

LEGEND

WATER MAIN  
TELSTRA PILLAR  
TELSTRA MARKER POST  
TELSTRA PIT  
TELEGRAPH POLE  
POWER POLE  
ELECTRICAL PILLAR  
POWER LIGHT POLE  
LIGHT POLE  
HYDRANT  
RECYCLED WATER  
WATER METER  
STOP VALVE  
WATER TAP  
GAS METER  
GAS DIRECTION MARKER  
GAS INSPECTION POINT  
SEWER MANHOLE  
STREET SIGN  
PRAM CROSSING  
VEHICLE CROSSING

SEWER VENT  
SEWER LAMP/POLE  
SEWER INSPECTION POINT  
SUBSOIL DRAIN  
STORMWATER PIT  
STORMWATER GRATE  
SURFACE INLET PIT  
LINTEL-KERB INLET PIT  
LINTEL-KERB INLET PIT WITH GRATE  
STORMWATER PIPE INCLUDING PIPE SIZE  
HEADWALL  
CLOTHES LINE  
TREE: Ø DIAMETER  
S SPREAD  
H HEIGHT

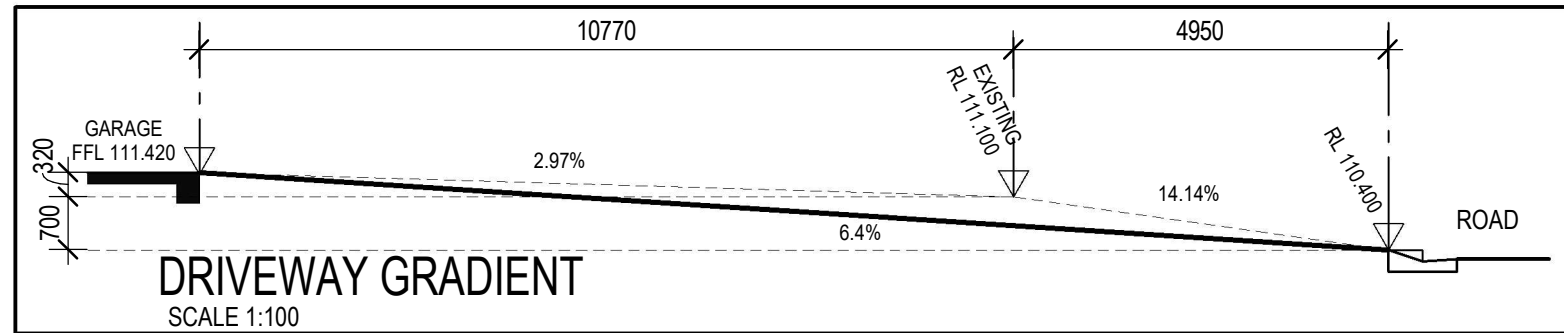
OVERHEAD ELECTRICITY LINE  
OVERHEAD TELECOM LINE  
SEWER LINE

L.G.A. : NORTHERN BEACHES  
PARISH : MANLY COVE  
COUNTY : CUMBERLAND



AREA LOT 4  
VIDE DP 27703: 613.4 m<sup>2</sup>  
BY CALC : 617.9 m<sup>2</sup>

WINDOW	SILL RL	HEIGHT	WIDTH	GLASS TYPE
1	115.60	1.20	1.52	CLEAR

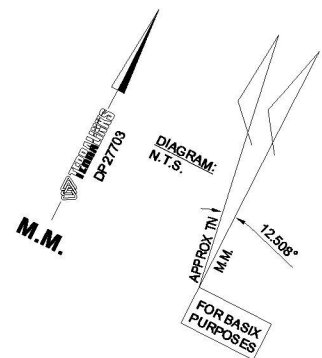


## STORMWATER TO HYDRAULIC ENG'S DETAILS

WINDOW	SILL RL	HEIGHT	WIDTH	GLASS TYPE
2	116.94	0.63	1.88	CLEAR
3	115.81	1.75	1.87	CLEAR
4	116.09	1.51	0.81	FROSTED
5	116.95	0.63	1.08	FROSTED
6	116.33	1.28	0.59	FROSTED
7	116.98	0.61	1.89	CLEAR

**B.A.S**  
POSSIBLE ENCASEMENT REQUIRED

POSITION OF 3000L "THE EVOLUTION SERIES MKII" ABOVE GROUND RAIN WATER TANK 1 TO BE INSTALLED IN ACCORDANCE WITH COUNCIL GUIDELINES & THE NATIONAL PLUMBING & DRAINAGE CODE AS/NZS 3500. THE RAINWATER SUPPLY PLUMBING IS TO BE CONNECTED TO THE COLD WATER SUPPLY TO TOILETS, WASHING MACHINE & EXTERNAL GARDEN TAPS.



## MARINE CLASSIFICATION SL2

ALL TRADES & SUPPLIERS TO COMPLY WITH THE BCA AND ALL RELEVANT AUST STANDARDS

ORIGIN OF LEVELS :  
PM 2125 RL=127.53 (AHD) FOUND NEAR THE INTERSECTION OF PATRICK STREET & ETHIE ROAD.  
ACCURACY OF ORIGIN: ± 0.010m

## SITE PLAN

ISSUE	AMENDMENT	DATE
A	PFD (EB)	15.05.19
B	VARY B (EB)	02.09.19
C	VARY D (EB)	23.10.19
D	DRIVEWAY AMENDED (EC)	06.12.19
E	VAR# G & H AND HYDRAULIC UPDATED + FFD (HT)	13.04.20
F	GARAGE DOOR AMENDED (EC)	17.04.20

OWEN STANLEY AVENUE

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**WINCREST**

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Builders License No. 213 442C  
18 Pitt St, Paramatta NSW 2150  
Ph:(02) 9635 1644 Fax:(02) 9633 4806

PROPOSED RESIDENCE FOR:  
CLIENT: MR & MRS DRY

ADDRESS:  
LOT 4, No 30 OWEN STANLEY AVE  
BEACON HILL  
Northern Beaches Council

### SITE DETAILS

LOT NUMBER: 4  
DP NUMBER: 27703

### AREAS

SITE AREA:	617.90m <sup>2</sup>
ENTRY LEVEL	137.59 m <sup>2</sup>
UPPER LEVEL	113.17 m <sup>2</sup>
GARAGE	43.08 m <sup>2</sup>
ALFRESCO	15.90 m <sup>2</sup>
BALCONY	12.99 m <sup>2</sup>
PORCH	9.43 m <sup>2</sup>
BALCONY 2	9.40 m <sup>2</sup>
Grand total	341.56 m <sup>2</sup>

DRIVEWAY: 74.00m<sup>2</sup>

SITE COVERAGE: 162.42m<sup>2</sup> - 26.28%  
PRIVATE OPEN SPACE: 194.12m<sup>2</sup>

### PROJECT DETAILS:

GROUND & FIRST FLOOR LIVING TOTAL: 293.84m<sup>2</sup>  
ROOF AREA: 195.18m<sup>2</sup>  
NO. OF BEDROOMS: 4

### LANDSCAPE:

TOTAL AREA OF VEGETATION: 292.54m<sup>2</sup> - 47%

### STORMWATER:

RAINWATER TANK SIZE: = 3000 litre  
-(ABOVE GROUND)  
ROOF AREA CONNECTED TO RAINWATER TANK: 53.0% MIN MIN- 100.00m<sup>2</sup> (to eng's details)  
RAINWATER USES: GARDEN/TOILET/LAUNDRY

