

EXTERNAL A/C UNIT, A/C VENTS AND DROPPERS (IF REQUIRED) ARE APPROX. ONLY AND MAY BE RE-POSITIONED ON SITE TO SUIT DIFFERENT CONSTRUCTION OR NOISE REQUIREMENTS. FINAL POSITION TO BE DETERMINED BY A/C CONTRACTOR

## BUSHFIRE ATTACK LEVEL (BAL) BAL 40

(BAL IN ACCORDANCE WITH AS3959-2009)

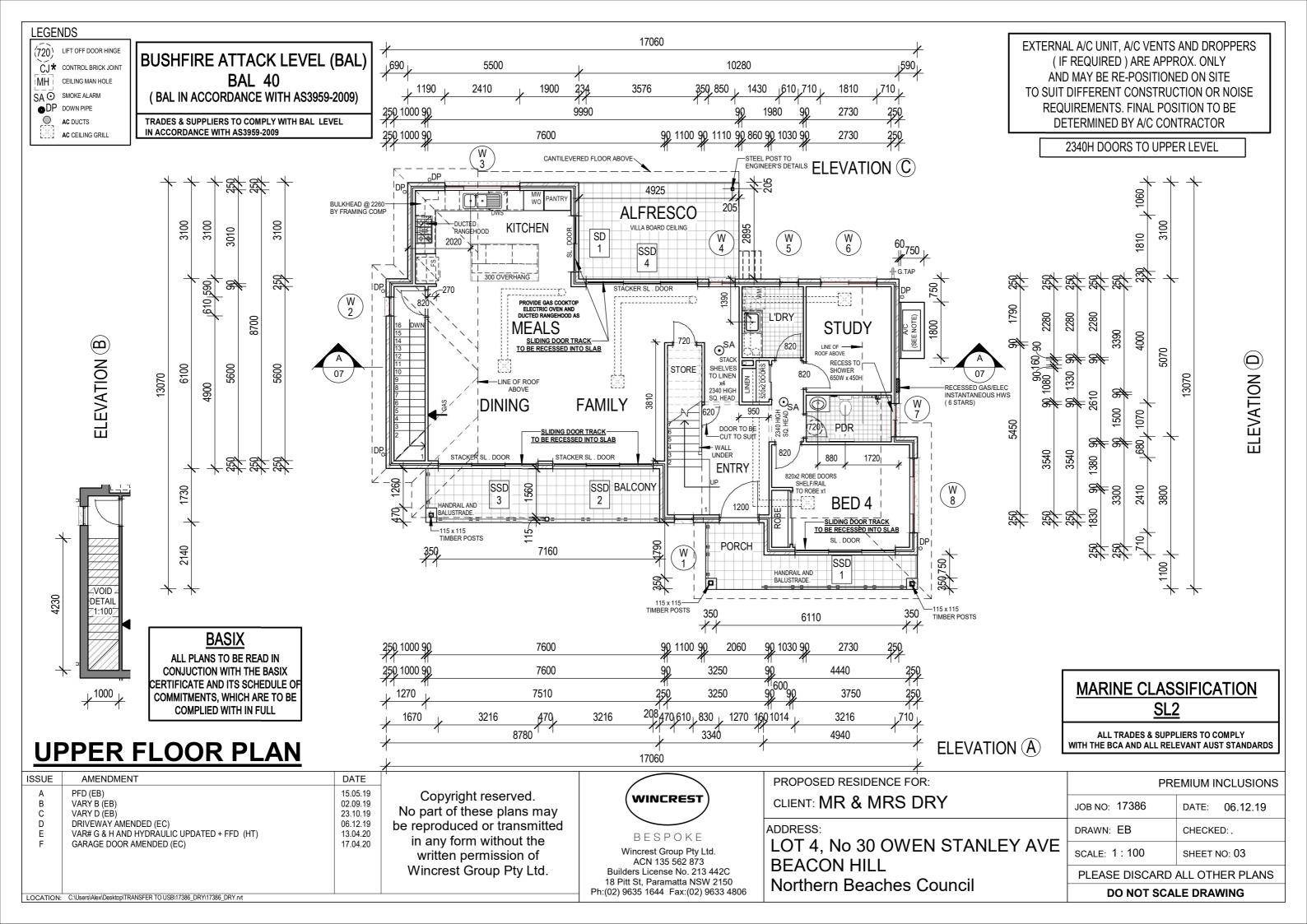
TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL IN ACCORDANCE WITH AS3959-2009

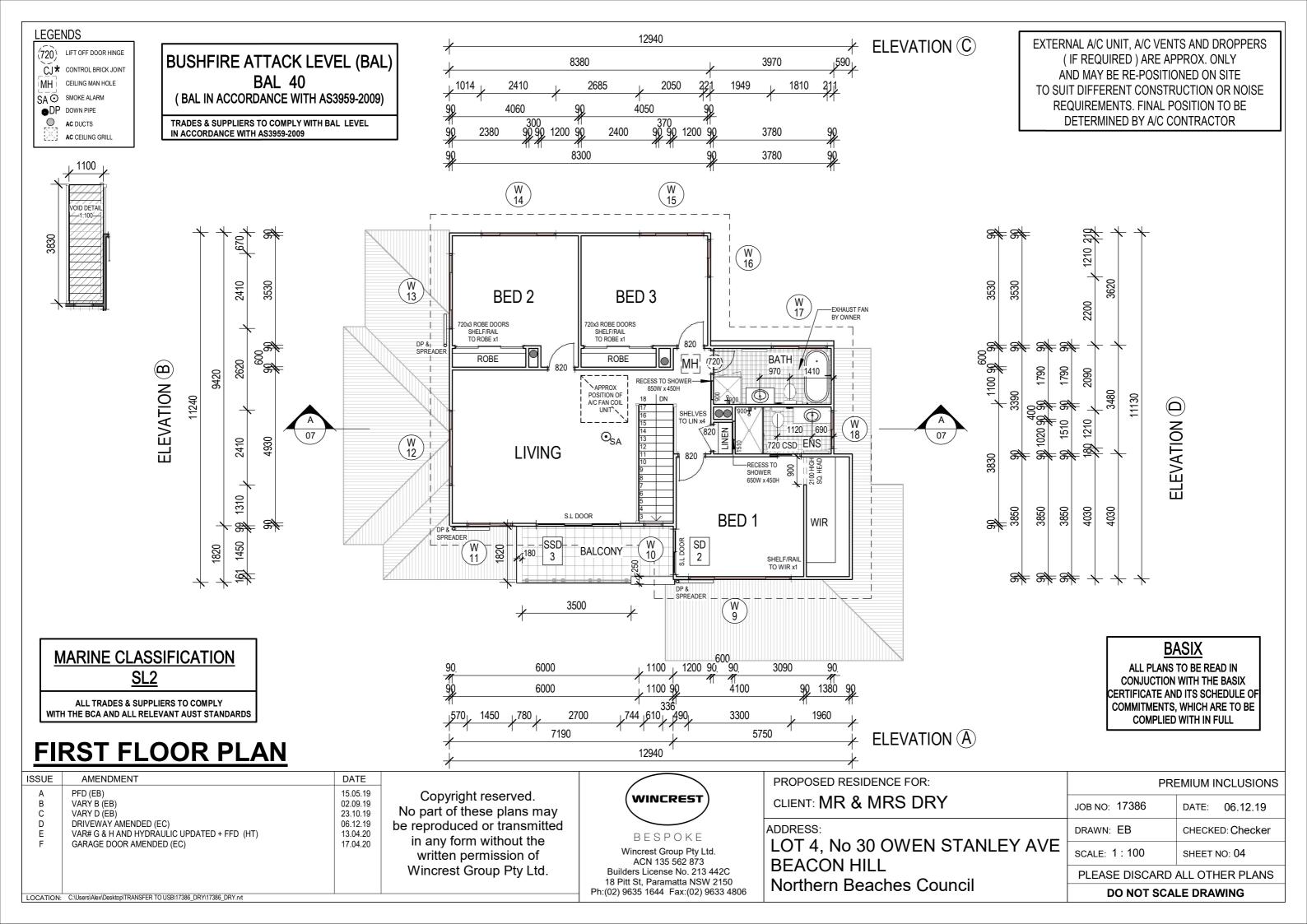
### **AREAS** ENTRY LEVEL 137.59 m<sup>2</sup> 113.17 m<sup>2</sup> UPPER LEVEL 43.08 m<sup>2</sup> ALFRESCO 15.90 m<sup>2</sup> BALCONY 12.99 m<sup>2</sup> PORCH 9.43 m<sup>2</sup> BALCONY 2 9.40 m<sup>2</sup> Grand total 341.56 m<sup>2</sup>

