

Rapid Plans www.rapidplans.com.au
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 Fax: (02) 9905-8865 Mobile: 0414-945-024
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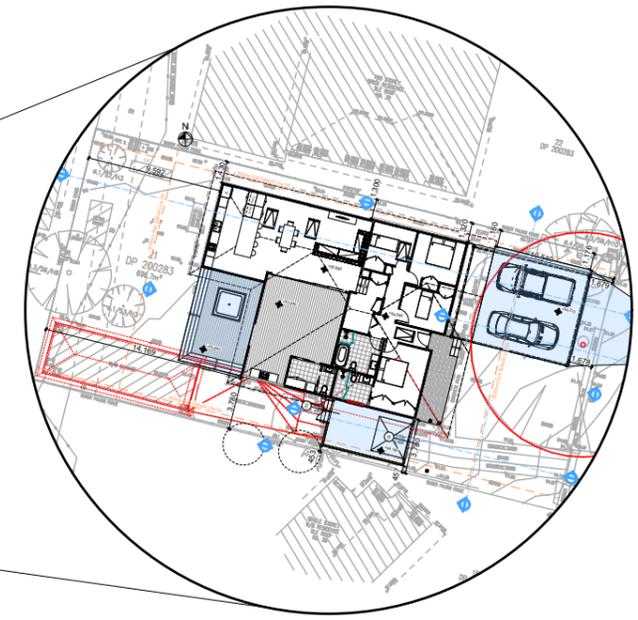
DEVELOPMENT APPLICATION

Alterations & Additions To Existing Residence

For Aleks Cerovic

28 Edinburgh Road, Forestville 2089

DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	2	- 19-12-2024
DA1001	A4 NOTIFICATION PLAN	2	- 19-12-2024
DA1002	SITE SURVEY	2	- 19-12-2024
DA1003	SITE SURVEY 2	2	- 19-12-2024
DA1004	SITE PLAN	2	- 19-12-2024
DA1005	Existing Ground Floor Plan	2	- 19-12-2024
DA1006	Existing First Floor Plan	2	- 19-12-2024
DA1007	Demolition Ground Floor Plan	2	- 19-12-2024
DA1008	Demolition First Floor Plan	2	- 19-12-2024
DA1009	Landscape Open Space Plan Existing	2	- 19-12-2024
DA1010	Landscape Open Space Plan Proposed	2	- 19-12-2024
DA1011	Excavation & Fill Plan	2	- 19-12-2024
DA1012	Landscape Plan	2	- 19-12-2024
DA1013	Sediment & Erosion Plan	2	- 19-12-2024
DA1014	Waste Management Plan	2	- 19-12-2024
DA1015	Stormwater Plan	2	- 19-12-2024
DA2001	GROUND FLOOR	2	- 19-12-2024
DA2002	ROOF	2	- 19-12-2024
DA3000	SECTION 1	2	- 19-12-2024
DA3001	SECTION DRIVE	2	- 19-12-2024
DA4000	ELEVATIONS 1	2	- 19-12-2024
DA4001	ELEVATIONS 2	2	- 19-12-2024
DA5000	PERSPECTIVE	2	- 19-12-2024
DA5001	MATERIAL & COLOUR SAMPLE BOARD	2	- 19-12-2024
DA5002	SHADOW PLAN 21st June 9am	2	- 19-12-2024
DA5003	SHADOW PLAN 21st June 12pm	2	- 19-12-2024
DA5004	SHADOW PLAN 21st June 3pm	2	- 19-12-2024
DA5005	WALL ELEVATION SHADOWS	2	- 19-12-2024



Alterations and Additions

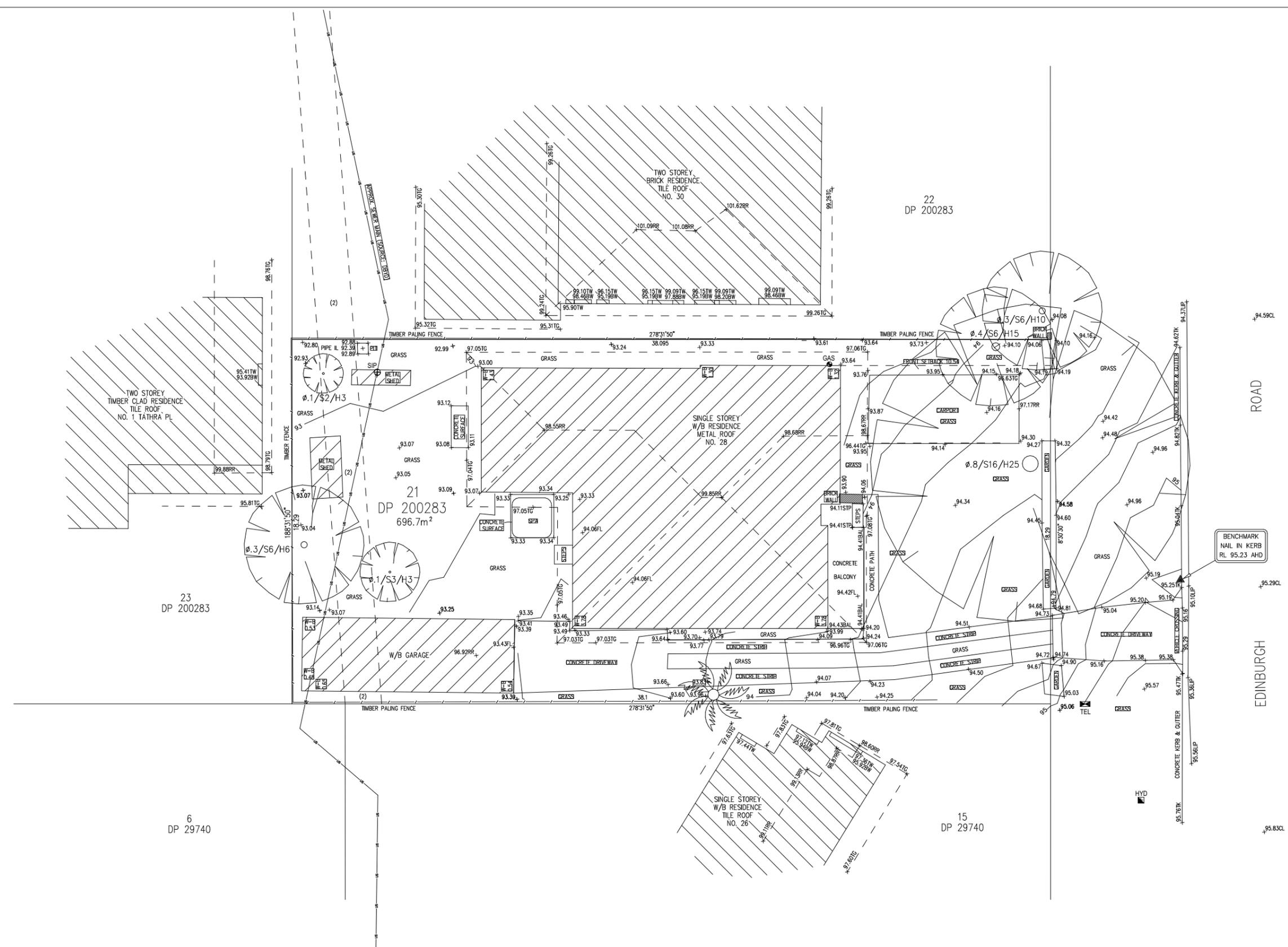
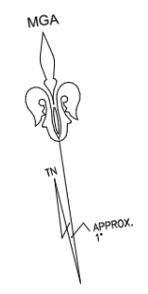
Certificate number: A1772665

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
 Date of issue: Tuesday, 12 November 2024
 To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	Cerovic
Street address	28 EDINBURGH Road FORESTVILLE 2087
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP200283
Lot number	21
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name	RAPID PLANS PTY LTD
ABN (if applicable)	43150064592



1

SURVEY PLAN
1:200

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NOT FOR CONSTRUCTION

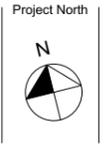


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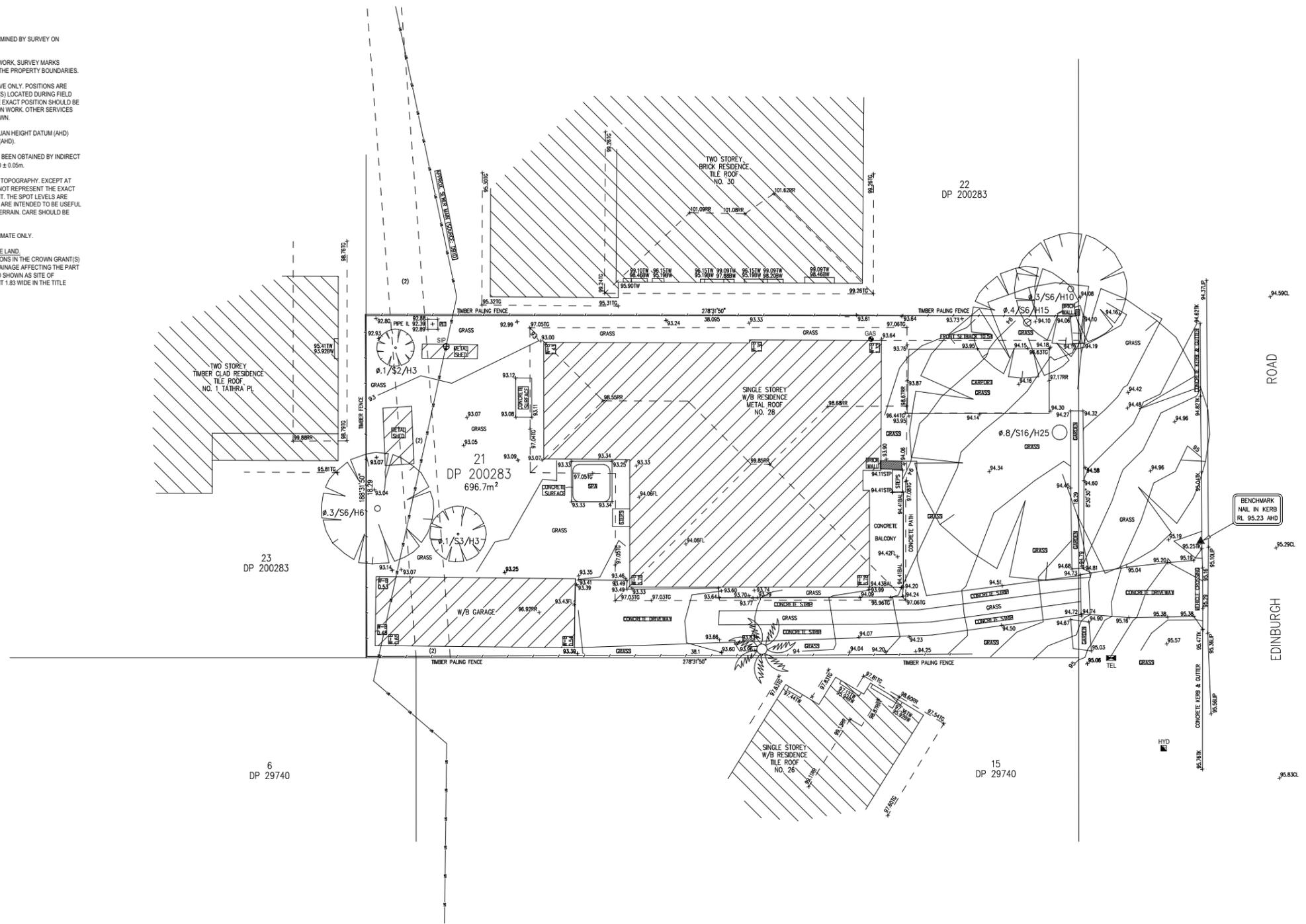
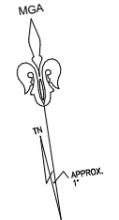


Checked: GBJ
Plot Date: 26/03/2025
Project No: RPO919CER
Project Status: DA Rev 2
Client Site: Aleks Cerovic
28 Edinburgh Road, Forestville 2089
Sheet Size: A3

DRAWING TITLE :
**SITE AND LOCATION
SITE SURVEY**
PROJECT NAME :
Alterations & Additions

REVISION NO.
DRAWING NO.
DA1002

NOTE:
 BOUNDARIES HAVE BEEN DETERMINED BY SURVEY ON 17/12/2024.
 PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.
 SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.
 LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING SSM 37599 WITH RL 88.84 (AHD).
 RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ± 0.05m.
 CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.
 TREE DIMENSIONS ARE APPROXIMATE ONLY.
 NOTATIONS ON THE TITLE TO THE LAND:
 (1) RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
 (2) 410095 - EASEMENT FOR DRAINAGE AFFECTING THE PART OF THE LAND ABOVE DESCRIBED SHOWN AS SITE OF PROPOSED DRAINAGE EASEMENT 1.83 WIDE IN THE TITLE DIAGRAM



Emma Hargreaves
 Registered Surveyor
 N° 8489

POINT SUFFIX LEGEND	
CL - CENTERLINE	WB - BOTTOM OF WINDOW
TB - TOP OF BANK	TG - TOP OF GUTTER
BB - BOTTOM OF BANK	RR - ROOF RIDGE
WT - TOP OF WINDOW	FL - FLOOR LEVEL
TEL - TELSTRA PIT	INV - INVERT LEVEL
PP - POWER POLE	WM - WATER METER
SM - BENCHMARK	SV - STOP VALVE
0.4S/10H16 - DIAMETERS/PREADHEIGHT	

LEGEND	
BM - BENCHMARK	SP - SEWER INSPECTION PIT
TEL - TELSTRA PIT	FH - FIRE HYDRANT
EBOX - ELECTRICAL BOX	TL - TRAFFIC LIGHT
LP - LIGHT POLE	TS - TRAFFIC SIGNAL BOX
PP - POWER POLE	TAP - WATER TAP
SM - SURVEY MARK	SP - STATE SURVEY MARK
SEWER MAN	SEWER MAN
STORMWATER LINE	STORMWATER LINE
TELECOMMUNICATIONS	TELECOMMUNICATIONS
US - UNKNOWN SERVICE	US - UNKNOWN SERVICE
UF - UNKNOWN SERVICE	UF - UNKNOWN SERVICE
UG - UNKNOWN SERVICE	UG - UNKNOWN SERVICE
UM - UNKNOWN SERVICE	UM - UNKNOWN SERVICE
UN - UNKNOWN SERVICE	UN - UNKNOWN SERVICE

TSS TOTAL SURVEYING SOLUTIONS

CLIENT: **RAPID PLANS**

JOB No:	240794	DRAWING NUMBER	240794-1	LGA	NORTHERN BEACHES
ADDRESS:	28 EDINBURGH ROAD, FORESTVILLE	DATUM AHD	SSM37599	CONTOUR INTERVAL	0.2m MINOR / 1m MAJOR
TITLE:	PLAN SHOWING DETAIL & LEVELS OVER LOT 21 IN DP200283	SCALE	1:100	REV.	00
		SHEET	1/1		A1

1 SURVEY PLAN 1:250

SURVEY PLAN SCALED TO FIT TITLEBLOCK

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Project North	Checked Plot Date: 26/03/2025	GBJ
	Project No: RP0919CER	DA Rev 2
	Project Status	
Client Site:	Aleks Cerovic	28 Edinburgh Road, Forestville 2089
Sheet Size:	A3	

DRAWING TITLE :	SITE AND LOCATION
	SITE SURVEY 2
PROJECT NAME :	Alterations & Additions

REVISION NO.	
DRAWING NO.	DA1003

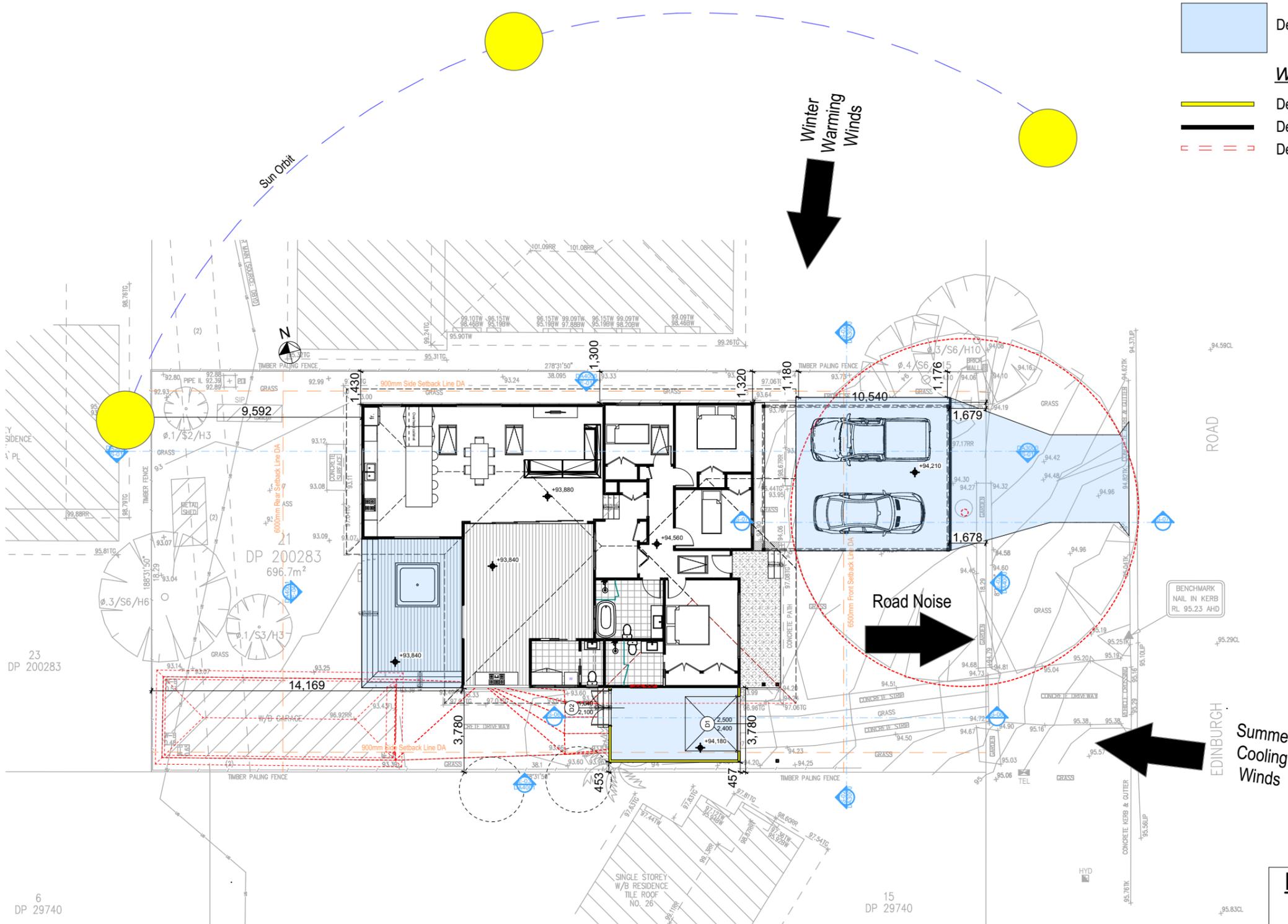
Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item



