

NORTHERN BEACHES COUNCIL AVALON GOLF CLUB

DRAWING LIST

DD 000	COVER PAGE	NTS
DD 001	PLAN - SITE PLAN	1:200
DD 020	EXISTING PLAN - GROUND FLOOR	1:100
DD 030	DEMOLITION PLAN - GROUND FLOOR	1:100
DD 100	PLAN - GROUND FLOOR	1:100
DD 101	PLAN - ROOF	1:100
DD 110	PLAN - REFLECTED CEILING PLAN	1:100
DD 500	UNISEX BATHROOM	1:50
DD 501	DELETED	
DD 502	DELETED	
DD 503	DELETED	
DD 504	DOOR & WINDOW SCHEDULE	1:50
DD 505	ARTIST TEACHING SPACE	1:50
DD 800	PERSPECTIVE	NTS

SCHEDULE

DD 900	MATERIALS, FINISHES, FF&E AND LUMINARIE SCHEDULE
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GENERAL LEGEND

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS, SCHEDULE DD-900 AND SPECIFICATION.

REFER TO THE SERVICES ENGINEER'S DRAWINGS AND SPECIFICATIONS FOR ALL ELECTRICAL, FIRE, HYDRAULIC AND MECHANICAL REQUIREMENTS AND DETAILS.

IT IS IMPERATIVE THAT ALL CONSTRUCTION IS CARRIED OUT FROM THE MOST CURRENT PROJECT DOCUMENTS. THE HEAD CONTRACTOR IS TO ENSURE THAT THEY AND ALL SUB-CONTRACTORS ARE WORKING OFF THE MOST CURRENT PROJECTS DRAWINGS, SCHEDULES AND SPECIFICATIONS.

ALL BUILDING WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA (BCA) AND THE RELEVANT AUSTRALIAN STANDARDS.

LEVEL OF ACCURACY

1. DRAWINGS HAVE BEEN PREPARED FROM ON-SITE MEASUREMENTS AND WITHOUT A REGISTERED SURVEY.

WHERE ELEMENTS ARE TO BE REMOVED:

- CAREFULLY REMOVE ELEMENTS WITHOUT DAMAGING THE SURROUNDING FABRIC. REMOVE ONLY THAT WHICH IS REQUIRED.
- UPON COMPLETION OF REMOVAL, REPAIR AND RESTORE SURROUNDING FABRIC IF NECESSARY.
- NO HERITAGE FABRIC/ELEMENTS ARE TO LEAVE SITE WITHOUT APPROVAL
- PROTECT ALL EXISTING REMAINING HERITAGE FABRIC

WALL TYPES

WT01 TIMBER STUD WALL, ACOUSTIC INSULATION [INS-1], WATER PROOF MEMBRANE, WITH CFC SHEET [CFC-1] AND PAINT [PA01] TO BOTH SIDES.

WT02 EXISTING RENDERED BLOCKWORK WALL. PROVIDE NEW PAINT [PA01] TO ALL EXISTING WALLS.

WT03 LAMINEX TOILET PARTITION SYSTEM [LM-2]

WT04 EXISTING SANDSTONE WALL

NOTE: ALL WALL TYPES TO BE BUILT IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND BCA.

FLOOR TYPES

FT01 EXISTING STRUCTURAL CONCRETE SLAB. PROVIDE NEW PAINT FINISH [PA03] TO COMPLY WITH SLIP RESISTANCE IN ACCORDANCE WITH AS4587, HB197 AND HB198

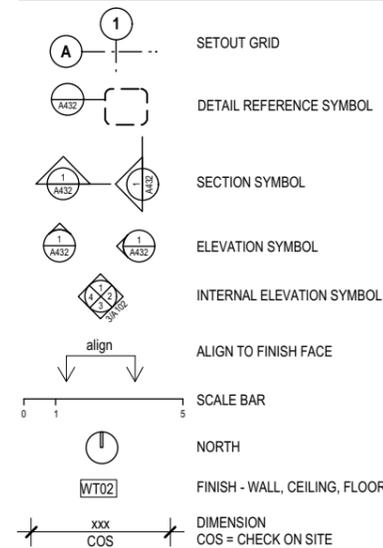
FT02 100mm THICK EXTERNAL CONCRETE PATH AS PER NORTHERN BEACHES COUNCIL CIVIL ENGINEERING SPECIFICATIONS. PATHWAY TO COMPLY WITH AS1428.1-2009 WITH APPROPRIATE NON-SLIP FINISH TO MEETING SLIP RESISTANCE COMPLIANCE AND COMPLY WITH AS/NZS 3661.1, AS/NZS 4586 and HB 197

CEILING TYPE

CL01 15mm COMPRESSED FIBRE CEMENT SHEET CEILING WITH PAINT FINISH [PA02]. ALL JOINTS TO BE SEALED

CL02 EXISTING ASBESTOS CEILING. CONTRACTOR TO PROVIDE A WHS MANAGEMENT PLAN FOR ASBESTOS AUDIT, ASSESSMENT AND MANAGEMENT IN ACCORDANCE WITH SAFEWORK NSW, WHS GUIDELINES AND APPROPRIATE LEGISLATION. PROVIDE NEW PAINT FINISH [PA02] TO GROUND FLOOR CEILING ONLY

