

- Floor level + or - 200mm
- Fibreglass mesh flyscreens to all openable windows
- Steel beam required if any openings have more than 6 courses of brickwork above
- 2,340h Doors & Sqs throughout Ground Floor

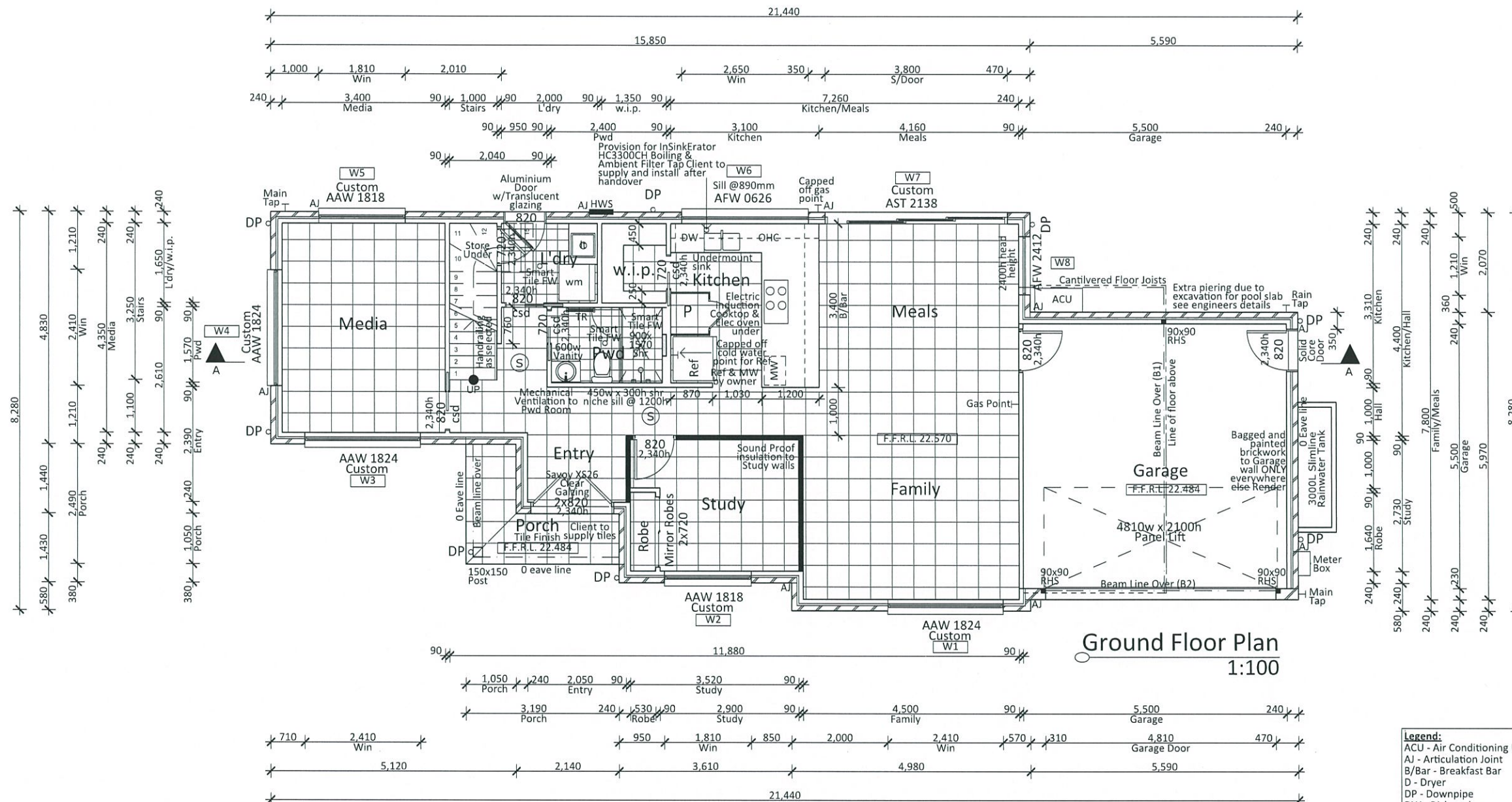
BAL 12.5

NORTHERN BEACHES
COUNCIL
THIS PLAN TO BE READ IN
CONJUNCTION WITH
DEFERRED
COMMENCEMENT
DA2018/1201

(Activation of consent must be obtained via written notice from Northern Beaches Council)