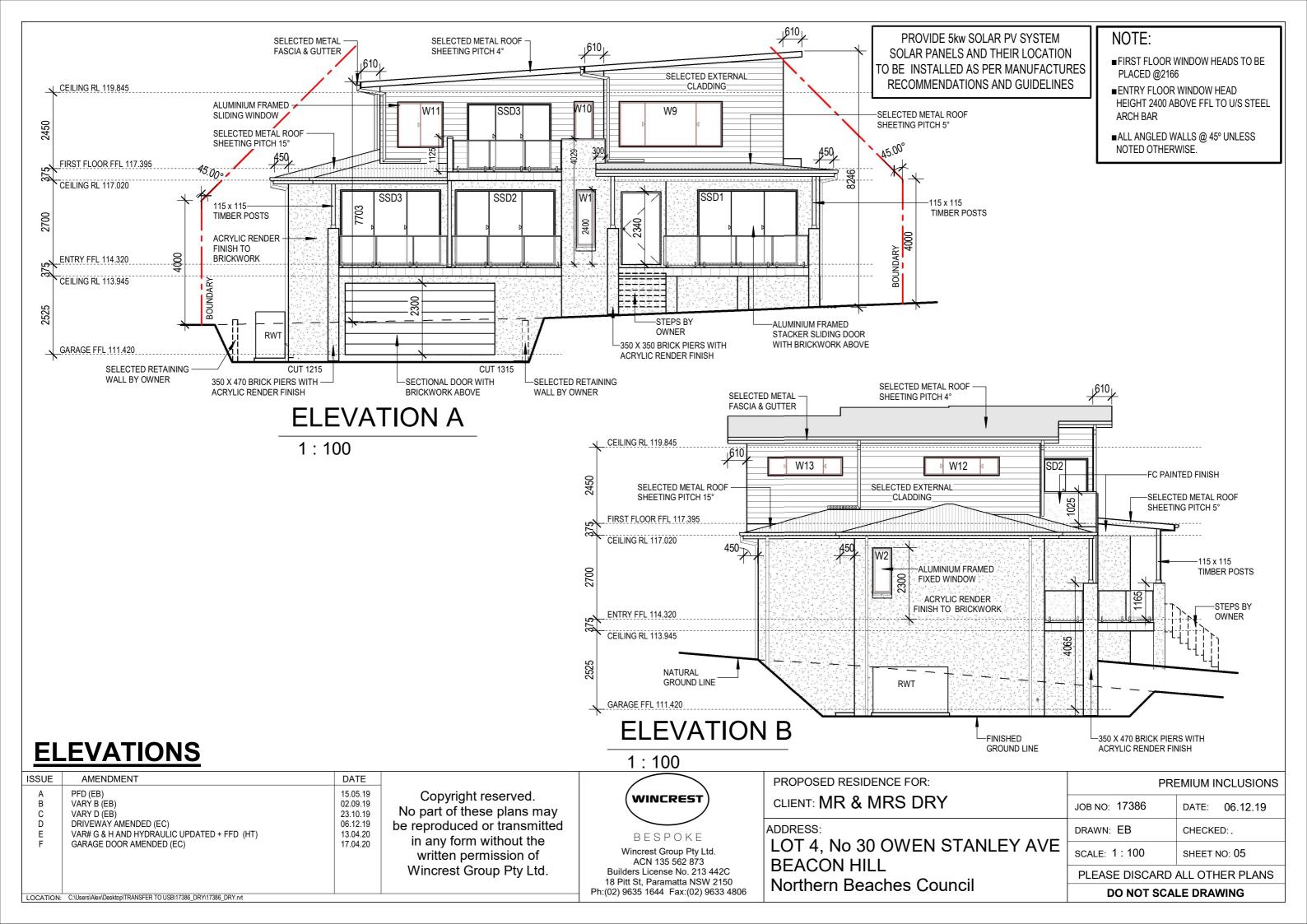
# **GARAGE FLOOR PLAN**

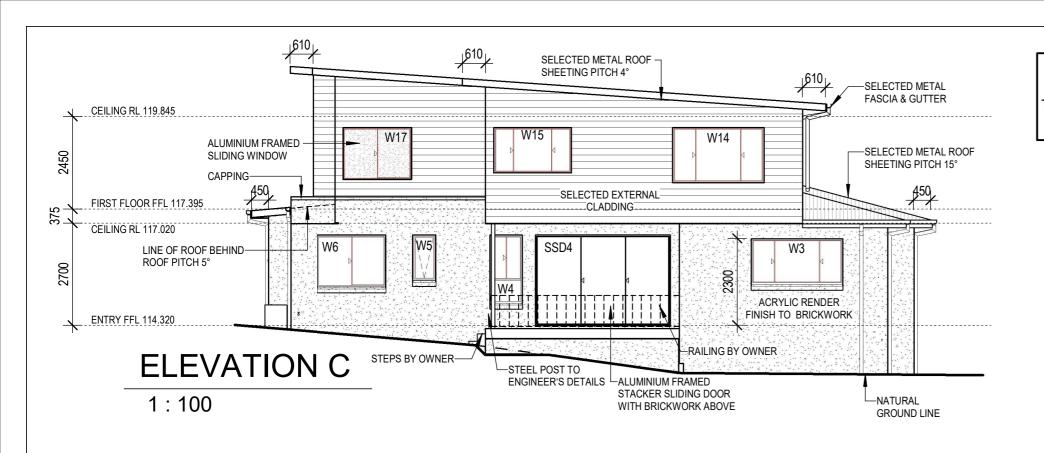
ALL TRADES & SUPPLIERS TO COMPLY WITH THE BCA AND ALL RELEVANT AUST STANDARDS

ISSUE	AMENDMENT	DATE			PROPOSED RESIDENCE FOR:	PF	REMIUM INCLUSIONS
A B C	PFD (EB) VARY B (EB) VARY D (EB)	15.05.19 02.09.19 23.10.19	No part of these plans may be reproduced or transmitted in any form without the written permission of	WINCREST	CLIENT: MR & MRS DRY	JOB NO: 17386	DATE: 06.12.19
D E	DRIVEWAY AMENDED (EC) VAR# G & H AND HYDRAULIC UPDATED + FFD (HT)	06.12.19 13.04.20		BESPOKE	ADDRESS: LOT 4, No 30 OWEN STANLEY AVE BEACON HILL	DRAWN: EB	CHECKED:
F	GARAGE DOOR AMENDED (EC)	ENDED (EC) 17.04.20		Wincrest Group Pty Ltd. ACN 135 562 873		SCALE: 1:100	SHEET NO: 02
	J: C\U.Sers\Alex\Deskton\TRANSFER.TO.U.SR\17386. DRY17386. DRY.n/t	Wincrest Group Pty Ltd.	Builders License No. 213 442C 18 Pitt St, Paramatta NSW 2150		PLEASE DISCARD	ALL OTHER PLANS	