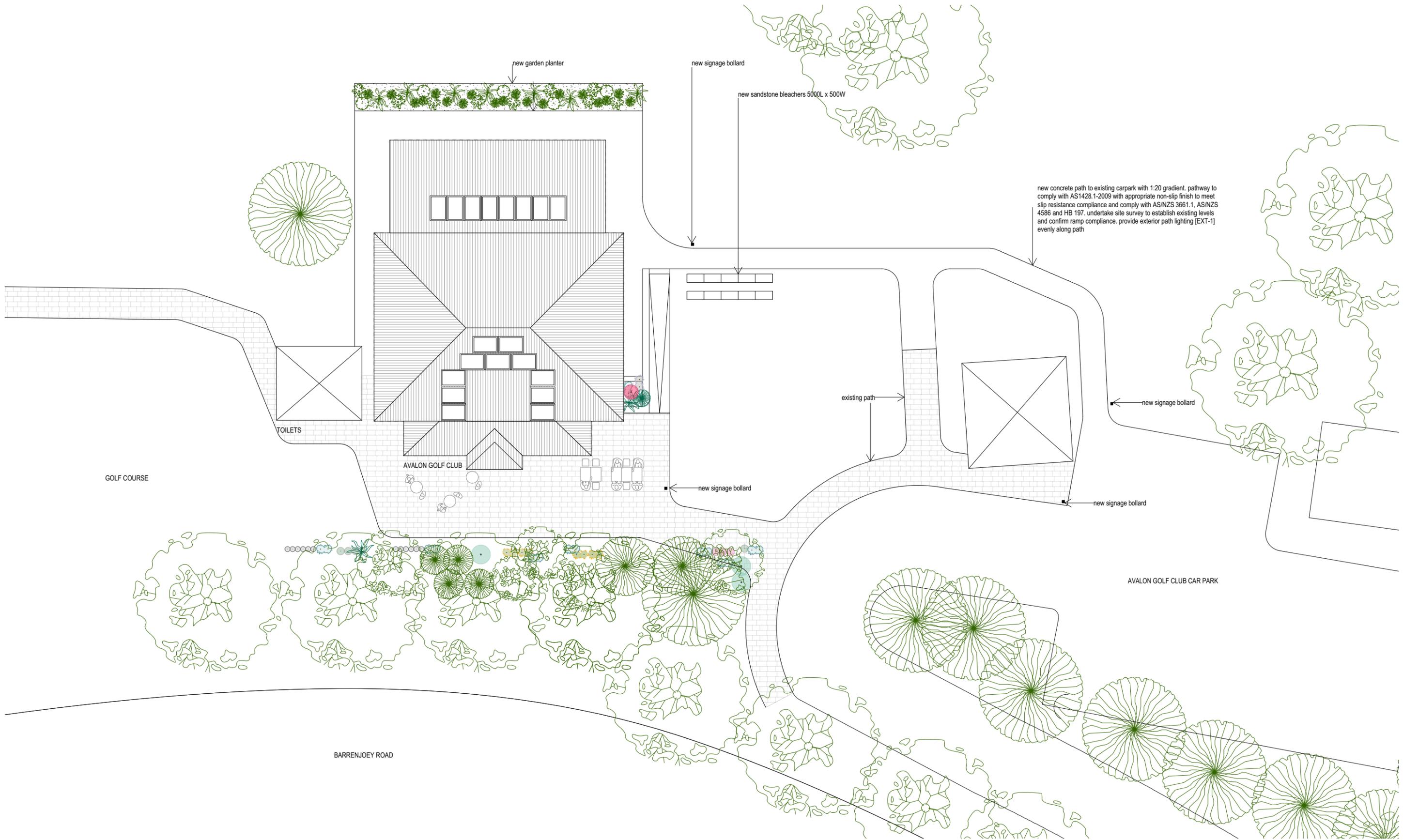
DRAWING SYMBOLS



X

DESIGN INTENT ONLY

CLIENT NORTHERN BEACHES COUNCIL Building Assets - Planning Design and Delivery			ARCHITECT BREAKSPEAR ARCHITECTS ABN 81 601 670 991 ACN 601 670 991 Level 1, 29-33 The Corso, Manly NSW 2095 P: 0421 661 146 E: toby@brkspr.com			PROJECT AVALON GOLF CLUB - ARTIST STUDIOS					SHEET TITLE TITLE PAGE		
PROJECT NUMBER 1908			DRAWN CA	CHECKED TB	SHEET SCALE NTS		SHEET SIZE A3		DOCUMENTATION STAGE DD		SHEET NUMBER 000		ISSUE C
D C B A	03.10.19 23.09.19 20.06.19 19.06.19	ISSUE FOR INFORMATION ISSUE FOR INFORMATION ISSUE FOR INFORMATION ISSUE FOR INFORMATION	REV DATE DESCRIPTION	REV DATE DESCRIPTION									



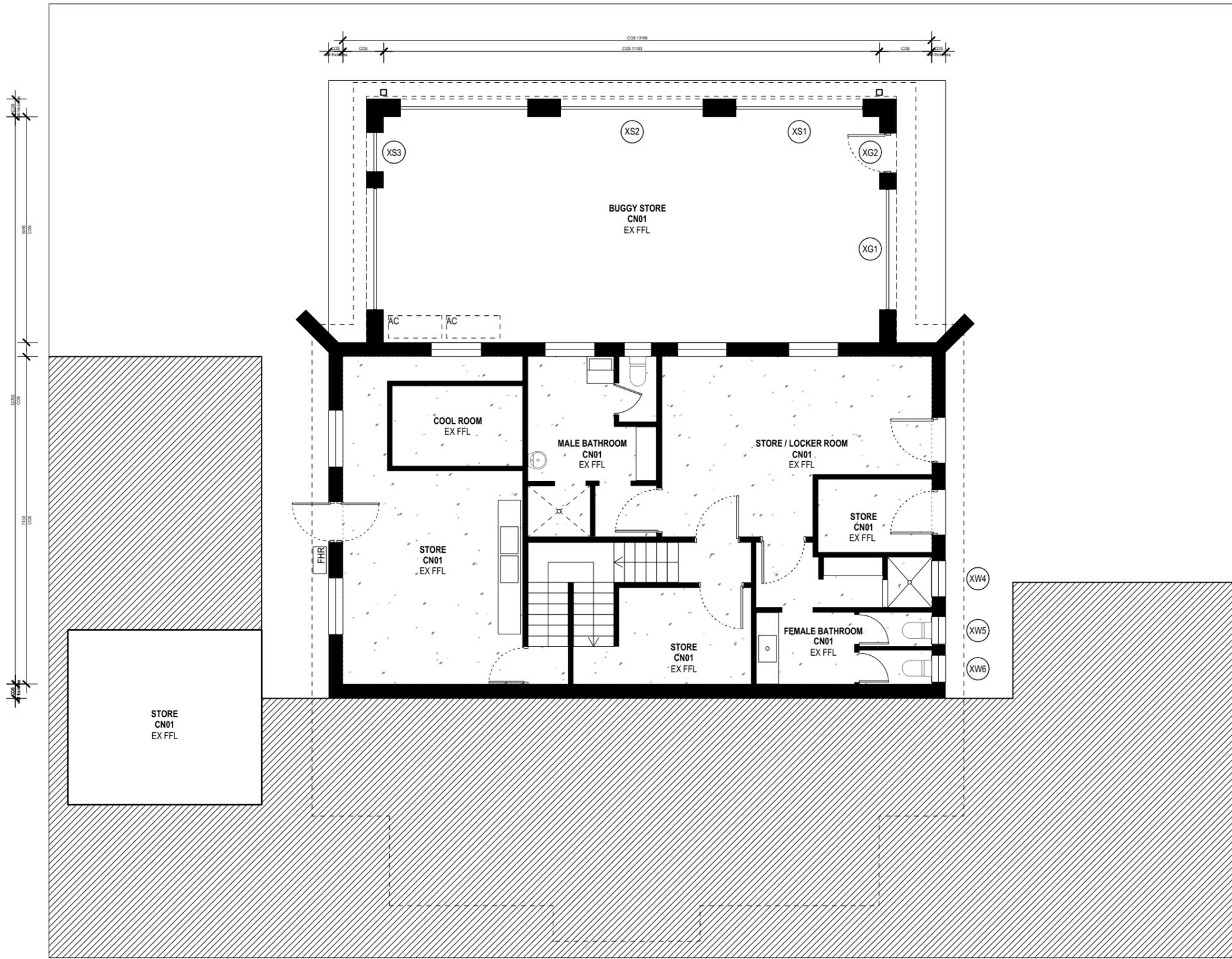
new concrete path to existing carpark with 1:20 gradient. pathway to comply with AS1428.1-2009 with appropriate non-slip finish to meet slip resistance compliance and comply with AS/NZS 3661.1, AS/NZS 4586 and HB 197. undertake site survey to establish existing levels and confirm ramp compliance. provide exterior path lighting [EXT-1] evenly along path