Notes:

1. Levels shown are approx and should be verified on site
2. Figured dimensions are to be taken in preference to scaling
3. All measurements are in mm unless otherwise stated
4. Window sizes are nominal only. Final window sizes by builder
5. Dimensions are to be verified on site by builder before commencement of work.
6. All upstairs windows with a sill height less than 1700mm to have a max opening width of 125mm or fitted with a screen with secure fittings to comply with BCA
7. Final AJ's to engineers specifications



Floor Area	
Upper Living	115.52
Lower Living	105.75
Garage	34.81
Porch	4.86
	260.94 m²

Client Approval:	Date:
------------------	-------

Client: 

Job: Proposed B/V Residence

LOT: 7 DP: UNREG
Karinya Estate, Warriewood

Drawing:
Ground Floor Plan

Scale: 1:100	Date: 09-07-18
-----------------	-------------------

Drawing No: 17106-11	Sheet: 3/13	Issue: L
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House Design: Custom



ccurate

design and drafting

Office: 1a/10 Exchange Parade
Narellan NSW 2567

Phone : 0246472552

Fax : 0246472553

Email: info@accuratedesign.com.au

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NOTE:

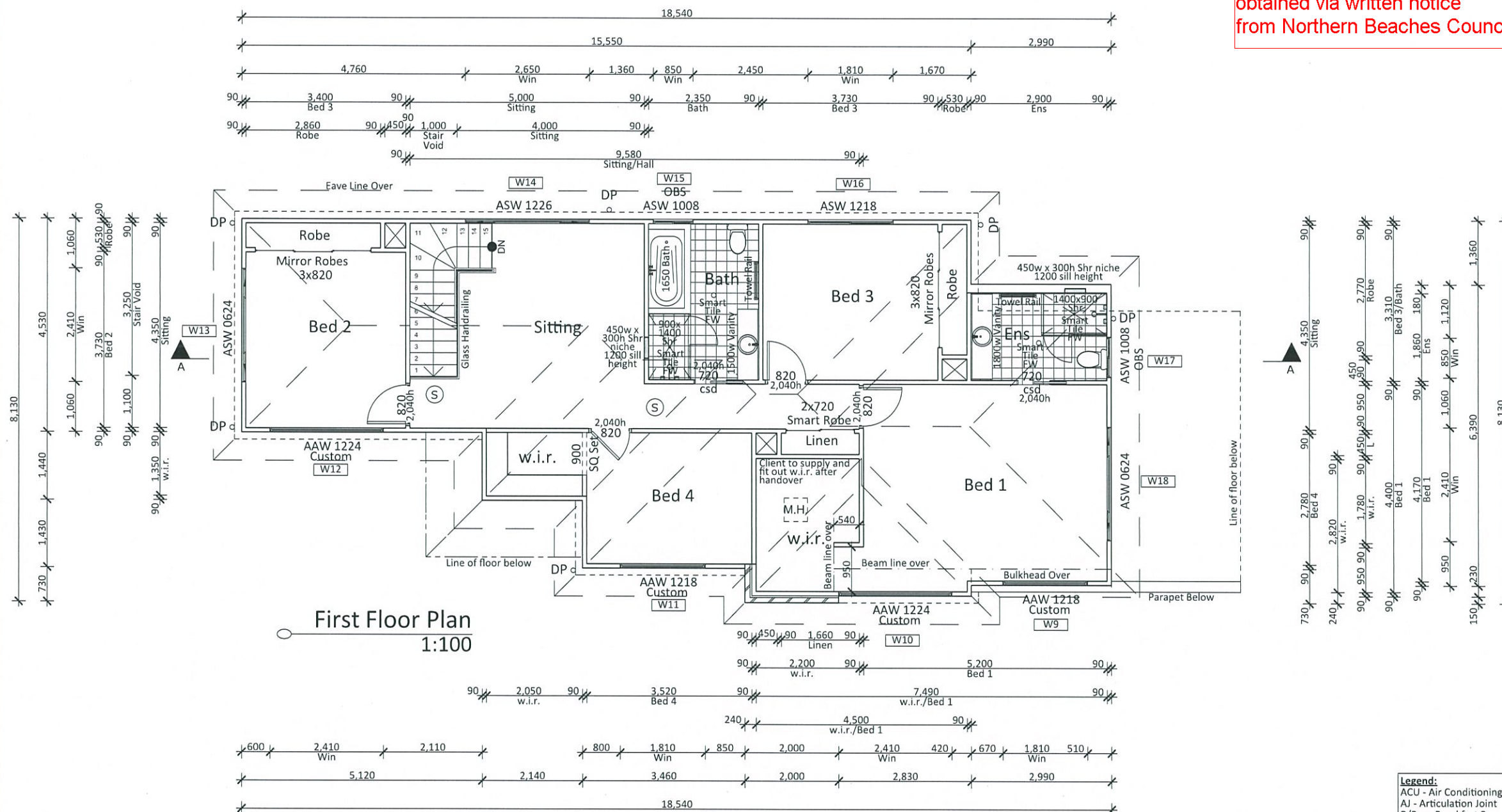
- Floor level + or - 200mm
- Fibreglass mesh flyscreens to all openable windows
- Steel beam required if any openings have more than 6 courses of brickwork above
- 2,040h Doors & Ssets throughout first floor