LOCATION				Ph:(02) 9635 1644 Fax:(02) 9633 4806	Northern Beaches Council	DO NOT SC	ALE DRAWING





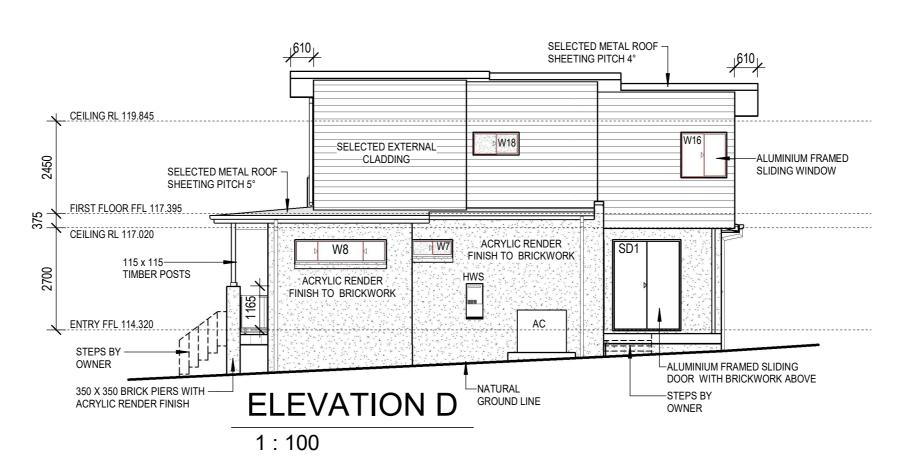




PROVIDE 5kw SOLAR PV SYSTEM
SOLAR PANELS AND THEIR LOCATION
TO BE INSTALLED AS PER MANUFACTURES
RECOMMENDATIONS AND GUIDELINES

### NOTE:

- ■FIRST FLOOR WINDOW HEADS TO BE PLACED @2166
- ■ENTRY FLOOR WINDOW HEAD HEIGHT 2400 ABOVE FFL TO U/S STEEL ARCH BAR
- ■ALL ANGLED WALLS @ 45° UNLESS NOTED OTHERWISE.



## **ELEVATIONS**

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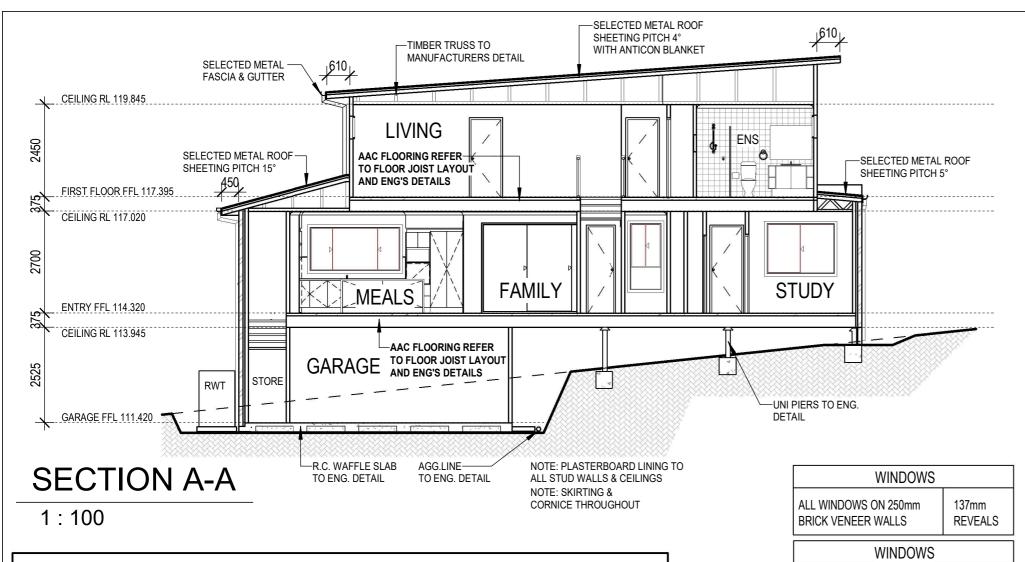
ISSUE **AMENDMENT** DATE PFD (EB) 15.05.19 Copyright reserved. VARY B (EB) 02.09.19 No part of these plans may С VARY D (EB) 23.10.19 DRIVEWAY AMENDED (EC)
VAR# G & H AND HYDRAULIC UPDATED + FFD (HT) Ď 06.12.19 be reproduced or transmitted Ε 13.04.20 in any form without the GARAGE DOOR AMENDED (EC) 17.04.20 written permission of Wincrest Group Pty Ltd.