AVALON GOLF CLUB CAR PARK

BARRENJOEY ROAD

DESIGN INTENT ONLY

D 03.10.19 ISSUE FOR INFORMATION C 23.09.19 ISSUE FOR INFORMATION B 20.06.19 ISSUE FOR INFORMATION A 19.06.19 ISSUE FOR INFORMATION			CLIENT NORTHERN BEACHES COUNCIL Building Assets - Planning Design and Delivery			ARCHITECT BREAKSPEAR ARCHITECTS ABN 81 601 670 991 ACN 601 670 991 Level 1, 29-33 The Corso, Manly NSW 2095 P: 0421 661 146 E: toby@brkspr.com			PROJECT AVALON GOLF CLUB - ARTIST STUDIOS				SHEET TITLE SITE PLAN		
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						1908	CA	TB	1:200	A3	DD	001	D		



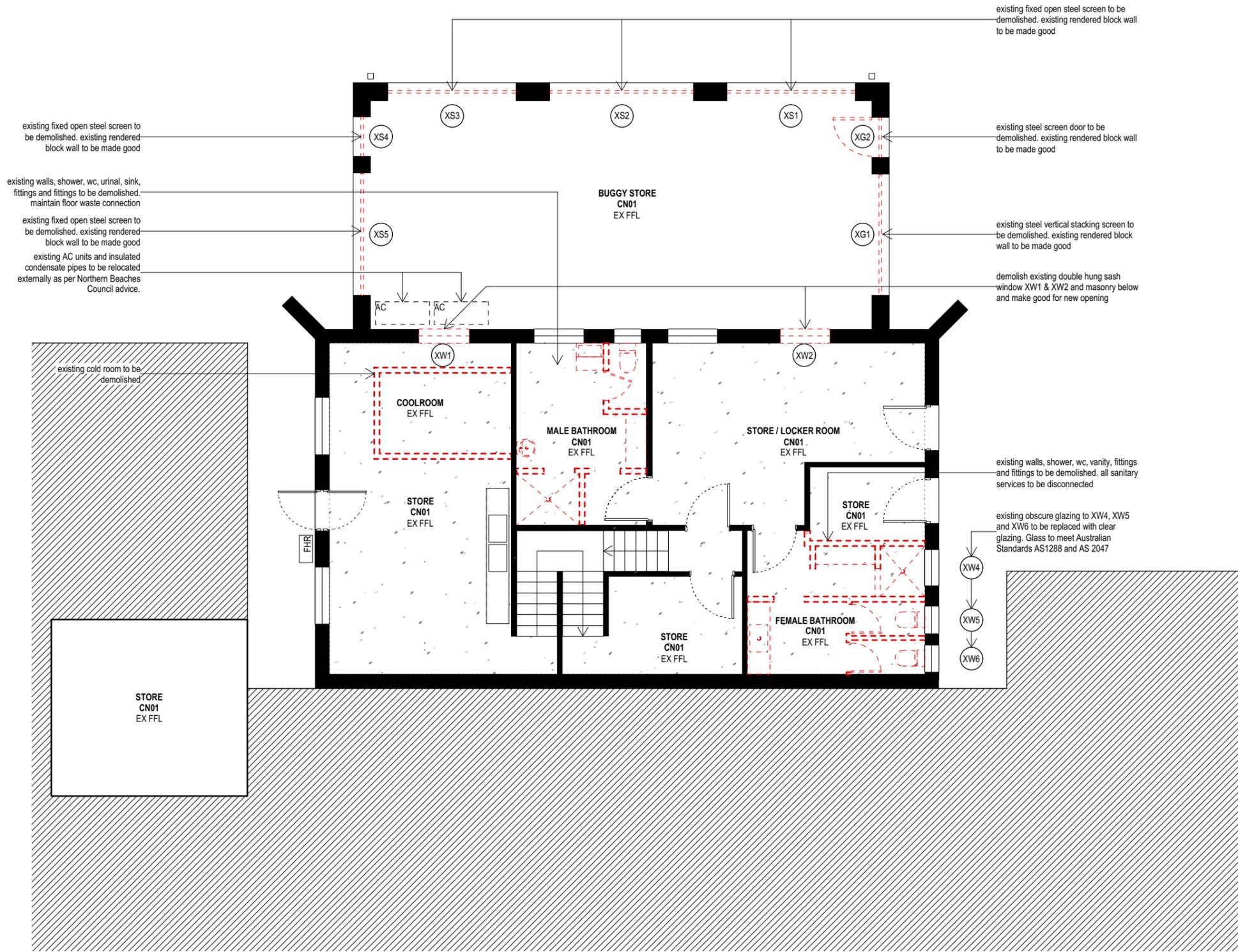
GENERAL NOTES
 Level of Accuracy
 1. Drawings have been prepared from on-site measurements and without a registered survey.

Where elements are to be removed:
 1. Carefully remove elements without damaging the surrounding fabric. Remove only that which is required.
 2. Upon completion of removal, repair and restore surrounding fabric if necessary.
 3. NO heritage fabric/elements are to leave site without Approval
 4. Protect all existing remaining heritage fabric

KEY
 ——— EXISTING WALL
 ——— PROPOSED TIMBER FRAME WALL
 - - - - - DEMOLITION

DESIGN INTENT ONLY

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existing fixed open steel screen to be demolished. existing rendered block wall to be made good

existing walls, shower, wc, urinal, sink, fittings and fittings to be demolished. maintain floor waste connection

existing fixed open steel screen to be demolished. existing rendered block wall to be made good

existing AC units and insulated condensate pipes to be relocated externally as per Northern Beaches Council advice.

existing fixed open steel screen to be demolished. existing rendered block wall to be made good

existing steel screen door to be demolished. existing rendered block wall to be made good

existing steel vertical stacking screen to be demolished. existing rendered block wall to be made good

demolish existing double hung sash window XW1 & XW2 and masonry below and make good for new opening

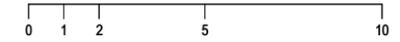
existing walls, shower, wc, vanity, fittings and fittings to be demolished. all sanitary services to be disconnected

existing obscure glazing to XW4, XW5 and XW6 to be replaced with clear glazing. Glass to meet Australian Standards AS1288 and AS 2047

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new garden planter. Northern Beaches Council to confirm location and height of protective fence

new vertical tilt glazed door D3 and D4. refer to DD504 door window schedule

new solid core timber door to match existing. provide security keypad
 new Aneeta with flyscreen and security to comply with AS1288-2006 and AS2047-2014. allow for steel framing and cladding for future partition wall
 new aluminium sliding glazed window on rendered and painted masonry blockwork refer to DD504 door window schedule glazing to Australian standards

new concrete path to existing carpark with 1:20 gradient. pathway to comply with AS1428.1-2009 with appropriate non-slip finish to meet slip resistance compliance and comply with AS/NZS 3661.1, AS/NZS 4586 and HB 197. Pathway to comply with Council's Civil Engineering Specification

provide security keypad to existing door

new sandstone bleachers to natural grade of slope 5000L x 500W

provide security keypad to existing door
 existing obscure glazing to XW4, XW5 and XW6 to be replaced with clear glazing. Glass to meet Australian Standards AS1288 and AS 2047.

