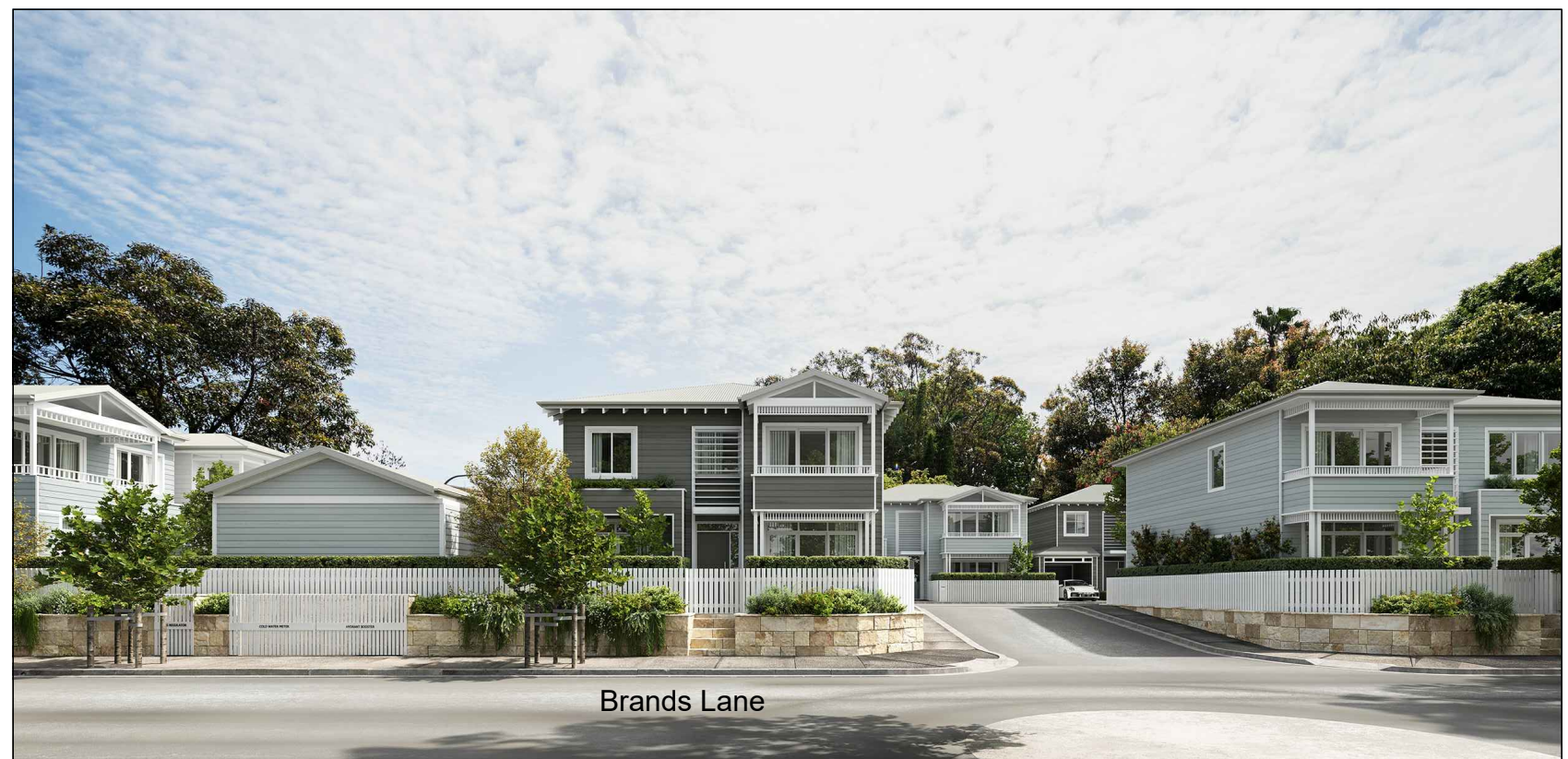


## DRAWING SCHEDULE

|        |  |
|--------|--|
| DA 000 | COVER SHEET  |
| DA 001 | PROJECT SUMMARY  |
| DA 002 | LOCALITY + CONTEXT + SITE ANALYSIS PLAN  |
| DA 003 | DEMOLITION PLAN  |
| DA 004 | LOT PLAN   |
| DA 005 | MASTER PLAN : GF   |
| DA 006 | MASTER PLAN : 1F   |
| DA 007 | MASTER PLAN : ROOF   |
| DA 100 | TYPE A1 (LOT COVERAGE + GF)  |
| DA 101 | TYPE A1 (1F + ROOF)  |
| DA 102 | TYPE A2 (LOT COVERAGE + GF)  |
| DA 103 | TYPE A2 (1F + ROOF)  |
| DA 104 | TYPE A3 (LOT COVERAGE + GF)  |
| DA 105 | TYPE A3 (1F + ROOF)  |
| DA 106 | TYPE B1 (LOT COVERAGE + GF pre & post adaptation)                              |
| DA 107 | TYPE B1 (1F + ROOF)  |
| DA 108 | TYPE B2 (LOT COVERAGE + GF)  |
| DA 109 | TYPE B2 (1F + ROOF)  |
| DA 110 | TYPE B3 (LOT COVERAGE + GF)  |
| DA 111 | TYPE B3 (1F + ROOF)  |
| DA 112 | TYPE B4 (LOT COVERAGE + GF)  |
| DA 113 | TYPE B4 (1F + ROOF)  |
| DA 114 | TYPE B5 (LOT COVERAGE + GF)  |
| DA 115 | TYPE B5 (1F + ROOF)  |
| DA 116 | TYPE C1 (LOT COVERAGE + GF)  |
| DA 117 | TYPE C1 (1F + ROOF)  |
| DA 118 | TYPE C2 (LOT COVERAGE + GF)  |
| DA 119 | TYPE C2 (1F + ROOF)  |
| DA 120 | TYPE C3 (LOT COVERAGE + GF)  |
| DA 121 | TYPE C3 (1F + ROOF)  |
| DA 200 | ELEVATIONS LOCATION PLAN   |
| DA 201 | ELEVATIONS 01, 02, 03 ON MACPHERSON ST<br>+ ON ACCESSWAY + FROM CREEK CORRIDOR |
| DA 202 | ELEVATION 04 a+b ON BRANDS LANE  |
| DA 203 | ELEVATION 04 c+d ON BRANDS LANE  |
| DA 204 | ELEVATION 05 a+b ON ACCESSWAY  |
| DA 205 | ELEVATION 05 c+d ON ACCESSWAY  |
| DA 206 | ELEVATION 06 a+b ON ACCESSWAY  |
| DA 207 | ELEVATION 06 c+d ON ACCESSWAY  |
| DA 208 | ELEVATION 07 a+b ON NORTH WEST BOUNDARY  |
| DA 209 | ELEVATION 07 c+d ON NORTH WEST BOUNDARY  |
| DA 300 | SECTIONS LOCATION PLAN   |
| DA 301 | SECTION AA (ON TYPES C)  |
| DA 302 | SECTION BB a+b (ON TYPES B)  |
| DA 303 | SECTION BB c+d (ON TYPES B)  |
| DA 400 | MATERIAL SCHEDULE  |
| DA 410 | PHOTOMONTAGE - 01 ON MACPHERSON ST   |
| DA 411 | PHOTOMONTAGE - 02 ON BRANDS LN   |
| DA 510 | AREA CALCULATION - LANDSCAPE PLAN  |
| DA 511 | AREA CALCULATION - IMPERVIOUS AREA   |
| DA 512 | AREA CALCULATION - SCHEDULE  |
| DA 520 | HEIGHT CONTROL   |
| DA 601 | SOLAR STUDY - 09AM - 12PM (JUNE - 21st)  |
| DA 602 | SOLAR STUDY - 01PM - 03PM (JUNE - 21st)  |
| DA 603 | SHADOW DIAGRAMS 09AM - 12PM (JUNE - 21st)                                      |
| DA 604 | SHADOW DIAGRAMS 01PM - 03PM (JUNE - 21st)                                      |



## GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA UNDER SUPPLY ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| MC  | MECHANICAL RISER TO FUTURE DETAIL |
| GV  | GARAGE CHUTE                      |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

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| ISSUE | DATE     | DESCRIPTION  |

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PM PROPERTY \_\_\_\_\_

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Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljivic NSW 7768

PROJECT:  
8 TERRACES  
6 MACPHERSON STREET  
WARRIEWOOD

PR. 2023

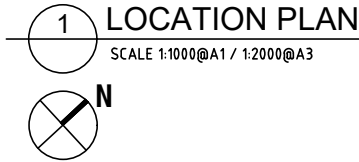
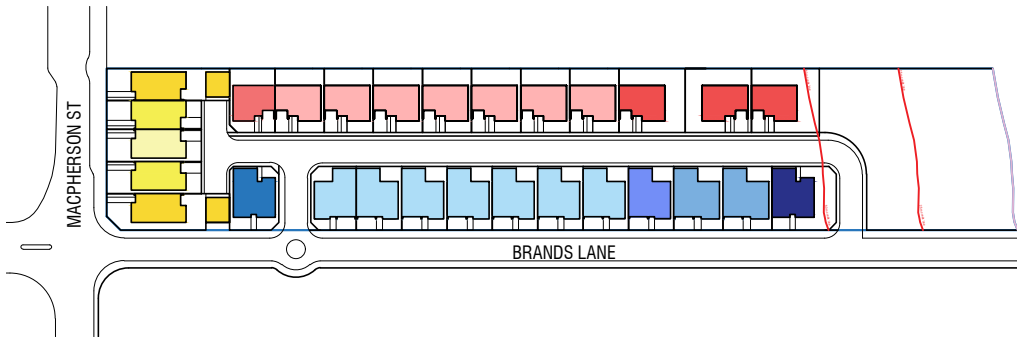
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DRAWING TITLE:

COVER SHEET

|                    |                |        |
|--------------------|----------------|--------|
| RAWN BY: SS        | CHECKED BY: HV |        |
| SCALE:<br>TS       | DRAWING NO:    | ISSUE: |
| PROJECT NO:<br>235 | DA 000         | 01     |





## PROJECT INFORMATION

16 Macpherson St, Warriewood  
Site Area = 10,172 m<sup>2</sup>  
Lot 4 DP 553814

Zoning : **R3** Medium Density Residential  
Height of building : **10.5m**

8.5m within the area that is 12.5m measured from the boundary fronting Macpherson St  
Floor space ration : N/A  
Minimum lot size : N/A  
Heritage : the site does not contain a heritage item nor is it within a heritage conservation area  
Setbacks : see Lot Plan (DA 004)


## TERRACES MIX + AREAS

28 Lots  
28 Dwellings  
7 Adaptable

**A1 type**  
7 Dwellings / 25 % of total  
3 Bed.  
Internal Area = 152m<sup>2</sup>  
P.O.S = 5x4m = 20m<sup>2</sup>  
Storage = 9m<sup>3</sup>  
2 car parking spaces

**A2 type**  
1 Dwelling / 3% of total  
3 Bed.  
Internal Area = 145m<sup>2</sup>  
P.O.S = 5x4m = 20m<sup>2</sup>  
Storage = 8m<sup>3</sup>  
2 car parking spaces

**A3 type**  
3 Dwelling / 7 % of total  
3 Bed.  
Internal Area = 152m<sup>2</sup>  
P.O.S = 5x4m = 20m<sup>2</sup>  
Storage = 9m<sup>3</sup>  
2 car parking spaces

**B1 type**   
7 Dwellings / 25% of total  
3 Bed. (4 Bed. post Adaptation)  
Internal Area = 169m<sup>2</sup>  
P.O.S = 5x4m = 20m<sup>2</sup>  
Storage = 9m<sup>3</sup>  
2 car parking spaces

**B2 type**  
2 Dwellings / 7% of total  
3 Bed.  
Internal Area = 188m<sup>2</sup>  
P.O.S = 5x4m = 20m<sup>2</sup>  
Storage = 8m<sup>3</sup>  
2 car parking spaces

**B3 type**  
1 Dwelling / 3% of total  
3 Bed.  
Internal Area = 172m<sup>2</sup>  
P.O.S = 6.7x3m = 20m<sup>2</sup>  
Storage = 10m<sup>3</sup>  
2 car parking spaces

**B4 type**  
1 Dwelling / 3% of total  
3 Bed.  
Internal Area = 169m<sup>2</sup>  
P.O.S = 5x4m = 20m<sup>2</sup>  
Storage = 9m<sup>3</sup>  
2 car parking spaces

**B5 type**  
1 Dwelling / 3% of total  
3 Bed.  
Internal Area = 172m<sup>2</sup>  
P.O.S = 6.7x3m = 20m<sup>2</sup>  
Storage = 10m<sup>3</sup>  
2 car parking spaces

**C1 type**  
2 Dwellings / 7% of total  
3 Bed.  
Internal Area = 157m<sup>2</sup>  
P.O.S = 5x4m = 20m<sup>2</sup>  
Storage = 9m<sup>3</sup>  
2 car parking spaces

**C2 type**  
1 Dwelling / 3% of total  
3 Bed.  
Internal Area = 157m<sup>2</sup>  
P.O.S = 4.5x4m = 18m<sup>2</sup>  
Storage = 9m<sup>3</sup>  
2 car parking spaces