# WINCREST

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LOT 4, No 30 OWEN STANLEY AVE BEACON HILL	SCALE: 1:100
ADDRESS:	DRAWN: EB
CLIENT: MR & MRS DRY	JOB NO: 17386
PROPOSED RESIDENCE FOR:	

PREMIUM INCLUSIONS				
JOB NO: 17386	DATE: 06.12.19			
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## **GENERAL NOTES:**

- PROVIDE GRANITGARD PEST CONTROL SYSTEM OR SIMILAR TO PERIMETER OF HOME AS REQUIRED BY CERTIFYING AUTHORITY
- AS/NZS 3000-2000 ELECTRICAL REQUIREMENTS: SAFETY SWITCH TO FRIDGE & LIGHT CIRCUITS; ISOLATING SWITCH FOR WALL OVEN.
- PROVIDE R4.0 GLASSWOOL CEILING INSULATION TO ROOF SPACE OF LIVING AREAS AND JOIST OVER GARAGE CEILING
- PROVIDE R2.0 GLASSWOOL WALL INSULATION TO EXTERNAL WALLS OF LIVING AREAS AND UNDERSIDE OF ENTIRE BEARER & JOIST SECTION
- WELS RATED KITCHEN, LAUNDRY & VANITY BASIN TAPS REQUIRED.

LOCATION: C:\Users\Alex\Desktop\TRANSFER TO USB\17386 DRY\17386 DRY.rvt

- PROVIDE 3,000 LITRE COLORBOND STEEL AQUAPLATE TANK.
- NO EXHAUST FANS UNLESS REQUIRED FOR MECHANICAL VENTILATION
- WEATHER STRIPS TO ALL EXTERNAL HINGED DOOR
- 75mm GAP BETWEEN FRIDGE & WALL TO BE MAINTAINED
- PROVIDE NATURAL GAS PLUMBING FOR COOKTOP & 1 INTERNAL HEATING POINT
- MANHOLE POSITION IS APPROXIMATE ONLY AND MAY BE RE-POSITIONED ON SITE
- TO SUIT CONSTRUCTION CONSTRAINTS OR REQUIREMENTS
- PRIMARY TYPE OF ARTIFICIAL LIGHTING -FLUORESCENT OR LIGHT EMITTING DIODE (LED) AND WHERE THE WORD "DEDICATED" APPEARS, THE FITTINGS FOR THOSE LIGHTS MAY ONLY BE CAPABLE OF ACCEPTING FLUORESCENT OR LIGHT EMITTING DIODE (LED) LAMPS TO THE FOLLOWING ROOMS: AT LEAST 5 OF THE BEDROOMS / STUDY AT LEAST 3 OF THE LIVING/DINING ROOMS,

THE KITCHEN, ALL BATHROOMS/TOILETS, THE LAUNDRY & ALL HALLWAYS

# SECTION/SCHEDULES

SSUE	AMENDMENT	DATE	
A B C D E F	PFD (EB) VARY B (EB) VARY D (EB) DRIVEWAY AMENDED (EC) VAR# G & H AND HYDRAULIC UPDATED + FFD (HT) GARAGE DOOR AMENDED (EC)	15.05.19 02.09.19 23.10.19 06.12.19 13.04.20 17.04.20	No po be rep in a w Wir

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ALL WINDOWS ON 90mm

LIGHTWEIGHT WALL SYSTEM

**BASIX** ALL PLANS TO BE READ IN

CONJUCTION WITH THE BASIX

CERTIFICATE AND ITS SCHEDULE

COMMITMENTS, WHICH ARE TO BE

MARINE CLASSIFICATION

SL<sub>2</sub>

**ALL TRADES & SUPPLIERS TO COMPLY** WITH THE BCA AND ALL RELEVANT AUST STANDARDS

100mm

**REVEALS** 

PROPOSED RESIDENCE FOR: CLIENT: MR & MRS DRY LOT 4, No 30 OWEN STANLEY AVE **BEACON HILL** Northern Beaches Council

	Window and SI . door Schedule						
wt Window No. Height		Width	Window Style	Glazing			
W	1	1800	610	FIXED	CLEAR		
W	2	1457	610	FIXED	CLEAR		
W	3	1200	2410	SLIDING	CLEAR		
W	4	1800	850	SLIDING	CLEAR		
W	5	1200	610	AWNING	OBS		
W	6	1372	1810	SLIDING	CLEAR DOUBLE GLAZED		
W	7	429	1070	SLIDING	OBS / TG TILED REVEL		
W	8	600	2410	SLIDING	CLEAR DOUBLE GLAZED		
W	9	1457	3300	SLIDING	CLEAR DOUBLE GLAZED		
W	10	1800	610	FIXED	CLEAR		
W	11	1457	1450	SLIDING	CLEAR DOUBLE GLAZED		
W	12	600	2410	SLIDING	CLEAR DOUBLE GLAZED		
W	13	600	2410	SLIDING	CLEAR DOUBLE GLAZED		
W	14	1457	2410	SLIDING	CLEAR DOUBLE GLAZED		
W	15	1200	2050	SLIDING	CLEAR DOUBLE GLAZED		
W	16	1200	1210	SLIDING	CLEAR DOUBLE GLAZED		
W	17	1372	1810	SLIDING	OBS / TG		
W	18	600	1210	SLIDING	OBS / TG		
SSD	1	2400	3216	STACKER SL.DOOR	CLEAR		
SSD	2	2400	3216	STACKER SL.DOOR	CLEAR		
SSD	3	2400	3216	STACKER SL.DOOR	CLEAR		
SSD	3	2100	2700	STACKER SL. DOOR	CLEAR		
SSD	4	2400	3576	STACKER SL.DOOR	CLEAR		
SD	1	2400	1810	SLIDING DOOR	CLEAR		
SD	2	2100	1450	SLIDING DOOR	CLEAR		

Windows typically with **double glazing** - Awning Uw 4.8 & SHGC 0.51, Sliding / fixed Uw 4.4 & SHGC 0.61, Double hung Uw 4.4 & SHGC 0.60

Doors typically with standard glass - Sliding doors and stacking doors Uw 6.25 & SHGC 0.72, Bifold door Uw 6.12 & SHGC 0.76

ALL BED ROOM WINDOW OPENINGS HIGHER THAN 2.0m FROM FINISHED GROUND LEVEL TO BE PROTECTED IN ACCORDANCE WITH CLAUSE 3.9.2.5 VOLUME 2 OF THE BUILDING CODE