New paint finish to existing Ground Floor, floors, walls and ceiling refer to DD-900

New lighting fittings to existing Ground Floor. Refer to ceiling plan and DD-900

New fittings, fixtures and sanitary ware to Unisex Bathroom and Antie Room. Refer to DD-900

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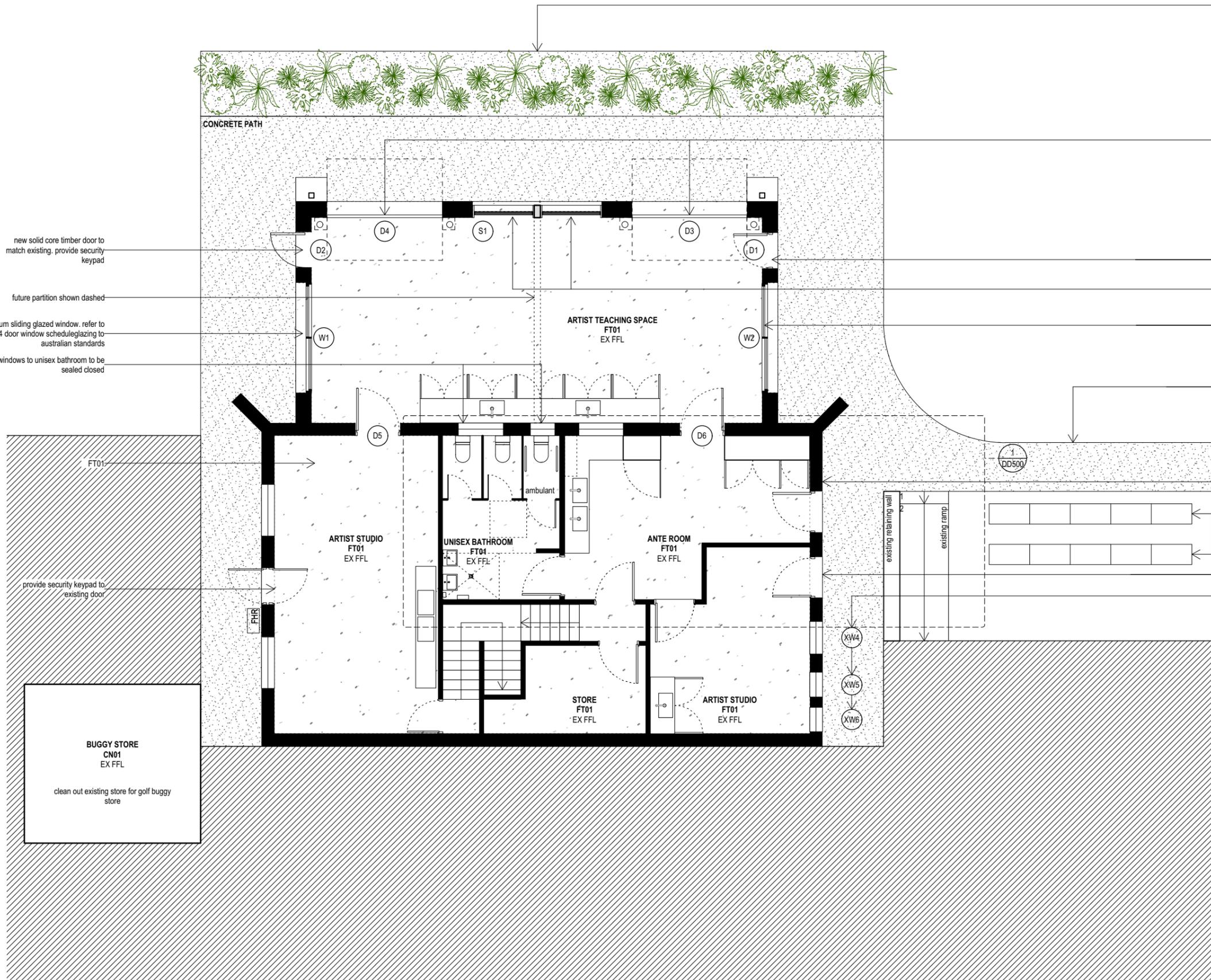
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SHEET TITLE
PROPOSED PLAN - GROUND

DOCUMENTATION STAGE
DD

SHEET NUMBER
100

ISSUE
E



new solid core timber door to match existing. provide security keypad

future partition shown dashed

new aluminium sliding glazed window. refer to DD504 door window schedule glazing to Australian standards

existing windows to unisex bathroom to be sealed closed

provide security keypad to existing door

**BUGGY STORE
 CN01
 EX FFL**
 clean out existing store for golf buggy store

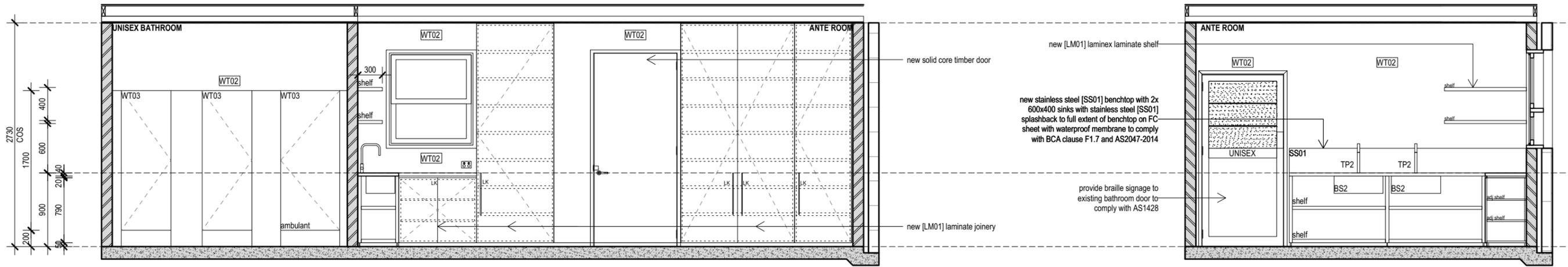
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CLIENT	ARCHITECT	PROJECT
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PROJECT NUMBER	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE
1908	CA	TB	1:100	A3

This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. Do not scale drawings, dimensions govern. Verify all dimensions on site before construction. Copyright of this drawing is vested in Breakspear Architects pty ltd.