**C3 type**  
2 Dwellings / 7% of total  
4 Bed.  
Internal Area = 172m<sup>2</sup>  
P.O.S = 5x4m = 20m<sup>2</sup>  
Storage = 9m<sup>3</sup>  
2 car parking spaces

## SITE COVERAGE

Total Landscaped Area = 4731 m<sup>2</sup>  
46.51 % of the Site Area

Total Covered Area =4922 m<sup>2</sup>  
(impervious area) 48.39% of the Site Area

- GENERAL NOTES:
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- LEGEND:
- AW AWNING
  - HW HIGHLIGHT WINDOW
  - CU A/C CONDENSER UNITS
  - FH FIRE HYDRANT
  - FHR FIRE HOSE REEL
  - FS FIRE STAIRS
  - HV MECHANICAL RISER TO FUTURE DETAIL
  - GC GARBAGE CHUTE
  - MB MAILBOX TO FUTURE DETAIL
  - PB PLANTERBOX
  - R 240L RECYCLING BIN
  - SK SKYLIGHT
  - ST STORAGE
  - WT HOT WATER UNITS

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| ISSUE | DATE     | DESCRIPTION  |

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Level 2, 52 Albion Street, Sunny Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023

DRAWING TITLE:

## PROJECT SUMMARY

|                     |                       |              |
|---------------------|-----------------------|--------------|
| DRAWN BY: SS        | CHECKED BY: HV        |              |
| SCALE:<br>VARIOUS   | DRAWING NO:<br>DA 001 | ISSUE:<br>01 |
| PROJECT NO:<br>2235 |                       |              |





- LEGEND:**
- |     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| MV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

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| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



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Level 2, 52 Albion Street, Surry Hills NSW 2010

Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023

DRAWING TITLE:

LOCALITY+CONTEXT  
+ SITE ANALYSIS

|                               |                              |                |                     |
|-------------------------------|------------------------------|----------------|---------------------|
| DRAWN BY: SS                  |                              | CHECKED BY: HV |                     |
| SCALE:<br>1:1000@A1/1:2000@A3 | DRAWING NO:<br><b>DA 002</b> |                | ISSUE:<br><b>01</b> |
| PROJECT NO:<br>2235           |                              |                |                     |



LEGEND :

EXISTING BUILDINGS  
TO BE DEMOLISHED

TREES TO BE REMOVED  
REFER TO ARBORIST  
REPORT

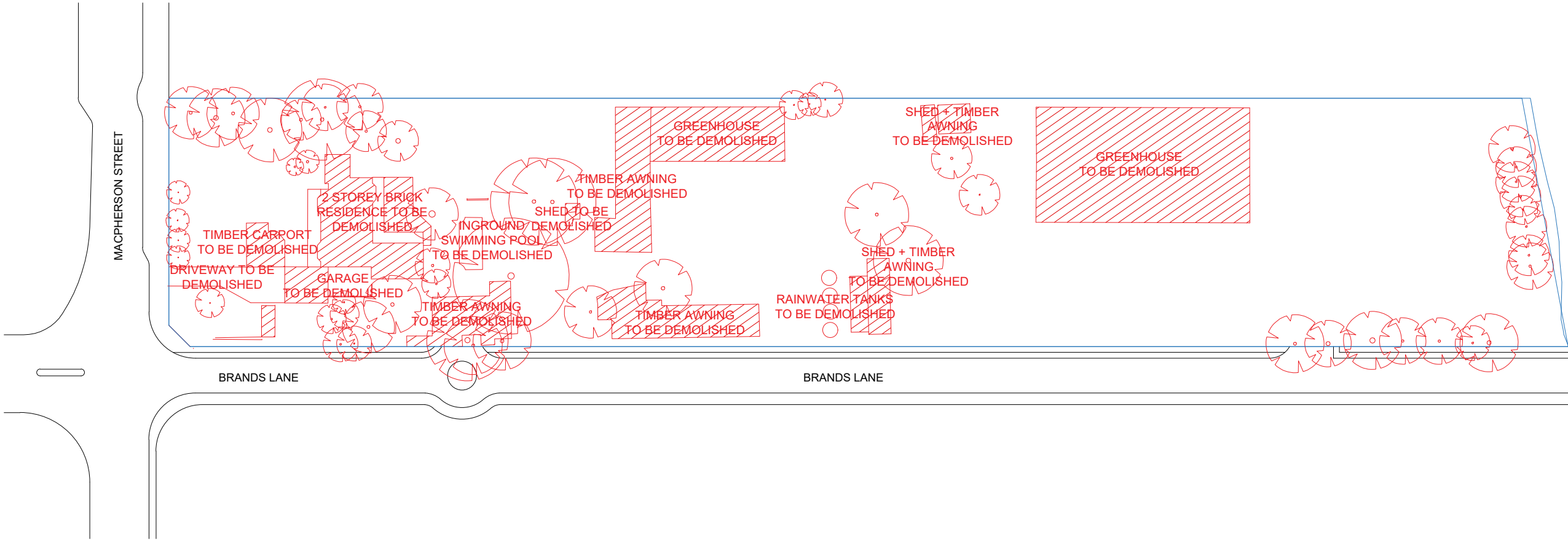
SITE BOUNDARY

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LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| HV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 24L RECYCLING BIN                 |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |



1

DEMOLITION PLAN

SCALE 1:500@A1 / 1:1000@A3

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| ISSUE | DATE     | DESCRIPTION  |

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Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
DEMOLITION PLAN

|  |                              |                     |
|--|------------------------------|---------------------|
| DRAWN BY: SS   | CHECKED BY: HV               |                     |
| SCALE:<br>1:400@A1 / 1:800@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 003</b> | ISSUE:<br><b>01</b> |





28 Lots  
28 Dwellings  
7 Adaptable (25%)

TYPES

A1 7 25%

A2 1 3.5%

A3 3 11%

B1 7 25%

B2 2 7%

B3 1 3.5%

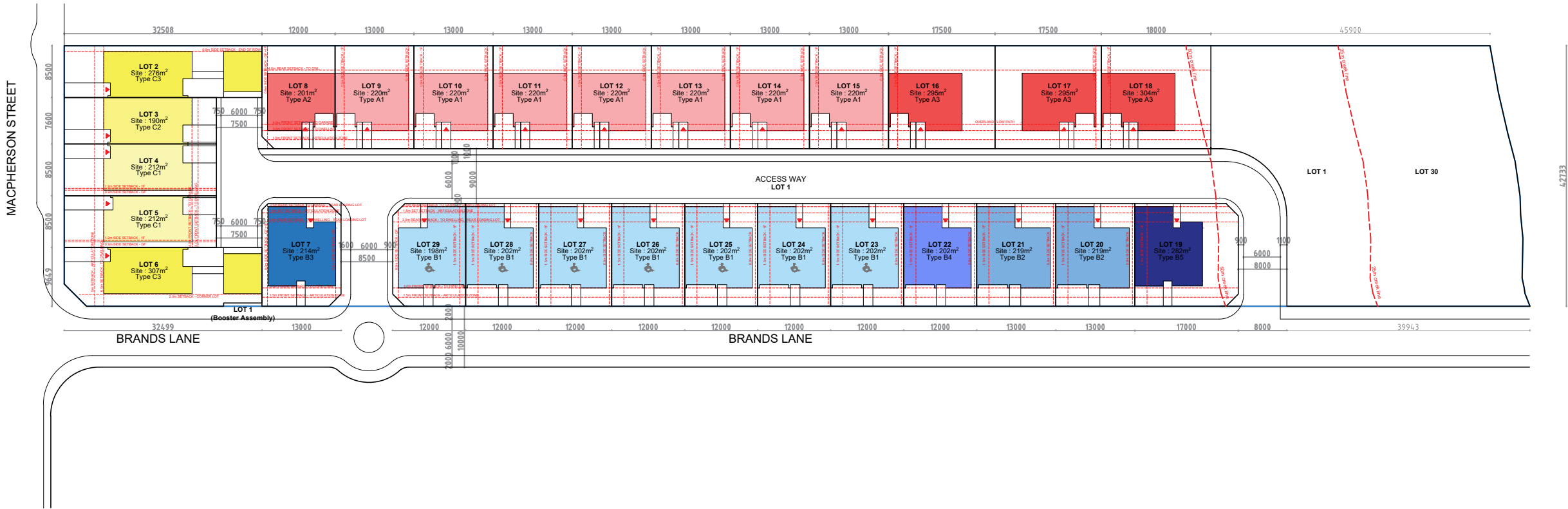
B4 1 3.5%

B5 1 3.5%

C1 2 7%

C2 1 3.5%

C3 2 7%



1 LOT PLAN  
SCALE 1:400@A1 / 1:800@A3

- GENERAL NOTES:
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  - CU A/C CONDENSER UNITS
  - FH FIRE HYDRANT
  - FHR FIRE HOSE REEL
  - FS FIRE STAIRS
  - HV MECHANICAL RISER TO FUTURE DETAIL
  - GC GARBAGE CHUTE
  - MB MAILBOX TO FUTURE DETAIL
  - PB PLANTERBOX
  - R 2-LR RECYCLING BIN
  - SK SKYLIGHT
  - ST STORAGE
  - WT HOT WATER UNITS

|       |          |              |
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| ISSUE | DATE     | DESCRIPTION  |



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Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
LOT PLAN

DRAWN BY: SS  
CHECKED BY: HV

SCALE:  
1:400@A1 / 1:800@A3  
PROJECT NO:  
2235

DRAWING NO:  
DA 004

ISSUE:  
01





**LEGEND:**

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| MC  | MECHANICAL RISER TO FUTURE DETAIL |
| GV  | GABRIEL CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

|                               |                              |                     |
|-------------------------------|------------------------------|---------------------|
| SCALE:<br>1:400@A1 / 1:800@A3 | DRAWING NO:<br><b>DA 005</b> | ISSUE:<br><b>01</b> |
| PROJECT NO:<br>235            |                              |                     |





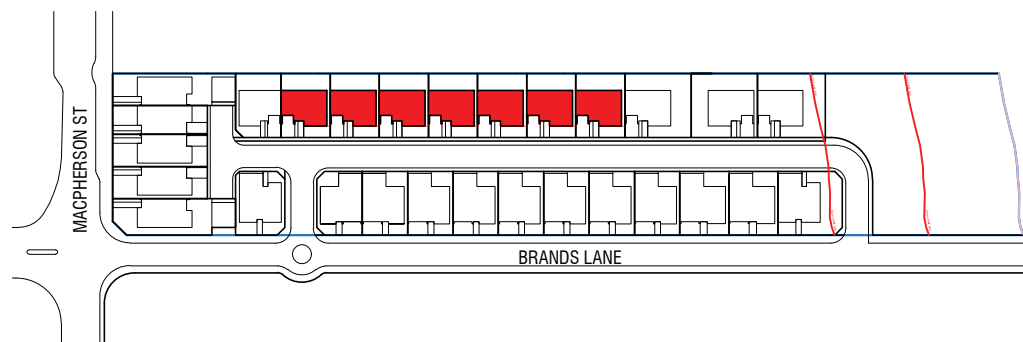




- LEGEND:**
- |     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| MC  | MECHANICAL RISER TO FUTURE DETAIL |
| GV  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

|                             |             |        |
|-----------------------------|-------------|--------|
| CALE:<br>:400@A1 / 1:800@A3 | DRAWING NO: | ISSUE: |
| PROJECT NO:<br>235          | DA 007      | 01     |