### SITE NOTES & CONDITIONS:

-HOUSE LEVELS ARE APPROXIMATE ONLY & WILL BE DETERMINED ON SITE BY SUPERVISOR PRIOR TO CONSTRUCTION.  
-EXISTING STRUCTURES IN THE PROPOSED BUILDING AREA, TO BE REMOVED BY OWNER.  
-EXISTING FENCING TO BE SECURED BY OWNER, PRIOR TO CONSTRUCTION & TO REMAIN OUTSIDE OF BUILDING PLATFORM.  
-EXISTING TREES & VEGETATION TO BE CUT & REMOVED FROM BUILDING AREA PRIOR TO CONSTRUCTION, BY OWNER.  
-WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING.  
-DIMENSIONS SHOWN ARE TO FRAME AND UNDERSIDE OF ROOF TRUSSES  
-FINISHED OUTLINE OF EXCAVATED AREA IS INDICATIVE ONLY & WILL VARY ON SITE  
-ALL RETAINING WALLS ARE BY OWNER UNLESS NOTED OTHERWISE IN THE TENDER  
- ALL CONSTRUCTION WORK TO COMPLY WITH THE BCA AND ALL RELEVANT AUSTRALIAN STANDARDS

### FSR

SITE AREA: 617.90m<sup>2</sup>

### HOUSE AREAS:

INTERNAL GARAGE FLOOR LIVING: 38.72m<sup>2</sup>  
INTERNAL UPPER FLOOR LIVING: 118.70m<sup>2</sup>  
INTERNAL FIRST FLOOR LIVING: 104.65m<sup>2</sup>  
INTERNAL TOTAL: 262.07m<sup>2</sup>  
FLOOR SPACE RATIO: 0.42:1

NOTE:  
FSR CALCULATED TO INTERNAL FACE OF EXTERNAL WALLS AS PER LEP DEFINITION

### PREMIUM INCLUSIONS

JOB NO: 17386	DATE: 06.12.19
DRAWN: EB	CHECKED: .
SCALE: As indicated	SHEET NO: 01
PLEASE DISCARD ALL OTHER PLANS	
DO NOT SCALE DRAWING	



LEGENDS

(720)	LIFT OFF DOOR HINGE
CJ*	CONTROL BRICK JOINT
MH	CEILING MAN HOLE
SA	SMOKE ALARM
DP	DOWN PIPE
	AC DUCTS
	AC CEILING GRILL

BASIX

ALL PLANS TO BE READ IN CONJUNCTION WITH THE BASIX CERTIFICATE AND ITS SCHEDULE OF COMMITMENTS, WHICH ARE TO BE COMPLIED WITH IN FULL

-PROVIDE **R4** GLASSWOOD BUK INSULATION TO JOIST OVER GARAGE CEILING.  
-PROVIDE **R2** GLASSWOOD BULK INSULATION TO UNDERSIDE OD ENTIRE BEARER&JOIST SECTION

EXTERNAL A/C UNIT, A/C VENTS AND DROPPERS ( IF REQUIRED ) ARE APPROX. ONLY AND MAY BE RE-POSITIONED ON SITE TO SUIT DIFFERENT CONSTRUCTION OR NOISE REQUIREMENTS. FINAL POSITION TO BE DETERMINED BY A/C CONTRACTOR

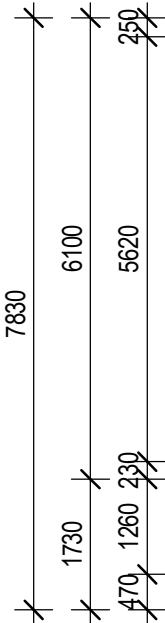
BUSHFIRE ATTACK LEVEL (BAL)

BAL 40

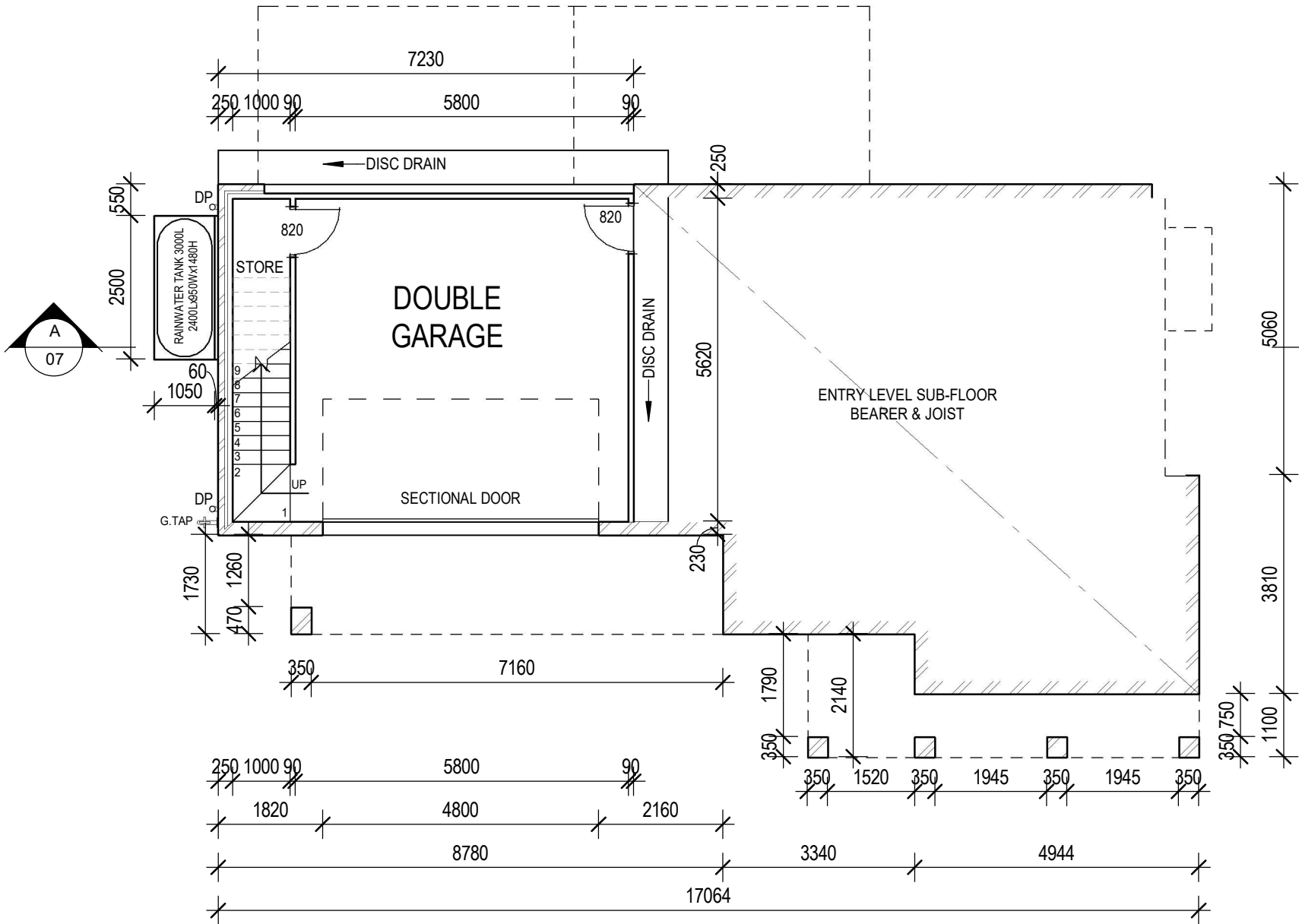
( BAL IN ACCORDANCE WITH AS3959-2009)

TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL IN ACCORDANCE WITH AS3959-2009