SITE PLAN
 1:200

2

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems	
Lighting	The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

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Site Information	Prop.	Comp.
Site Area	696.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45°	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder To Confirm Type & Colour

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
 Plot Date: 26/03/2025
 Project NO.: R20913PCR
 Project Status DA Rev 2

Client: Aleks Cerovic

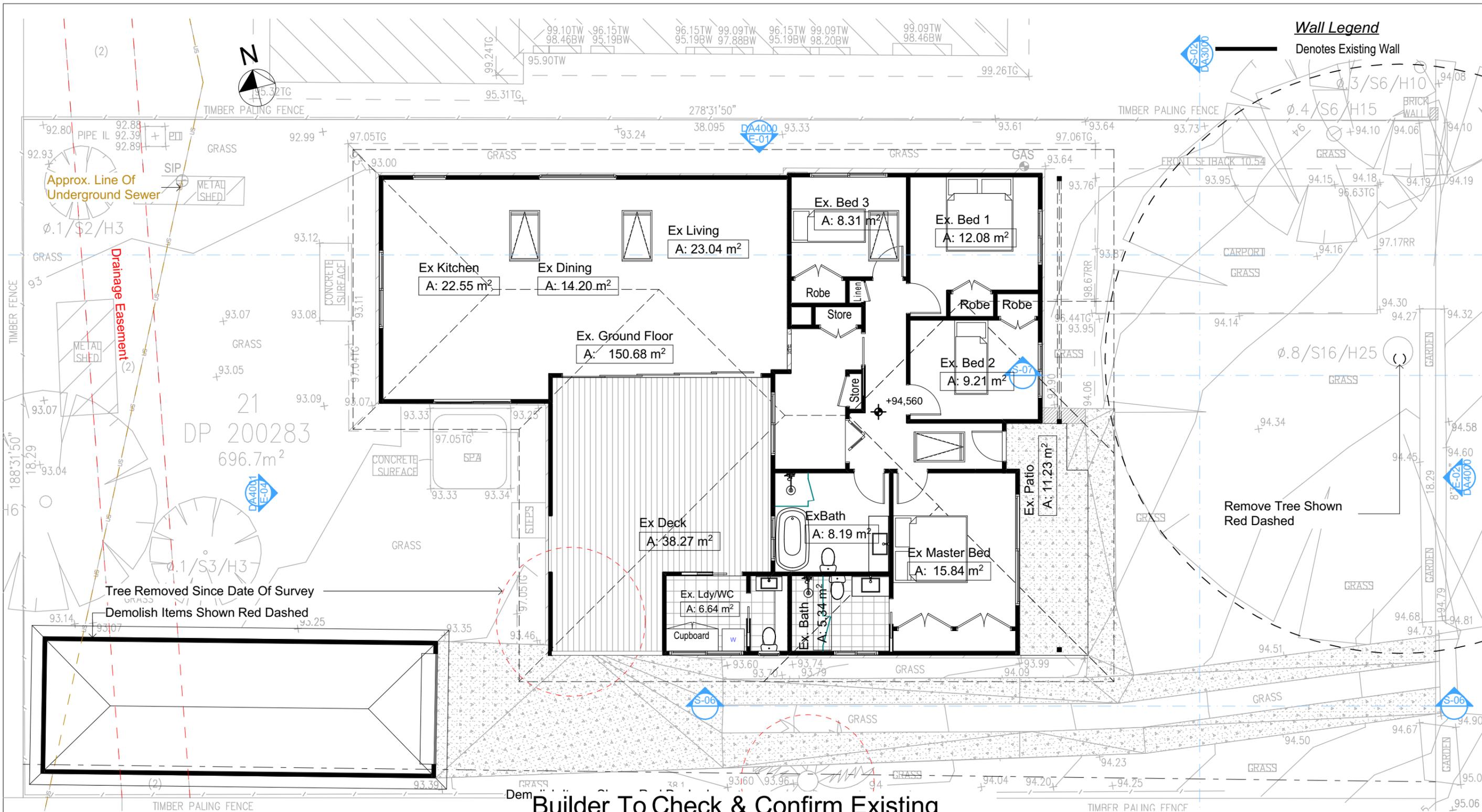
Site: 28 Edinburgh Road, Forestville 2089

DRAWING TITLE:
 SITE AND LOCATION
SITE PLAN

PROJECT NAME:
Alterations & Additions

REVISION NO.
 DRAWING NO.
DA1004

Plot Date: 26/03/2025
 Sheet Size: A3



Wall Legend

Denotes Existing Wall

EXISTING GROUND FLOOR
1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m ²	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

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Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans
NOTES
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
28 Edinburgh Road, Forestville 2089 is not considered a heritage item

Construction
Framed Floors, Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A172665
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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



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Project North
Checked Plot Date: GBJ 26/03/2025
Project NO: RP0919CER
Project Status: DA Rev 2
Client Site: Aleks Cerovic 28 Edinburgh Road, Forestville 2089
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Existing Ground Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
DRAWING NO.
DA1005

Wall Legend

Denotes Existing Wall



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Building Design and Architectural Drafting
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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA



ACCREDITED BUILDING DESIGNER

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NOTES
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential
28 Edinburgh Road, Forestville 2089 is not considered a heritage All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue

Construction
Framed Floors, Framed Walls
Roof Frames to have R1.45 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Gassing to BCA and AS 3708-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number A1772665
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gargola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Builder To Confirm Type & Colour

Builder To Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 26/03/2025
Project No.: R209/15CER
Project Status DA Rev 2

Client Aleks Cervovic

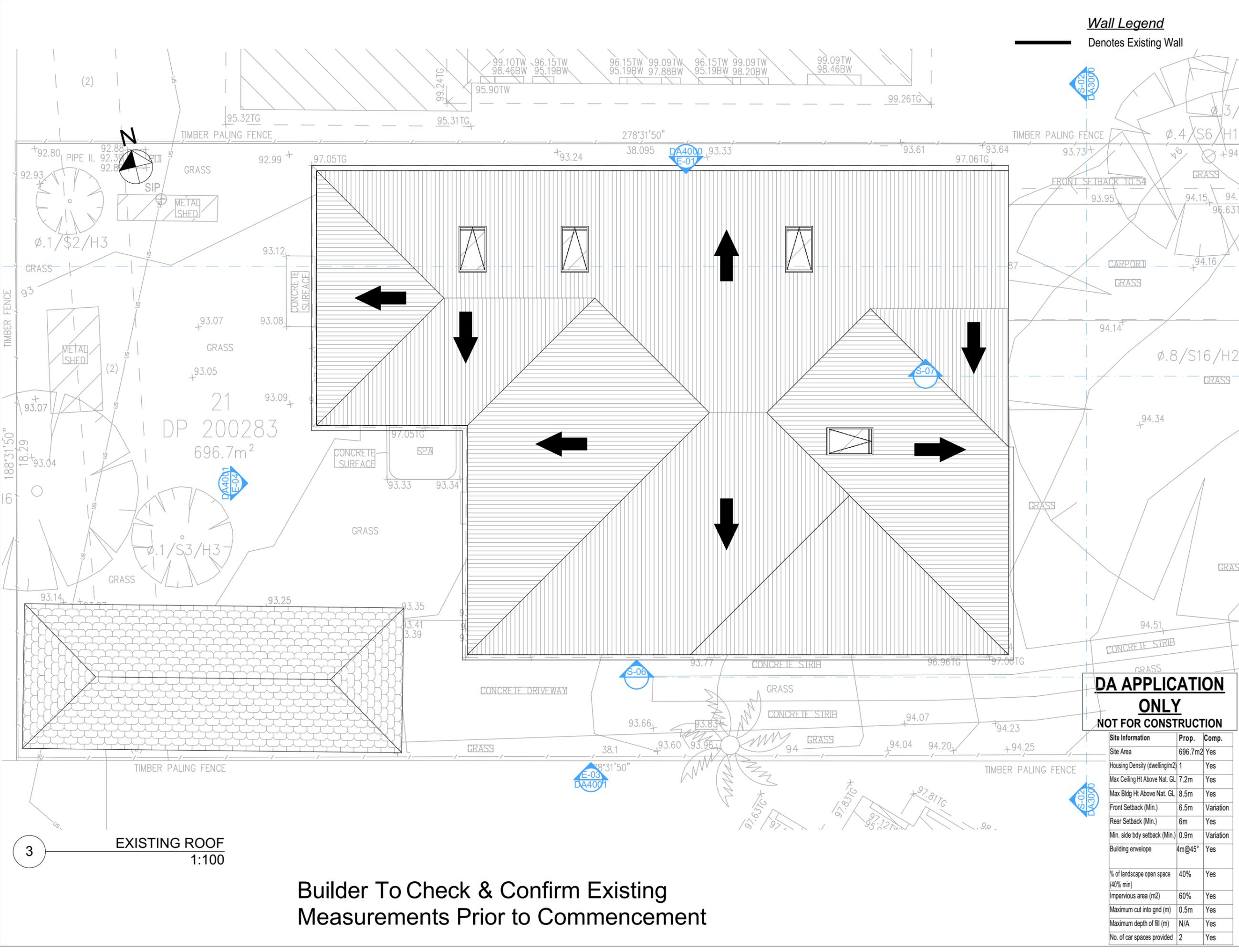
Site: 28 Edinburgh Road, Forestville 2089

DRAWING TITLE:
SITE AND LOCATION
Existing First Floor Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.
DRAWING NO.
DA1006

Plot Date: 26/03/2025
Sheet Size: A3

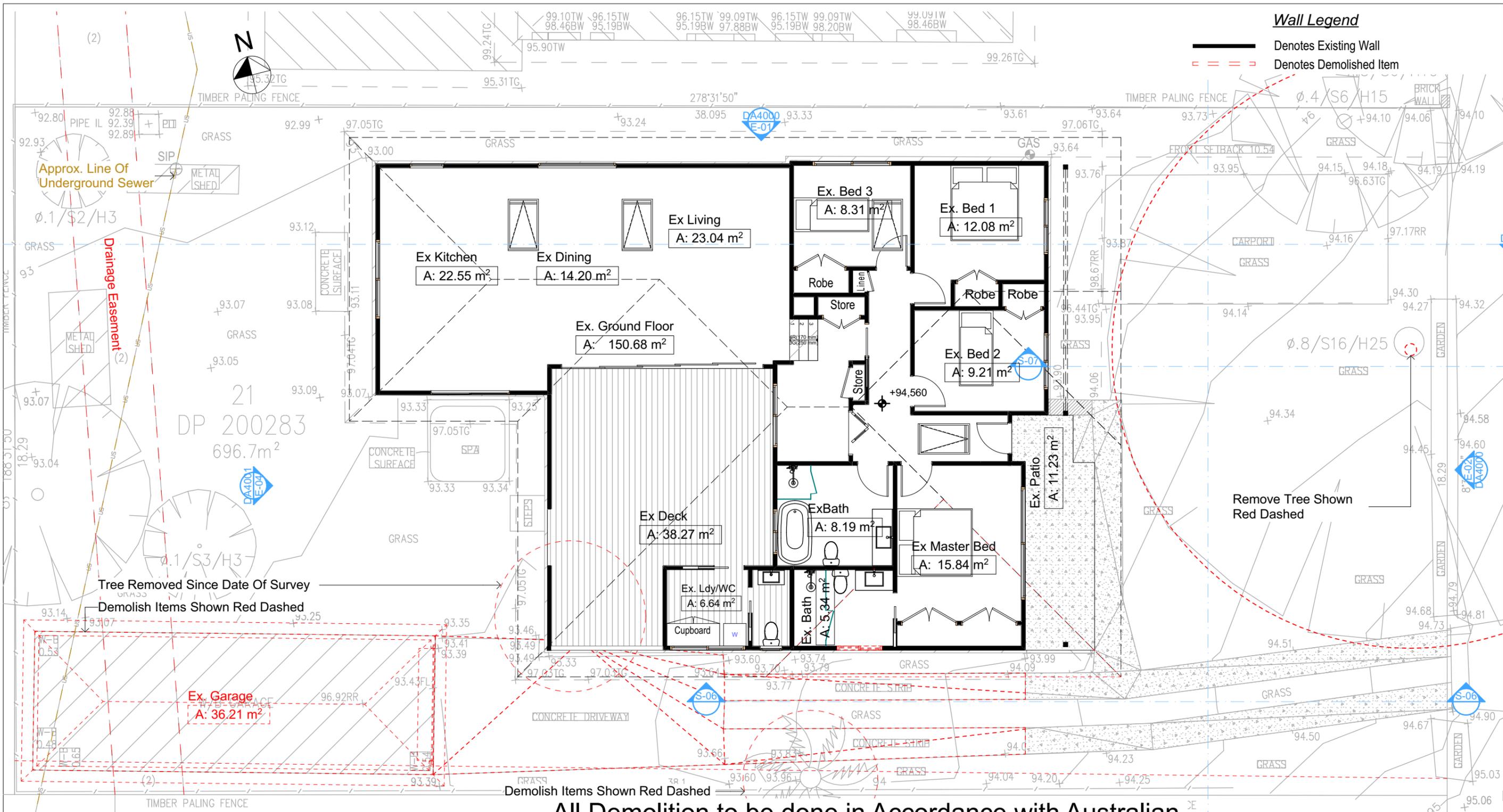


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Site Information	Prop.	Comp.
Site Area	696.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45°	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

3 EXISTING ROOF
1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement



All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m ²	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

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NOTES
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 All Plans to be read in conjunction with Basix Certificate
 New Works to be constructed shown in Shaded/Blue
 28 Edinburgh Road, Forestville 2089 is not considered a heritage item

Construction
 Framed Floors, Framed Walls
 Roof Framed to have R1.45 Insulation
 Insulation to External Framed Walls R1.70
 Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS01288-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps

Basix
 Basix Certificate Number A1772665
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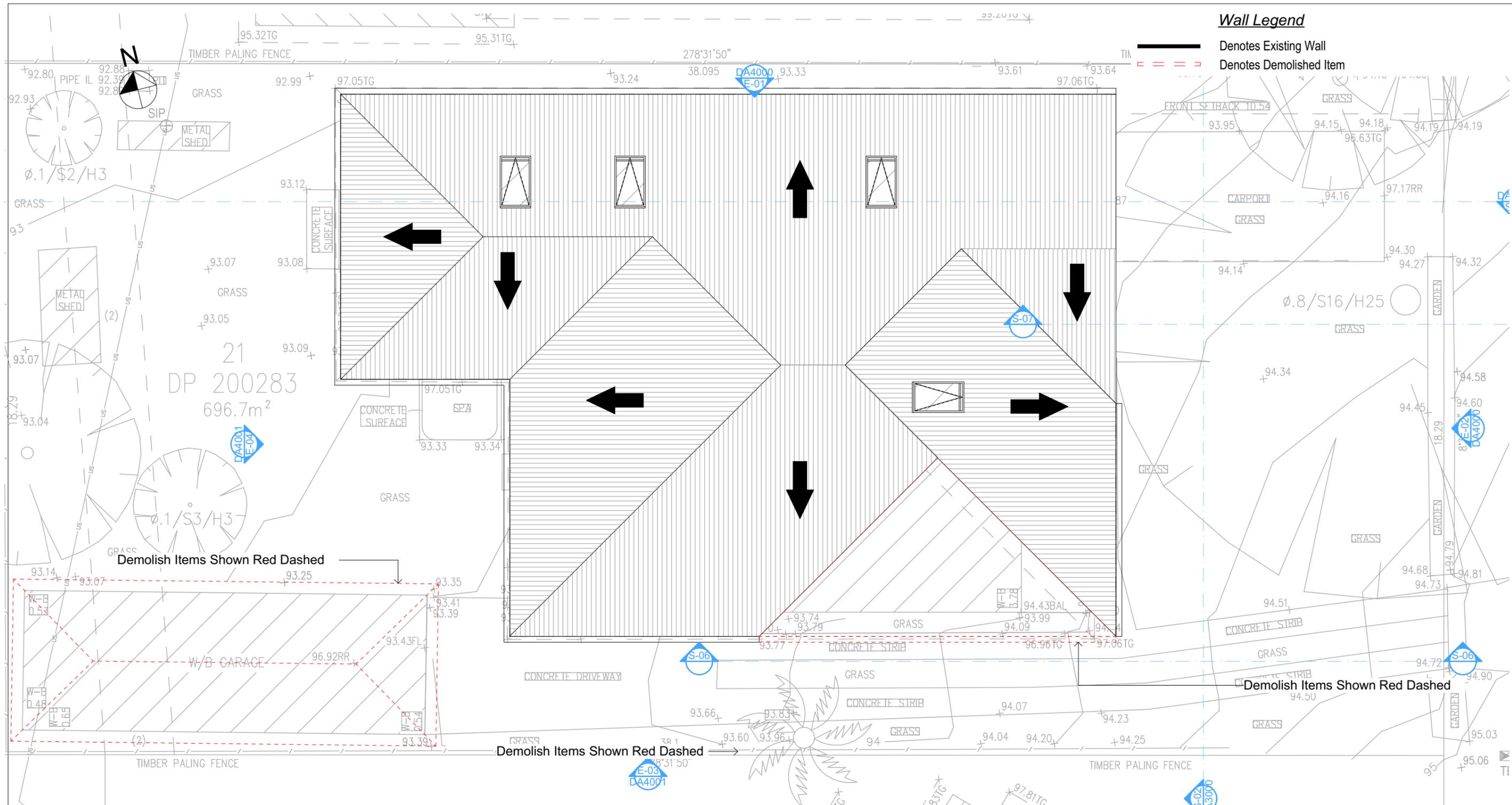
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Project North
 Checked Plot Date: GBJ 26/03/2025
 Project NO: RPO919CER
 Project Status: DA Rev 2
 Client Site: Aleks Cerovic 28 Edinburgh Road, Forestville 2089
 Sheet Size: A3