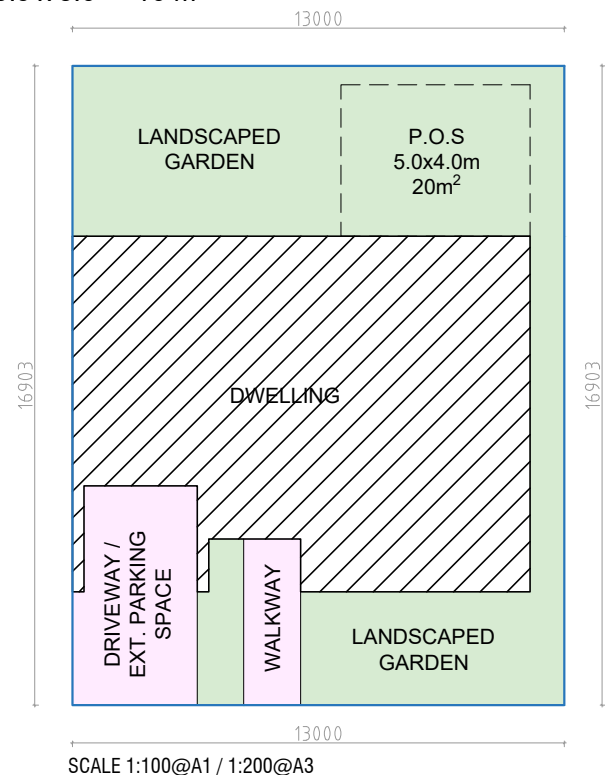


**TYPE A1**  
**LOTS 9-15**  
**7 DWELLINGS** = 25 % of total units

**INTERNAL AREA** GF = 69 m<sup>2</sup>  
1F = 83 m<sup>2</sup>  
**TOTAL** = 152 m<sup>2</sup>

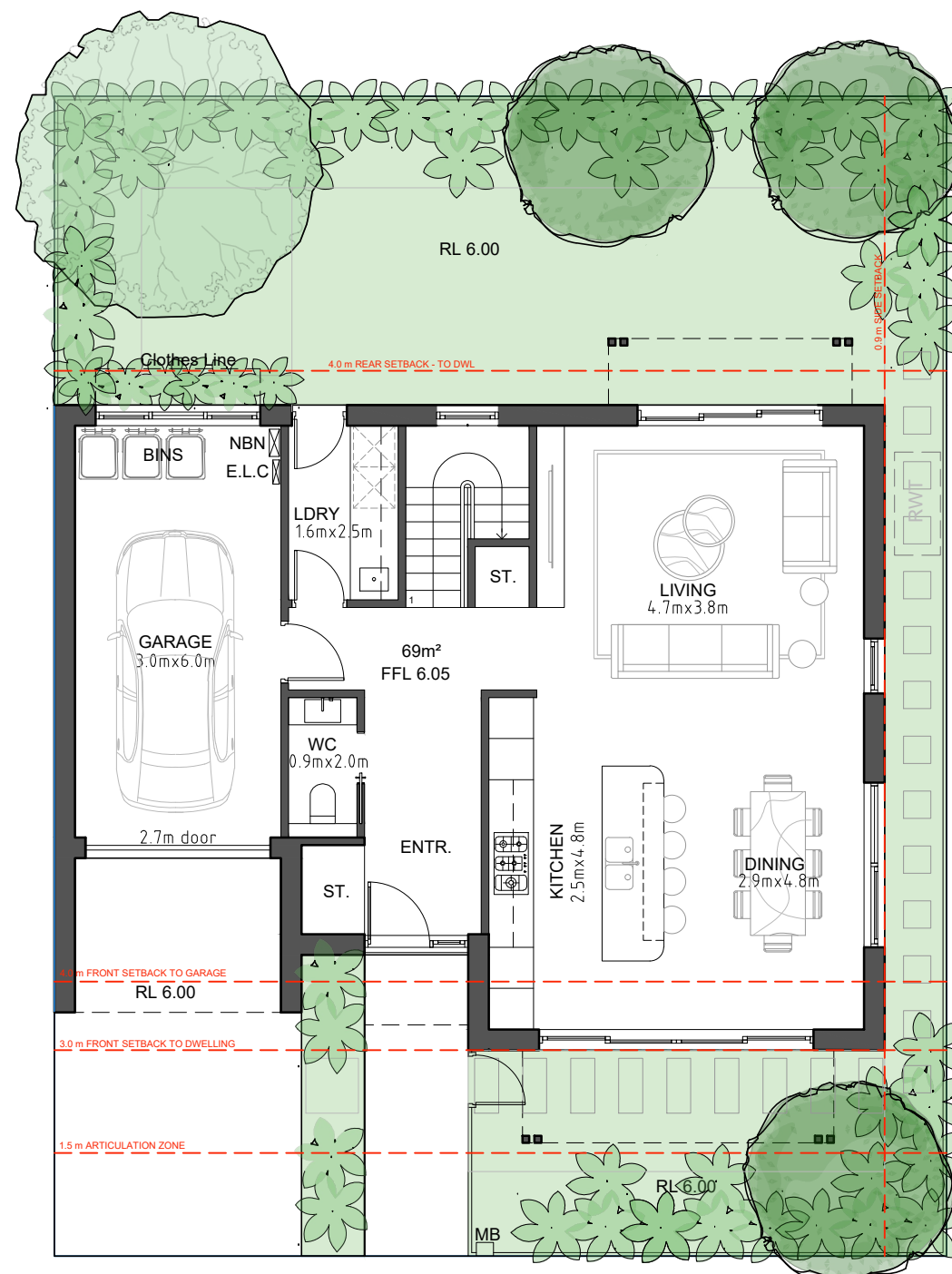
**PARKING SPACE 1**  
**IN GARAGE** (single)  
6.0 x 3.0m = 18 m<sup>2</sup>

**PARKING SPACE 2**  
**EXTERNAL** (WITHIN LOT BOUNDARY)  
5.5 x 3.0 = 16 m<sup>2</sup>



**SITE COVERAGE (TYPICAL LOT SIZE)**

|                   |                                       |
|-------------------|---------------------------------------|
| LOT AREA          | 220 m <sup>2</sup>                    |
| BUILDING COVERAGE | 102 m <sup>2</sup>                    |
| LANDSCAPE AREA    | 92 m <sup>2</sup><br>42 % of Lot Area |



REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS



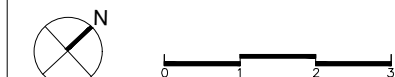
**GENERAL NOTES:**

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- DRAWINGS FOR THE PURPOSES OF DA ONLY - FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
- COPYRIGHT OF DESIGN SHOWN HEREIN IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

**LEGEND:**

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| HV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

|       |          |              |
|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



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IPM PROPERTY

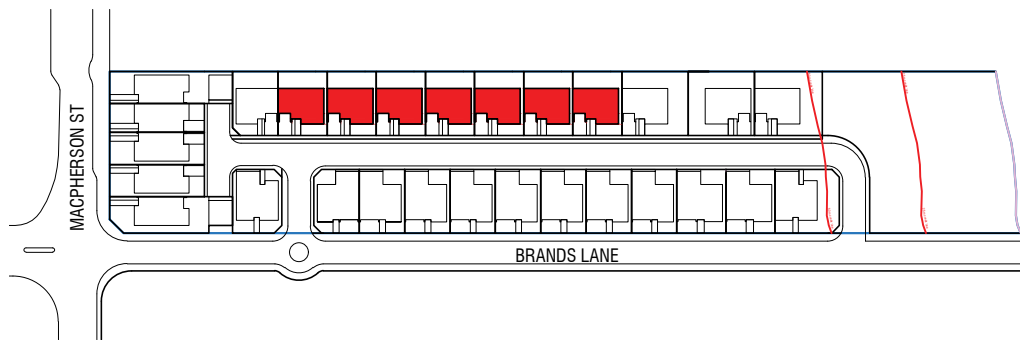
ARCHITECT:  
**PBD | ARCHITECTS**  
ABN 36 147 035 550  
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
**28 TERRACES**  
16 MACPHERSON STREET  
WARRIEWOOD

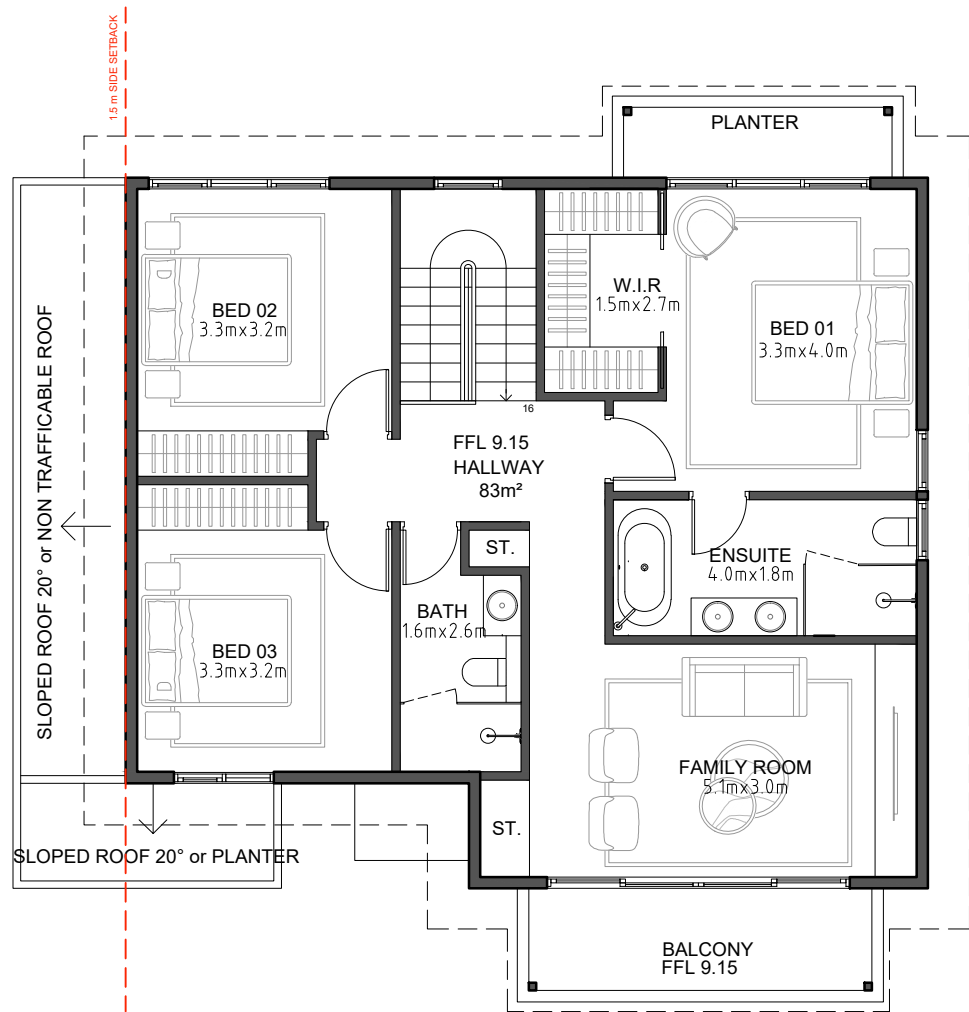
APR. 2023  
DRAWING TITLE:  
**TYPE A1**  
**GROUND FLOOR LEVEL**

|   |                              |                     |
|---|------------------------------|---------------------|
| DRAWN BY: SS  | CHECKED BY: HV               |                     |
| SCALE:<br>1:50@A1 / 1:100@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 100</b> | ISSUE:<br><b>01</b> |

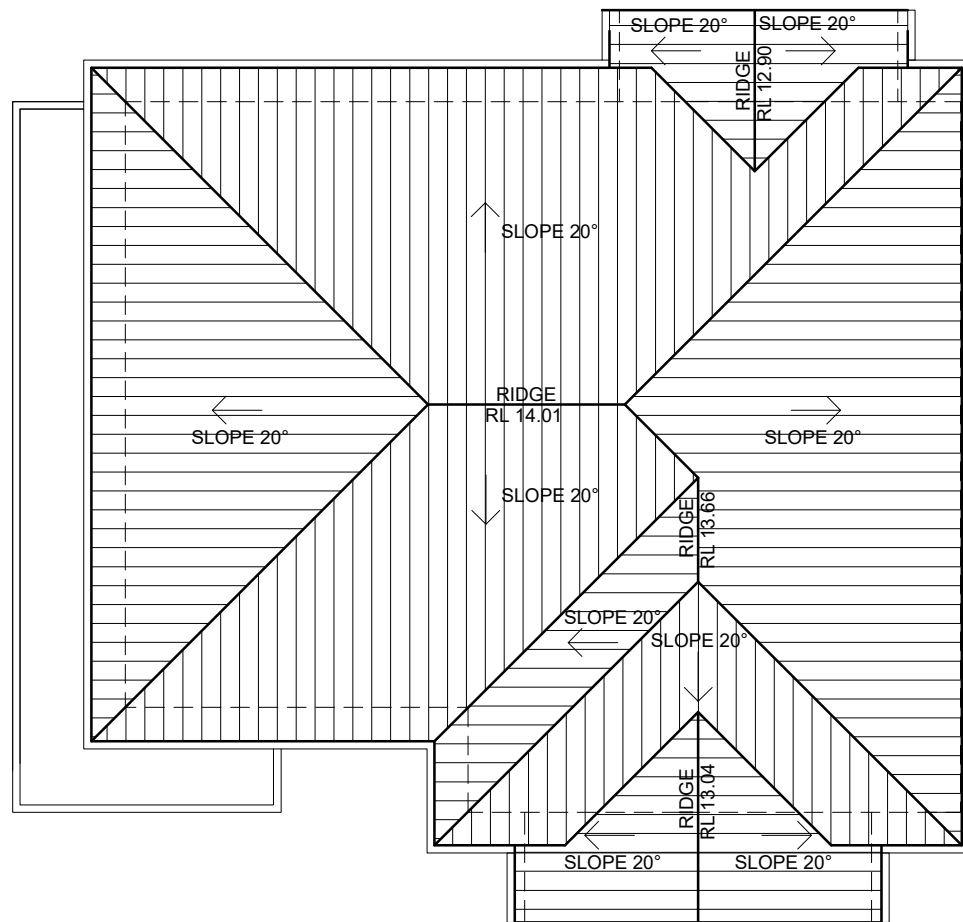




1 LOCATION PLAN  
SCALE 1:1000@A1 / 1:2000@A3



2 FIRST FLOOR PLAN  
SCALE 1:50@A1 / 1:100@A3



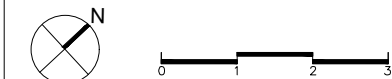
3 ROOF PLAN  
SCALE 1:50@A1 / 1:100@A3

- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| HV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

|       |          |              |
|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