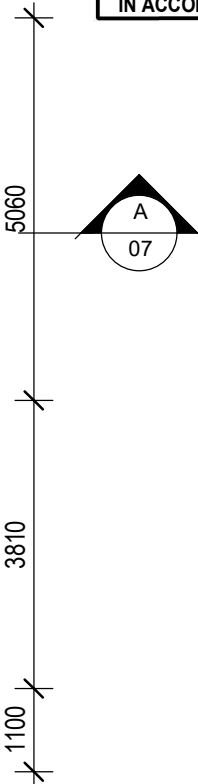
ELEVATION B



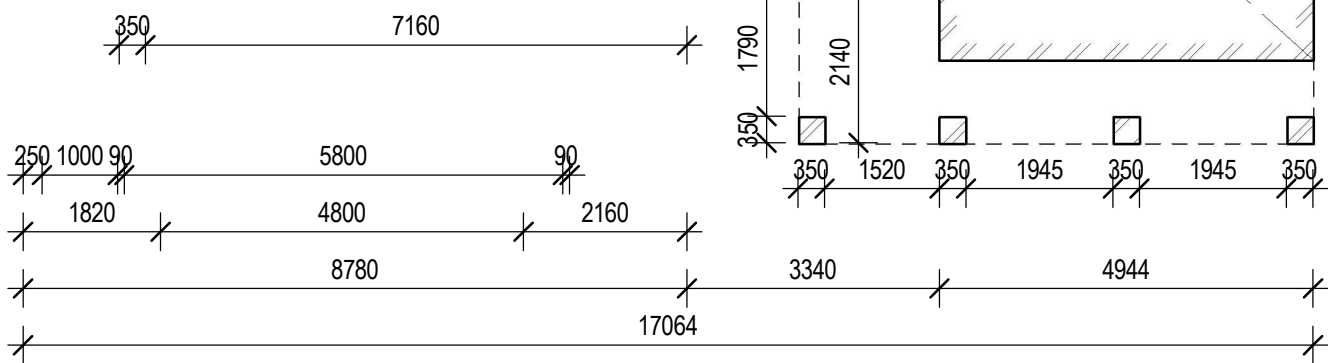
ELEVATION C



ELEVATION D



ELEVATION A



MARINE CLASSIFICATION

SL2

ALL TRADES & SUPPLIERS TO COMPLY WITH THE BCA AND ALL RELEVANT AUST STANDARDS

AREAS

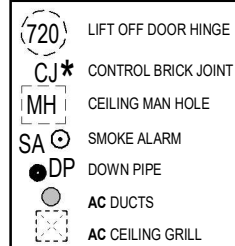
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UPPER LEVEL	113.17 m²
GARAGE	43.08 m²
ALFRESCO	15.90 m²
BALCONY	12.99 m²
PORCH	9.43 m²
BALCONY 2	9.40 m²
Grand total	341.56 m²

GARAGE FLOOR PLAN

ISSUE	AMENDMENT	DATE	Copyright reserved. No part of these plans may be reproduced or transmitted in any form without the written permission of Wincrest Group Pty Ltd.	<div></div> <div>BESPOKE</div> <div>Wincrest Group Pty Ltd. ACN 135 562 873 Builders License No. 213 442C 18 Pitt St, Paramatta NSW 2150 Ph:(02) 9635 1644 Fax:(02) 9633 4806</div>	PROPOSED RESIDENCE FOR:	PREMIUM INCLUSIONS	
A	PFD (EB)	15.05.19			CLIENT: MR & MRS DRY	JOB NO: 17386	DATE: 06.12.19
B	VARY B (EB)	02.09.19			ADDRESS: LOT 4, No 30 OWEN STANLEY AVE BEACON HILL Northern Beaches Council	DRAWN: EB	CHECKED: .
C	VARY D (EB)	23.10.19				SCALE: 1 : 100	SHEET NO: 02
D	DRIVEWAY AMENDED (EC)	06.12.19				PLEASE DISCARD ALL OTHER PLANS	
E	VAR# G & H AND HYDRAULIC UPDATED + FFD (HT)	13.04.20				DO NOT SCALE DRAWING	
F	GARAGE DOOR AMENDED (EC)	17.04.20					
LOCATION: C:\Users\Alex\Desktop\TRANSFER TO USB\17386_DRY\17386_DRY.rvt							



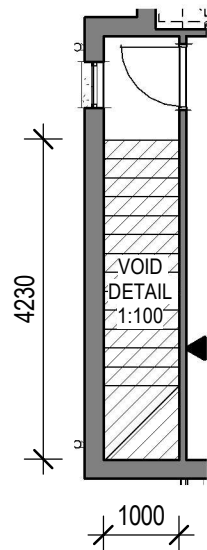
## LEGENDS



**BUSHFIRE ATTACK LEVEL (BAL)**  
**BAL 40**  
(BAL IN ACCORDANCE WITH AS3959-2009)

TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL  
IN ACCORDANCE WITH AS3959-2009

ELEVATION B

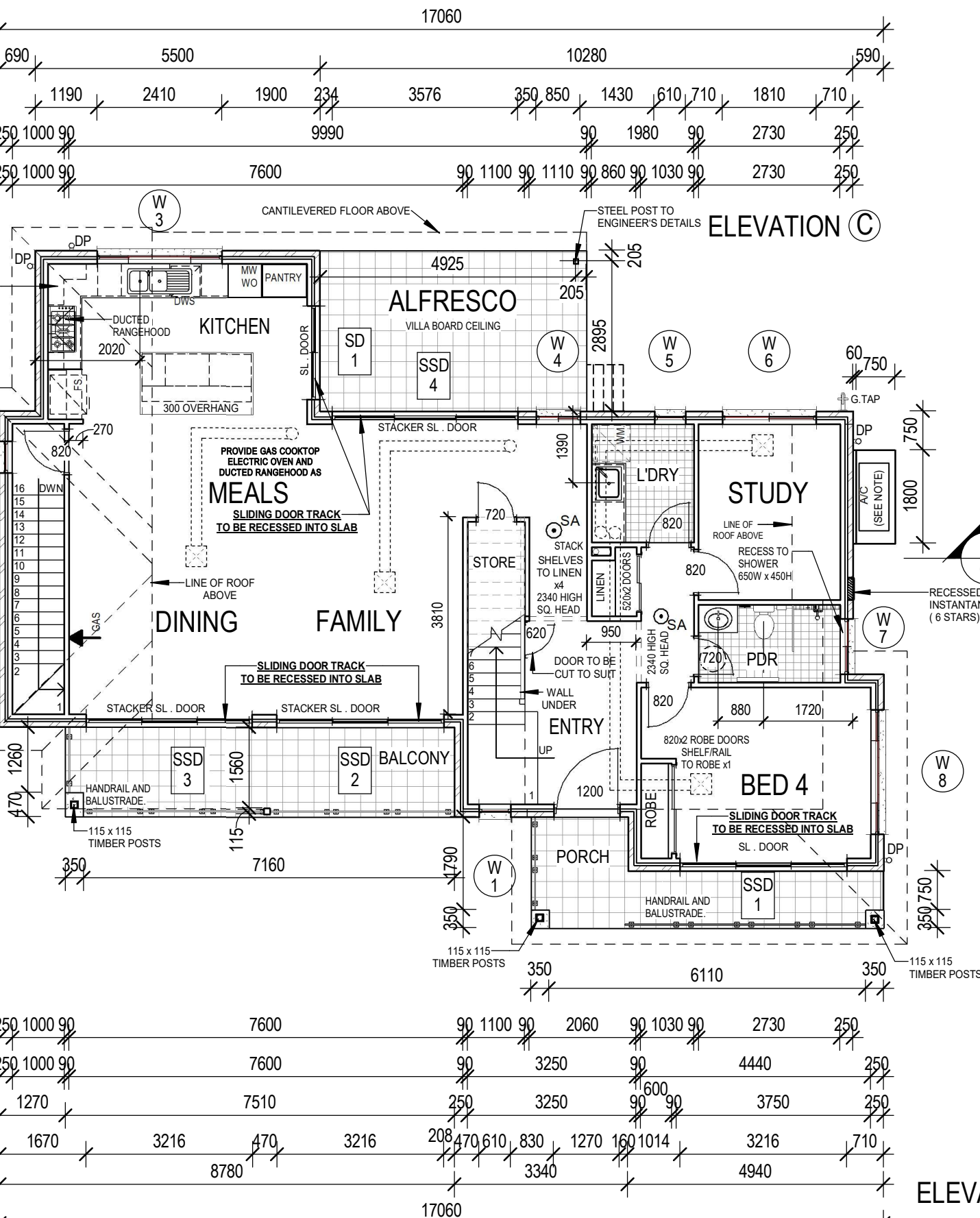
**BASIX**

ALL PLANS TO BE READ IN  
CONJUNCTION WITH THE BASIX  
CERTIFICATE AND ITS SCHEDULE OF  
COMMITMENTS, WHICH ARE TO BE  
COMPLIED WITH IN FULL