DRAWING TITLE : SITE AND LOCATION
Demolition Ground Floor Plan
Alterations & Additions

PROJECT NAME :

REVISION NO.
 DRAWING NO.
DA1007



All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m ²	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

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 Glazing to BCA and AS01288-2047
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 Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

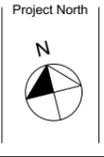


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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked Plot Date: GBJ 26/03/2025
 Project NO: RPO919CER
 Project Status: DA Rev 2

Client Site: Aleks Cerovic 28 Edinburgh Road, Forestville 2089

Sheet Size: A3

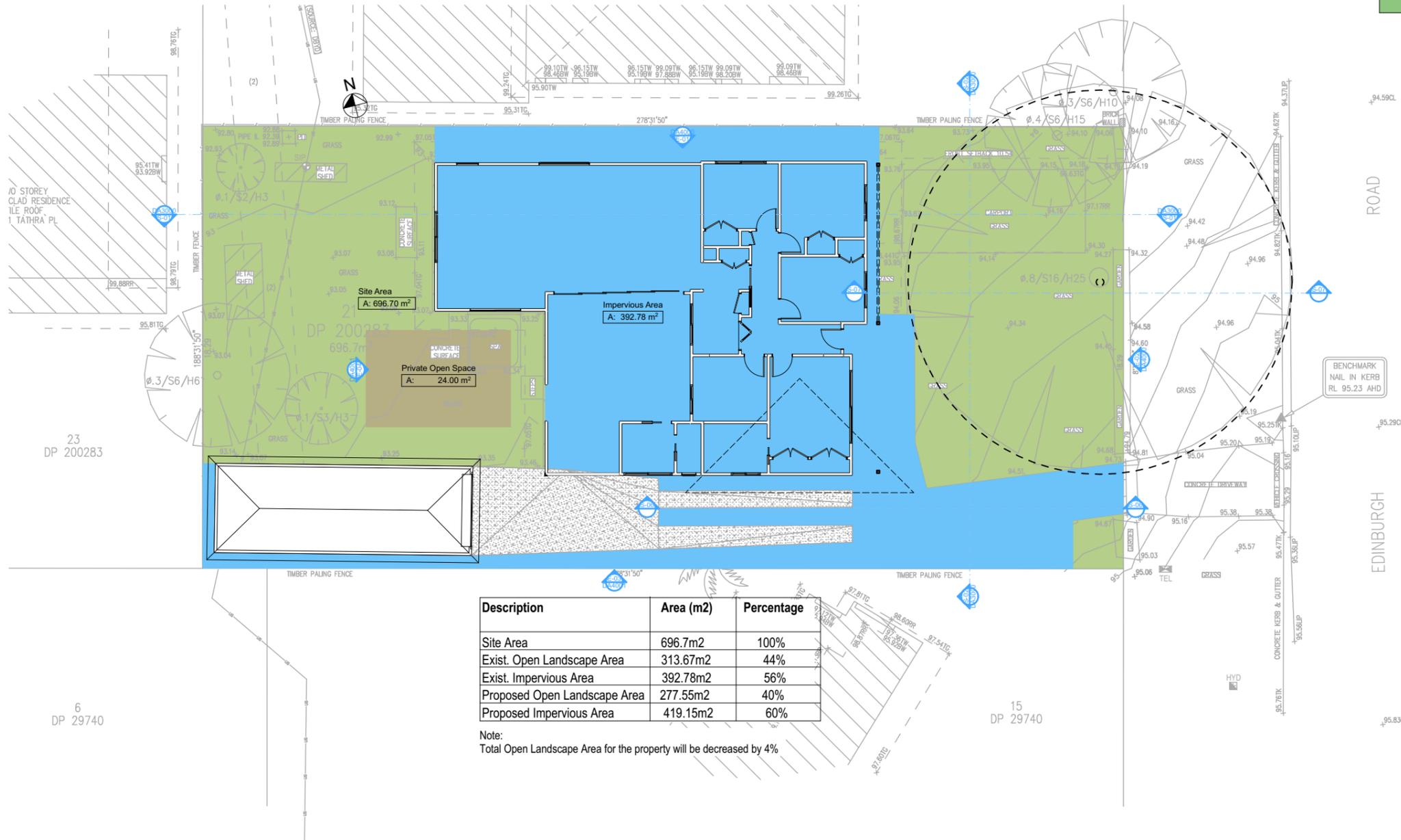
DRAWING TITLE :
 SITE AND LOCATION
Demolition First Floor Plan

PROJECT NAME :
Alterations & Additions

REVISION NO.
 DRAWING NO.
DA1008

 Denotes Impervious Area

 Denotes Pervious Area



2 LANDSCAPE OPEN SPACE EXISTING 1:200

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m2	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

NOTES
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
28 Edinburgh Road, Forestville 2089 is not considered a heritage item

Construction
Framed Floors, Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A1772665
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2.
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked Plot Date: GBJ 26/03/2025
Project Status: RPO919CER DA Rev 2

Client Site: Aleks Cerovic 28 Edinburgh Road, Forestville 2089

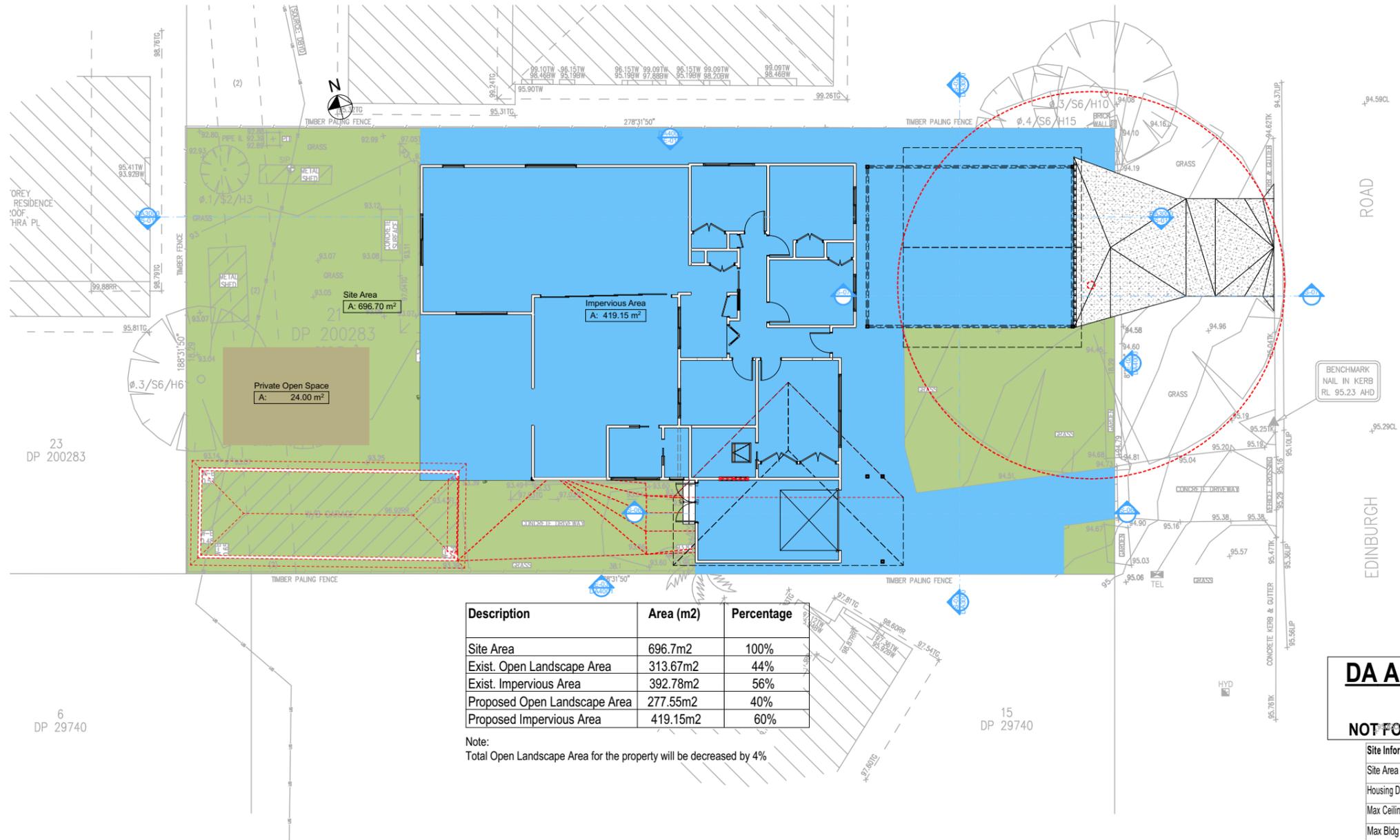
Sheet Size: A3

DRAWING TITLE : SITE AND LOCATION Landscape Open Space Plan Existing
PROJECT NAME : Alterations & Additions

REVISION NO.
DRAWING NO. DA1009

Denotes Impervious Area

Denotes Pervious Area



Description	Area (m2)	Percentage
Site Area	696.7m2	100%
Exist. Open Landscape Area	313.67m2	44%
Exist. Impervious Area	392.78m2	56%
Proposed Open Landscape Area	277.55m2	40%
Proposed Impervious Area	419.15m2	60%

Note:
Total Open Landscape Area for the property will be decreased by 4%

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	696.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45°	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

2 LANDSCAPE OPEN SPACE PROPOSED
1:200

Builder To Confirm Type & Colour

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 26/03/2025
Project NO.: RPD919CER
Project Status DA Rev 2

Client Aleks Cerovic

Site: 28 Edinburgh Road, Forestville 2089

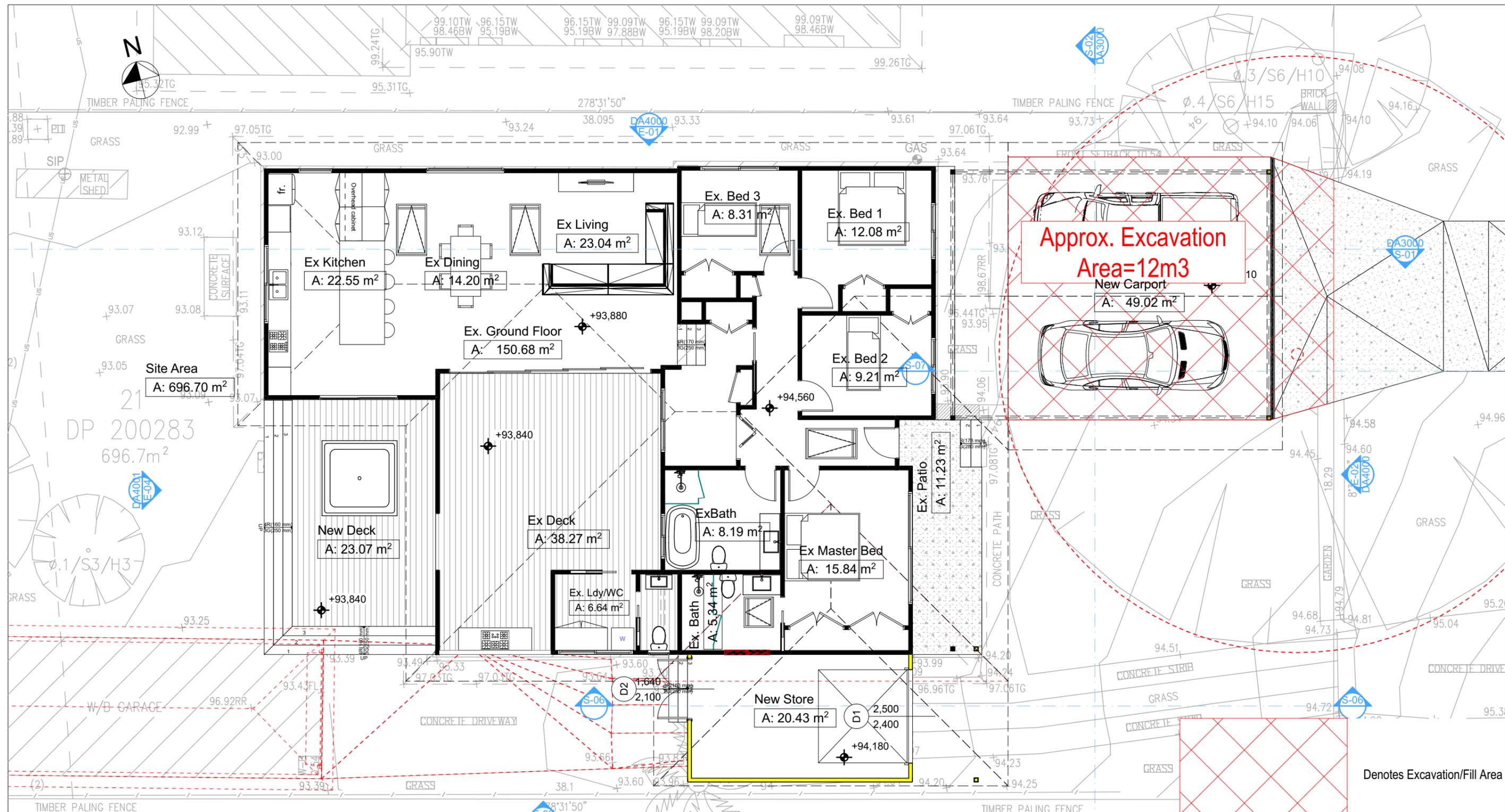
DRAWING TITLE AND LOCATION
Landscape Open Space Plan Proposed

PROJECT NAME:
Alterations & Additions

REVISION NO.

DRAWING NO.
DA1010

Plot Date: 26/03/2025
Sheet Size: A3



2 EXCAVATION & FILL PLAN
1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

NOTES
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
28 Edinburgh Road, Forestville 2089 is not considered a heritage item

Construction
Framed Floors, Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A1772665
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m ²	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

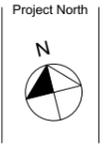


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Builder to Check and Confirm
all Measurements Prior to Commencement of any works.
Immediately Report any Discrepancies to Rapid Plans



Checked Plot Date: GBJ 26/03/2025
Project NO: RPO919CER
Project Status: DA Rev 2

Client Site: Aleks Cerovic 28 Edinburgh Road, Forestville 2089

Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Excavation & Fill Plan

PROJECT NAME :
Alterations & Additions

REVISION NO.

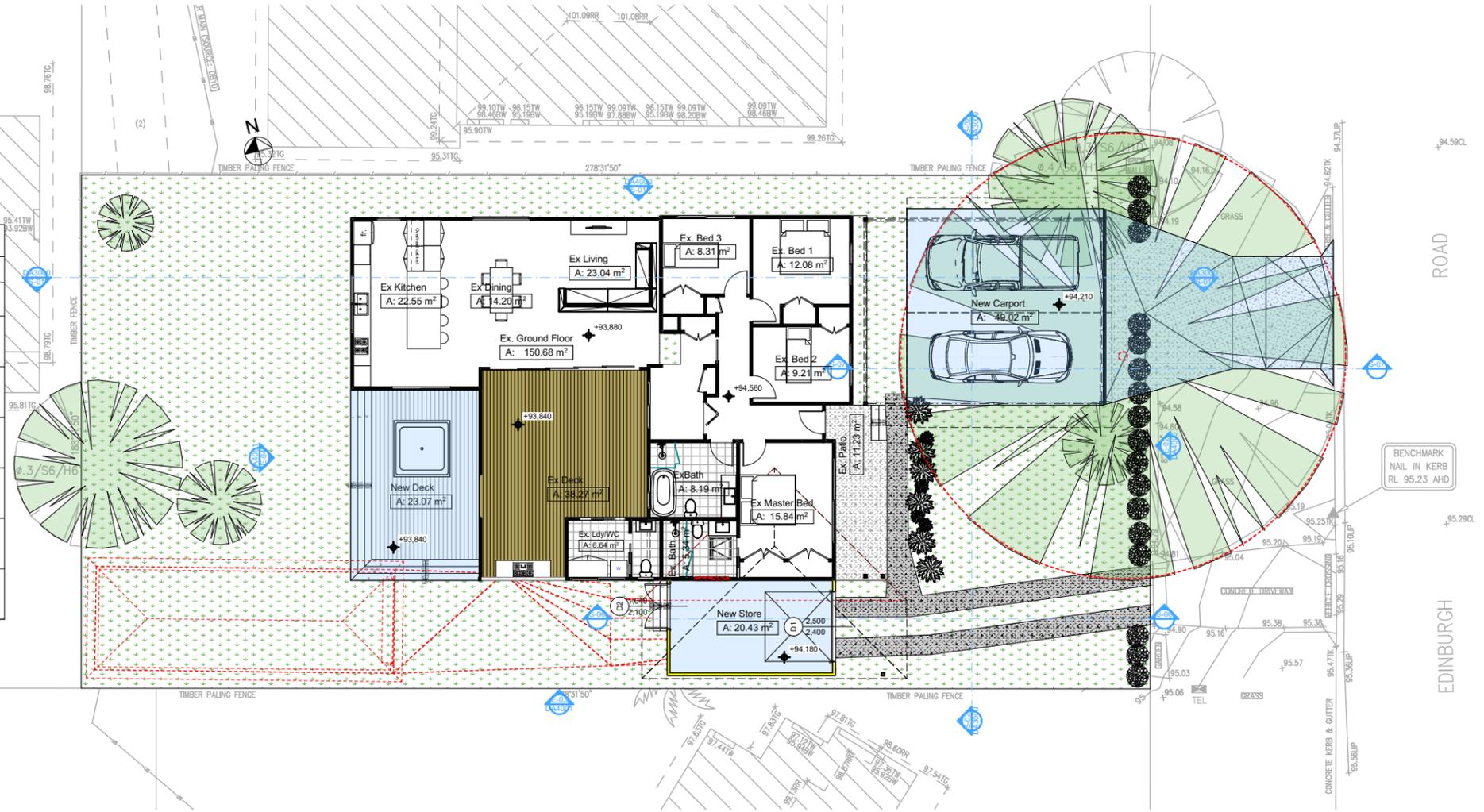
DRAWING NO.
DA1011

NOTES: DIMENSIONS AND AREAS ARE INTENDED TO BE USEFUL FOR GENERAL TERRAIN. CARE SHOULD BE TAKEN.