CLIENT:  
IPM PROPERTY

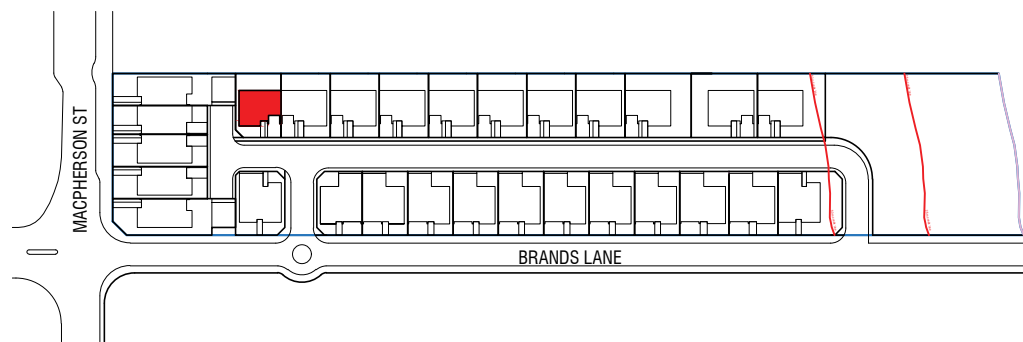
ARCHITECT:  
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Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
**TYPE A1**  
**FIRST FLOOR + ROOF**

|   |                              |                     |
|---|------------------------------|---------------------|
| DRAWN BY: SS  | CHECKED BY: HV               |                     |
| SCALE:<br>1:50@A1 / 1:100@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 101</b> | ISSUE:<br><b>01</b> |





## TYPE A2

LOT 8

1 DWELLING = 3.5% of total units

INTERNAL AREA GF = 62 m<sup>2</sup>  
1F = 83 m<sup>2</sup>  
TOTAL = 145 m<sup>2</sup>

## PARKING SPACE 1

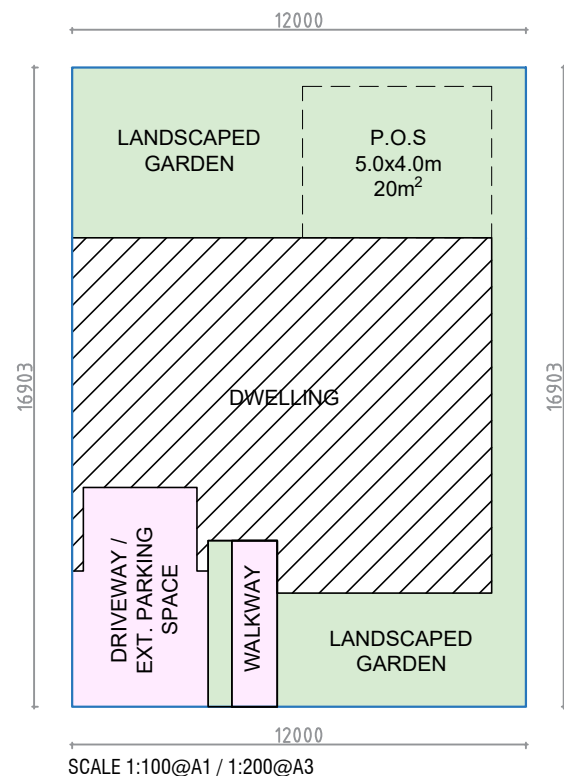
IN GARAGE (single)

6.0 x 3.0m = 18 m<sup>2</sup>

## PARKING SPACE 2

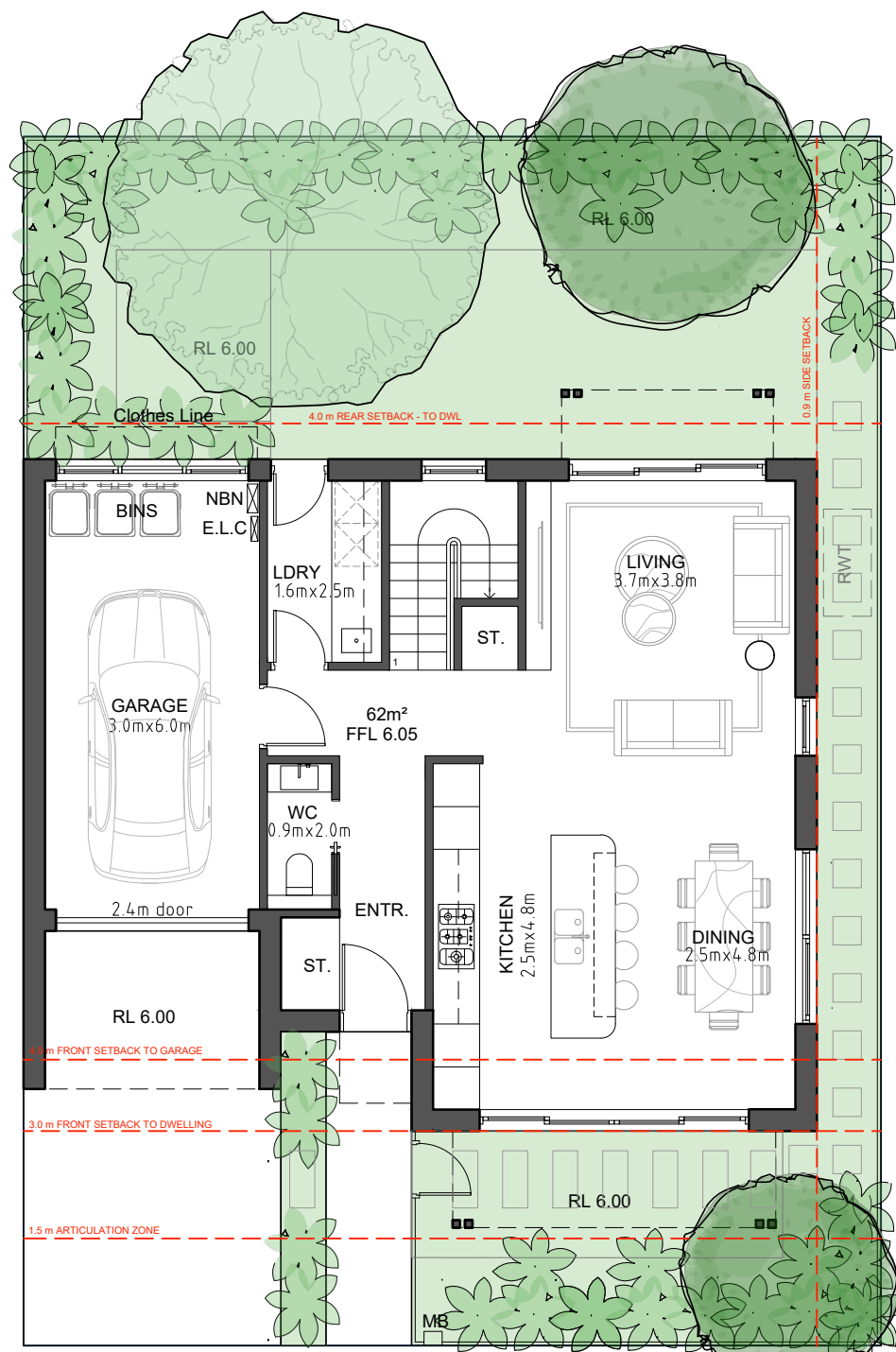
EXTERNAL (WITHIN LOT BOUNDARY)

5.5 x 3.0 = 16 m<sup>2</sup>



## SITE COVERAGE (TYPICAL LOT SIZE)

|                   |                    |
|-------------------|--------------------|
| LOT AREA          | 201 m <sup>2</sup> |
| BUILDING COVERAGE | 93 m <sup>2</sup>  |
| LANDSCAPE AREA    | 83 m <sup>2</sup>  |
|                   | 40 % of Lot Area   |



REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS



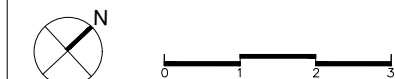
GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| HV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

|       |          |              |
|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



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Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023

DRAWING TITLE:

TYPE A2  
GROUND FLOOR LEVEL

DRAWN BY: SS

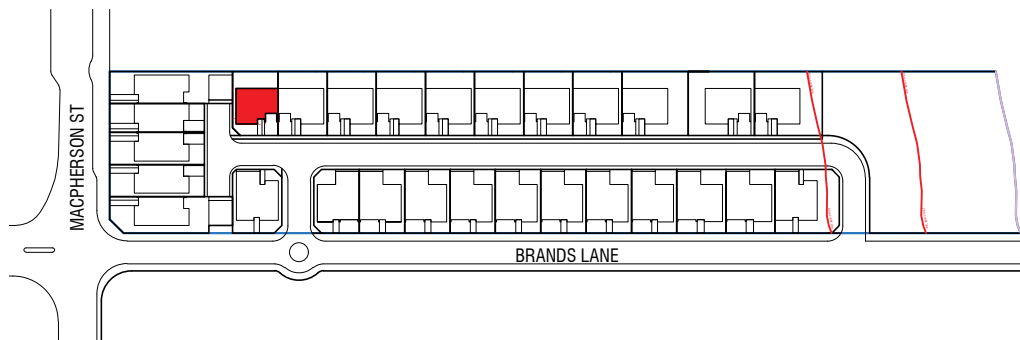
CHECKED BY: HV

SCALE:  
1:50@A1 / 1:100@A3  
PROJECT NO:  
2235

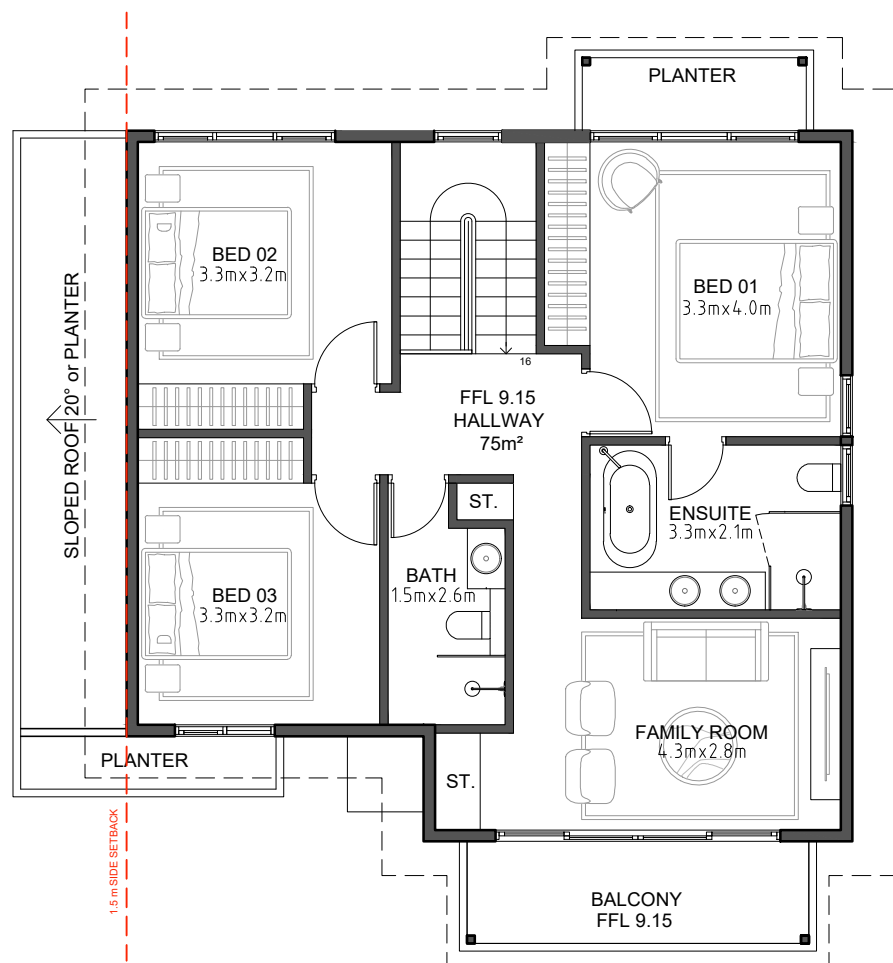
DRAWING NO:  
DA 102

ISSUE:  
01

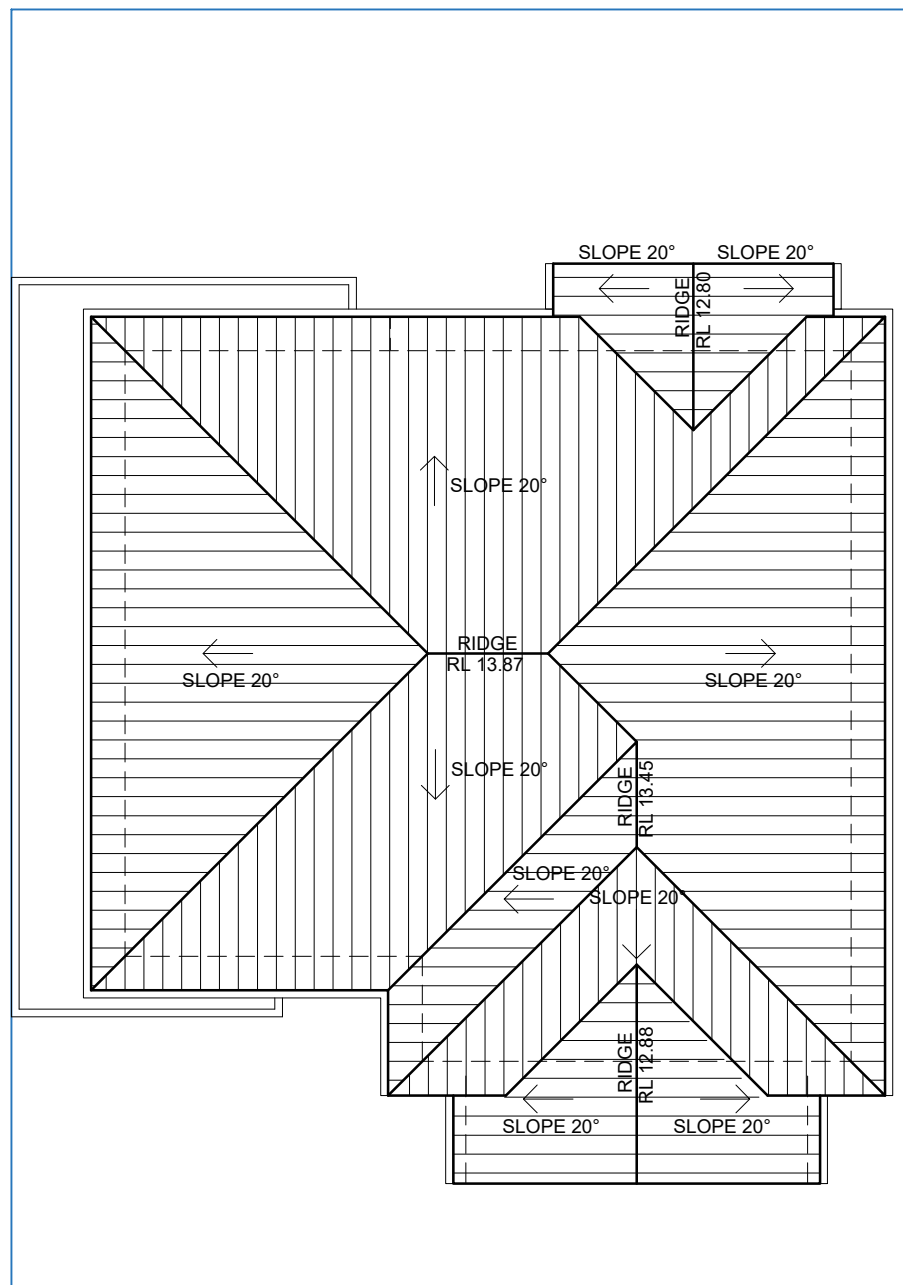




1 LOCATION PLAN  
SCALE 1:1000@A1 / 1:2000@A3



2 FIRST FLOOR PLAN  
SCALE 1:50@A1 / 1:100@A3



3 ROOF PLAN  
SCALE 1:50@A1 / 1:100@A3

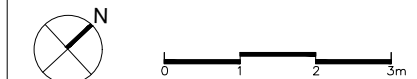
GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| HV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

|       |          |              |
|-------|----------|--------------|
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| ISSUE | DATE     | DESCRIPTION  |



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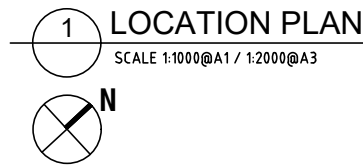
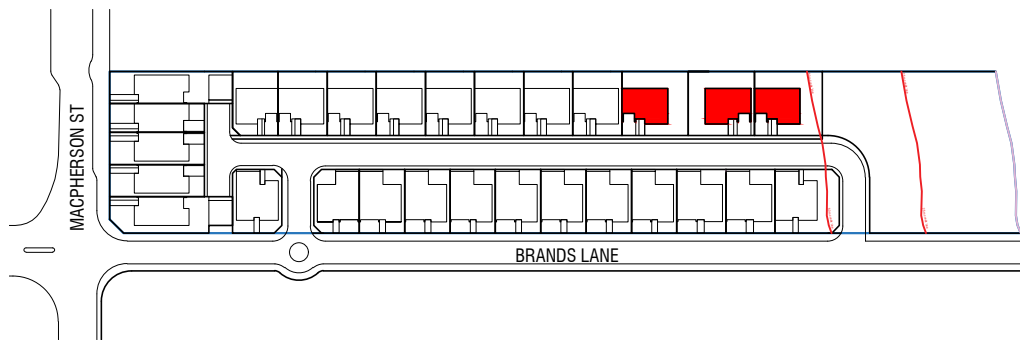
ARCHITECT:  
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Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
**TYPE A2**  
**FIRST FLOOR + ROOF**

|   |                              |                     |
|---|------------------------------|---------------------|
| DRAWN BY: SS  | CHECKED BY: HV               |                     |
| SCALE:<br>1:50@A1 / 1:100@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 103</b> | ISSUE:<br><b>01</b> |





## TYPE A3

LOTS 16-18

3 DWELLINGS 11 % of total units

INTERNAL AREA GF = 62 m<sup>2</sup>

1F = 83 m<sup>2</sup>

TOTAL = 145 m<sup>2</sup>

## PARKING SPACE 1

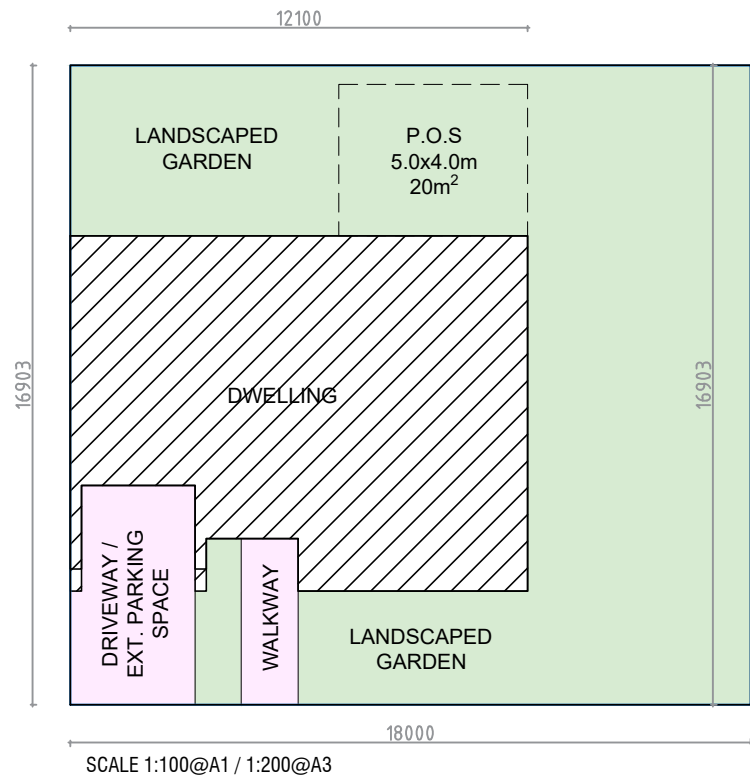
IN GARAGE (single)

6.0 x 3.0m = 18 m<sup>2</sup>

## PARKING SPACE 2

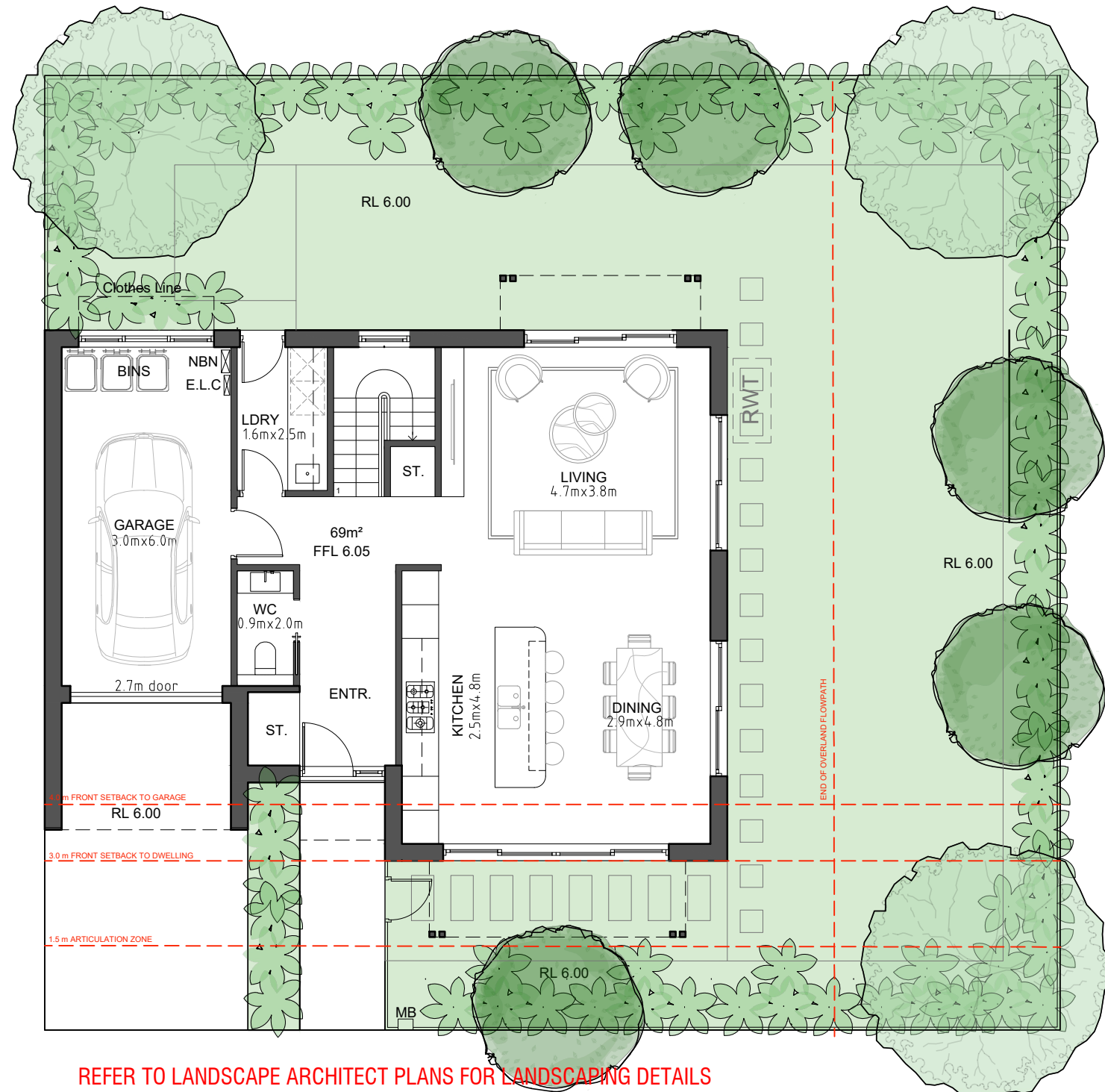
EXTERNAL (WITHIN LOT BOUNDARY)

5.5 x 3.0 = 16 m<sup>2</sup>

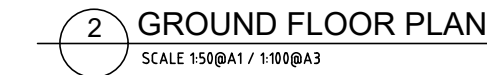


## SITE COVERAGE (TYPICAL LOT SIZE)

|                   |                    |
|-------------------|--------------------|
| LOT AREA          | 304 m <sup>2</sup> |
| BUILDING COVERAGE | 93 m <sup>2</sup>  |
| LANDSCAPE AREA    | 176 m <sup>2</sup> |
|                   | 58 % of Lot Area   |



REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS

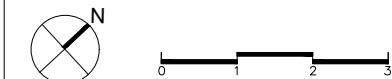


- GENERAL NOTES:
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LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| HV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

|       |          |              |
|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



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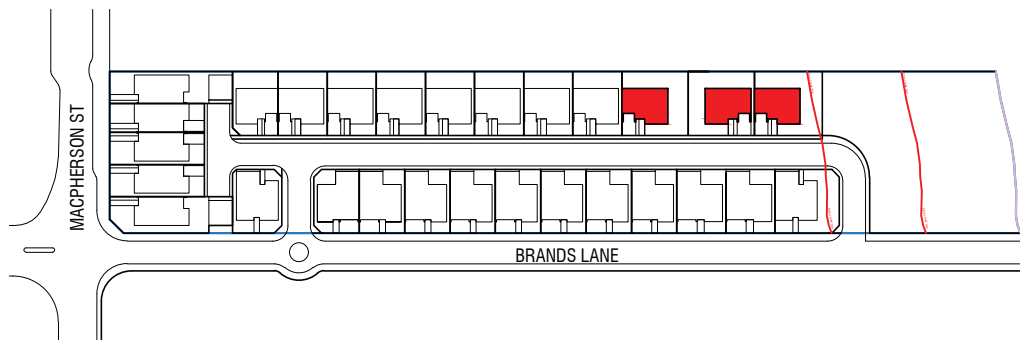
ARCHITECT:  
**PBD | ARCHITECTS**  
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P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
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Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