**UPPER FLOOR PLAN**

ISSUE	AMENDMENT	DATE
A	PFD (EB)	15.05.19
B	VARY B (EB)	02.09.19
C	VARY D (EB)	23.10.19
D	DRIVEWAY AMENDED (EC)	06.12.19
E	VAR# G & H AND HYDRAULIC UPDATED + FFD (HT)	13.04.20
F	GARAGE DOOR AMENDED (EC)	17.04.20

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EXTERNAL A/C UNIT, A/C VENTS AND DROPPERS  
( IF REQUIRED ) ARE APPROX. ONLY  
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TO SUIT DIFFERENT CONSTRUCTION OR NOISE  
REQUIREMENTS. FINAL POSITION TO BE  
DETERMINED BY A/C CONTRACTOR

2340H DOORS TO UPPER LEVEL

ELEVATION C

ELEVATION D

**MARINE CLASSIFICATION**  
**SL2**

ALL TRADES & SUPPLIERS TO COMPLY  
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ELEVATION A

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PROPOSED RESIDENCE FOR:

CLIENT: MR &amp; MRS DRY

ADDRESS:

LOT 4, No 30 OWEN STANLEY AVE  
BEACON HILL  
Northern Beaches Council

PREMIUM INCLUSIONS

JOB NO: 17386 DATE: 06.12.19

DRAWN: EB CHECKED: .

SCALE: 1 : 100 SHEET NO: 03

PLEASE DISCARD ALL OTHER PLANS

**DO NOT SCALE DRAWING**

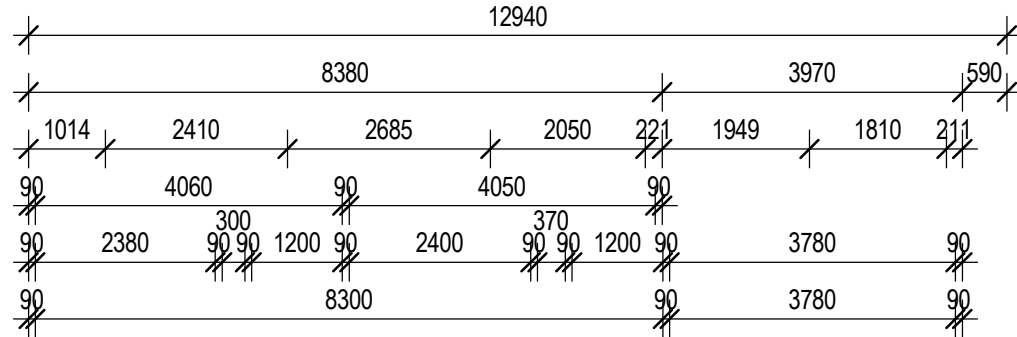


LEGENDS

- (720) LIFT OFF DOOR HINGE
- CJ\* CONTROL BRICK JOINT
- MH CEILING MAN HOLE
- SA SMOKE ALARM
- DP DOWN PIPE
- AC DUCTS
- AC CEILING GRILL

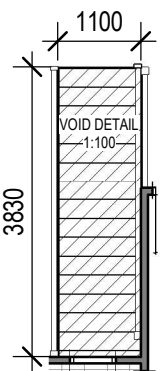
**BUSHFIRE ATTACK LEVEL (BAL)**  
**BAL 40**  
(BAL IN ACCORDANCE WITH AS3959-2009)

TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL  
IN ACCORDANCE WITH AS3959-2009

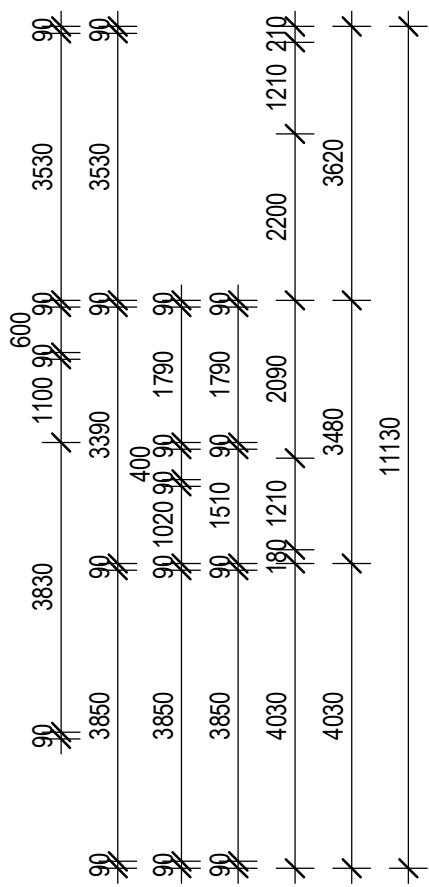
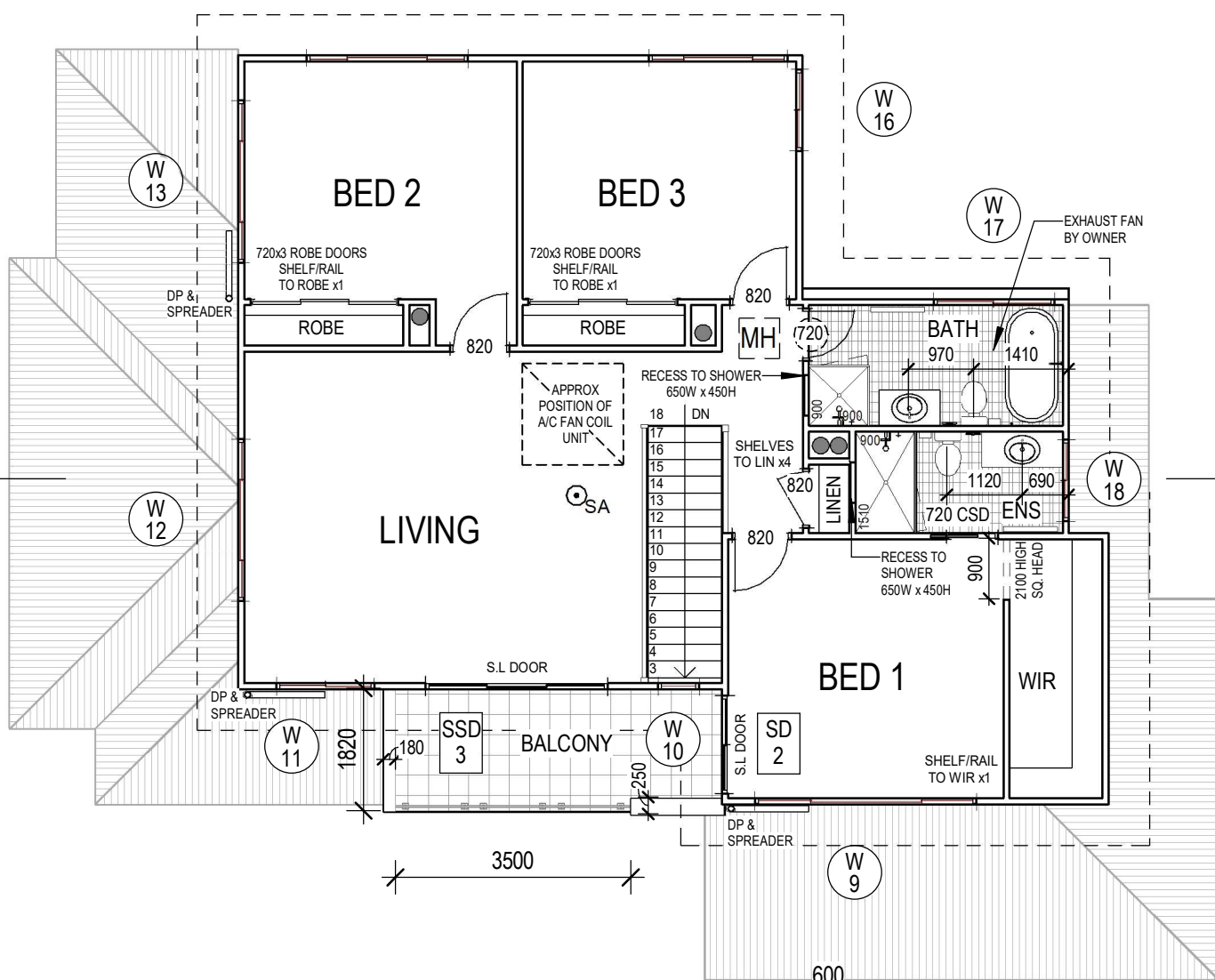
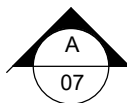
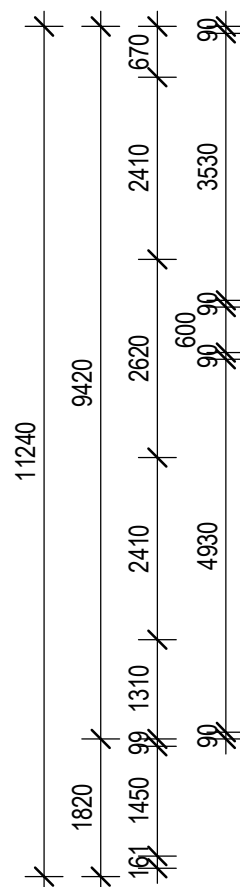