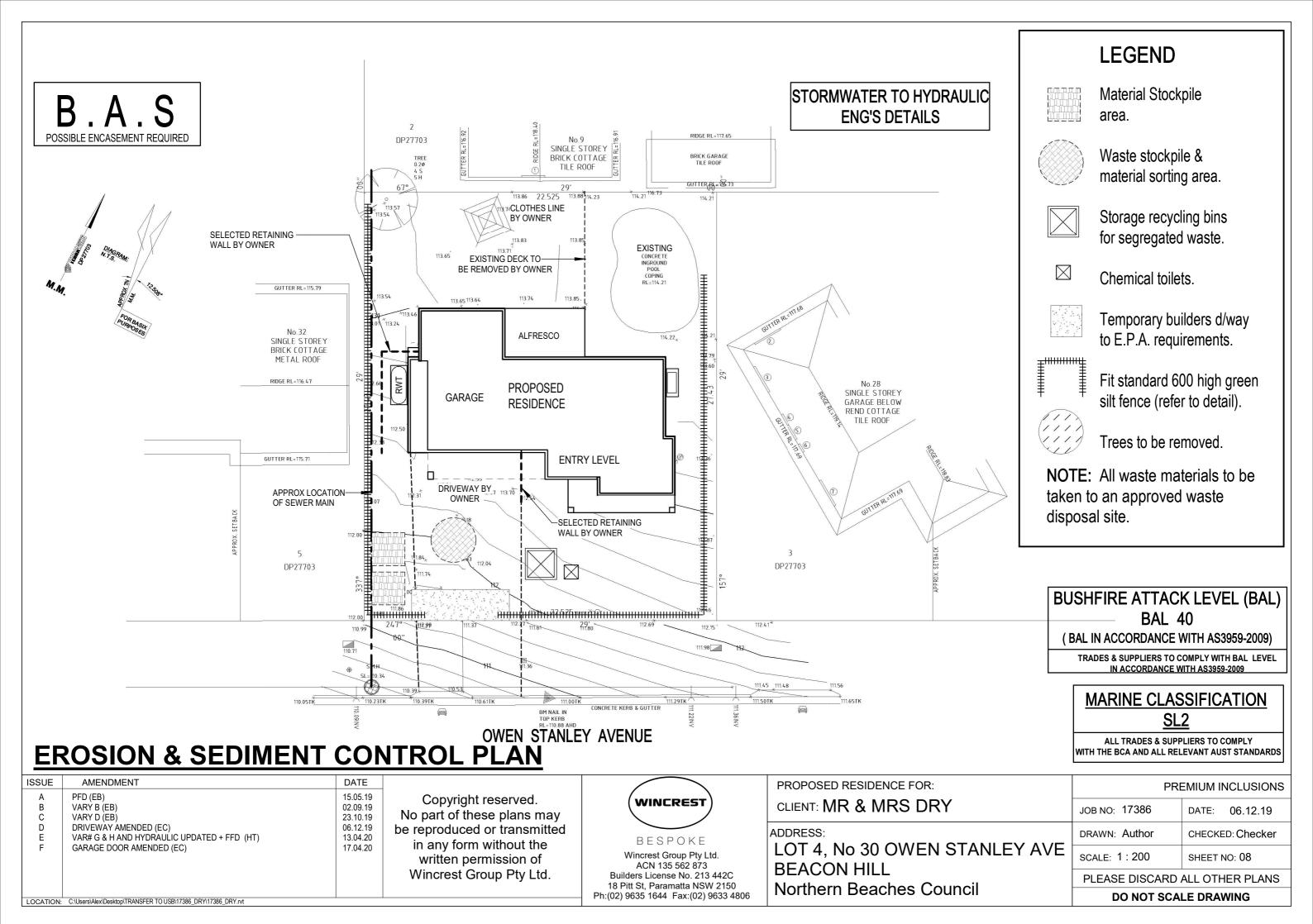
OF AUSTRALIA

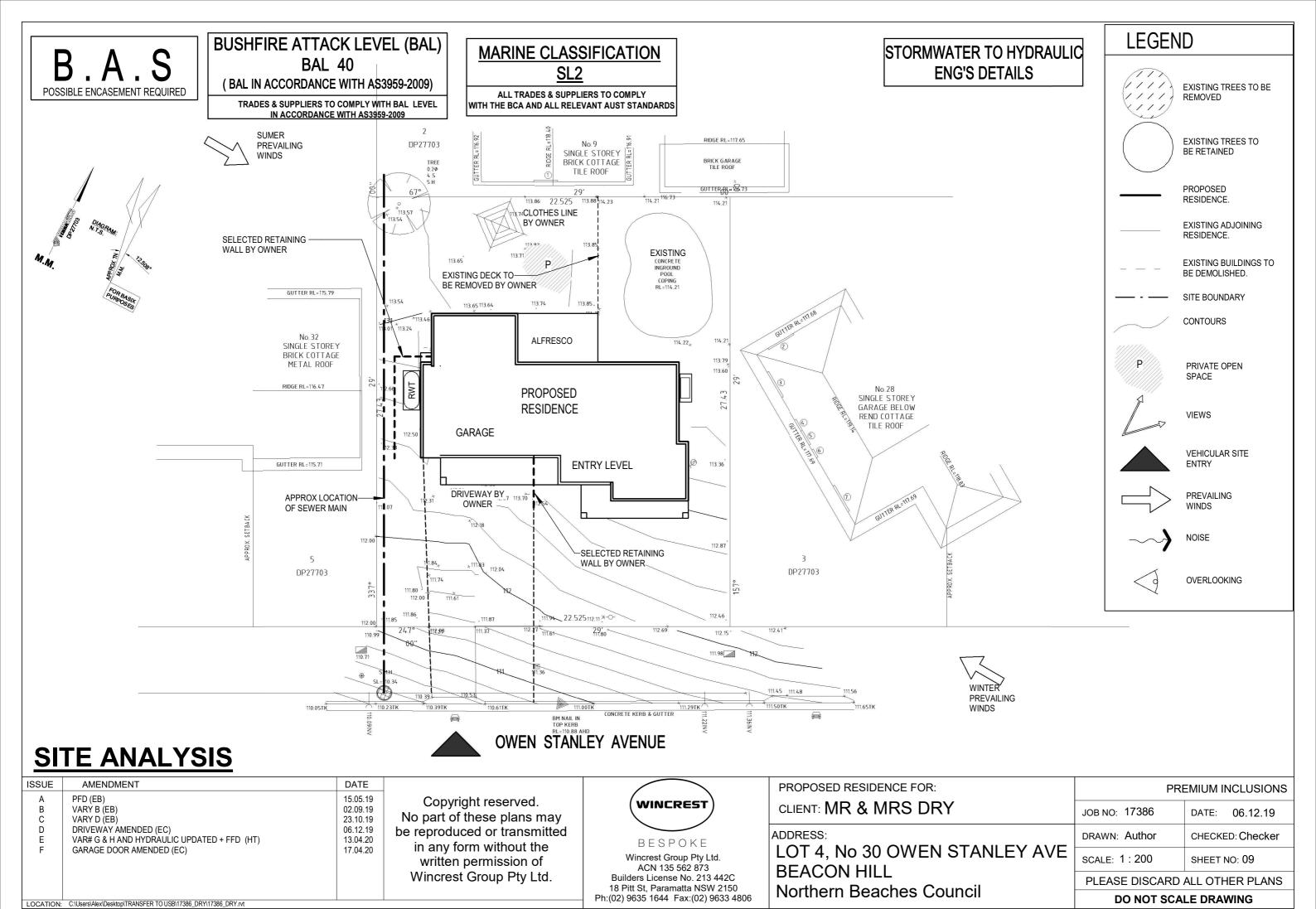
### BUSHFIRE ATTACK LEVEL (BAL) **BAL 40**