BAL 12.5

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Floor Area	
Upper Living	115.52
Lower Living	105.75
Garage	34.81
Porch	4.86
	260.94 m²

Legend:

- ACU - Air Conditioning Unit
- AJ - Articulation Joint
- B/Bar - Breakfast Bar
- D - Dryer
- DP - Downpipe
- DW - Dishwasher
- Ens - Ensuite
- FW - Floor Waste
- HWS - Hot Water System
- LOH - Lift off Hinge
- MH - Manhole
- MW - Microwave Oven
- OBS - Obscure
- OHC - Over Head Cupboard
- RHS - Rolled Hollow Steel
- S - Smoke Detector
- Shr - Shower
- TR - Towel Rail
- Van - Vanity
- w.i.l. - Walk in Linen
- w.i.r. - Walk in Robe
- w.i.p. - Walk in Pantry
- WM - Washing Machine

Client Approval: _____ Date: _____

Client: _____



Job: _____

Proposed B/V Residence**LOT: 7 DP: UNREG
Karinya Estate, Warriewood**Drawing:
First Floor PlanScale:
1:100Date:
09-07-18Drawing No:
17106-11Sheet:
4/13Issue:
L

House Design: Custom



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BAL 12.5

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Client Approval: _____ Date: _____

Client: 

Job:
Proposed B/V Residence

LOT: 7 DP: UNREG
Karinya Estate, Warriewood

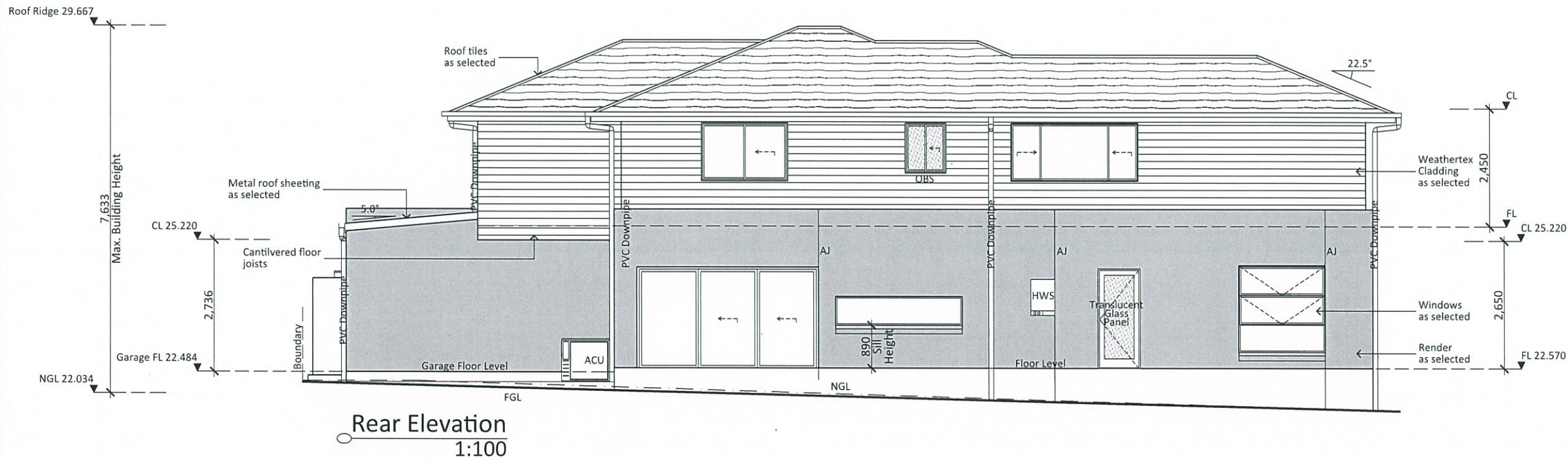
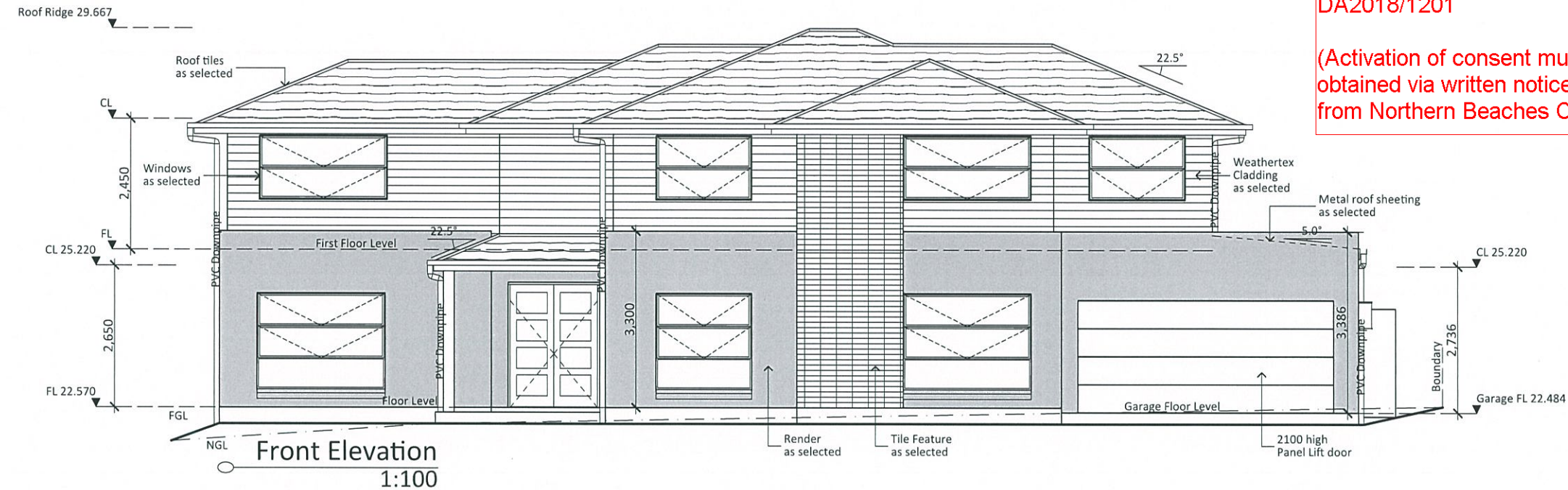
Drawing:
Front & Rear Elevations