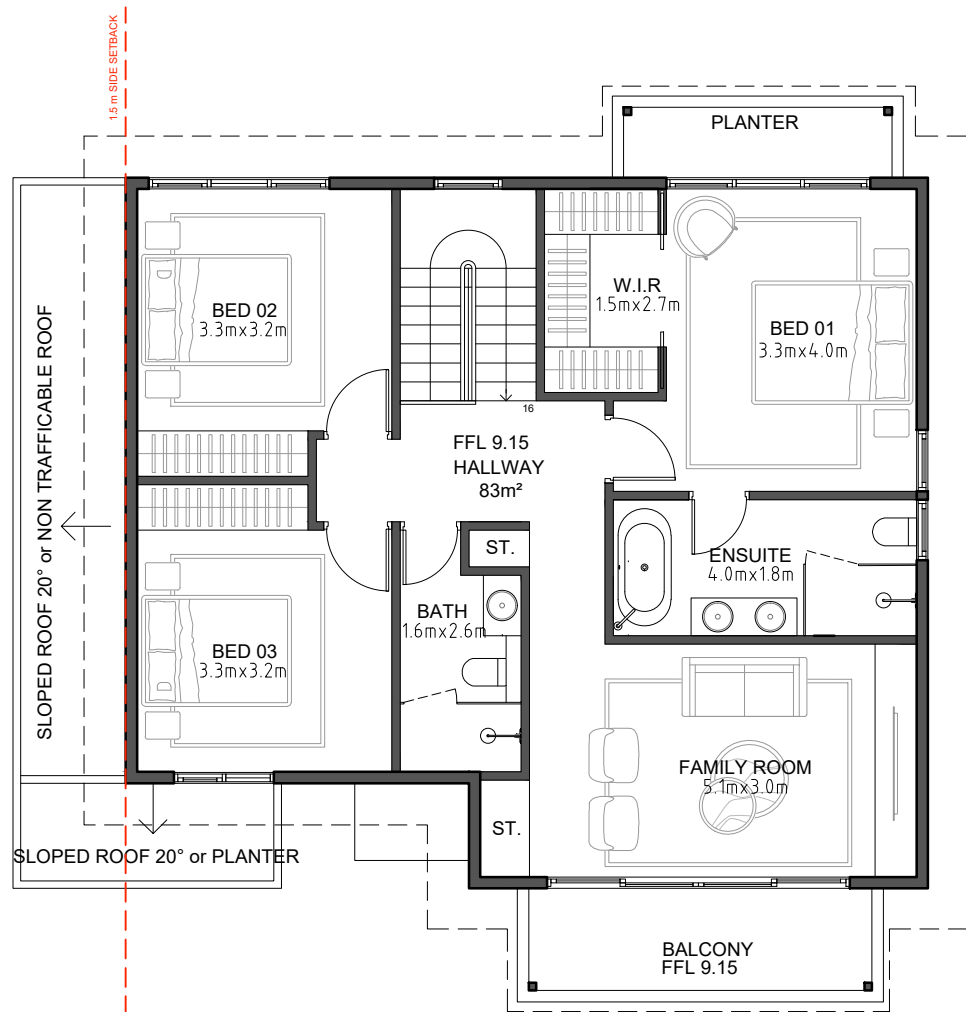
APR. 2023  
DRAWING TITLE:  
**TYPE A3**  
**GROUND FLOOR LEVEL**

|   |   |
|---|---|
| DRAWN BY: SS  | CHECKED BY: HV                                      |
| SCALE:<br>1:50@A1 / 1:100@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 104</b><br>ISSUE:<br><b>01</b> |

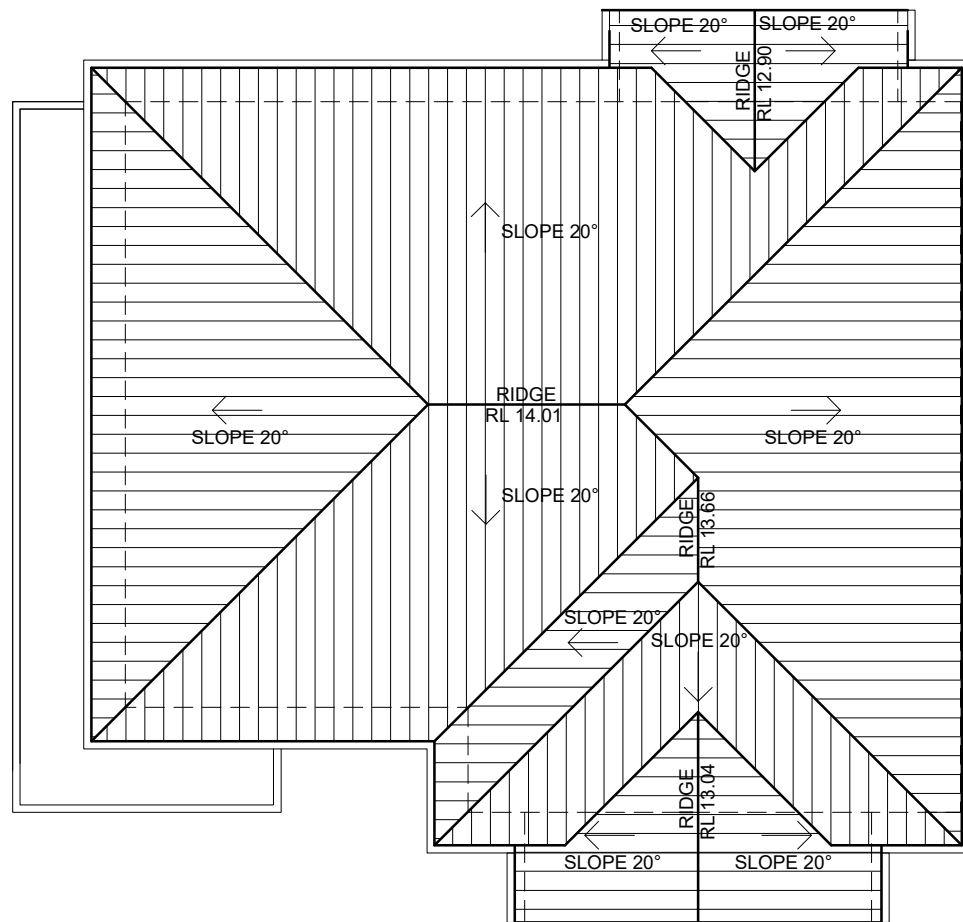




1 LOCATION PLAN  
SCALE 1:1000@A1 / 1:2000@A3



2 FIRST FLOOR PLAN  
SCALE 1:50@A1 / 1:100@A3



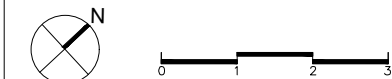
3 ROOF PLAN  
SCALE 1:50@A1 / 1:100@A3

- GENERAL NOTES:
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LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| HV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

|       |          |              |
|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



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IPM PROPERTY

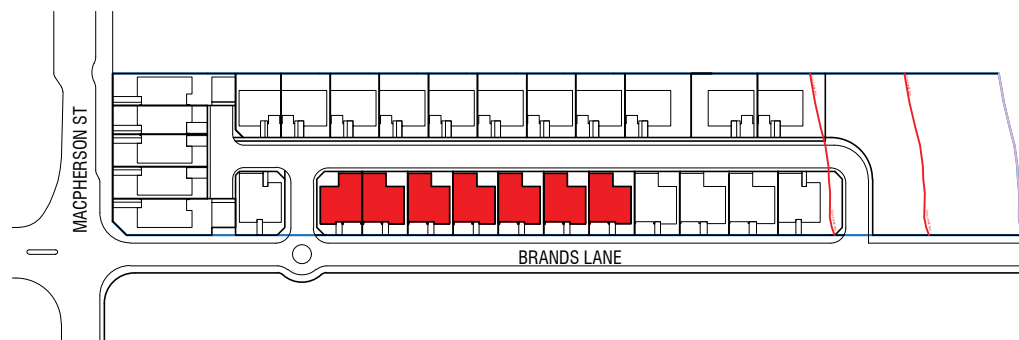
ARCHITECT:  
**PBD | ARCHITECTS**  
ABN 36 147 035 550  
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
**TYPE A3**  
**FIRST FLOOR + ROOF**

|   |                              |                     |
|---|------------------------------|---------------------|
| DRAWN BY: SS  | CHECKED BY: HV               |                     |
| SCALE:<br>1:50@A1 / 1:100@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 105</b> | ISSUE:<br><b>01</b> |

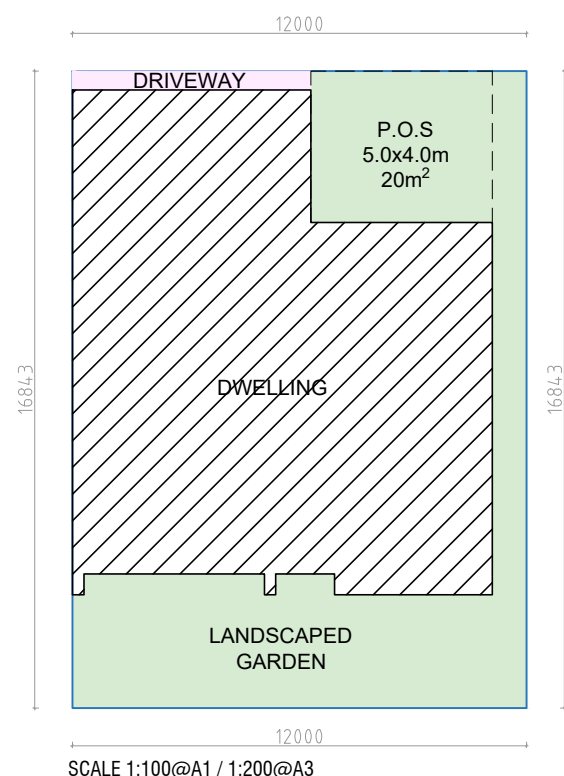




**TYPE B1**  
LOTS 23-29  
**7 DWELLINGS** = 25% of total units

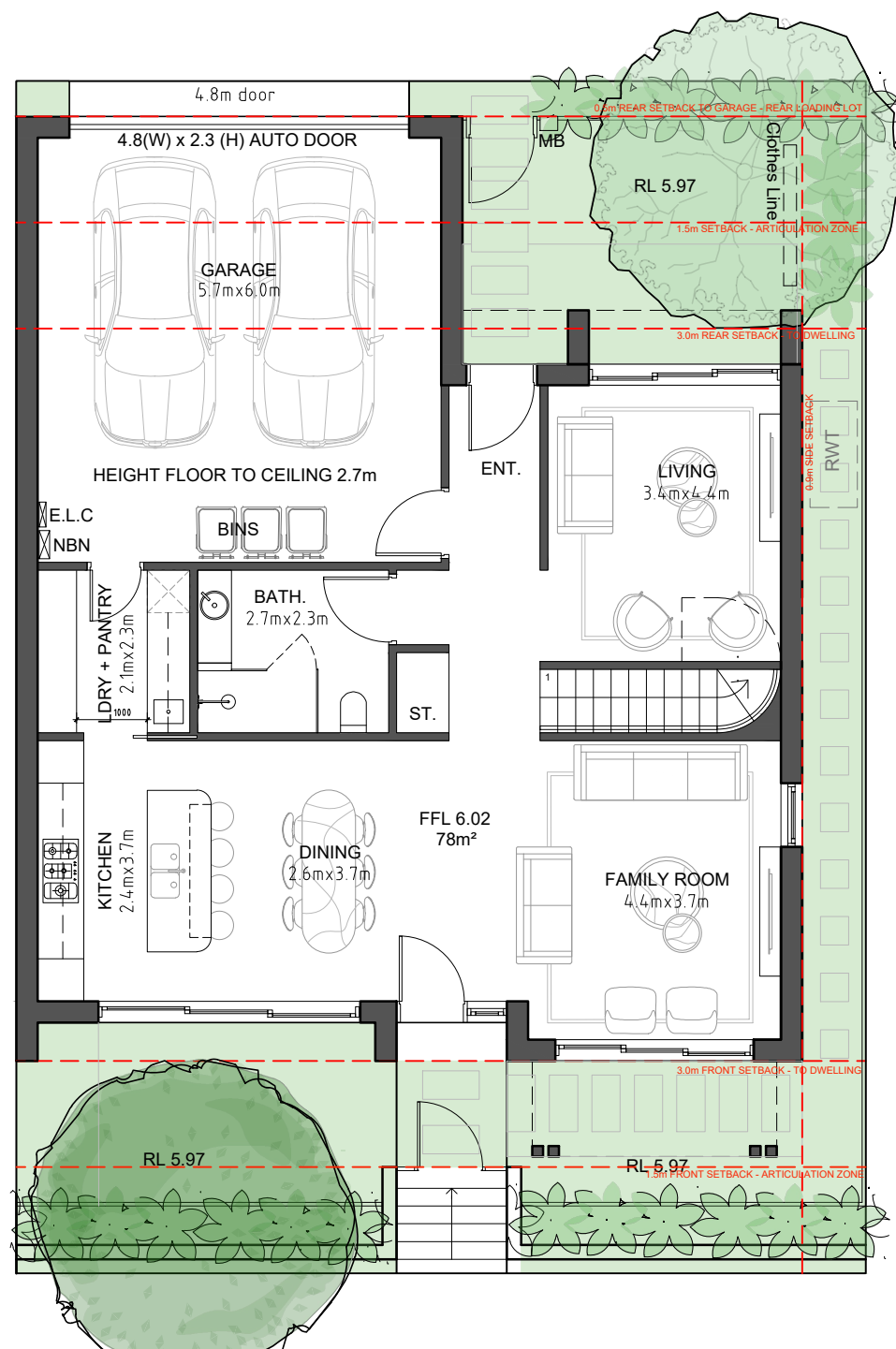
**INTERNAL AREA** GF = 78 m<sup>2</sup>  
1F = 91 m<sup>2</sup>  
**TOTAL** = 169 m<sup>2</sup>