AREAS ARE APPROXIMATE ONLY.

NOTICE: TITLE TO THE LAND, EXISTING CONDITIONS IN THE CROWN GRANT(S) AND ANY EASEMENTS FOR DRAINAGE AFFECTING THE PART DESCRIBED SHOWN AS SITE OF THE PROPOSED DEVELOPMENT ARE AS SHOWN ON THE EASEMENT 1.83 WIDE IN THE TITLE.

Landscape Legend	
Ground Covers Schedule	
Symbol	Common Name
	Existing Tree To Remain
	Existing Garden To Remain
	Existing Hedge To Remain
	Existing Grass To Remain
	Timber Deck
	Concrete Drive



2

LANDSCAPE PLAN
1:200

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m ²	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Certifying
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NOTES
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential. All Plans to be read in conjunction with Basix Certificate. New Works to be constructed shown in Shaded/Blue. 28 Edinburgh Road, Forestville 2089 is not considered a heritage item.

Construction
Framed Floors, Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A1772665
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



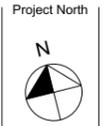
Rapid Plans
www.rapidplans.com.au
PO Box 6198 Forestville NSW 2086
Fax: (02) 9305-8565
Mobile: 0414-945-024
Email: info@rapidplans.com.au

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Checked: GBJ
Plot Date: 26/03/2025
Project NO: RPO919CER
Project Status: DA Rev 2

Client Site: Aleks Cerovic
28 Edinburgh Road, Forestville 2089

Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Landscape Plan

PROJECT NAME :
Alterations & Additions

REVISION NO.

DRAWING NO.
DA1012

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes Existing Wall
- Denotes Demolished Item



Rapid Plans
Building Design and Architectural Drafting

10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100

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bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

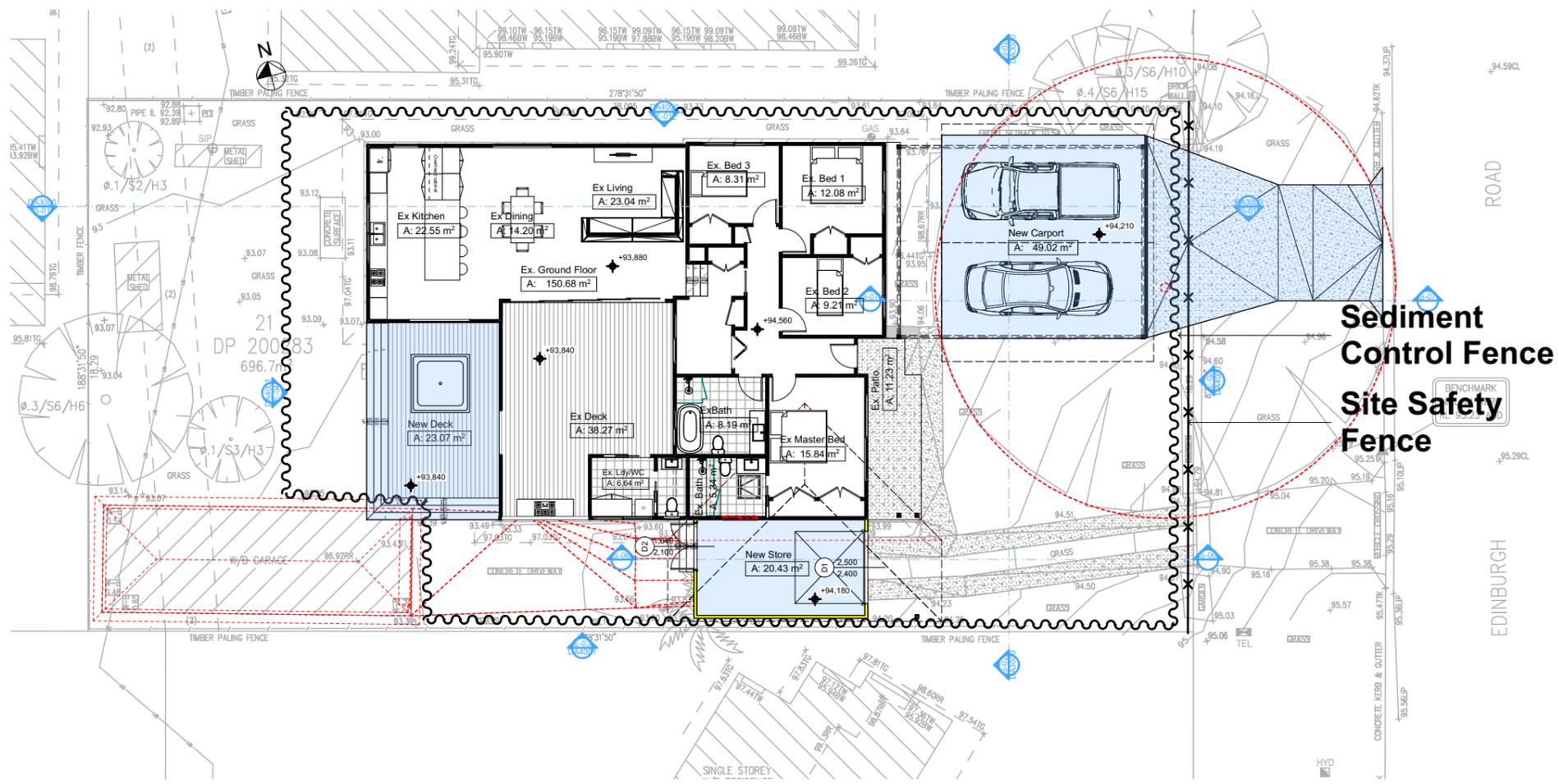


bdaa
ACCREDITED
BUILDING DESIGNER

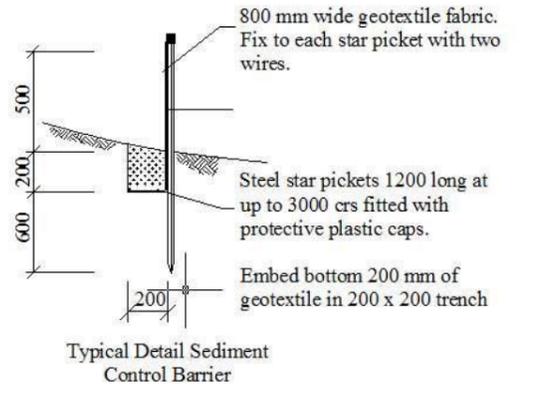
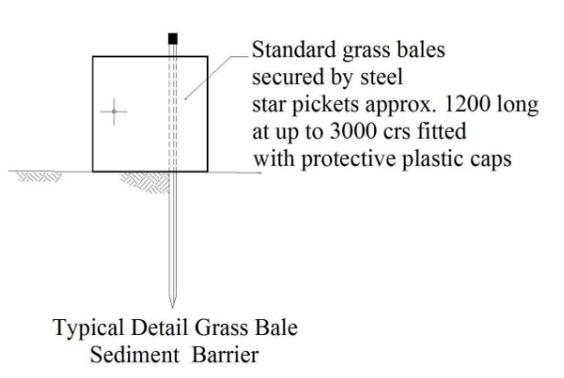
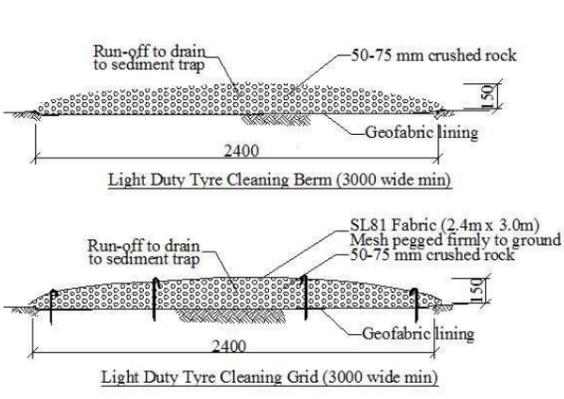
NOTES
28 Edinbrough Road, Forestville 2089 is zoned R2 - Low Density Residential
28 Edinbrough Road, Forestville 2089 is not considered a heritage site
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Framed Floors, Framed Walls
Roof Frames to have R1.45 insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1728-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number A1772665
All Plans to be read in conjunction with Basic Certificate
The applicant must conduct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For products described in millimetres, the leading edge of each eave, gargoyle, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



2 SEDIMENT & EROSION CONTROL PLAN 1:200



DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	696.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45°	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder To Confirm Type & Colour

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 26/03/2025
Project No.: R20915CER
Project Status DA Rev 2

Client Aleks Cervovic

Site: 28 Edinbrough Road, Forestville 2089

DRAWING TITLE:
SITE AND LOCATION
Sediment & Erosion Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.

DRAWING NO.
DA1013

Plot Date: 26/03/2025
Sheet Size: A3

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item

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NOTES

28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential

28 Edinburgh Road, Forestville 2089 is not considered a heritage site

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Framed Floors, Framed Walls

Roof Frames to have R1.45 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber Framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS2078-2004

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic

Basic Certificate Number A172665

All Plans to be read in conjunction with Basic Certificate

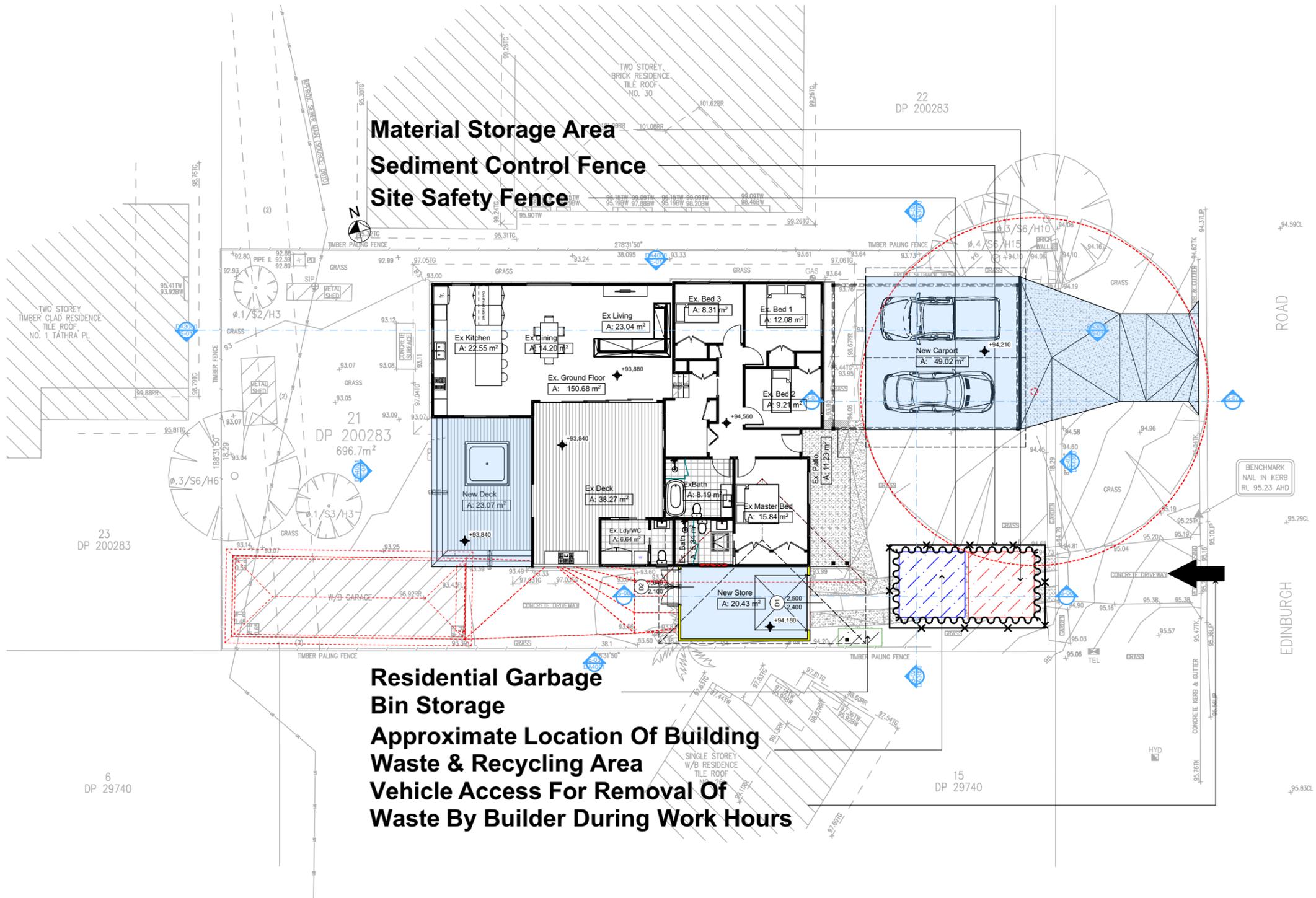
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For products described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



Material Storage Area
Sediment Control Fence
Site Safety Fence

Residential Garbage Bin Storage
Approximate Location Of Building Waste & Recycling Area
Vehicle Access For Removal Of Waste By Builder During Work Hours

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	696.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45°	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder To Confirm Type & Colour

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 26/03/2025
Project NO.: RPD91PCER
Project Status DA Rev 2

Client: Aleks Cervic

Site: 28 Edinburgh Road, Forestville 2089

DRAWING TITLE:
SITE AND LOCATION
Waste Management Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.

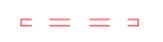
DRAWING NO.
DA1014

Plot Date: 26/03/2025
Sheet Size: A3



Denotes New Works

Legend



Denotes Demolished Item



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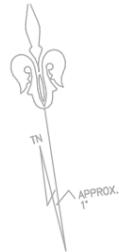
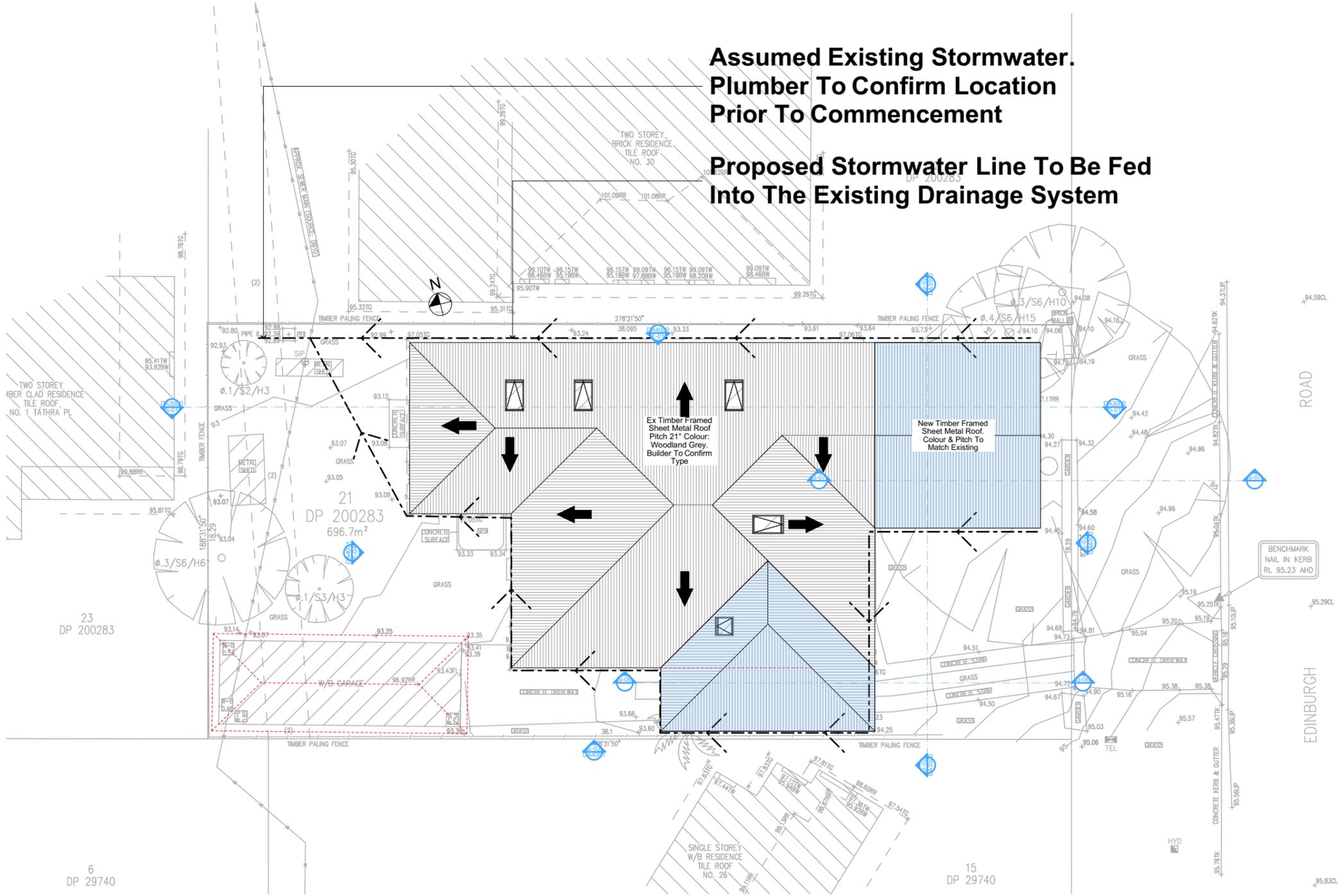
NOTES
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential
28 Edinburgh Road, Forestville 2089 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Framed Floors, Framed Walls
Roof Frames to have R1.45 insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Gassing to BCA and AS 3078-2004
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number A1772665
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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Relevant overshadowing specifications must be satisfied for each window and glazed door.
For protrusions described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Assumed Existing Stormwater.
Plumber To Confirm Location
Prior To Commencement