Scale: 1:100 Date: 09-07-18

Drawing No: 17106-11 Sheet: 5/13 Issue: L

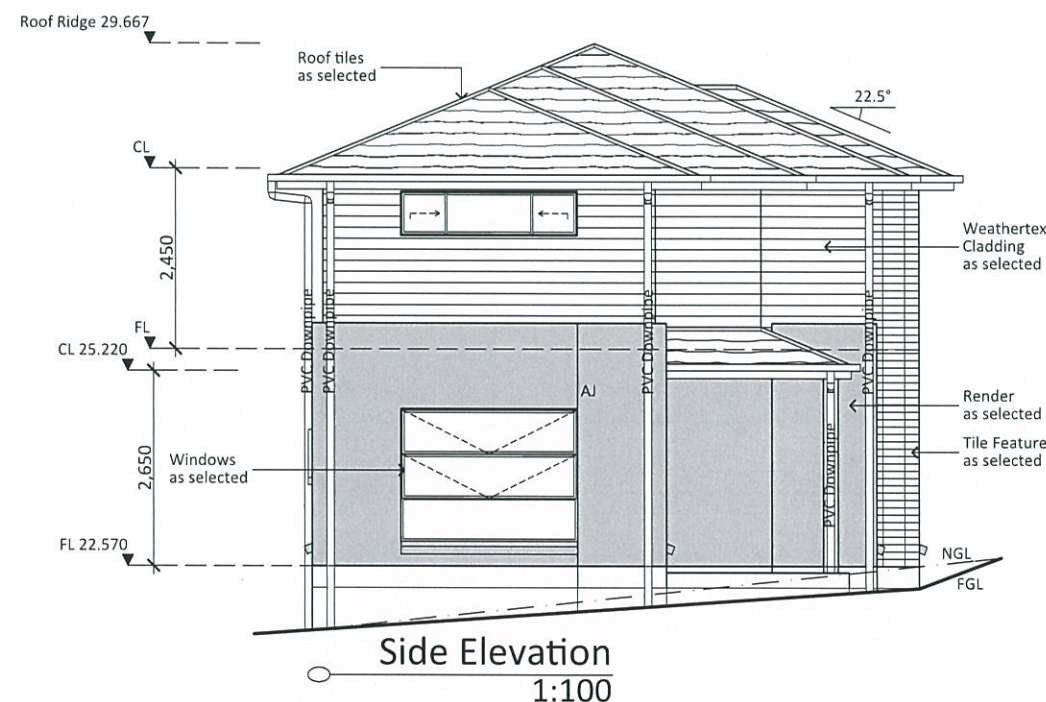
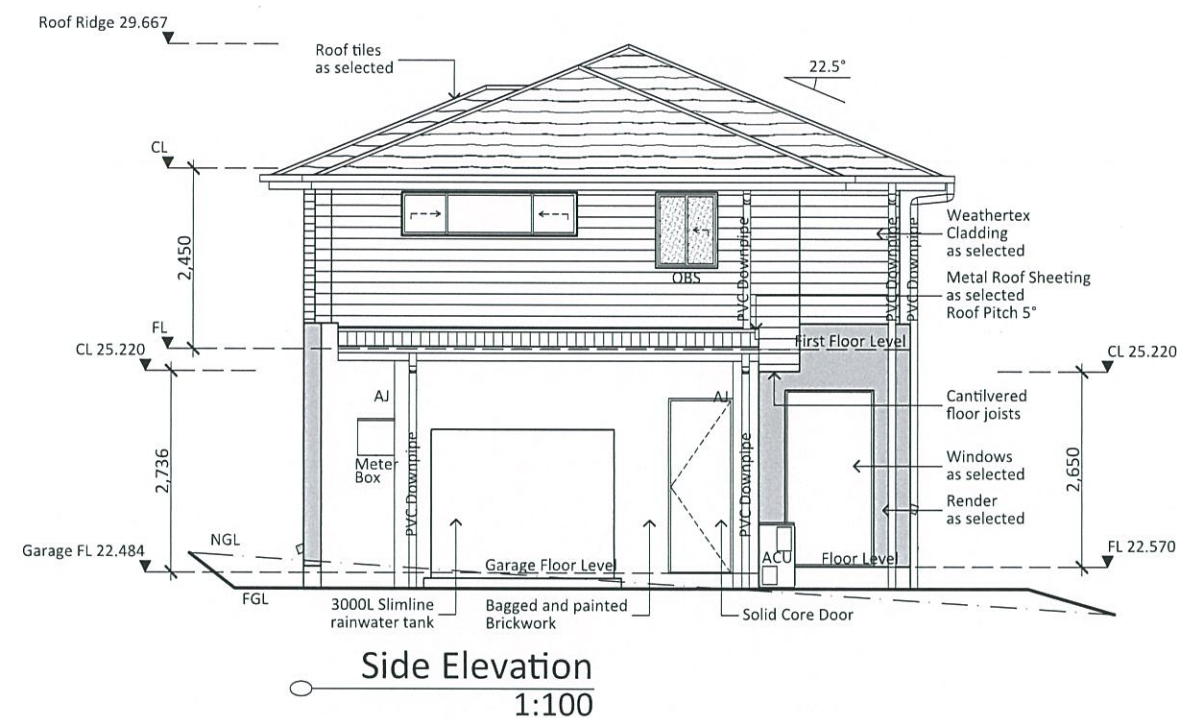
House Design: Custom