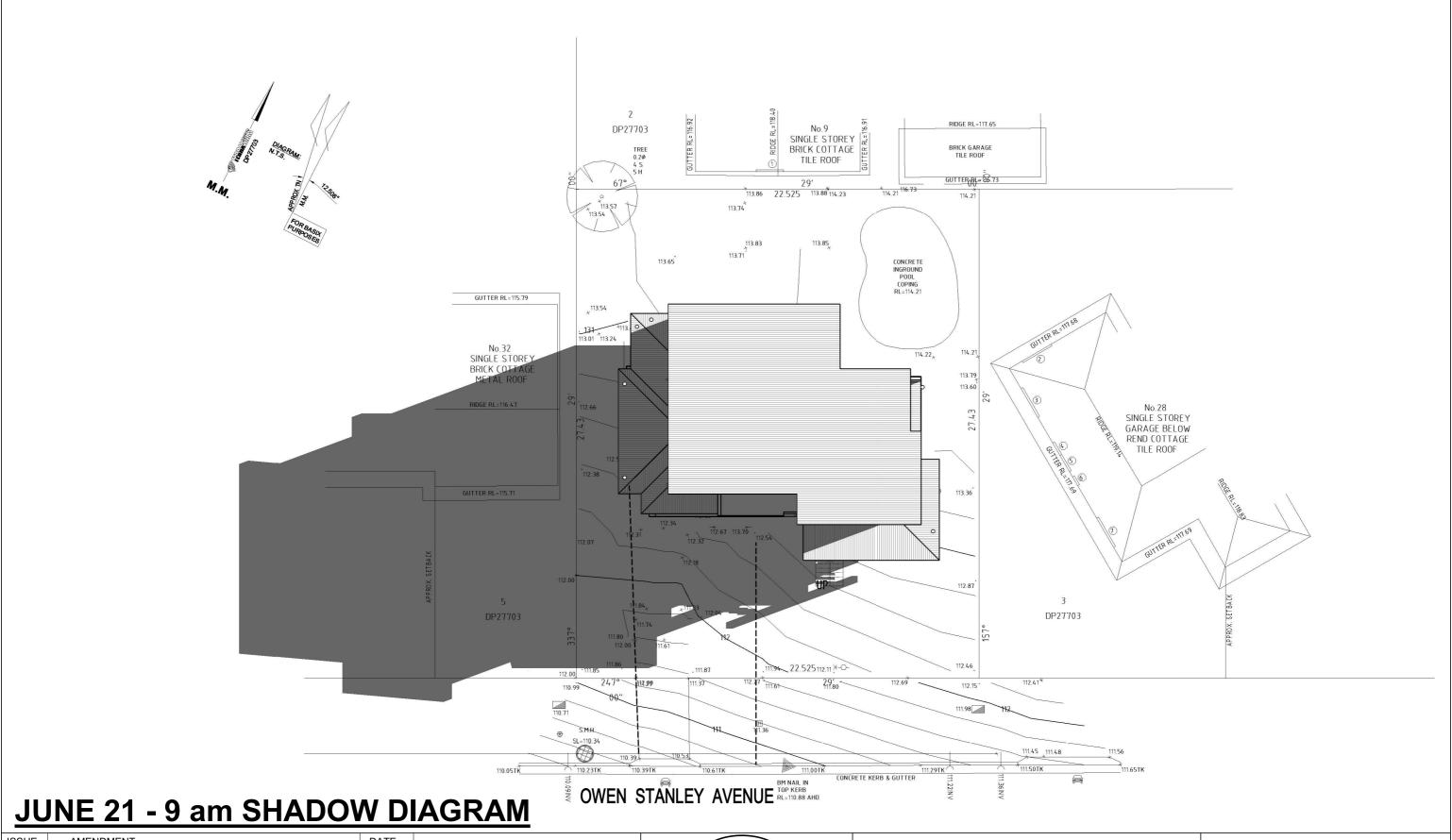
(BAL IN ACCORDANCE WITH AS3959-2009)

TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL IN ACCORDANCE WITH AS3959-2009

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BESPOKE

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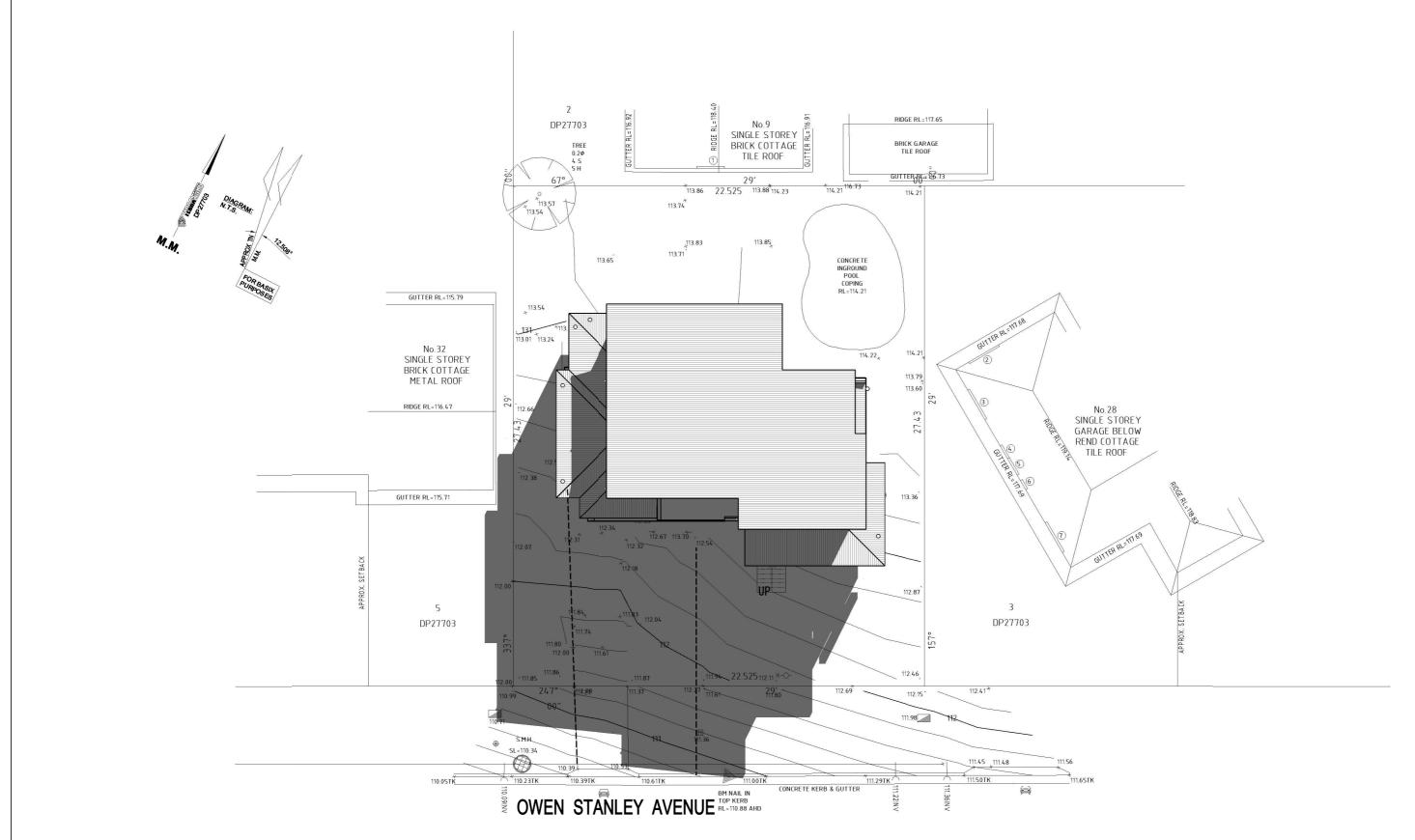
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PROPOSED RESIDENCE FOR:	PREMIUM INCLUSIONS		
CLIENT: MR & MRS DRY	JOB NO: 17386	DATE: 06.12.19	
ADDRESS:	DRAWN: Author	CHECKED: Checker	
LOT 4, No 30 OWEN STANLEY AVE BEACON HILL	SCALE: 1:200	SHEET NO: 11	
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# **JUNE 21 - 12 noon SHADOW DIAGRAM**

