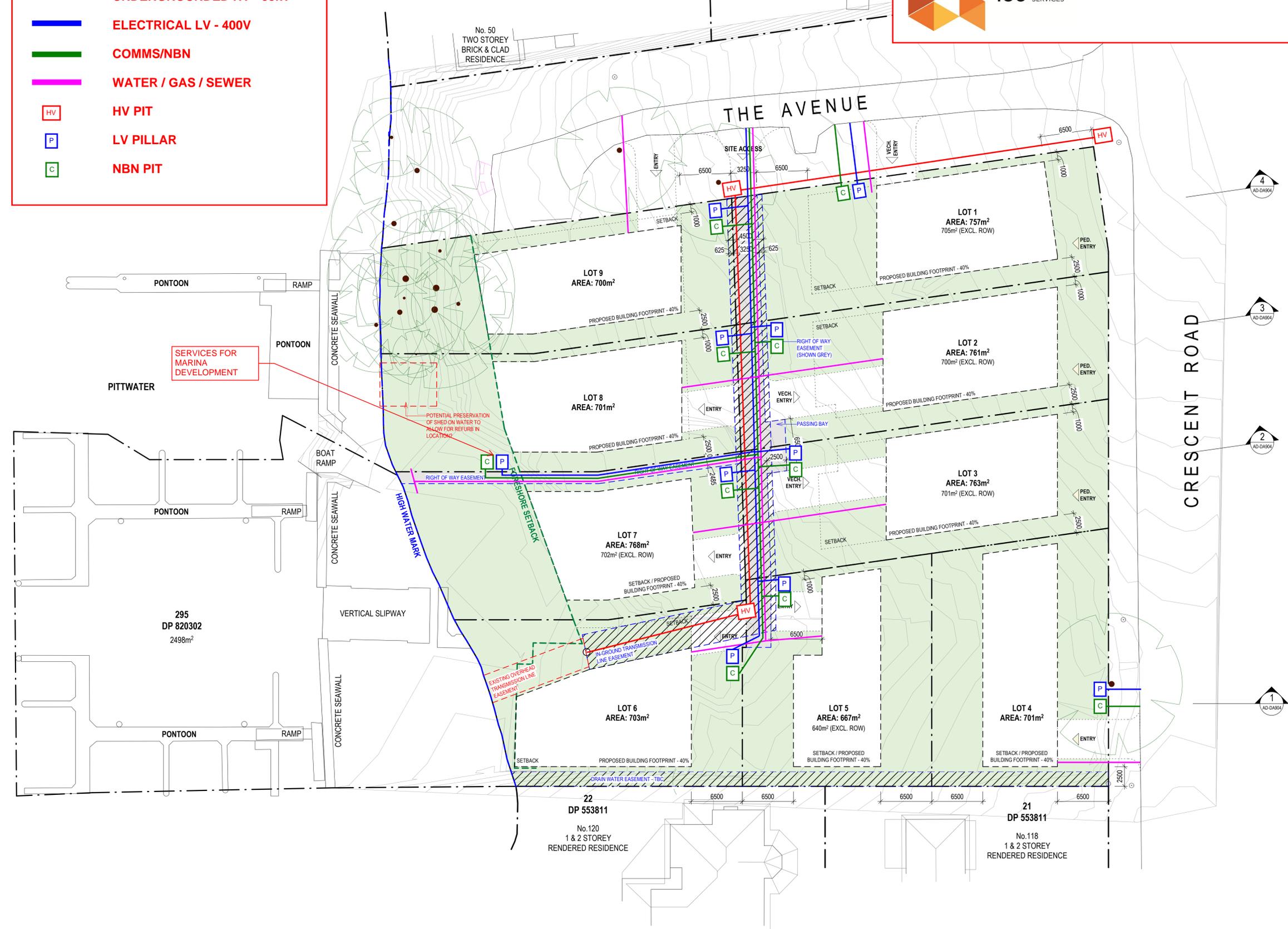
- UNDERGROUNDED HV - 33kV
- ELECTRICAL LV - 400V
- COMMS/NBN
- WATER / GAS / SEWER
- HV HV PIT
- P LV PILLAR
- C NBN PIT



PROPOSED UNDERGROUND SERVICES
27.05.2022

[Status] PRELIMINARY
 [Nom. Architect] DOUG SOUTHWELL /7362
 [File]
 [Print Date] 26/05/2022 2:05:16 PM
 History

[Rev#]	[Description]	[Date]dd.mm.yy
A	DRAFT SUBDIVISION	28.04.2022
B	DRAFT SUBDIVISION	03.05.2022
C	DRAFT SUBDIVISION	19.05.2022
D	DRAFT SUBDIVISION	26.05.2022



LEGEND

- BOUNDARY LINE
- DEMOLITION
- HIGH WATER MARK
- FORESHORE SETBACK
- INDICATIVE BUILDING FOOTPRINT
- BUILDING SETBACK
- INDICATIVE LANDSCAPED AREA
- EASEMENT
- RIGHT OF WAY

EXISTING EASEMENTS
 A. TRANSMISSION LINE
 B. RIGHT OF CARRIAGEWAY
 C. DRAIN WATER (1.83M WIDE)

NEW EASEMENTS
 TBC



BASED ON SURVEY BY BOXALL DATED 10.02.2022 - DRAWING NO. 11369-001