Proposed Stormwater Line To Be Fed
Into The Existing Drainage System



4 STORMWATER PLAN
1:200

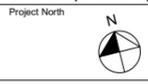
Plumber To Confirm Location Of Existing
Stormwater/Sewer Prior To Commencement

Builder To
Confirm Type &
Colour

Builder to Check and Confirm all
Measurements Prior to Commencement of
any works. Immediately Report any
Discrepancies to Rapid Plans

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	696.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45°	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes



Client Aleks Cervovic
Site: 28 Edinburgh Road, Forestville 2089

DRAWING TITLE:
SITE AND LOCATION
Stormwater Plan

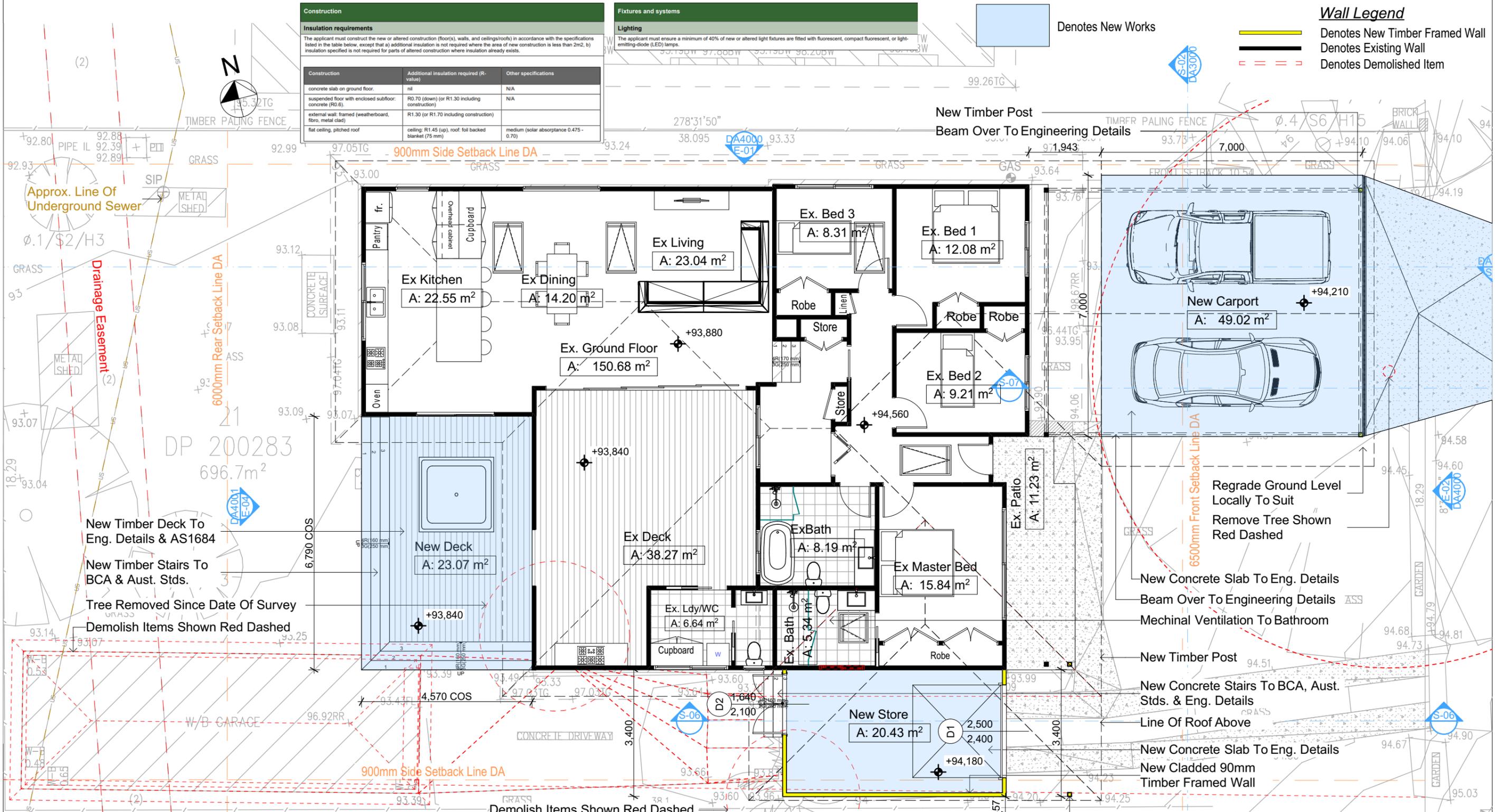
PROJECT NAME:
Alterations & Additions

REVISION NO.
DRAWING NO.
DA1015
Plot Date: 26/03/2025
Sheet Size: A3

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor	nil	N/A
suspended floor with enclosed subfloor: concrete (R0.6)	R0.70 (down) (or R1.30 including construction)	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Wall Legend
 — Denotes New Timber Framed Wall
 — Denotes Existing Wall
 - - - Denotes Demolished Item



- New Timber Deck To Eng. Details & AS1684
- New Timber Stairs To BCA & Aust. Stds.
- Tree Removed Since Date Of Survey
- Demolish Items Shown Red Dashed

- Regrade Ground Level Locally To Suit
- Remove Tree Shown Red Dashed
- New Concrete Slab To Eng. Details
- Beam Over To Engineering Details
- Mechinal Ventilation To Bathroom
- New Timber Post
- New Concrete Stairs To BCA, Aust. Stds. & Eng. Details
- Line Of Roof Above
- New Concrete Slab To Eng. Details
- New Cladded 90mm Timber Framed Wall
- New Timber Post

2 GROUND FLOOR 1:100

DA APPLICATION ONLY
 NOT FOR CONSTRUCTION

Certifying
 The DA Application only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

NOTES
 28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential
 All Plans to be read in conjunction with Basix Certificate
 New Works to be constructed shown in Shaded/Blue
 28 Edinburgh Road, Forestville 2089 is not considered a heritage item

Construction
 Framed Floors, Framed Walls
 Roof Framed to have R1.45 Insulation
 Insulation to External Framed Walls R1.70
 Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS01288-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps

Basix
 Basix Certificate Number A1772665
 All Plans to be read in conjunction with Basix Certificate
 The applicant must construct the new or altered construction (floor/s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
 a) additional insulation is not required where the area of new construction is less than 2m².
 b) insulation specified is not required for parts of altered construction where insulation already exists.
 The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
 For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
 Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m ²	Yes	Building envelope	4m@45°	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



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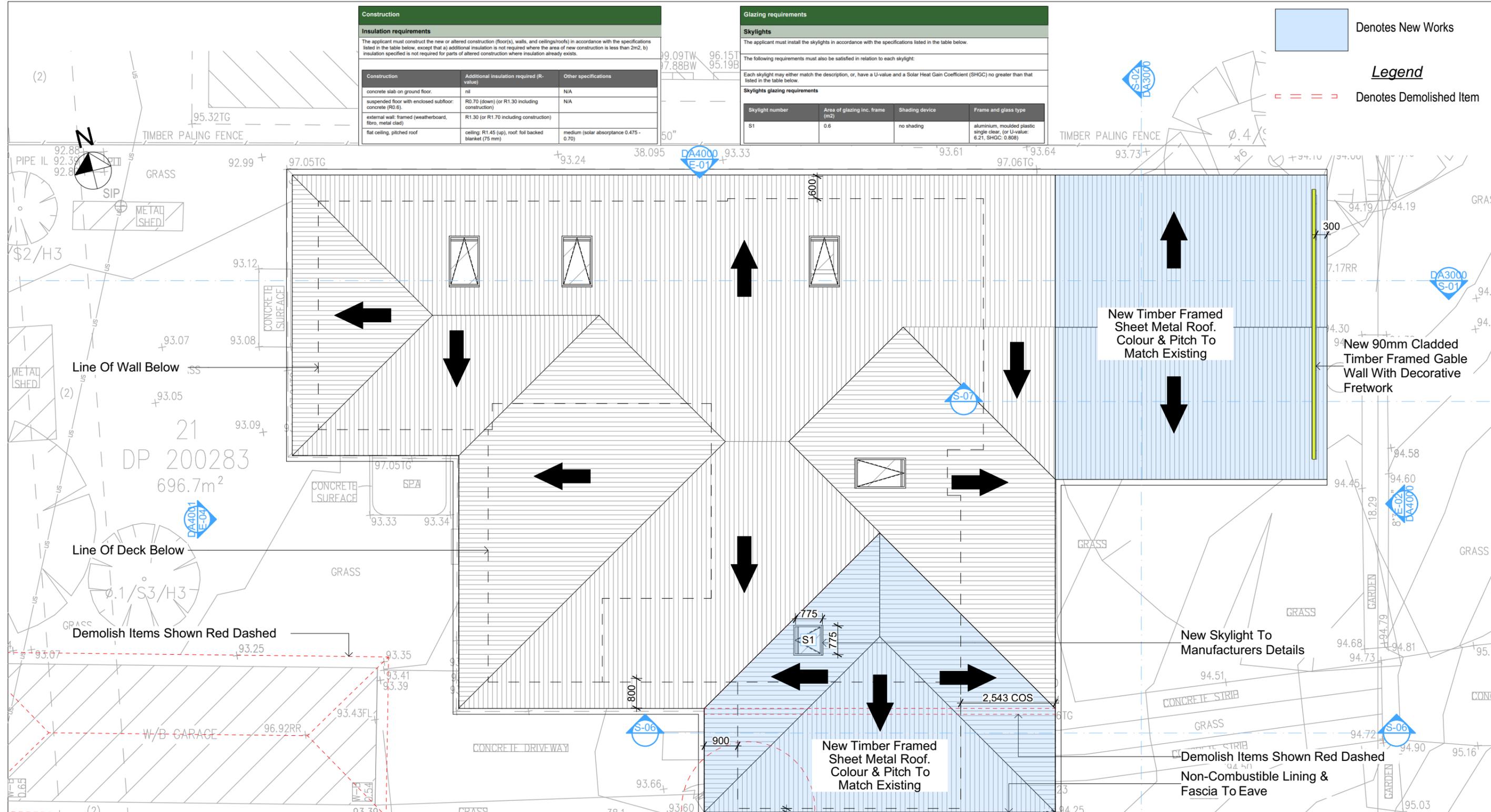


Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North
 Checked Plot Date: GBJ 26/03/2025
 Project NO: RP0919CER
 Project Status: DA Rev 2
 Client Site: Aleks Cerovic 28 Edinburgh Road, Forestville 2089
 Sheet Size: A3

DRAWING TITLE : PLANS GROUND FLOOR
 PROJECT NAME : Alterations & Additions

REVISION NO.
 DRAWING NO. DA2001



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Glazing requirements			
Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.			
The following requirements must also be satisfied in relation to each skylight:			
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.			
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S1	0.6	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

Denotes New Works

Legend

Denotes Demolished Item

3
ROOF
1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Certifying
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NOTES
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
28 Edinburgh Road, Forestville 2089 is not considered a heritage item

Construction
Framed Floors, Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A1772665
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m ²	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

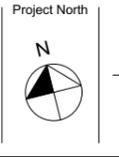


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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked Plot Date: GBJ 26/03/2025
Project NO: RPO919CER
Project Status: DA Rev 2

Client Site: Aleks Cerovic 28 Edinburgh Road, Forestville 2089

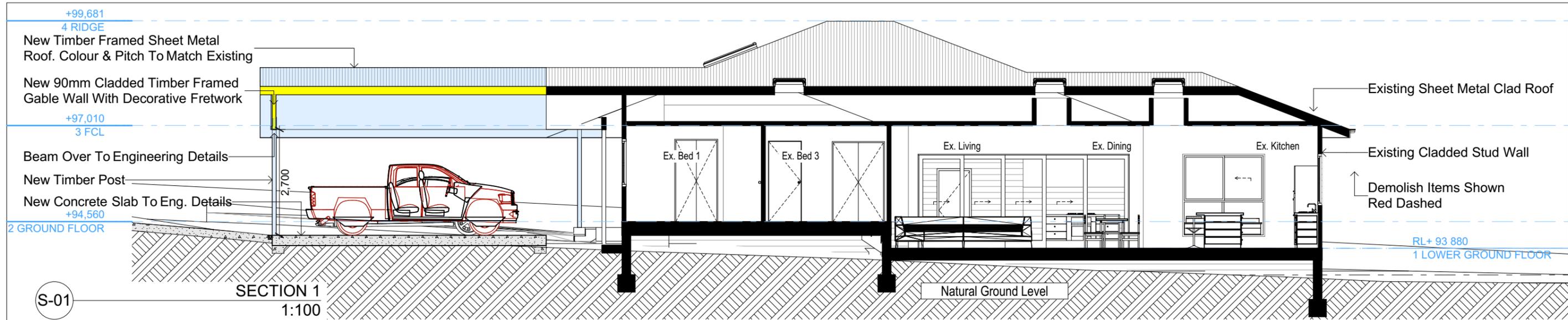
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DRAWING TITLE :
PLANS
ROOF

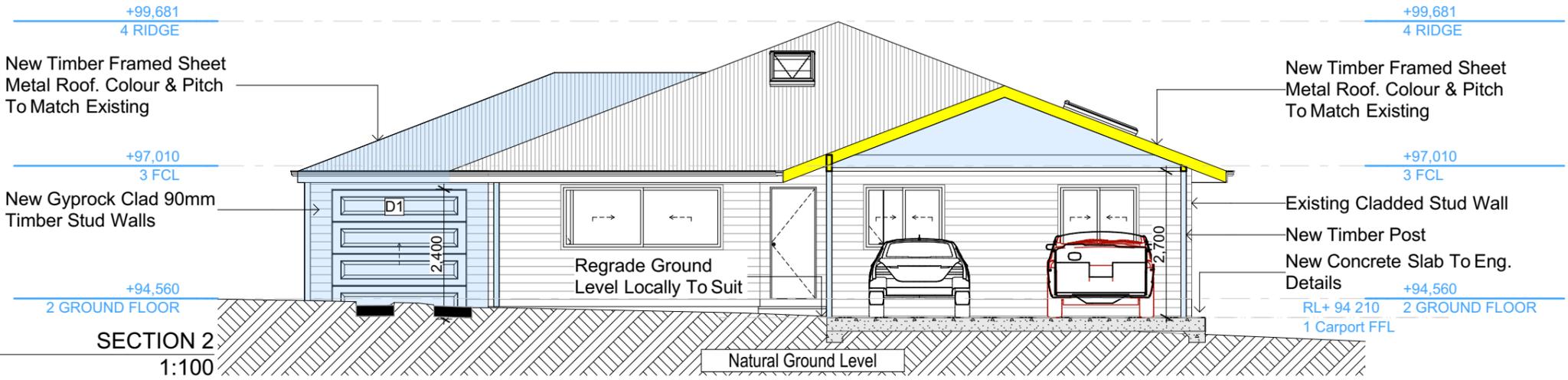
PROJECT NAME :
Alterations & Additions

REVISION NO.

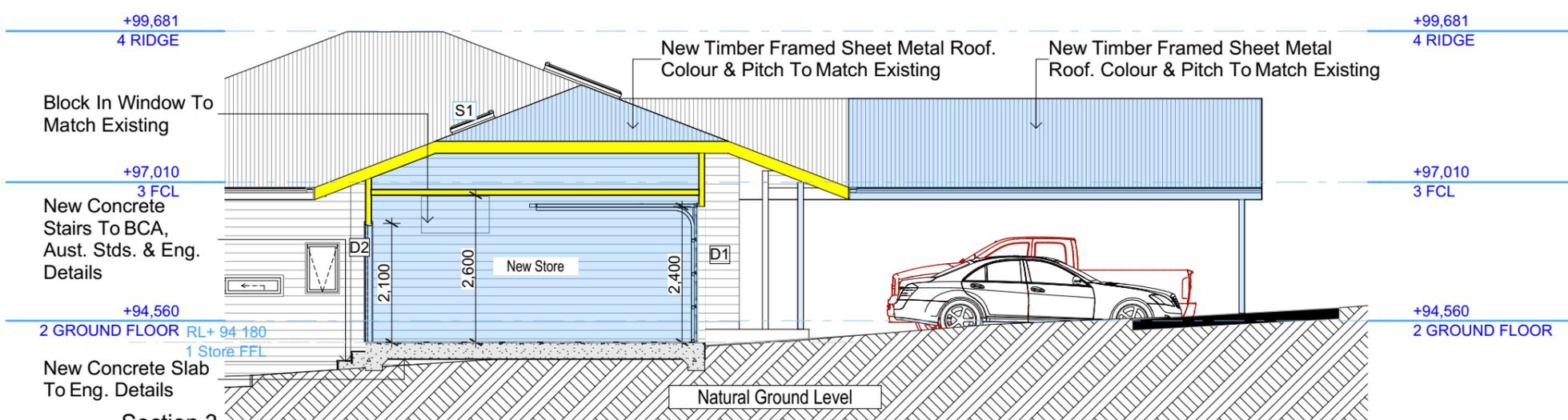
DRAWING NO.
DA2002



S-01 SECTION 1
1:100



S-02 SECTION 2
1:100



S-06 SECTION 3
1:100

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor	nil	N/A
suspended floor with enclosed subfloor: concrete (R0.6)	R0.70 (down) (or R1.30 including construction)	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Glazing requirements

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S1	0.6	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m ²	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

Basix
Basix Certificate Number A1772665
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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b) insulation specified is not required for parts of altered construction where insulation already exists.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Construction
Framed Floors, Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans
NOTES
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
28 Edinburgh Road, Forestville 2089 is not considered a heritage item