**PARKING SPACES**  
**IN GARAGE** (double)  
5.7 x 6.0m = 34 m<sup>2</sup>

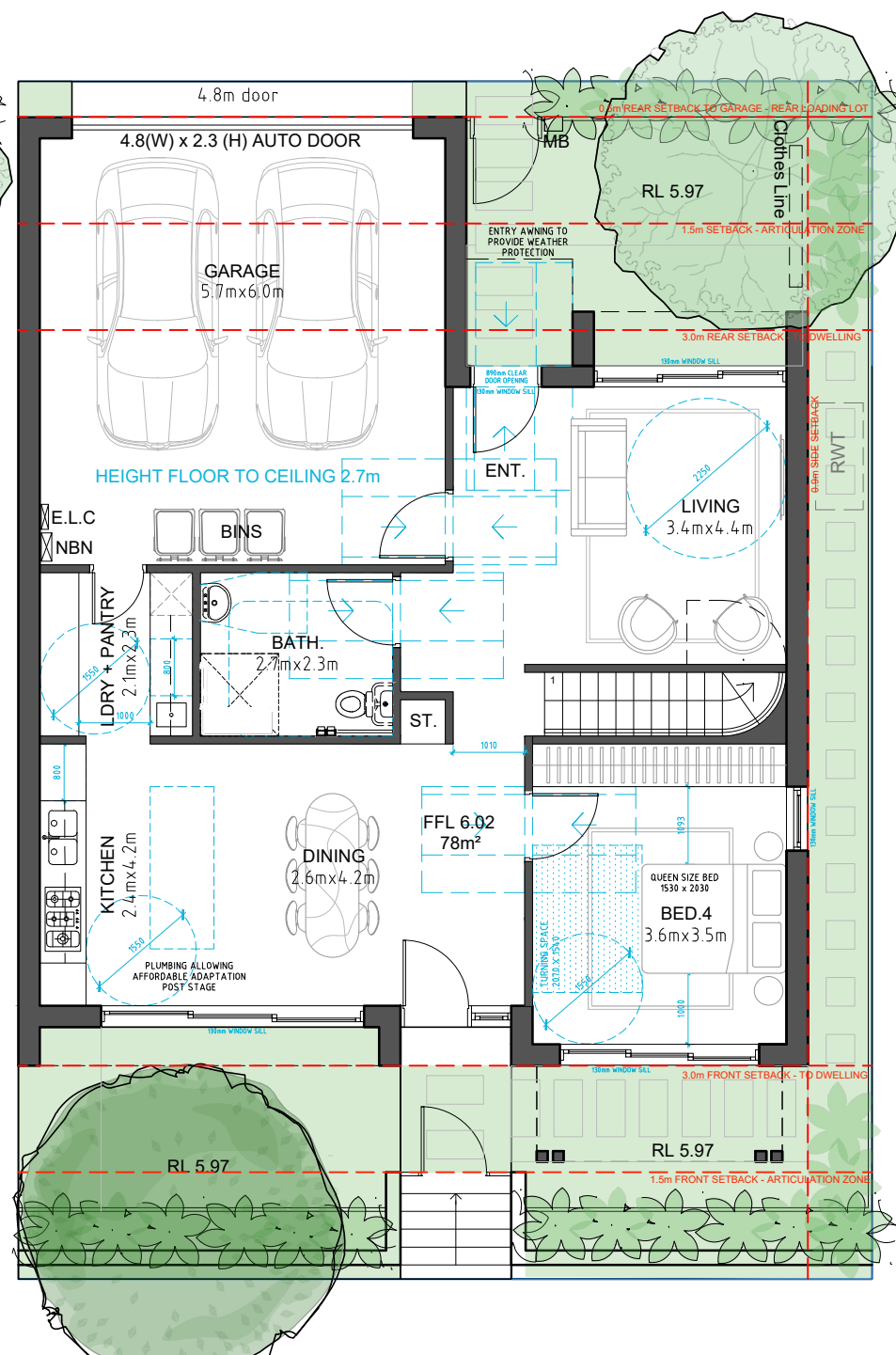


**SITE COVERAGE (TYPICAL LOT SIZE)**

|  |                   |                    |
|--|-------------------|--------------------|
|  | LOT AREA          | 202 m <sup>2</sup> |
|  | BUILDING COVERAGE | 126 m <sup>2</sup> |
|  | LANDSCAPE AREA    | 71 m <sup>2</sup>  |
|  |                   | 35% of site area   |



**2 GROUND FLOOR PLAN - PRE ADAPTATION**  
SCALE 1:50@A1 / 1:100@A3

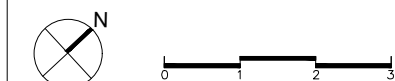


**3 GROUND FLOOR PLAN - POST ADAPTATION**  
SCALE 1:50@A1 / 1:100@A3

- GENERAL NOTES:**
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES / LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
  - DRAWINGS FOR THE PURPOSES OF DA ONLY - FURTHER CONSULTANT / AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
  - ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
  - COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
  - AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

- LEGEND:**
- AW AWNING
  - HW HIGHLIGHT WINDOW
  - CU A/C CONDENSER UNITS
  - FH FIRE HYDRANT
  - FHR FIRE HOSE REEL
  - FS FIRE STAIRS
  - HV MECHANICAL RISER TO FUTURE DETAIL
  - GC GARBAGE CHUTE
  - MB MAILBOX TO FUTURE DETAIL
  - PB PLANTERBOX
  - R 240L RECYCLING BIN
  - SK SKYLIGHT
  - ST STORAGE
  - WT HOT WATER UNITS

|       |          |              |
|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



CLIENT:  
IPM PROPERTY

ARCHITECT:  
**PBD ARCHITECTS**  
ABN 36 147 035 550  
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
**TYPE B1**  
**GROUND FLOOR LEVEL**  
**PRE + POST ADAPTATION**

DRAWN BY: SS  
CHECKED BY: HV

|   |                              |                     |
|---|------------------------------|---------------------|
| SCALE:<br>1:50@A1 / 1:100@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 106</b> | ISSUE:<br><b>01</b> |
|---|------------------------------|---------------------|

REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS

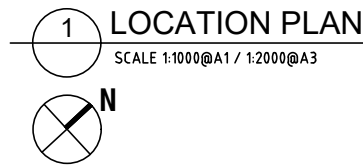
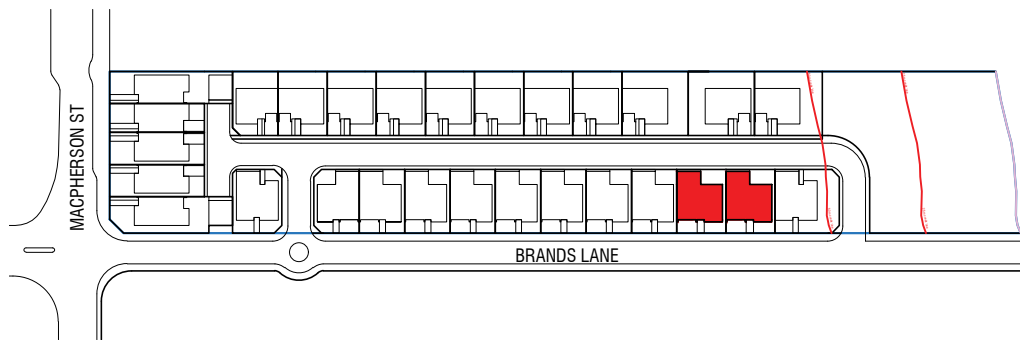




- LEGEND:**
- |     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| MV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARAGE CHUTE                      |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

|                              |                              |                     |
|------------------------------|------------------------------|---------------------|
| DRAWN BY: SS                 | CHECKED BY: HV               |                     |
| SCALE:<br>1:50@A1 / 1:100@A3 | DRAWING NO:<br><b>DA 107</b> | ISSUE:<br><b>01</b> |
| PROJECT NO:<br>2235          |                              |                     |

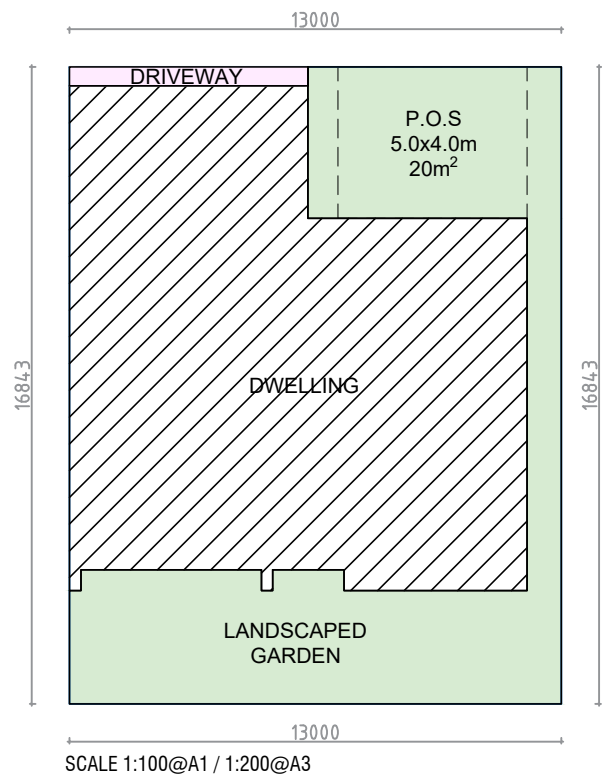




**TYPE B2**  
LOTS 20, 21  
**2 DWELLINGS** = 7% of total units

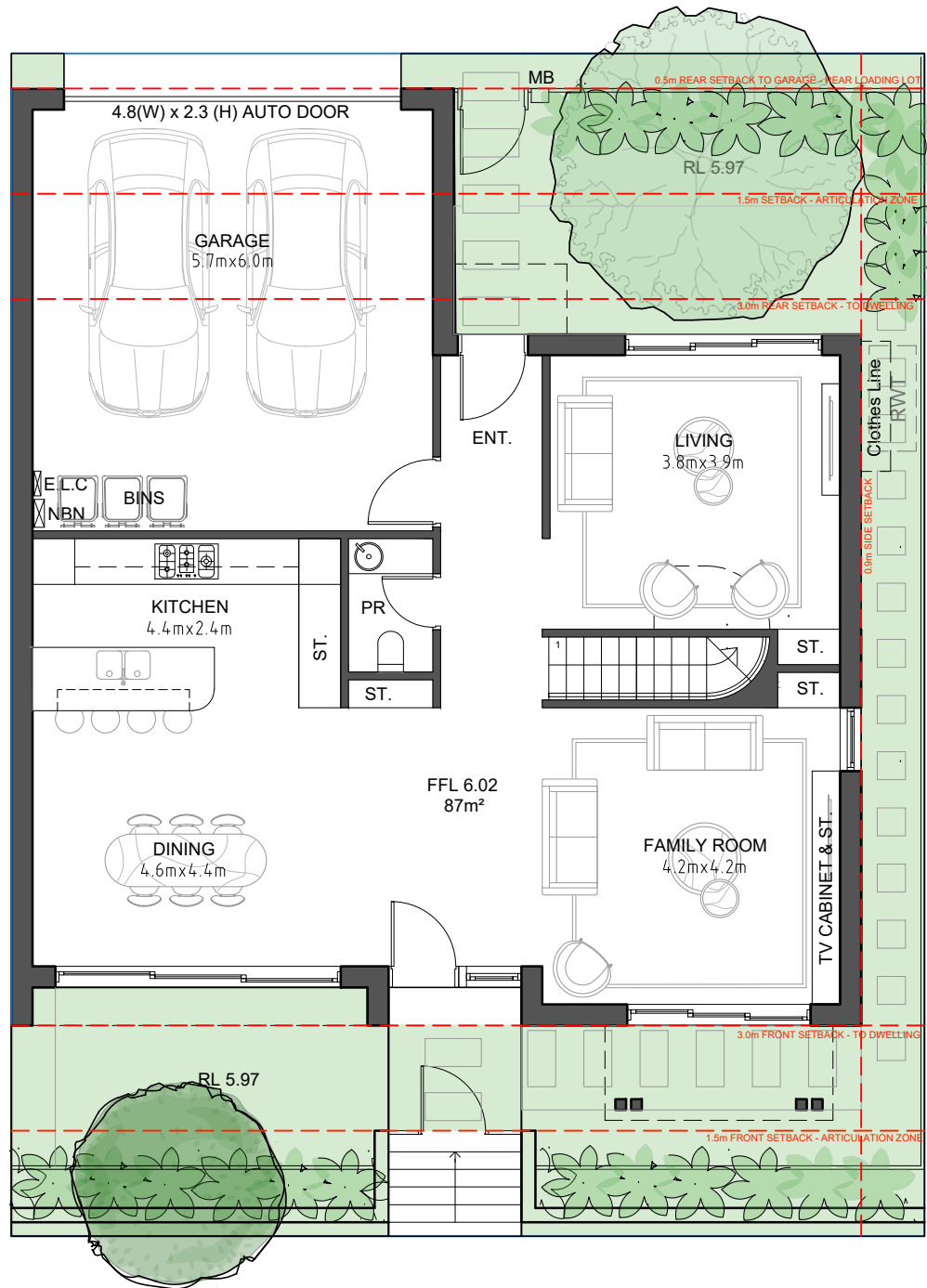
**INTERNAL AREA** GF = 87 m<sup>2</sup>  
1F = 101 m<sup>2</sup>  
**TOTAL** = 188 m<sup>2</sup>