ELEVATION C

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( IF REQUIRED ) ARE APPROX. ONLY  
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REQUIREMENTS. FINAL POSITION TO BE  
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ELEVATION B



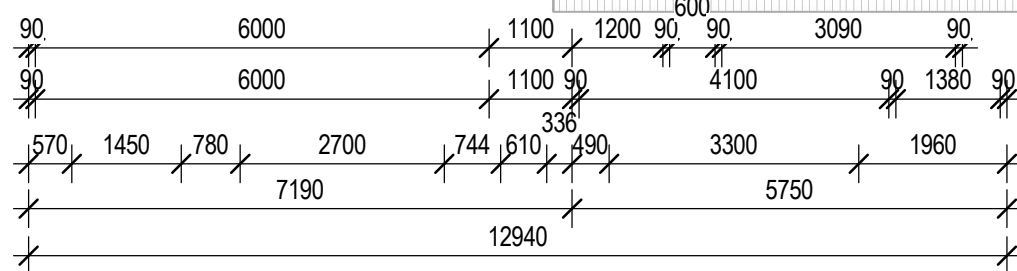
ELEVATION D

**MARINE CLASSIFICATION**  
**SL2**

ALL TRADES & SUPPLIERS TO COMPLY  
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**BASIX**  
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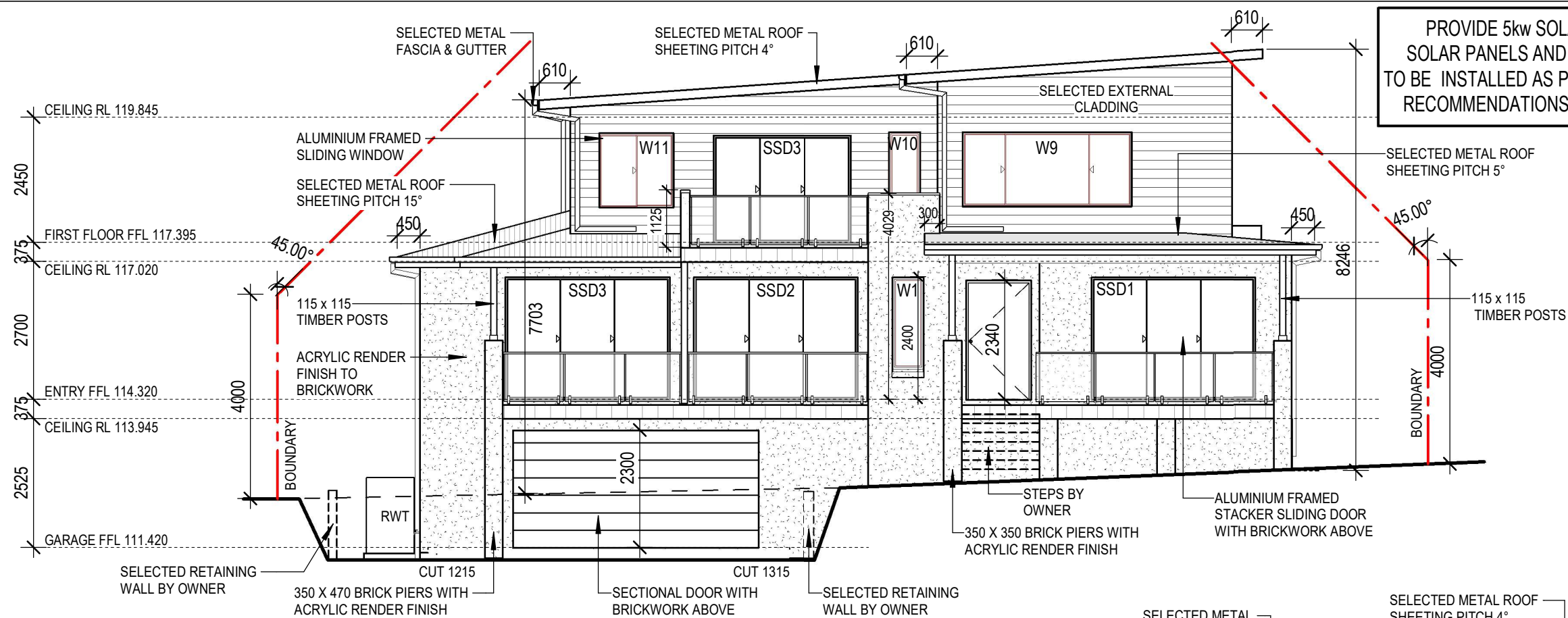
**FIRST FLOOR PLAN**