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



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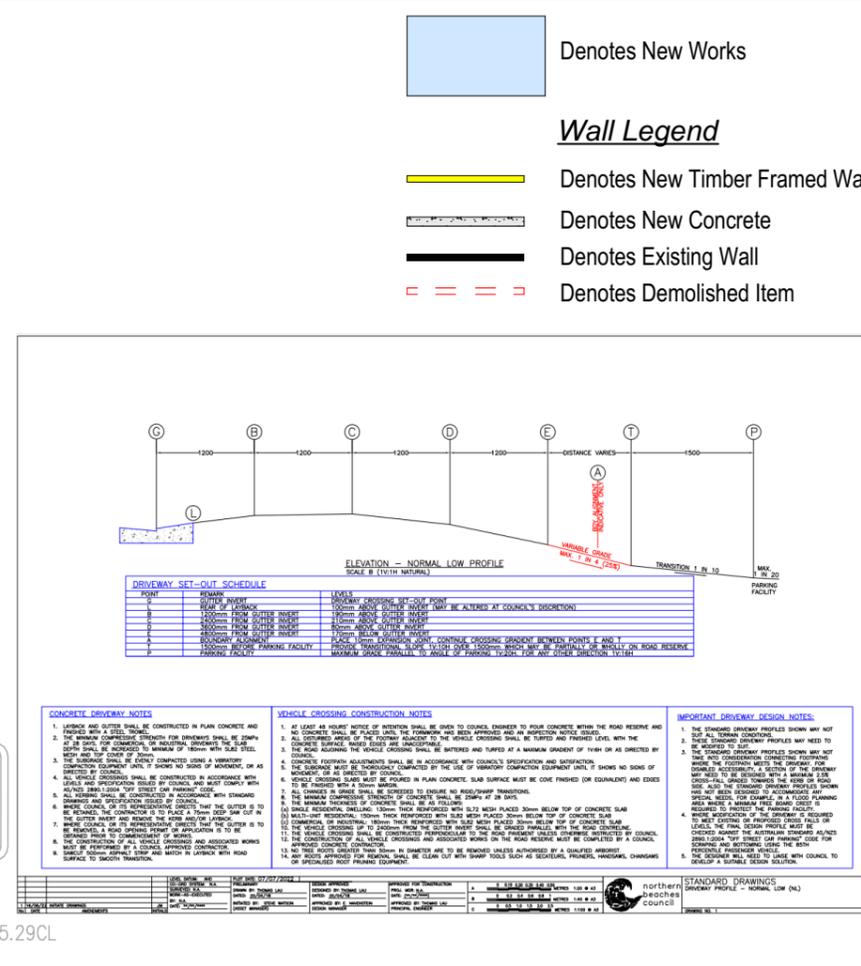
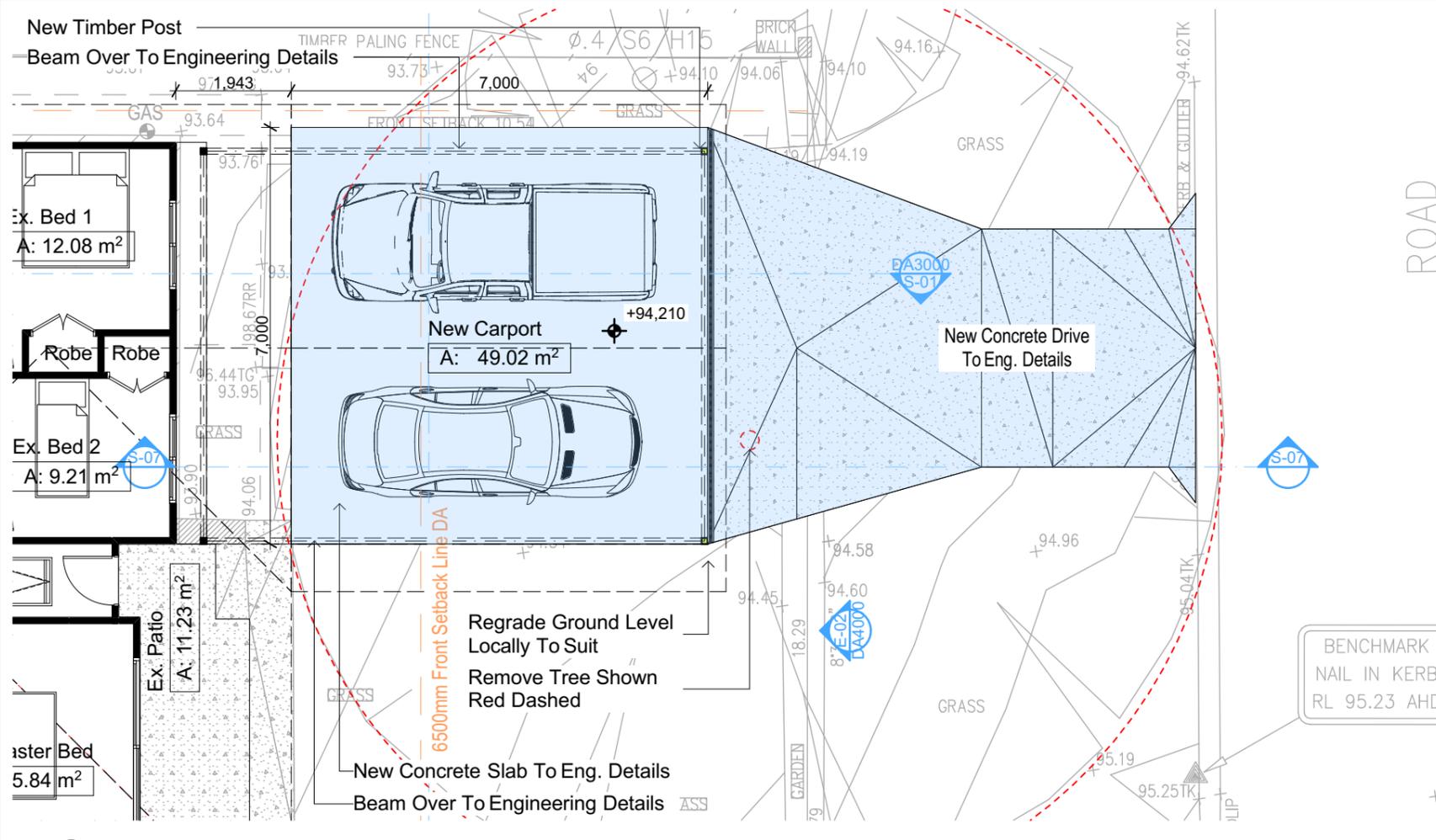
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked Plot Date: GBJ 26/03/2025
Project NO: RP0919CER
Project Status: DA Rev 2
Client Site: Aleks Cerovic 28 Edinburgh Road, Forestville 2089
Sheet Size: A3

DRAWING TITLE :
SECTIONS SECTION 1
Alterations & Additions

REVISION NO.
DRAWING NO.
DA3000



- Denotes New Works
 - Denotes New Timber Framed Wall
 - Denotes New Concrete
 - Denotes Existing Wall
 - - - Denotes Demolished Item
- Wall Legend**

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NOTES

28 Edinborough Road, Forestville 2089 is zoned R2 - Low Density Residential.

28 Edinborough Road, Forestville 2089 is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

Construction

Framed Floors, Framed Walls

Roof Frames to have R1.45 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber Framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1288.204

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic

Basic Certificate Number A1772655

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

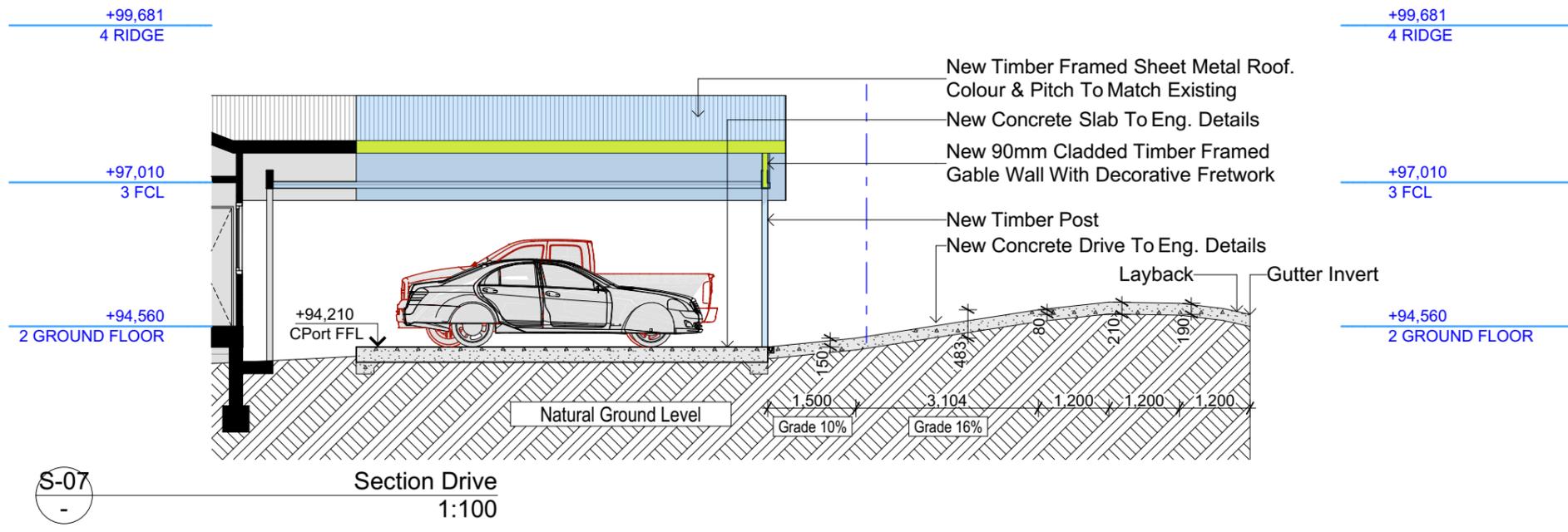
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For products described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and base of the window and glazed door.

GROUND FLOOR
1:100



DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	696.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45°	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder To Confirm Type & Colour

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 26/03/2025
Project NO.: RPD915CER
Project Status DA Rev 2

Client: Aleks Cervovic

Site: 28 Edinborough Road, Forestville 2089

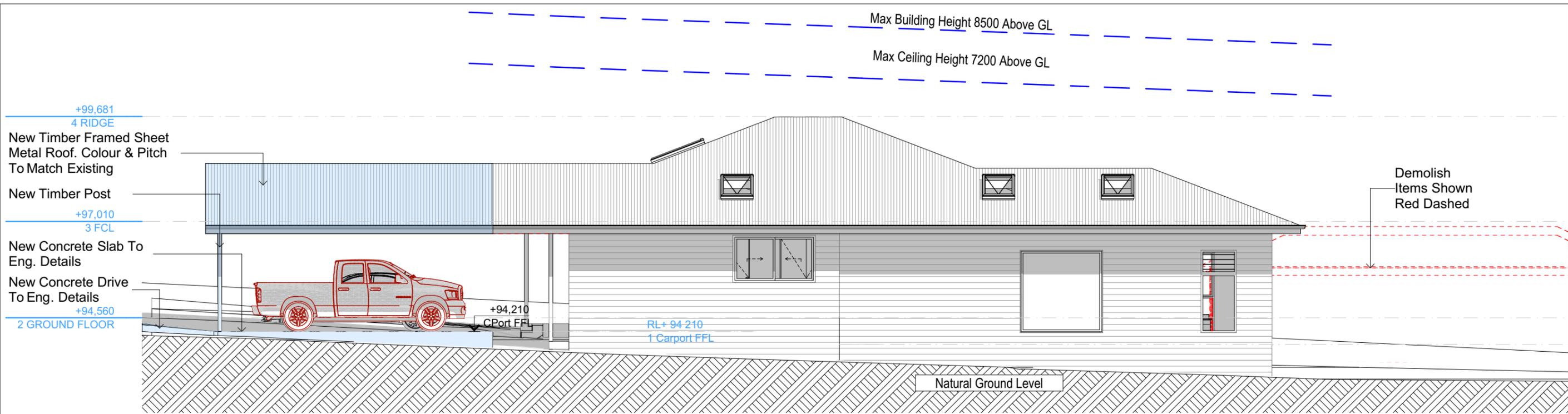
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PROJECT NAME: Alterations & Additions

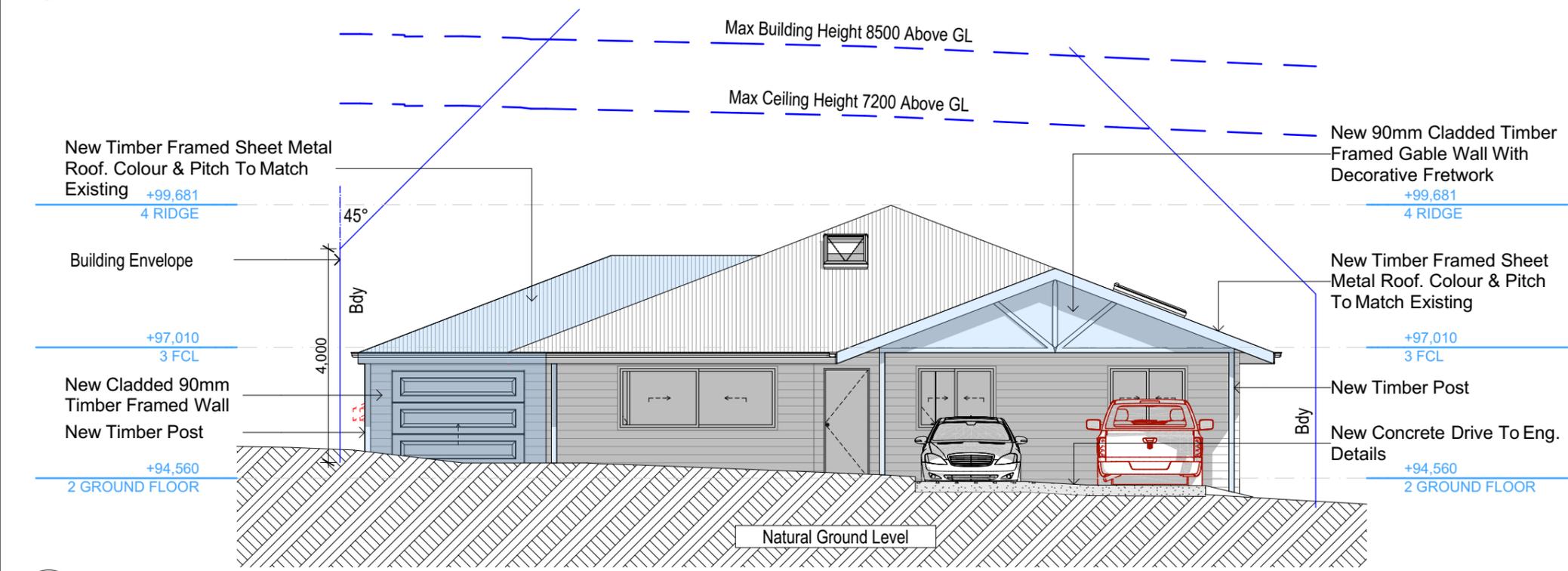
REVISION NO.

DRAWING NO. **DA3001**

Plot Date: 26/03/2025
Sheet Size: A3



E-01 North 1:100



E-02 East 1:100

Construction

Insulation requirements
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Glazing requirements

Skylights
The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S1	0.6	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

Legend

- Denotes New Works
- Denotes Existing Drive
- Denotes Demolished Item

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m ²	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

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NOT FOR CONSTRUCTION

Certifying
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NOTES
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
28 Edinburgh Road, Forestville 2089 is not considered a heritage item

Construction
Framed Floors, Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A1772665
All Plans to be read in conjunction with Basix Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

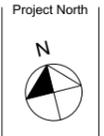


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Checked Plot Date: GBJ 26/03/2025
Project NO: RP0919CER
Project Status: DA Rev 2

Client Site: Aleks Cerovic 28 Edinburgh Road, Forestville 2089

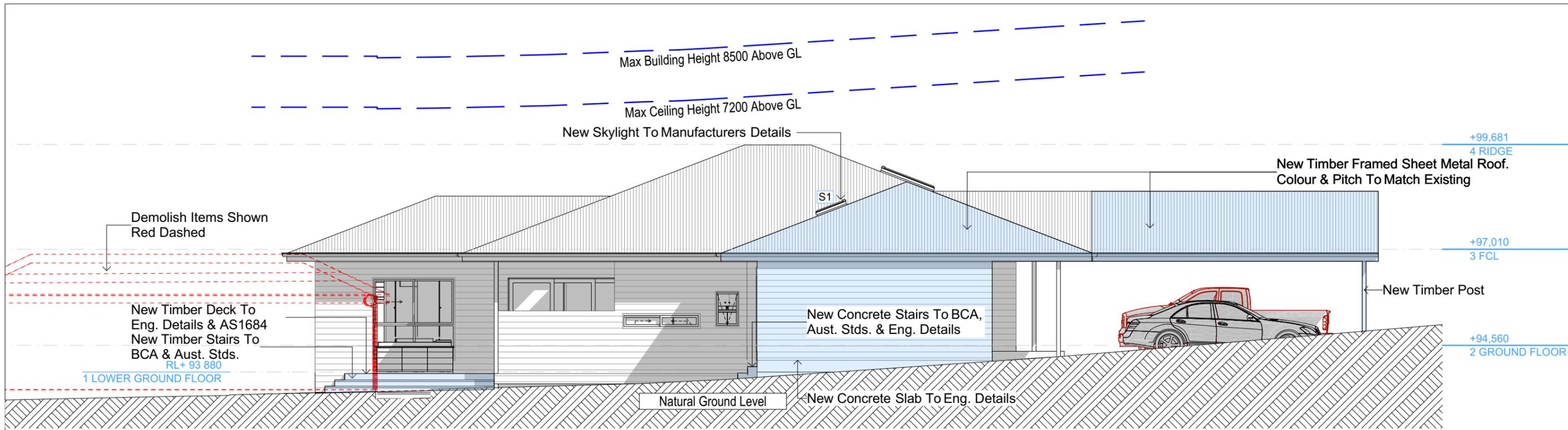
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DRAWING TITLE :
ELEVATIONS
ELEVATIONS 1

PROJECT NAME :
Alterations & Additions

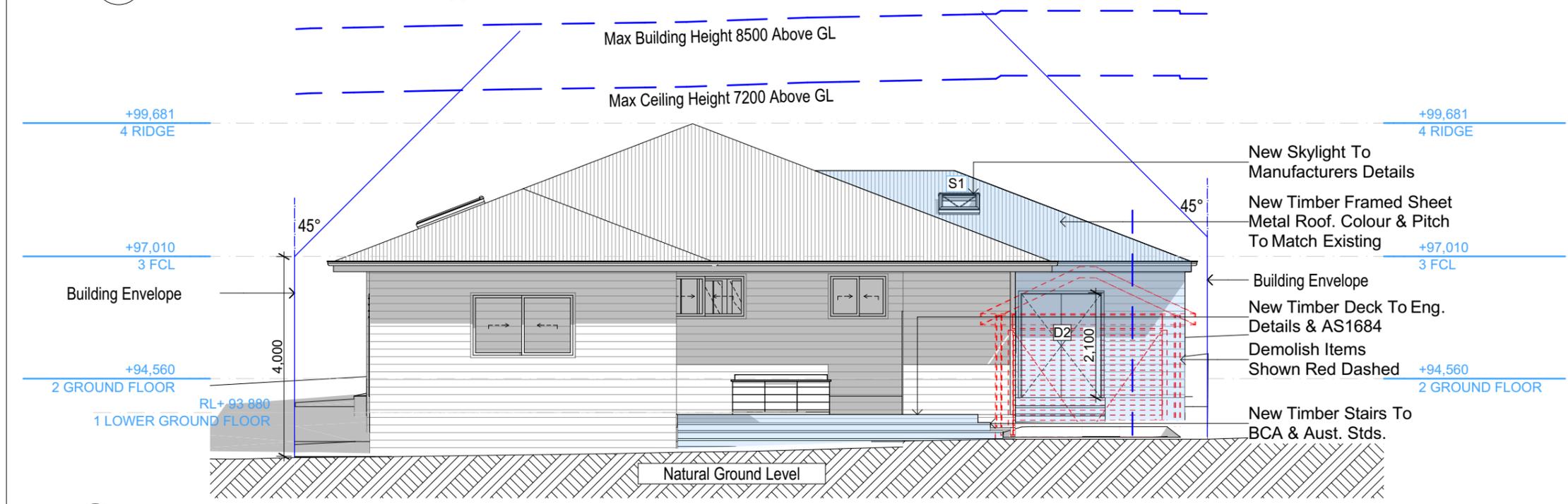
REVISION NO.