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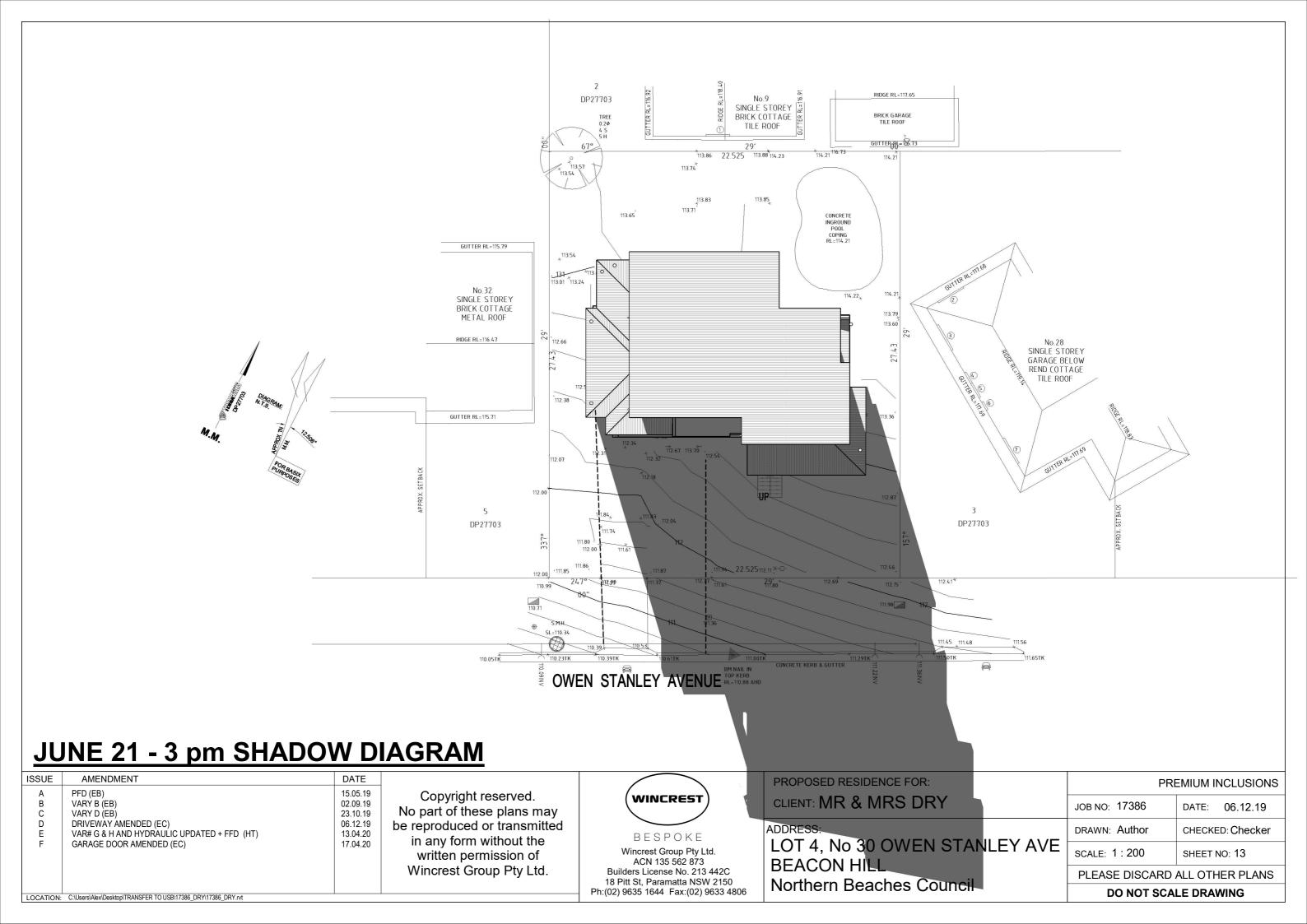
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CLIENT: MR & MRS DRY	JOB NO: 17386	DATE: 06.12.19	
ADDRESS:	DRAWN: Author	CHECKED: Checker	
LOT 4, No 30 OWEN STANLEY AVE BEACON HILL	SCALE: 1:200	SHEET NO: 12	
	PLEASE DISCARD ALL OTHER PLANS		
Northern Beaches Council	DO NOT SCALE DRAWING		



## **External Colour Selection Schedule**

WINCREST BESPOKE

for: Lot 4 #30 Owen Stanley Ave, Beacon Hill







**SURFMIST®** 

Tori

**OUTLINE LANDSCAPE SPECIFICATION** Preparation by Builder: Builder shall remove all existing concrete pathways, fences, footings, walls etc. not notated to be retained and complete all necessary excavation work prior to commencement on site by Landscape Contractor (Contractor). Builder shall also install new retaining walls, kerbs, layback kerb, crossover, pathways etc. and make good all existing kerbs, gutters etc. as necessary and to approval of Council. Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas exists. Should required depths not exist Builder shall contact Landscape Architect and ask for instructions prior to completion of excavation works. Excavate as necessary, then fill with approved site topsoil to allow for minimum 500mm soil depth in garden areas and 150mm soil depth in lawn areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface drainage shall be determined by others & approved on site by Head Contractor. Note: Approved imported topsoil mix may be utilised if there is insufficient site topsoil available. State in Tender a m3 rate for additional imported topsoil and the quantities of both site topsoil and imported topsoil allowed for in Tender Initial Preparation: Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not notated to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