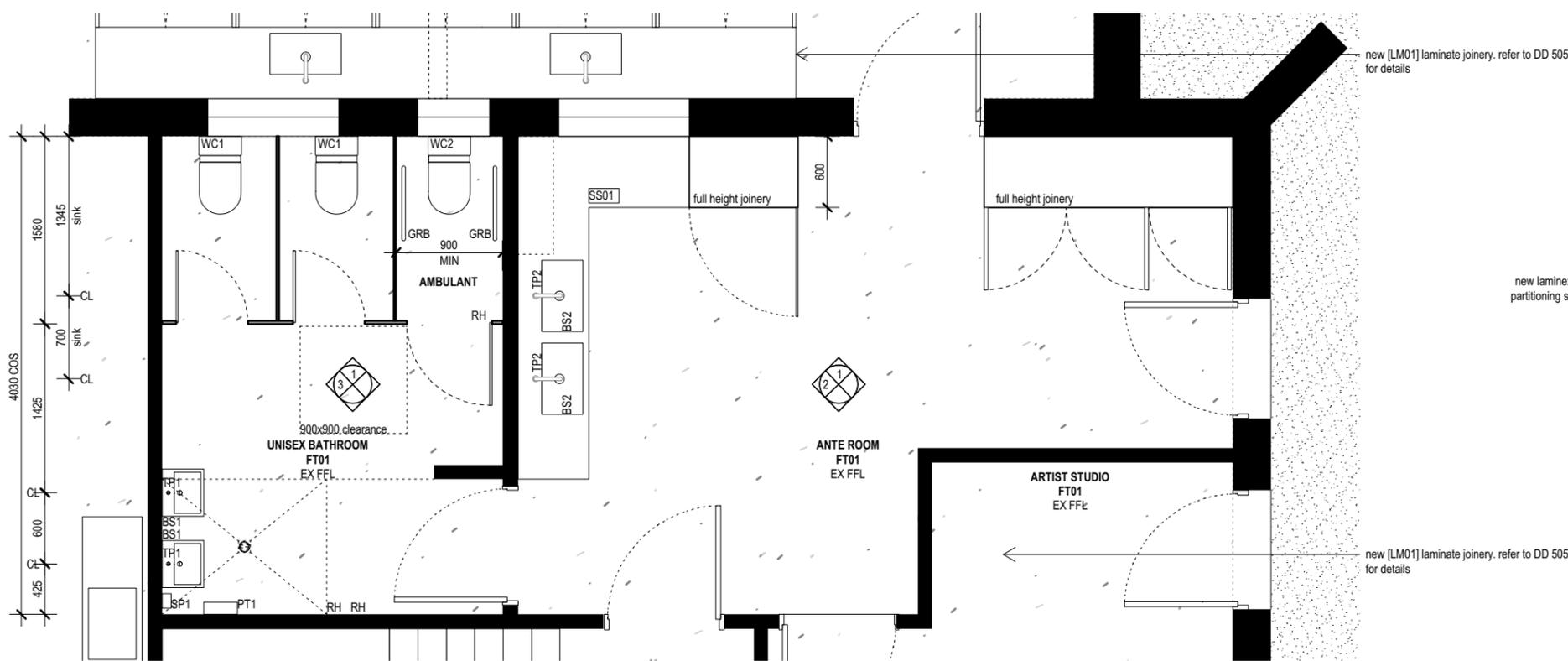
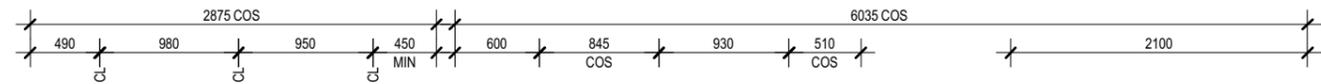
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Note: Ambulant toilet to be in accordance with AS1428.1

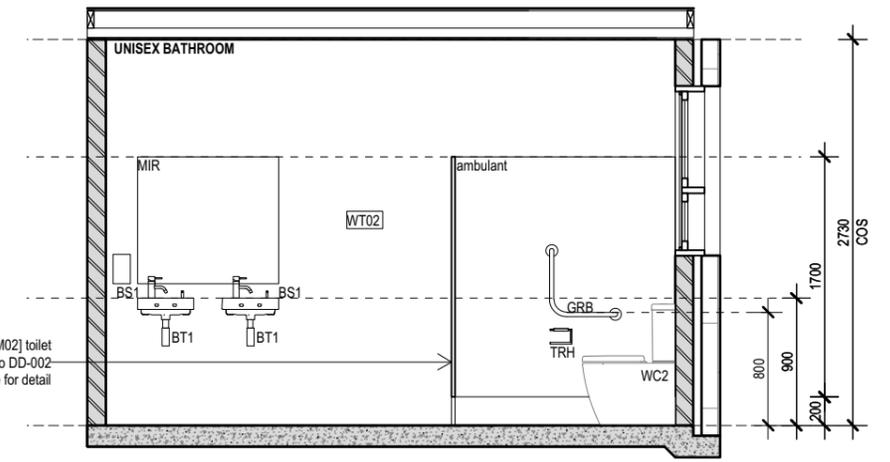
2 ELEVATION 01 - BATHROOM & ANTEROOM
1:50

3 ELEVATION 02 - ANTEROOM
1:50



Note: Ambulant toilet to be in accordance with AS1428.1
Note: Locate all existing floor wastes. maintain floor wastes and falls

1 PLAN - BATHROOM
1:50



Note: Ambulant toilet to be in accordance with AS1428.1. All fittings and fixtures to be installed in accordance with AS1428.1
Note: provide new fittings and fixtures to bathroom. refer to schedule DD-900 for detail