DRAWING NO.
DA4000



E-03

South
1:100



E-04

West
1:100

Construction

Insulation requirements
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Glazing requirements

Skylights
The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:
Each skylight may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S1	0.6	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

Legend
 Denotes New Works
 Denotes Existing Drive
 Denotes Demolished Item

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m ²	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Certifying
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NOTES
28 Edinburgh Road, Forestville 2089 is zoned R2 - Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
28 Edinburgh Road, Forestville 2089 is not considered a heritage item

Construction
Framed Floors, Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A1772665
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

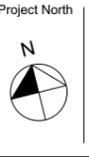


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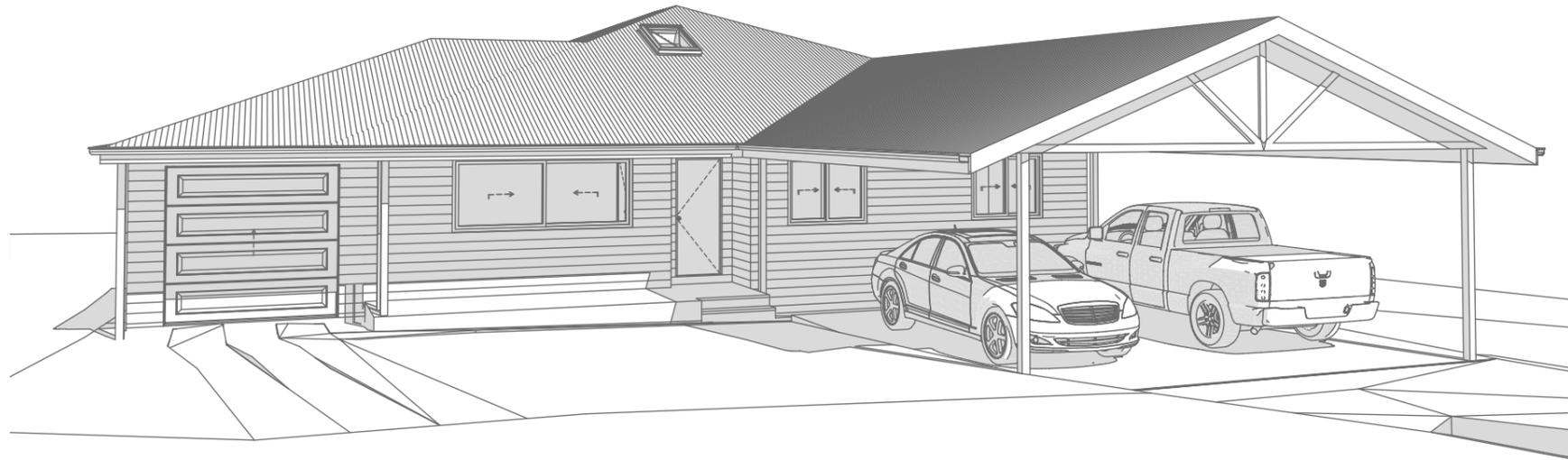
Builder to Check and Confirm
all Measurements Prior to Commencement of any works.
Immediately Report any Discrepancies to Rapid Plans



Checked Plot Date: GBJ 26/03/2025
Project NO: RPO919CER
Project Status: DA Rev 2
Client Site: Aleks Cerovic 28 Edinburgh Road, Forestville 2089
Sheet Size: A3

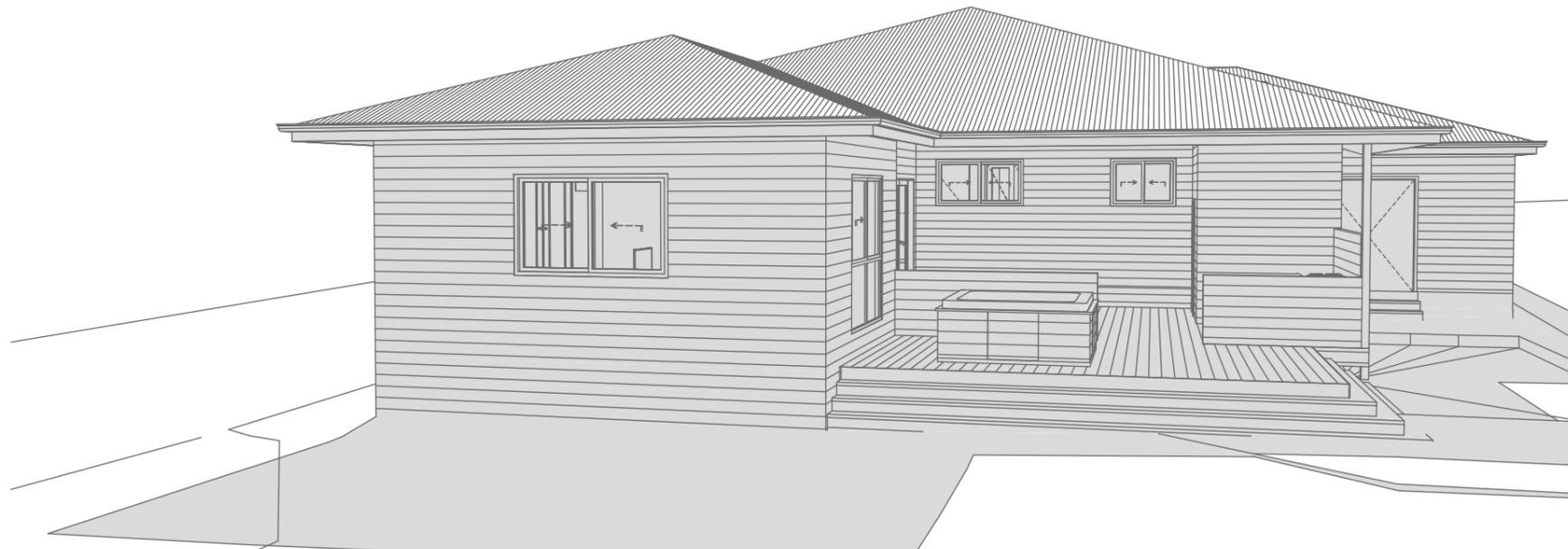
DRAWING TITLE :
ELEVATIONS
ELEVATIONS 2
PROJECT NAME :
Alterations & Additions

REVISION NO.
DRAWING NO.
DA4001



1
-

Perspective Front
1:200



2
-

Perspective Rear
1:200

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m ²	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

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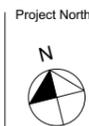
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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked Plot Date: GBJ 26/03/2025
Project NO: RPO919CER
Project Status: DA Rev 2

Client Site: Aleks Cerovic
28 Edinburgh Road, Forestville 2089

Sheet Size: A3

DRAWING TITLE :
SHADOW PLANS PERSPECTIVE

PROJECT NAME :
Alterations & Additions

REVISION NO.

DRAWING NO.
DA5000



Denotes Timber Deck (Typical). Builder To Confirm Type & Colour



Denotes Concrete Drive (Typical). Builder To Confirm Type & Colour



Denotes Sheet Metal Roof (Typical). Type & Colour To Match Existing



Denotes Roller/Tilt Door (Typical). Builder To Confirm Type & Colour



Denotes Skylight (Typical). Type & Colour To Match Existing



Denotes Cladding (Typical). Type & Colour To Match Existing

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.7m2	Yes	Building envelope	4m@45°	Yes°
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

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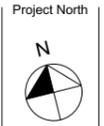


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Checked Plot Date: 26/03/2025
Project NO: RPO919CER
Project Status: DA Rev 2

Client Site: Aleks Cerovic
28 Edinburgh Road, Forestville 2089

Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
MATERIAL & COLOUR SAMPLE BOARD

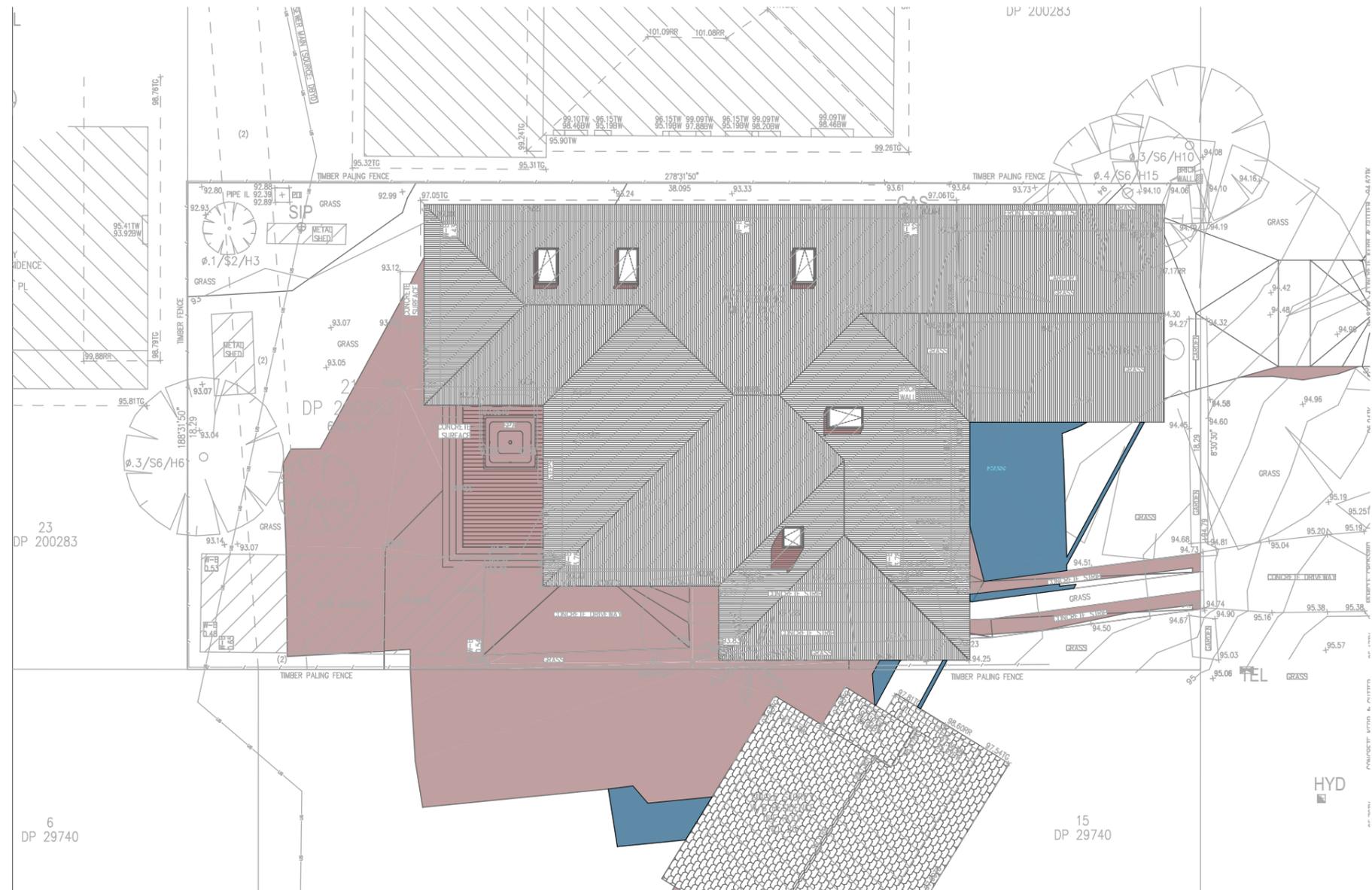
PROJECT NAME : Alterations & Additions

REVISION NO.

DRAWING NO.
DA5001

 Denotes Proposed Shadow

 Denotes Existing Shadow



01
-
Shadow 21st June 9am
1:200

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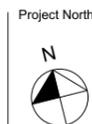
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Checked
Plot Date:
Project No.
Project Status

GBJ
26/03/2025
RP0919CER
DA Rev 2

Client
Site:
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
**SHADOW PLAN 21st June
9am**

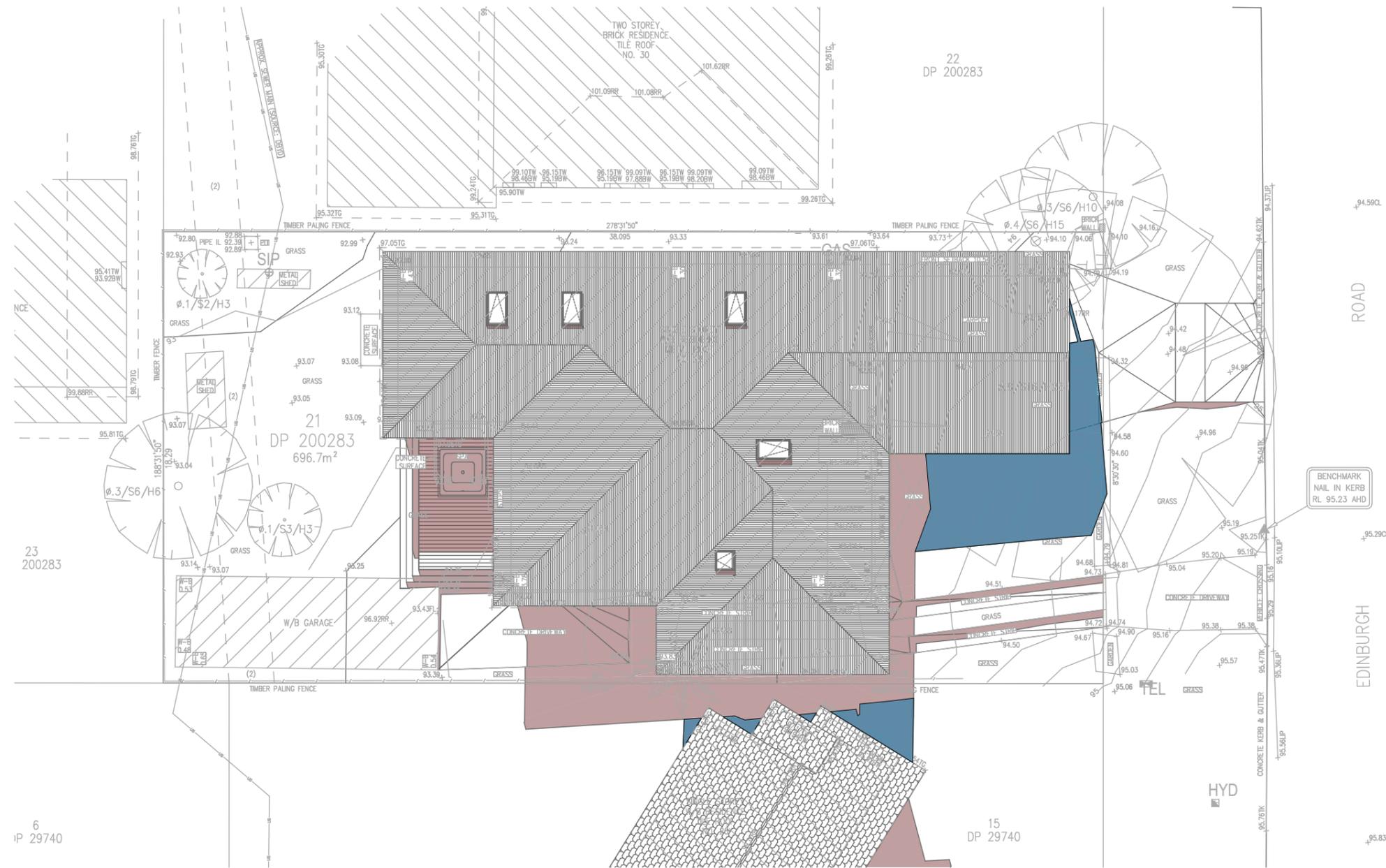
PROJECT NAME :
Alterations & Additions

REVISION NO.