Tree Protection: Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions. shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to to lawn areas. It is the Contractors résponsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions. Lawn Edging and Stepping Stones: (i) 125 x 25mm approved tanalith impregnated pine edging shall be installed, to lines as indicated on plan and staked with approved stakes at maximum 1500mm centres at ends and changes of direction; stakes shall be nailed to

Soil Preparation: Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and

edging with approved galvanised steel nails. Top of edging shall finish flush with surrounding surfaces. Top of stakes shall finish 25mm below top of edging. (ii) Contractor shall install approved bricks on edge on a minimum 100mm deep x 90mm wide concrete footing with brick tor set in, to lines nominated on plan as brick edging. Bricks shall be laid with a nominal 10mm wide approved coloured mortar joint. Bricks needing to be cut shall be done so with clean sharp cuts. Top of edging shall finish flush with surrounding finished

surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed. Retaining Walls: Positions, detail and heights of retaining walls shall be by others.

Planting: Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around have of stem. Base of stem of plant shall finish flush with finished soil level. Once installed shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

Staking: All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

Mulching: Install 75mm depth of gravel/crushed rock mulch to all garden areas, covering mulch down around all plant stems & to finish flush with adjacent surfaces. No woodchip mulch permitted on-site.

Turfing: Prepare for, level & lay cultivated Palmetto Buffulo turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and returf councils nature strip as

required. Fencing: Retain all existing fences unless advised otherwise by builder. Install non-combustible fences to heights indicated on Plan. Paving: Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.

Irrigation: Contractor shall supply and install an approved fully automatic, vandal resistant, computerised irrigation system to all garden and lawn areas, excluding council nature strip. Entire system shall be to approval of Water Board and shall utilise pop-up sprinklers and electronic controllers. Contractor shall be responsible to ensure that system is able to satisfactorily operate on available water pressure. Power supply for use by irrigation system shall be provided to an approved location near southwest corner of residence by others and shall consist of an approved weatherproof G.P.O. The irrigation system controller shall be housed in an

approved waterproof cabinet mounted to external wall of residence. Clotheslines: Contractor shall allow for all necessary labour and materials and shall install clotheslines to positions as indicated on plan to manufacturer's instructions to approval of Landscape Architect. Clothesline type shall be equal to 'Hills Foldaline'. Completion: Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all

landscaping work has been undertaken in strict accordance with Councils landscape codes & guidelines. laintenance Period: A twelve month maintenance period shall be undertaken by owner or owners representative as set out herein Owner shall have care and maintenance of all work specified under this Contract and shall rectify any defective work for a period of 52 weeks following Practical Completion of Landscape Works. This period shall be herein known as the Maintenance Period. Work shall also include for the care and maintenance of all existing vegetation to be retained and proposed vegetation. Site shall be attended at least weekly and as otherwise required. The following works shall be undertaken during the Maintenance Period. (a) Recurrent works Undertake recurrent works throughout the Maintenance Period. These works shall include but are not limited to watering, weeding, fertilising, pest and disease control, returfing, staking and tving, replanting, cultivation, pruning, gerating, renovating, top dressing and the like.

(b) Watering Regularly water all plants and lawn greas to maintain optimal growing conditions. Contractor shall adjust the water auantity utilised with regard to climatic conditions prevalent at the time.

(c) Replacements Immediately replace plants which die or fail to thrive (at discretion of Landscape Architect) with plants of same spécies or variety and of same size and quality unless otherwise specified. Plant replacement shall be at Contractors expense, unless replacement is required due to vandalism or theft, which shall be determined by Landscape Architect. Required replacement of plants due to vandalism or theft shall be undertaken by Contractor and shall be paid for by Client at an agreed predetermined rate. (d) Mulched surfaces Maintain mulched surfaces in clean, tidy, weed-free condition and shall reinstate mulch as necessary to maintain specified depths.

(e) Stakes & ties Adjust and/or replace stakes and ties as required. Remove stakes and ties at end of Maintenance Period if directed

by Landscape Architect.

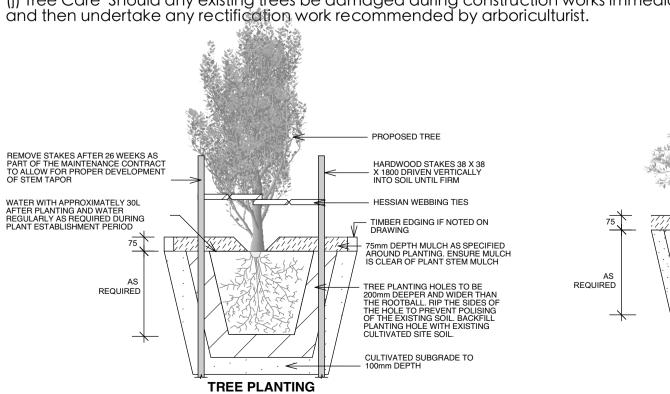
(f) Lawn areas Lawn areas shall be mown at regular intervals to ensure non heading of lawn with a fine-cutting mulching mower and clippings left on lawn to mulch and self-fertilise lawn areas. Primary cut after laying of lawn by others shall be determined on site taking into consideration season, watering and growth rate of lawn. Following the primary cut all lawns shall be regularly mown as required to ensure a healthy lawn and a neat appearance. Care shall always be taken to ensure that no clippings are left on surrounding roads or garden areas after mowing. Replace lawn areas that fail to thrive at discretion of Landscape Architect. All new and made aood lawn areas shall be barricaded off from pedestrian traffic by use of star pickets and brightly coloured plastic safety mesh until establishment of lawn. Barricades shall be removed upon establishment of lawn area.

(g) Weeding Remove by hand, or by carefully supervised use of weedicide, any weed growth that may occur throughout Maintenance Period. This work shall be executed at weekly intervals so that all lawn and garden areas may be observed in a

weed-free condition. (h) Pruning Prune new and existing plants (excluding existing trees) as necessary to maintain dense foliage conditions. Any roque branches, or branches overhanging or obstructing pathways, roads, doorways, etc., shall be removed by approved horticultural

(i) Spraying Spraying for insect, fungal and disease attack shall be undertaken as required and in accordance with spray manufacturers recommendations at intervals taking into account the season of year during which landscape works are to be

(j) Tree Care Should any existing trees be damaged during construction works immediately engage an experienced arboriculturist



**& STAKING DETAIL** 