4 ELEVATION 03 - BATHROOM
1:50

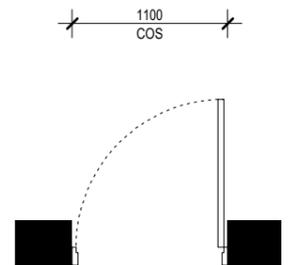
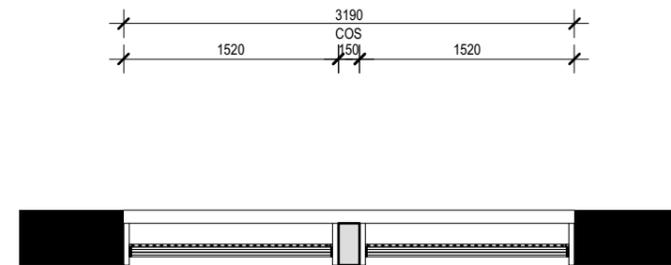
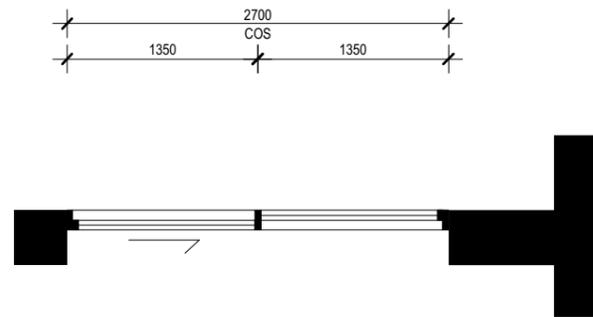
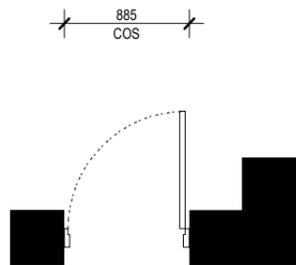
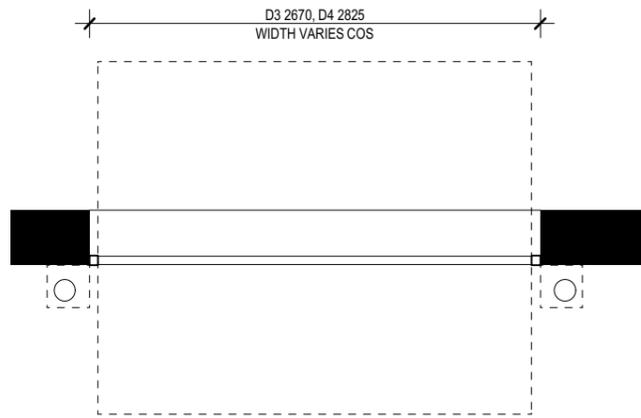
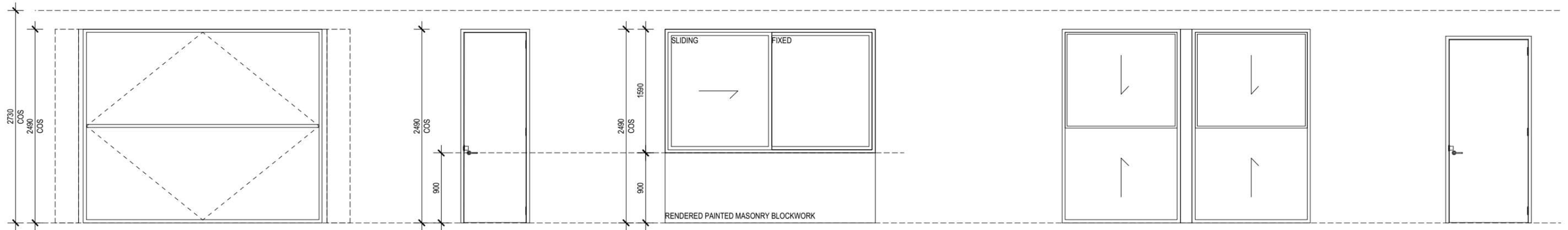
- GENERAL NOTES FOR JOINERY**
1. read in conjunction with DD900 finishes, FF&E schedule
 2. all non visible construction to be 18mm white melamine
 3. all exposed finishes to cupboard doors to be 18mm oyster grey laminate [LM01]
 4. benchtop to be stainless steel [SS01] on substrate, edge to have drainage lip to leading edge
 5. splashback to be stainless steel [SS01]
 6. 5mm recessed shadow gap between joinery modules in finish to match adjacent joinery
 7. door pull handle to cupboards to be madinoz "vertical on full height doors mdz 200/800
 8. adjustable shelving strips to be "283.12.013 rebated with matching supports "283.68.005"
 9. all doors to be lockable
 10. all gpos to match paint/laminate finish

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- KEY**
- EXISTING WALL
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 - DEMOLITION



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				PROJECT NUMBER 1908	DRAWN CA	CHECKED TB	SHEET SCALE 1:50	SHEET SIZE A3	DOCUMENTATION STAGE DD	SHEET NUMBER 500	ISSUE D



D3, D4

RENLITA OVERHEAD FLOATAWAY COUNTER BALANCED SINGLE LEAF DOOR SERIES S1000

STEEL FRAMED GLASS [GL-1] VERTICAL DOOR DESIGNED IN ACCORDANCE WITH AS1170 AND AS1250 TO BE FIXED WITH WEATHER SEALS. VIRIDIAN TOUGHENED GLASS AUSTRALIAN STANDARDS AS 1288-2006

NOTE: STRUCTURAL INTEGRITY OF OPENING AND RENLITA DOOR SYSTEM TO BE CHECKED BY STRUCTURAL ENGINEER. DOOR TRACK POSITIONED ON INTERNAL FACE OF EXISTING RENDERED BRICKWORK WALL

DOOR FRAME AND CHANNEL TO BE POWDERCOATED TO MATCH EXISTING PAINT COLOUR OF RENDERED BLOCK WORK

Contact: Monarch Renlita
 Luke Harden
 e: luke@monarchdoors.com.au
 d: 02 9535 8707
 w: https://monarchrenlita.aragroup.com.au/products/renlita-series-1000/

D1, D2

40mm HINGED SOLID CORE TIMBER DOOR FINISH: SEMI-GLOSS PAINT TO MATCH EXISTING GROUND FLOOR TIMBER DOORS.

DOOR TO COMPLY WITH AS1428.1 AND ACHIEVE MINIMUM UNOBSTRUCTED WIDTH OF 850mm AND HINGE SIDE / LATCH SIDE CLEARANCES.

DOORS TO BE FITTED WITH HOLD OPEN DEVICE

LOCKWOOD STAINLESS STEEL D SHAPED LEVER SINGLE ACTION LEVER HANDLE

ALL EXTERNAL DOORS TO BE FIXED WITH SECURITY KEYPADS

W1, W2

ALUMINIUM FRAMED TOUGHENED SLIDING GLAZED WINDOW WITH FIXED LITE. ALL WINDOWS TO BE KEY LOCKED

FINISH: WINDOW FRAME TO BE POWDERCOATED TO MATCH EXISTING PAINT COLOUR OF RENDERED BLOCK WORK WALL

GLAZING TO COMPLY WITH AS1288:2006

S1

ANEETA GLASS 2 PANE SASHLESS DOUBLE HUNG WINDOW SYSTEM

CAREFULLY REMOVE EXISTING ALUMINIUM SCREEN. REPAIR TIMBER JAMB, CILL AND HEAD AND INCORPORATE NEW 10MM THICK GLASS [GL-1] ANEETA SYSTEM

ALL ANEETA WINDOWS TO INCLUDE REMOVABLE ALUMINIUM MESH FLYSCREEN, LOCKING DEVICE, WEATHERPROOF SEALS AND CONCEALED FIXINGS

ANEETA SYSTEM TO COMPLY WITH AUSTRALIAN STANDARDS AS2047-2014, AS1288-2006 AND AS4055-2012

Contact: ANEETA
 p: 9939 0520
 w: http://aneetawindows.com.au/index.html

D5, D6

40mm HINGED SOLID CORE TIMBER DOOR FINISH: SEMI-GLOSS PAINT TO MATCH EXISTING GROUND FLOOR TIMBER DOORS.

DOOR TO COMPLY WITH AS1428.1 AND ACHIEVE MINIMUM UNOBSTRUCTED WIDTH OF 850mm AND HINGE SIDE / LATCH SIDE CLEARANCES.