DRAWING NO.
DA5002

Denotes Proposed Shadow

Denotes Existing Shadow



01 - Shadow 21st June 12pm
1:200

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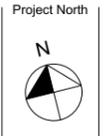
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Checked: GBJ
Plot Date: 26/03/2025
Project NO: RPO919CER
Project Status: DA Rev 2

Client Site: Aleks Cerovic
28 Edinburgh Road, Forestville 2089

Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21st June 12pm

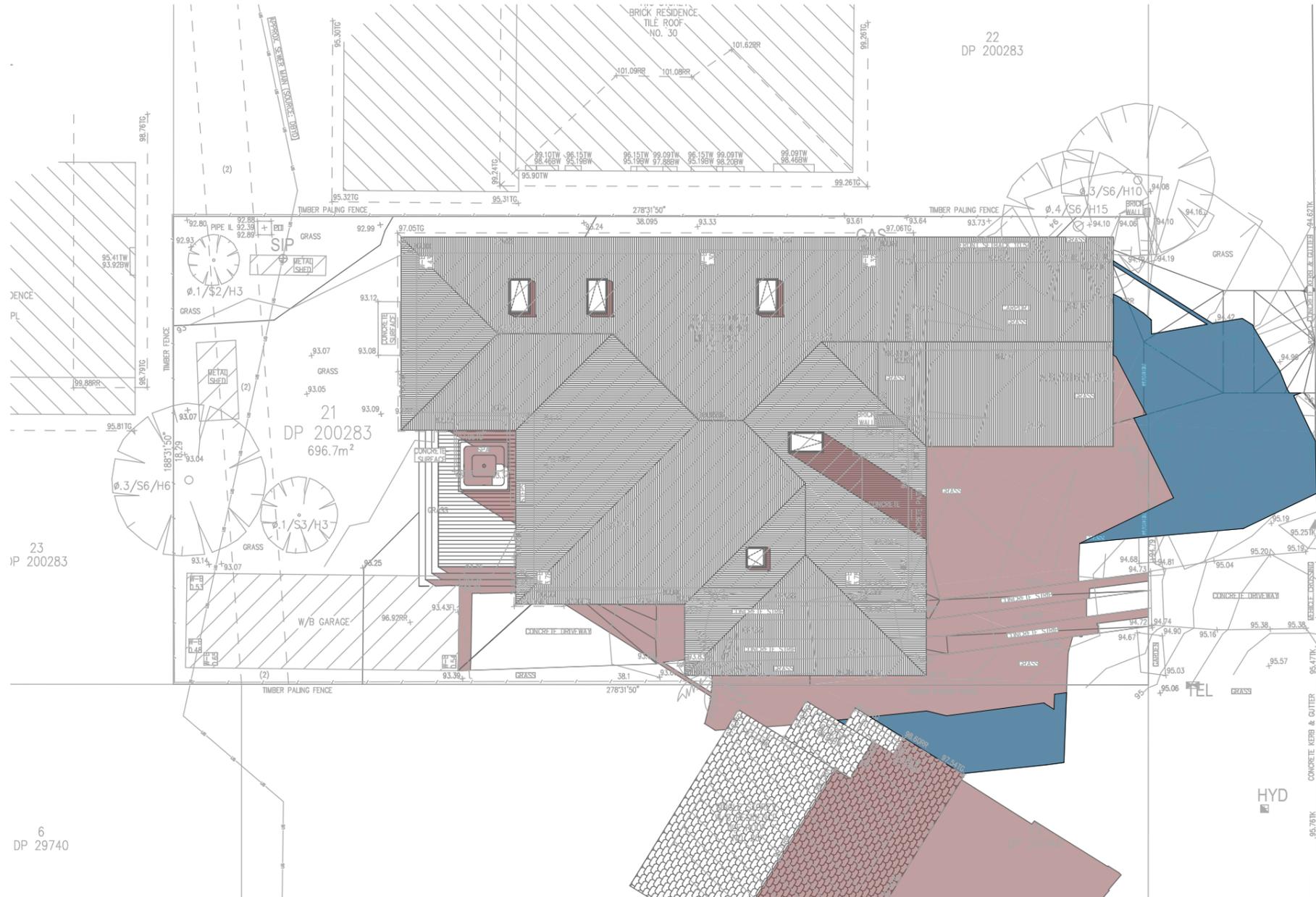
PROJECT NAME : **Alterations & Additions**

REVISION NO.

DRAWING NO.
DA5003

 Denotes Proposed Shadow

 Denotes Existing Shadow



01
-
Shadow 21st June 3pm
1:200

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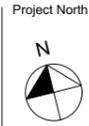
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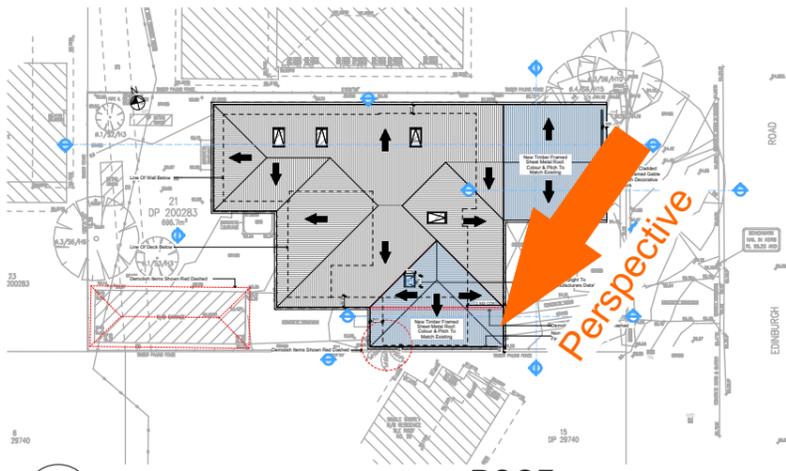


Checked Plot Date: Project Status: Client Site: Sheet Size: A3

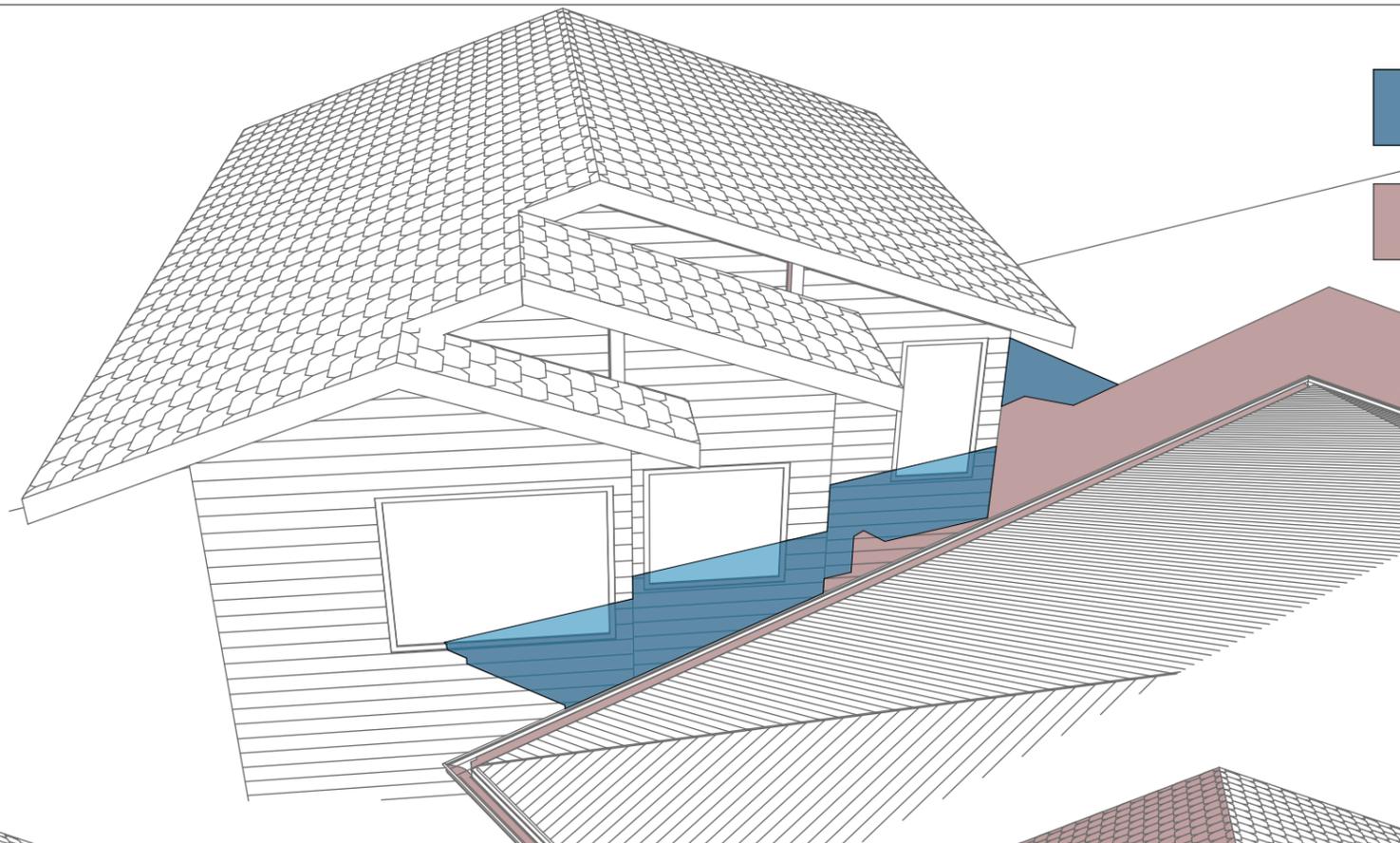
GBJ
26/03/2025
RP0919CER
DA Rev 2
Aleks Cerovic
28 Edinburgh Road, Forestville 2089

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21st June 3pm
PROJECT NAME : **Alterations & Additions**

REVISION NO.
DRAWING NO.
DA5004

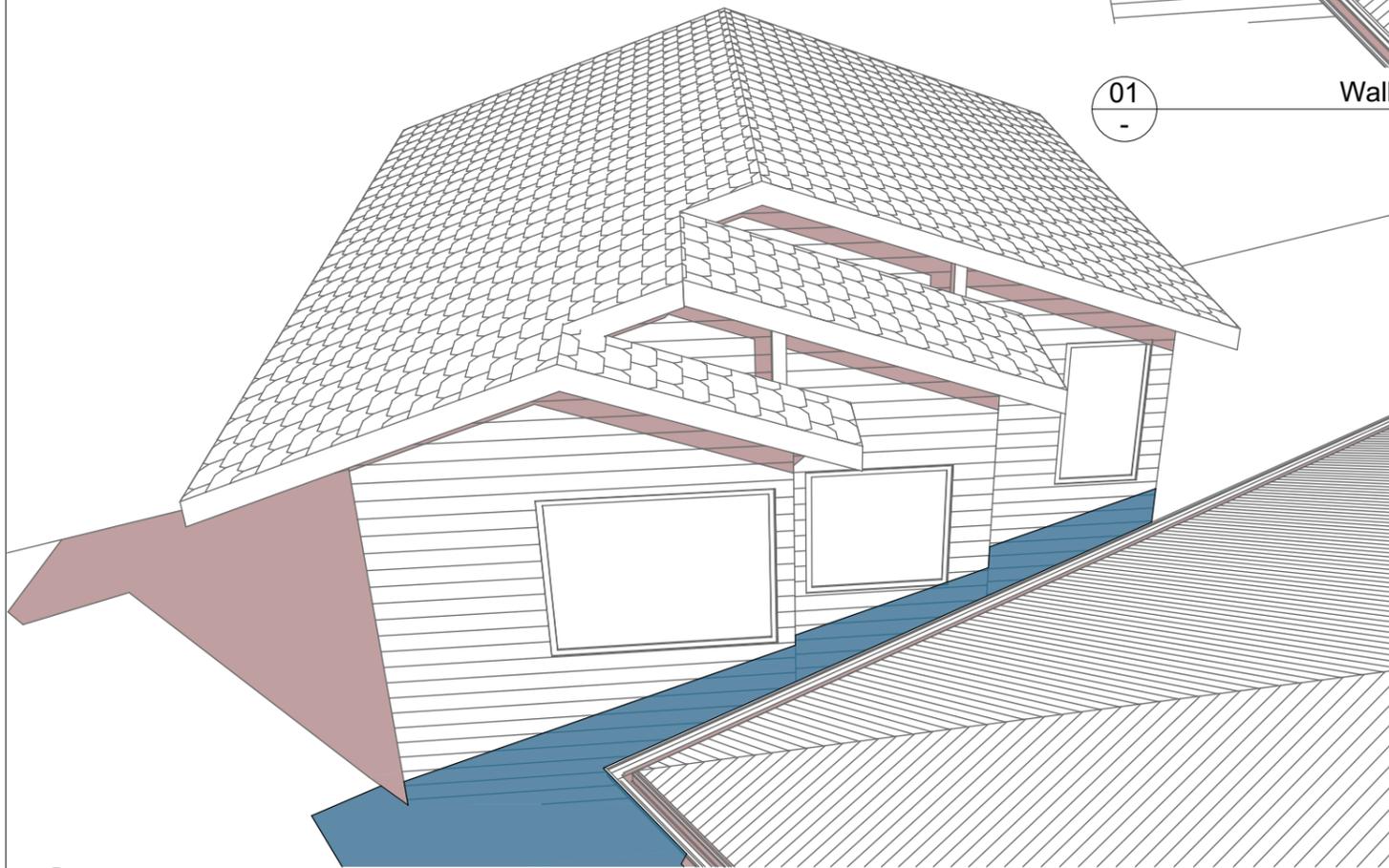


3 ROOF
1:500

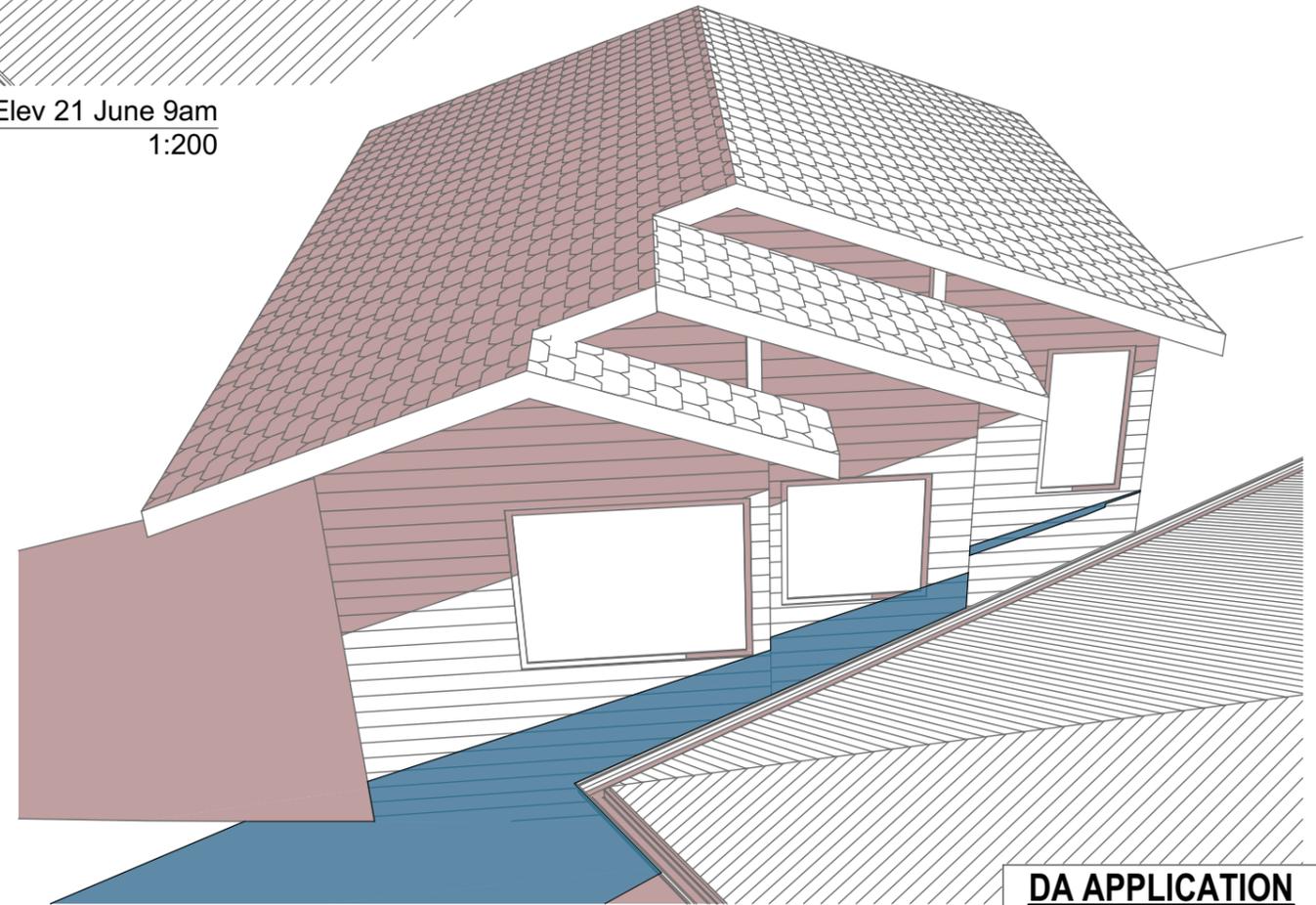


01 - Wall Elev 21 June 9am
1:200

Denotes Proposed Shadow
Denotes Existing Shadow



01 - Wall Elev 21 June 12pm
1:200



01 - Wall Elev 21 June 3pm
1:200

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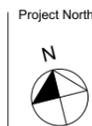


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Project North
Checked: GBJ
Plot Date: 26/03/2025
Project NO: RPO919CER
Project Status: DA Rev 2
Client Site: Aleks Cerovic
28 Edinburgh Road, Forestville 2089
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
WALL ELEVATION SHADOWS
PROJECT NAME : **Alterations & Additions**

REVISION NO.
DRAWING NO.
DA5005