**ccurate**
design and drafting
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Email: info@accuratedesign.com.au



- Legend:
- ACU - Air Conditioning Unit
 - AJ - Articulation Joint
 - CL - Ceiling Level
 - FGL - Finish Ground Line
 - FL - Floor Level
 - HWS - Hot Water System
 - NGL - Natural Ground Line
 - OBS - Obscure
 - RW - Retaining Wall

BAL 12.5



Legend:
ACU - Air Conditioning Unit
AJ - Articulation Joint
CL - Ceiling Level
FGL - Finish Ground Line
FL - Floor Level
HWS - Hot Water System
NGL - Natural Ground Line
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Client Approval: _____ Date: _____

Client: **ICON HOMES**

Job: **Proposed B/V Residence**

LOT: 7 DP: UNREG
Karinya Estate, Warriewood

Drawing: **Side Elevations**

Scale: **1:100** Date: **09-07-18**

Drawing No: **17106-11** Sheet: **6/13** Issue: **L**

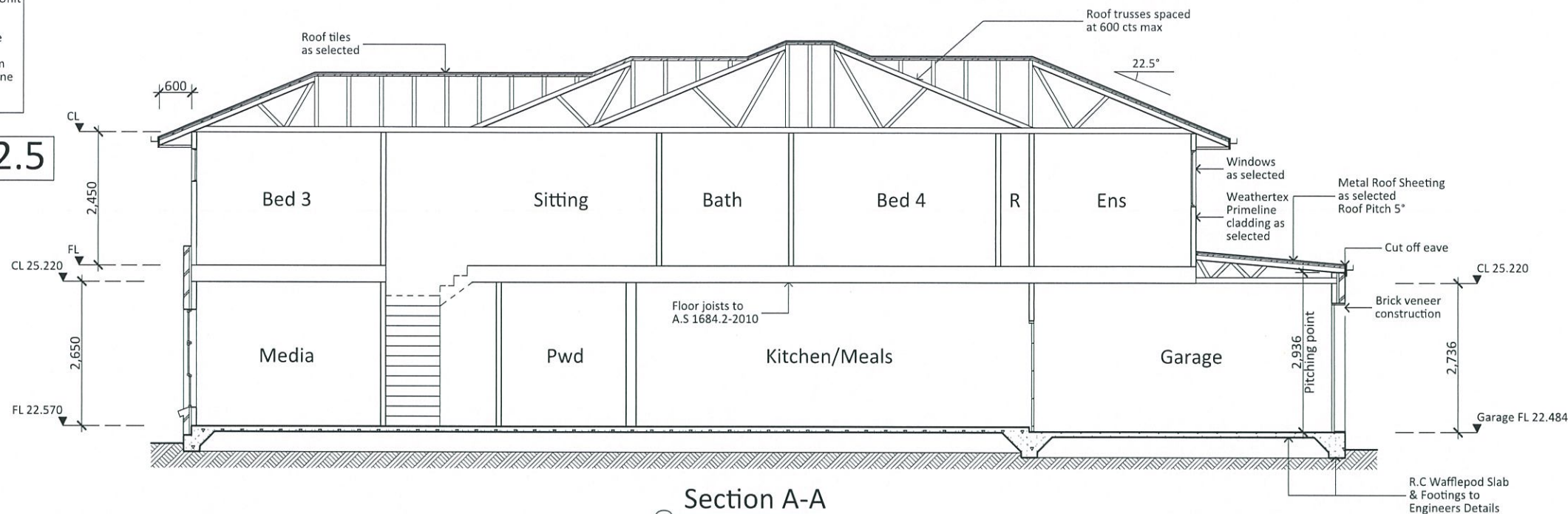
House Design: Custom

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Office: 1a/10 Exchange Parade
Narellan NSW 2567
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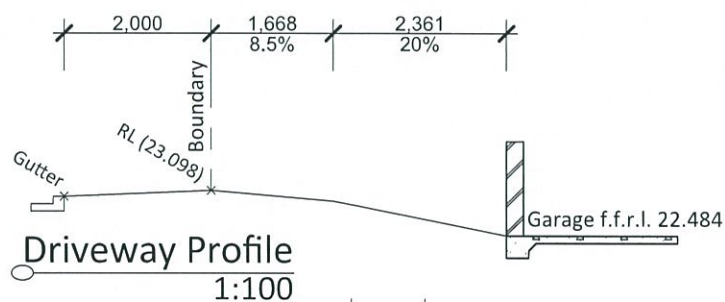
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Legend:
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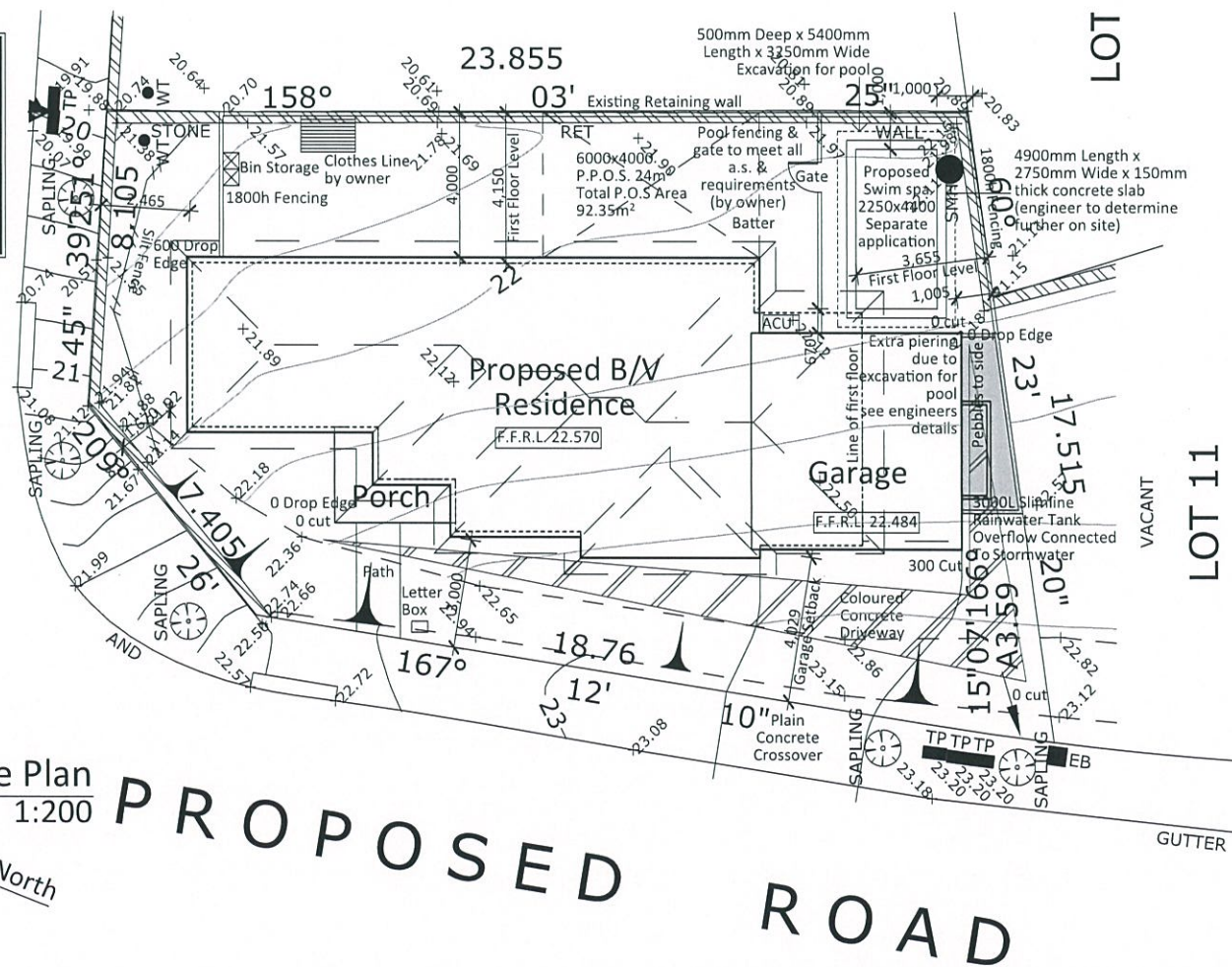
BAL 12.5