DOORS TO BE FITTED WITH HOLD OPEN DEVICE

LOCKWOOD STAINLESS STEEL D SHAPED LEVER SINGLE ACTION LEVER HANDLE

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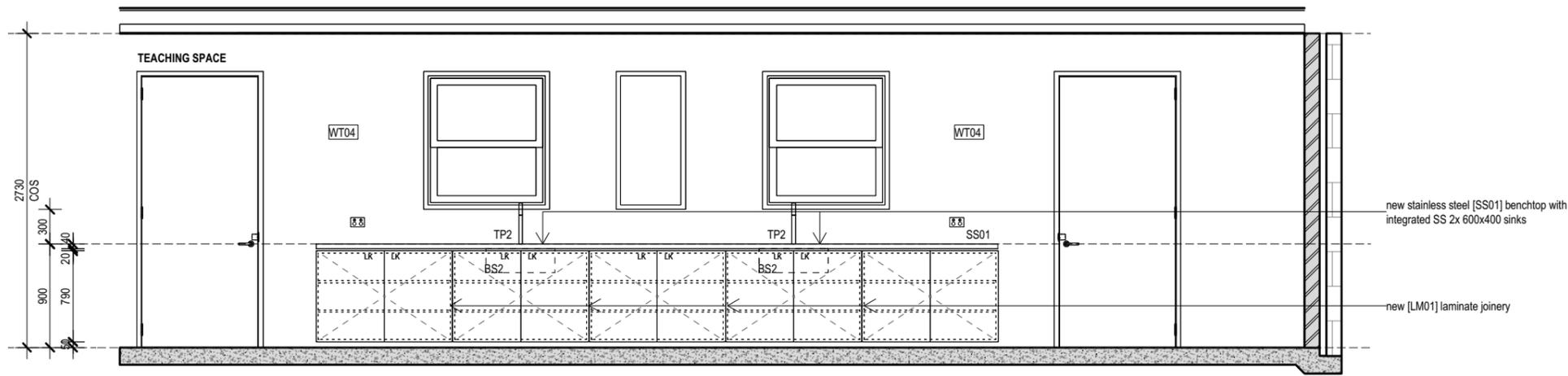
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 ——— PROPOSED TIMBER FRAME WALL
 - - - - - DEMOLITION

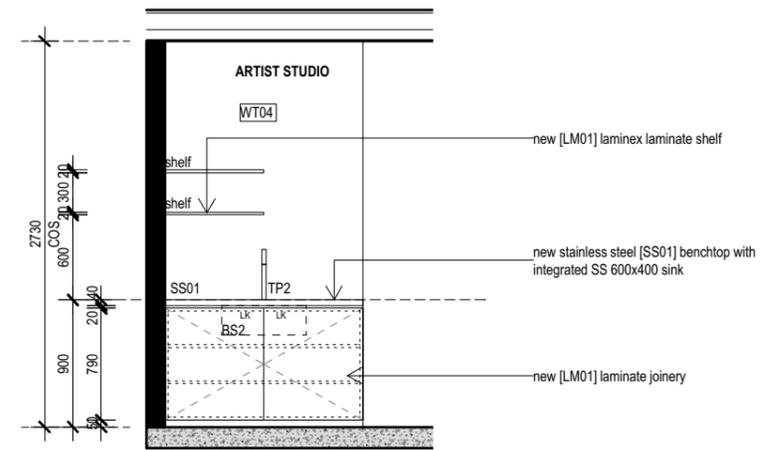


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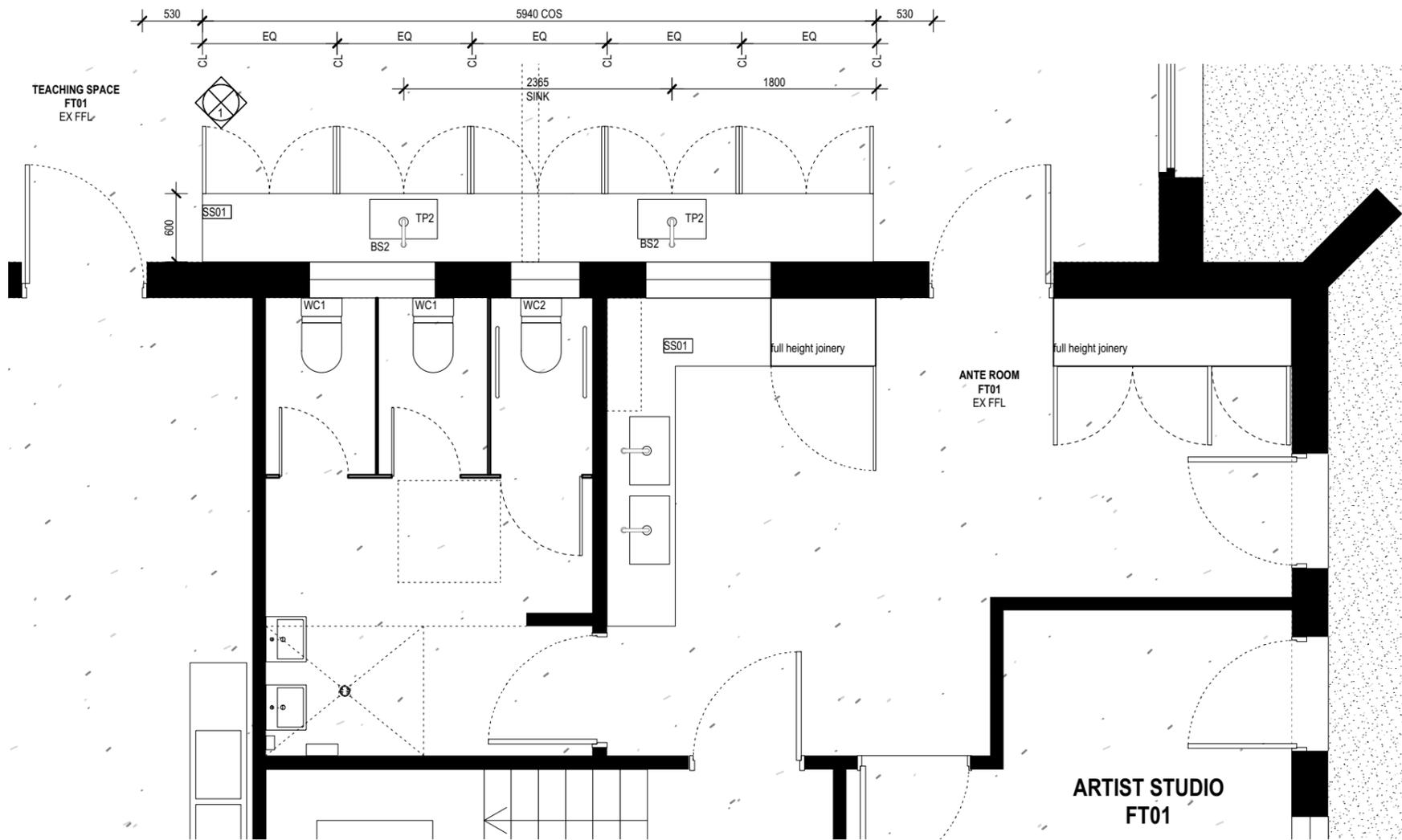
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							NORTHERN BEACHES COUNCIL Building Assets - Planning Design and Delivery	BREAKSPEAR ARCHITECTS ABN 81 601 670 991 ACN 601 670 991 Level 1, 29-33 The Corso, Manly NSW 2095 P: 0421 661 146 E: toby@brkspr.com	AVALON GOLF CLUB - ARTIST STUDIOS	PROJECT NUMBER	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	DOCUMENTATION STAGE	SHEET NUMBER
								This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. Do not scale drawings, dimensions govern. Verify all dimensions on site before construction. Copyright of this drawing is vested in Breakspear Architects pty ltd.	1908	CA	TB	1:50	A3	DD	504	D