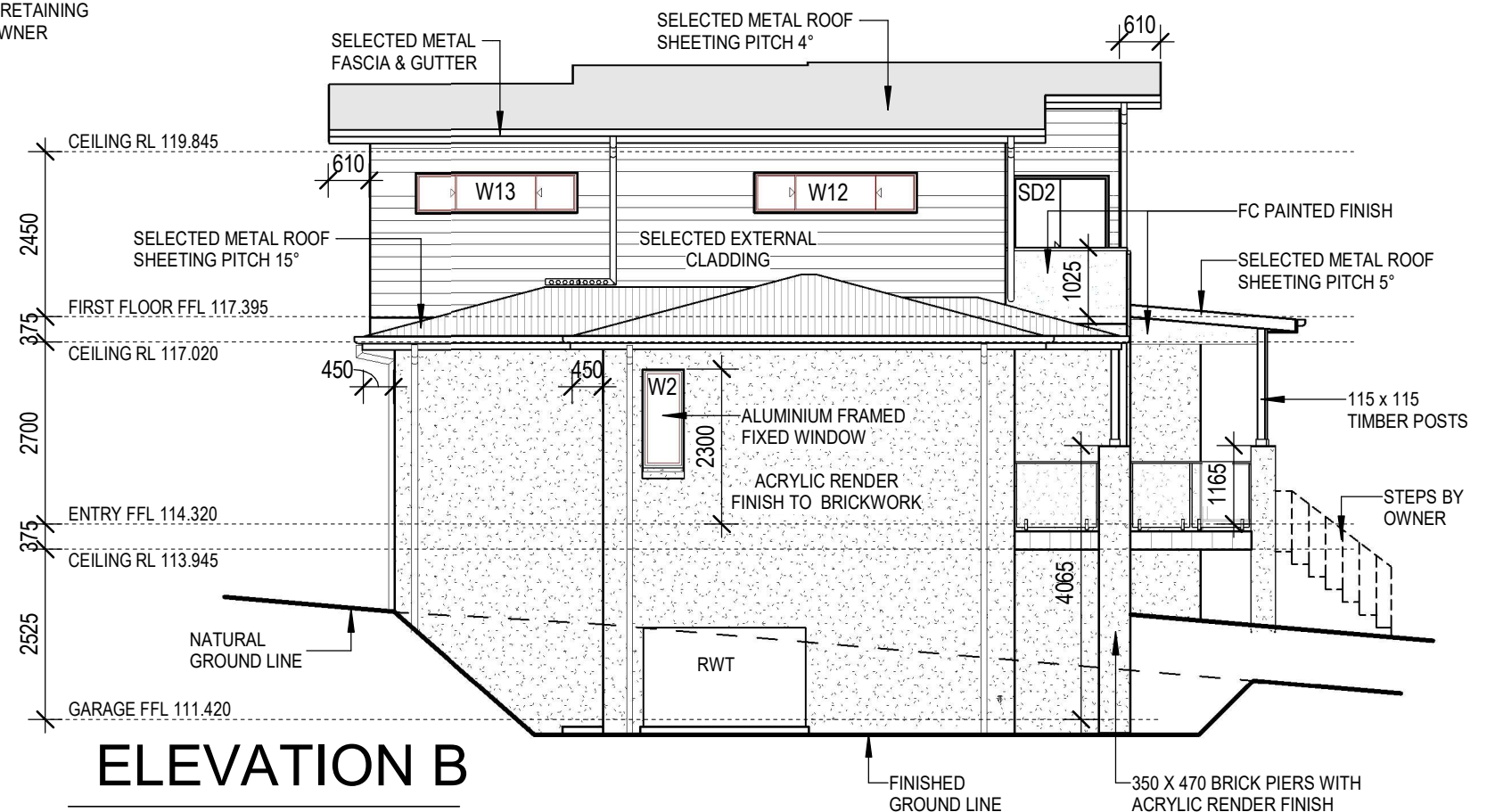
ELEVATION A

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B		VARY B (EB)	02.09.19			ADDRESS: LOT 4, No 30 OWEN STANLEY AVE BEACON HILL Northern Beaches Council		DRAWN: EB	CHECKED: Checker
C		VARY D (EB)	23.10.19					SCALE: 1 : 100	SHEET NO: 04
D		DRIVEWAY AMENDED (EC)	06.12.19					PLEASE DISCARD ALL OTHER PLANS	
E		VAR# G & H AND HYDRAULIC UPDATED + FFD (HT)	13.04.20					DO NOT SCALE DRAWING	
F		GARAGE DOOR AMENDED (EC)	17.04.20						
LOCATION: C:\Users\Alex\Desktop\TRANSFER TO USB\17386_DRY\17386_DRY.rvt									





PROVIDE 5kw SOLAR PV SYSTEM  
SOLAR PANELS AND THEIR LOCATION  
TO BE INSTALLED AS PER MANUFACTURES  
RECOMMENDATIONS AND GUIDELINES



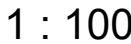
## ELEVATIONS

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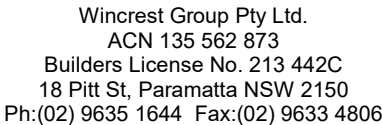


- PROVIDE GRANITGARD PEST CONTROL SYSTEM OR SIMILAR TO PERIMETER OF HOME AS REQUIRED BY CERTIFYING AUTHORITY.
- AS/NZS 3000-2000 ELECTRICAL REQUIREMENTS: SAFETY SWITCH TO FRIDGE & LIGHT CIRCUITS; ISOLATING SWITCH FOR WALL OVEN.
- PROVIDE R4.0 GLASSWOOL CEILING INSULATION TO ROOF SPACE OF LIVING AREAS AND **JOIST OVER GARAGE CEILING**
- PROVIDE R2.0 GLASSWOOL WALL INSULATION TO EXTERNAL WALLS OF LIVING AREAS AND **UNDERSIDE OF ENTIRE BEARER & JOIST SECTION.**
- WELS RATED KITCHEN, LAUNDRY & VANITY BASIN TAPS REQUIRED.
- WELS RATED SHOWERHEADS.
- WELS RATED TOILET CISTERNS REQUIRED.
- PROVIDE 3,000 LITRE COLORBOND STEEL AQUAPLATE TANK.
- NO EXHAUST FANS UNLESS REQUIRED FOR MECHANICAL VENTILATION
- PROVIDE WEATHER STRIPS TO ALL EXTERNAL HINGED DOORS.
- GAS/ELECTRONIC INSTANTANEOUS HOT WATER SERVICE ( 6 STARS)
- 75mm GAP BETWEEN FRIDGE & WALL TO BE MAINTAINED.
- PROVIDE NATURAL GAS PLUMBING FOR COOKTOP & 1 INTERNAL HEATING POINT.
- MANHOLE POSITION IS APPROXIMATE ONLY AND MAY BE RE-POSITIONED ON SITE TO SUIT CONSTRUCTION CONSTRAINTS OR REQUIREMENTS
- PRIMARY TYPE OF ARTIFICIAL LIGHTING -FLUORESCENT OR LIGHT EMITTING DIODE (LED)  
AND WHERE THE WORD "DEDICATED" APPEARS, THE FITTINGS FOR THOSE LIGHTS MAY ONLY BE CAPABLE OF ACCEPTING FLUORESCENT OR LIGHT EMITTING DIODE (LED) LAMPS  
TO THE FOLLOWING ROOMS: AT LEAST 5 OF THE BEDROOMS / STUDY AT LEAST 3 OF THE LIVING/DINING ROOMS,  
THE KITCHEN, ALL BATHROOMS/TOILETS, THE LAUNDRY & ALL HALLWAYS

**ALL TRADES & SUPPLIERS TO COMPLY  
WITH THE BCA AND ALL RELEVANT AUST STANDARDS**

**TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL  
IN ACCORDANCE WITH AS3959-2009**

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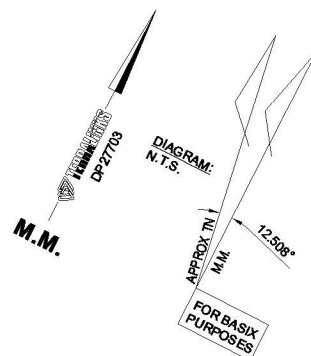
LOT 4, No 30 OWEN STANLEY AVE  
BEACON HILL  
Northern Beaches Council

PREMIUM INCLUSIONS	
JOB NO: 17386	DATE: 06.12.19
DRAWN: EB	CHECKED: .
SCALE: 1 : 100	SHEET NO: 07
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B.A.S

POSSIBLE ENCASEMENT REQUIRED

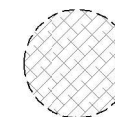


## STORMWATER TO HYDRAULIC ENG'S DETAILS

## LEGEND



Material Stockpile  
area.



Waste stockpile &  
material sorting area.