Section A-A
1:100



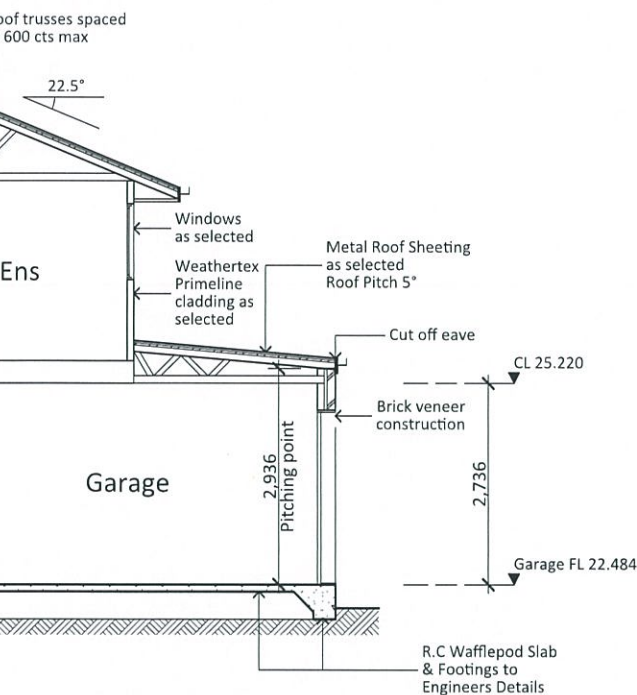
RL 20.00 (ASSUMED)
 BM 36 NAIL IN KERB



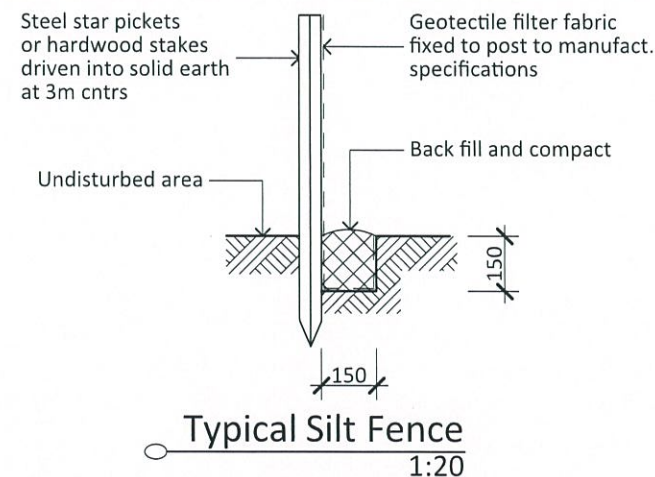
Site Plan
1:200

PROPOSED ROAD

Lot 7
 373.90m²
 DP: UNREG



Eave Detail
1:25



Typical Silt Fence
1:20

Soil Erosion and Sediment Control Fence
 1. Siltation fencing is to be placed as shown on the site plan as so to prevent silt run off to any adjoining property or to the street. This measure is to be placed prior to any excavation work beginning and is to be removed only when the sites surface as been stabilized, i.e. paved, landscaped or turfed
 2. 40mm crushed rock aggregate is to be placed as an access driveway to the site and must be maintained throughout the course of construction.

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NORTHERN BEACHES COUNCIL
THIS PLAN TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT DA2018/1201

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Client Approval: _____ Date: _____

Client: **ICON HOMES**

Job: **Proposed B/V Residence**

LOT: 7 DP: UNREG
 Karinya Estate, Warriewood

Drawing: **Section A-A & Site Plan**

Scale: **1:200** Date: **09-07-18**

Drawing No: **17106-11** Sheet: **7/13** Issue: **L**

House Design: Custom

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Office: 1a/10 Exchange Parade
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