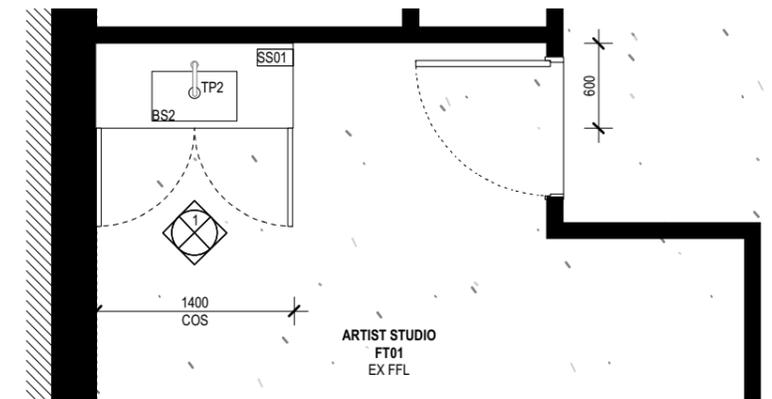
2 ELEVATION 01 - TEACHING SPACE
1:50



3 ELEVATION 01 - ARTIST STUDIO
1:50



1 PLAN - TEACHING SPACE
1:50



4 PLAN - ARTIST STUDIO
1:50

- GENERAL NOTES FOR JOINERY**
- read in conjunction with DD900 finishes, FF&E schedule
 - all non visible construction to be 18mm white melamine
 - all exposed finishes to cupboard doors to be 18mm oyster grey laminate [LM01]
 - benchtop to be stainless steel [SS01] on substrate, edge to have drainage lip to leading edge
 - splashback to be stainless steel [SS01]
 - 5mm recessed shadow gap between joinery modules in finish to match adjacent joinery
 - door pull handle to cupboards to be madinoz 'vertical on full height doors mdz 200/800
 - adjustable shelving strips to be '283.12.013 rebated with matching supports '283.68.005'
 - all doors to be lockable
 - all gpos to match paint/laminate finish

- GENERAL NOTES**
Level of Accuracy
- Drawings have been prepared from on-site measurements and without a registered survey.

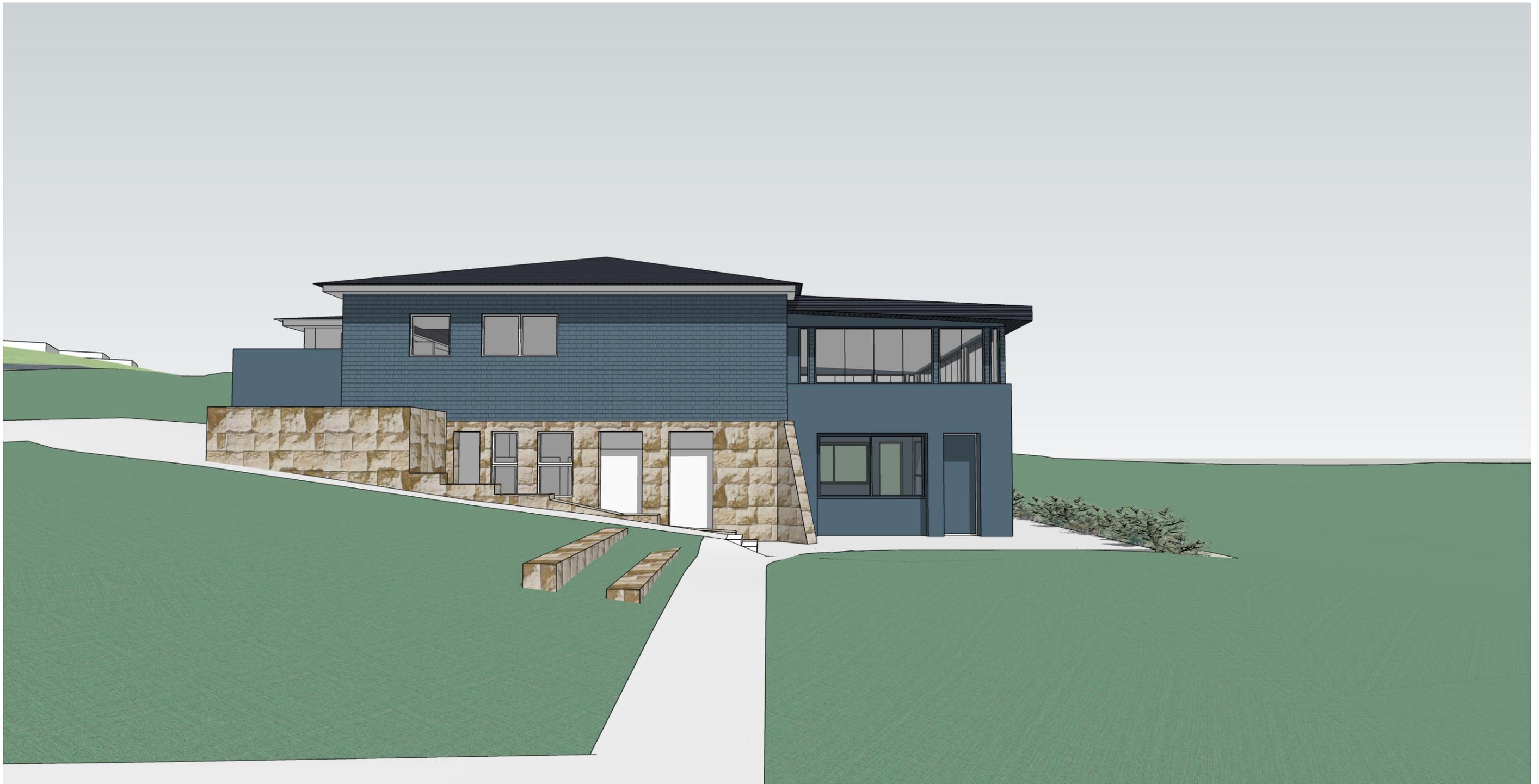
- Where elements are to be removed:
- Carefully remove elements without damaging the surrounding fabric. Remove only that which is required.
 - Upon completion of removal, repair and restore surrounding fabric if necessary.
 - NO heritage fabric/elements are to leave site without Approval
 - Protect all existing remaining heritage fabric

- KEY**
- EXISTING WALL
 - PROPOSED TIMBER FRAME WALL
 - DEMOLITION

DESIGN INTENT ONLY



B A REV	03.10.19	ISSUE FOR INFORMATION	REV DATE DESCRIPTION	CLIENT NORTHERN BEACHES COUNCIL Building Assets - Planning Design and Delivery	ARCHITECT BREAKSPEAR ARCHITECTS ABN 81 601 670 991 ACN 601 670 991 Level 1, 29-33 The Corso, Manly NSW 2095 P: 0421 661 146 E: toby@brkspr.com	PROJECT AVALON GOLF CLUB - ARTIST STUDIOS				SHEET TITLE JOINERY		
	23.09.19	ISSUE FOR INFORMATION				PROJECT NUMBER 1908	DRAWN CA	CHECKED TB	SHEET SCALE 1:50	SHEET SIZE A3	DOCUMENTATION STAGE DD	SHEET NUMBER 505



DESIGN INTENT ONLY

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