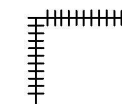
Storage recycling bins  
for segregated waste.



Chemical toilets.



Temporary builders d/way  
to E.P.A. requirements.



Fit standard 600 high green  
silt fence (refer to detail).



Trees to be removed.

**NOTE:** All waste materials to be  
taken to an approved waste  
disposal site.

## BUSHFIRE ATTACK LEVEL (BAL) BAL 40

(BAL IN ACCORDANCE WITH AS3959-2009)

TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL  
IN ACCORDANCE WITH AS3959-2009

## MARINE CLASSIFICATION SL2

ALL TRADES & SUPPLIERS TO COMPLY  
WITH THE BCA AND ALL RELEVANT AUST STANDARDS

## EROSION & SEDIMENT CONTROL PLAN

ISSUE	AMENDMENT	DATE	<p>Copyright reserved. No part of these plans may be reproduced or transmitted in any form without the written permission of Wincrest Group Pty Ltd.</p>	<p><b>WINCREST</b></p> <p>BESPOKE Wincrest Group Pty Ltd. ACN 135 562 873 Builders License No. 213 442C 18 Pitt St, Paramatta NSW 2150 Ph:(02) 9635 1644 Fax:(02) 9633 4806</p>	PROPOSED RESIDENCE FOR: CLIENT: MR & MRS DRY	PREMIUM INCLUSIONS	
A	PFD (EB)	15.05.19				JOB NO: 17386	DATE: 06.12.19
B	VARY B (EB)	02.09.19				DRAWN: Author	CHECKED: Checker
C	VARY D (EB)	23.10.19				SCALE: 1 : 200	SHEET NO: 08
D	DRIVEWAY AMENDED (EC)	06.12.19				PLEASE DISCARD ALL OTHER PLANS	
E	VAR# G & H AND HYDRAULIC UPDATED + FFD (HT)	13.04.20				<b>DO NOT SCALE DRAWING</b>	
F	GARAGE DOOR AMENDED (EC)	17.04.20					

LOCATION: C:\Users\Alex\Desktop\TRANSFER TO USB\17386\_DRY\17386\_DRY.rvt



B.A.S

POSSIBLE ENCASEMENT REQUIRED

BUSHFIRE ATTACK LEVEL (BAL)

BAL 40

(BAL IN ACCORDANCE WITH AS3959-2009)

TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL  
IN ACCORDANCE WITH AS3959-2009

MARINE CLASSIFICATION

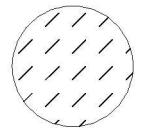
SL2

ALL TRADES & SUPPLIERS TO COMPLY  
WITH THE BCA AND ALL RELEVANT AUST STANDARDS

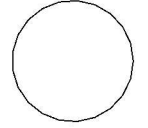
STORMWATER TO HYDRAULIC

ENG'S DETAILS

LEGEND



EXISTING TREES TO BE REMOVED



EXISTING TREES TO BE RETAINED



PROPOSED RESIDENCE.



EXISTING ADJOINING RESIDENCE.



EXISTING BUILDINGS TO BE DEMOLISHED.



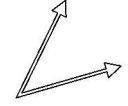
SITE BOUNDARY



CONTOURS



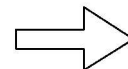
PRIVATE OPEN SPACE



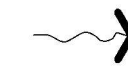
VIEWS



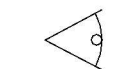
VEHICULAR SITE ENTRY



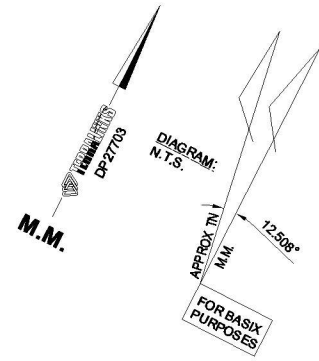
PREVAILING WINDS



NOISE



OVERLOOKING



SELECTED RETAINING WALL BY OWNER

No. 32  
SINGLE STOREY  
BRICK COTTAGE  
METAL ROOF

RIDGE RL=116.47

GUTTER RL=115.71

APPROX LOCATION  
OF SEWER MAIN

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DP27703

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No. 9  
SINGLE STOREY  
BRICK COTTAGE  
TILE ROOF

RIDGE RL=116.40

GUTTER RL=116.91

CLOTHES LINE  
BY OWNER

EXISTING DECK TO  
BE REMOVED BY OWNER

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RIDGE RL=117.65

BRICK GARAGE  
TILE ROOF

GUTTER RL=116.73

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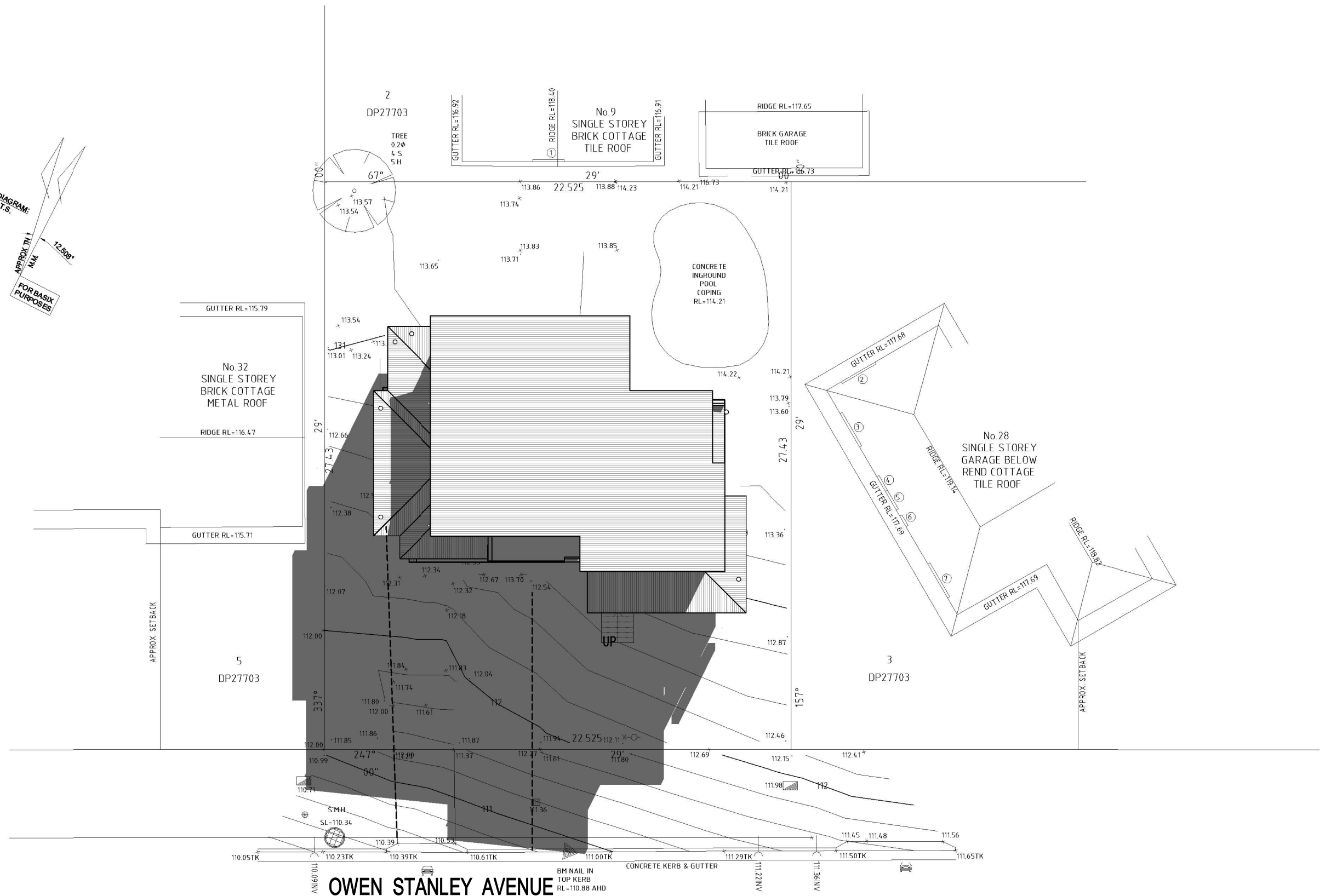
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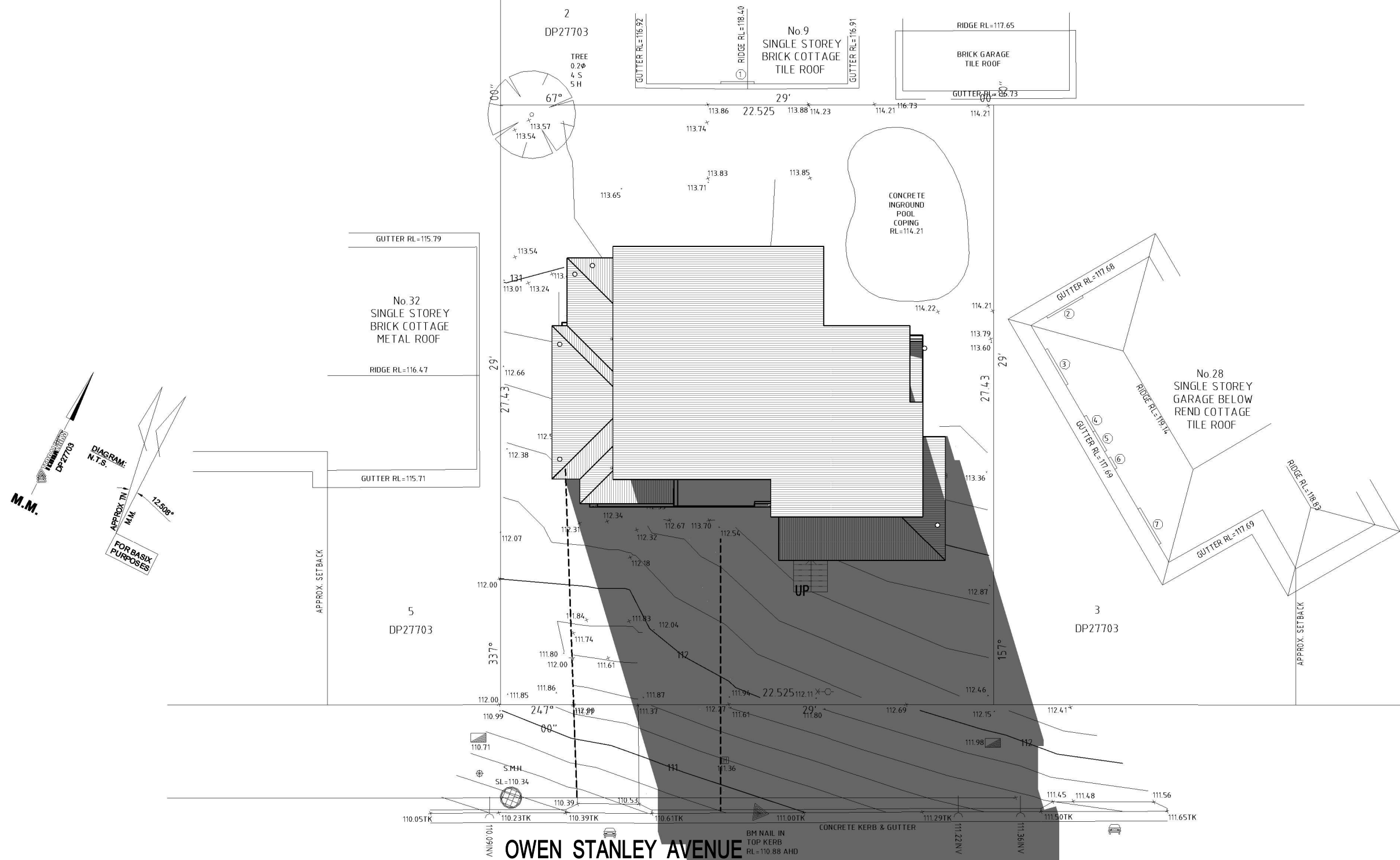




### **JUNE 21 - 12 noon SHADOW DIAGRAM**

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A	PFD (EB)	15.05.19			CLIENT: MR & MRS DRY		JOB NO: 17386	DATE: 06.12.19
B	VARY B (EB)	02.09.19			ADDRESS: LOT 4, No 30 OWEN STANLEY AVE BEACON HILL Northern Beaches Council		DRAWN: Author	CHECKED: Checker
C	VARY D (EB)	23.10.19					SCALE: 1 : 200	SHEET NO: 12
D	DRIVEWAY AMENDED (EC)	06.12.19					PLEASE DISCARD ALL OTHER PLANS	
E	VAR# G & H AND HYDRAULIC UPDATED + FFD (HT)	13.04.20					DO NOT SCALE DRAWING	
F	GARAGE DOOR AMENDED (EC)	17.04.20						
LOCATION: C:\Users\Alex\Desktop\TRANSFER TO USB\17386_DRY\17386_DRY.rvt								





**JUNE 21 - 3 pm SHADOW DIAGRAM**

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B	VARY B (EB)	02.09.19			ADDRESS: LOT 4, No 30 OWEN STANLEY AVE BEACON HILL Northern Beaches Council	DRAWN: Author	CHECKED: Checker
C	VARY D (EB)	23.10.19				SCALE: 1 : 200	SHEET NO: 13
D	DRIVEWAY AMENDED (EC)	06.12.19				PLEASE DISCARD ALL OTHER PLANS	
E	VAR# G & H AND HYDRAULIC UPDATED + FFD (HT)	13.04.20					
F	GARAGE DOOR AMENDED (EC)	17.04.20					
LOCATION: C:\Users\Alex\Desktop\TRANSFER TO USB\17386_DRY\17386_DRY.rvt			DO NOT SCALE DRAWING				

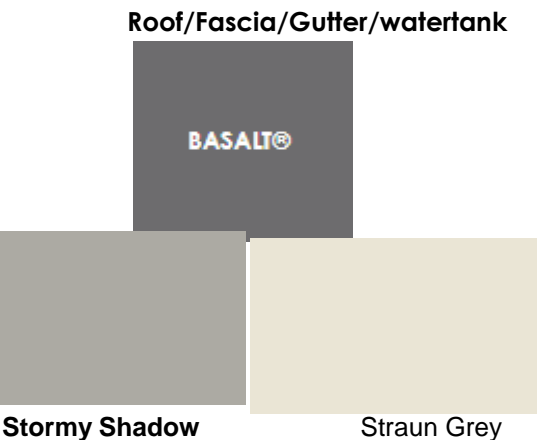


# External Colour Selection Schedule



BESPOKE

for: Lot 4 #30 Owen Stanley Ave, Beacon Hill



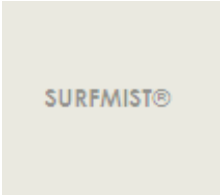
EXTERNAL COLOR SELECTIONS Ref 17386			
Details		Selections	
Colourbond Roof		Basalt	
Fascia & Gutters		Basalt	
dowpipes		Straun Grey & Stormy Shadow	
Rainwater tank		Basalt	
Garage door		Flatline Classic Cedar	
Steel post		Painted Taubmans Tori	
Front door		Stained	
Rendered brickwork		painted Taubmans Stormy Shadow	
Cladding		Newport painted Taumans Straun Grey	
Windows		Surfmist	



Classic Cedar®



Tori



SURFMIST®