**PARKING SPACES**  
**IN GARAGE** (double)  
5.7 x 6.0m = 34 m<sup>2</sup>



**SITE COVERAGE (TYPICAL LOT SIZE)**

|  |                   |                                       |
|--|-------------------|---------------------------------------|
|  | LOT AREA          | 219 m <sup>2</sup>                    |
|  | BUILDING COVERAGE | 137 m <sup>2</sup>                    |
|  | LANDSCAPE AREA    | 77 m <sup>2</sup><br>35% of site area |



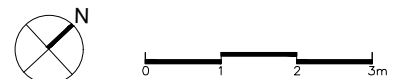
**2 GROUND FLOOR PLAN**  
SCALE 1:50@A1 / 1:100@A3

- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
  - DRAWINGS FOR THE PURPOSES OF DA ONLY - FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
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LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| HV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

|       |          |              |
|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



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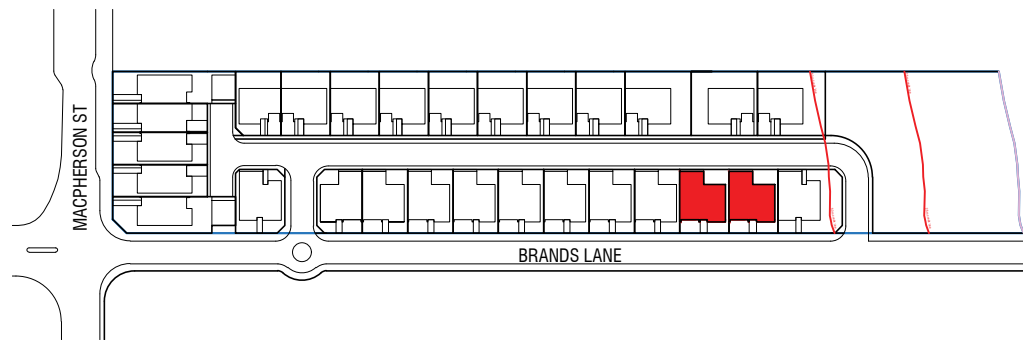
ARCHITECT:  
**PBD | ARCHITECTS**  
ABN 36 147 035 550  
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
**28 TERRACES**  
16 MACPHERSON STREET  
WARRIEWOOD

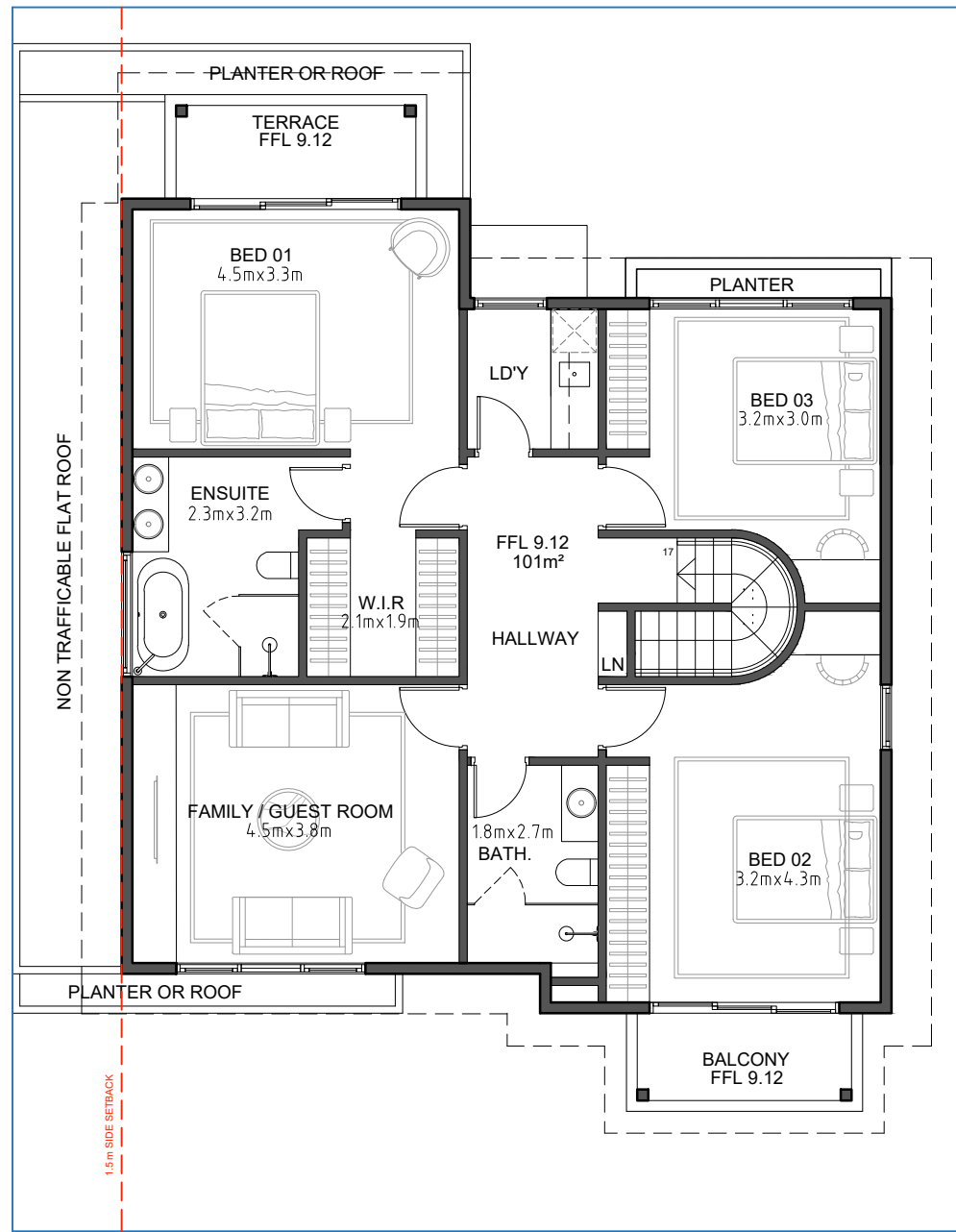
APR. 2023  
DRAWING TITLE:  
**TYPE B2**  
**GROUND FLOOR LEVEL**

|   |                              |                     |
|---|------------------------------|---------------------|
| DRAWN BY: SS  | CHECKED BY: HV               |                     |
| SCALE:<br>1:50@A1 / 1:100@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 108</b> | ISSUE:<br><b>01</b> |

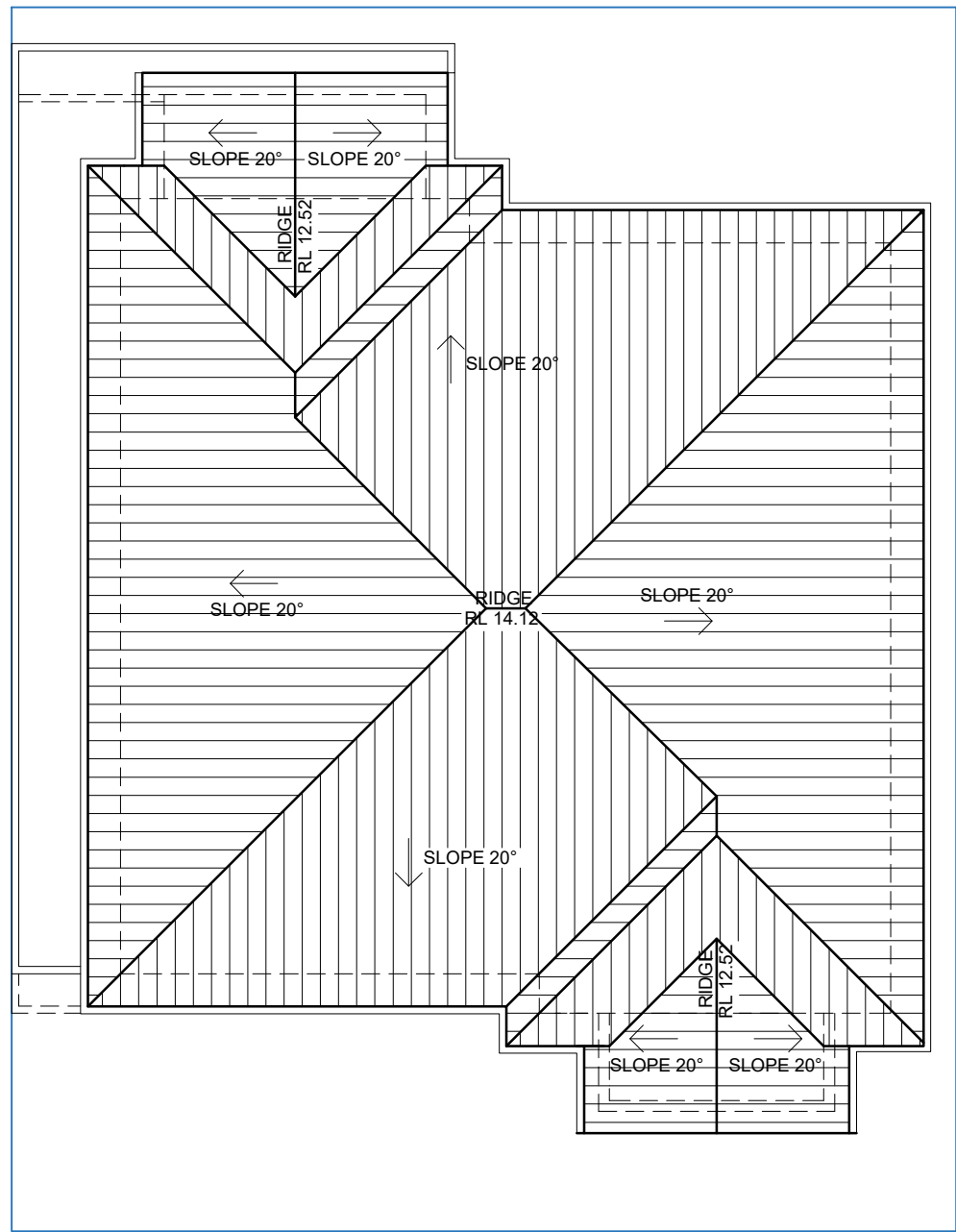




1 LOCATION PLAN  
SCALE 1:1000@A1 / 1:2000@A3



2 FIRST FLOOR PLAN  
SCALE 1:50@A1 / 1:100@A3



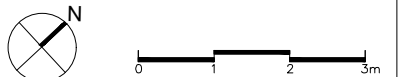
3 ROOF PLAN  
SCALE 1:50@A1 / 1:100@A3

- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| HV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

|       |          |              |
|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



CLIENT:  
IPM PROPERTY

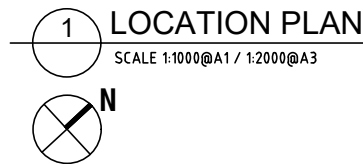
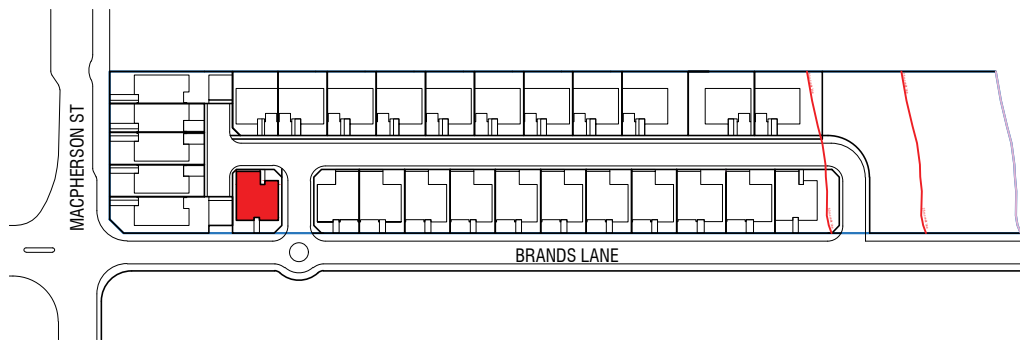
ARCHITECT:  
**PBD | ARCHITECTS**  
ABN 36 147 035 550  
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
**TYPE B2**  
**FIRST FLOOR + ROOF**

|   |                              |                     |
|---|------------------------------|---------------------|
| DRAWN BY: SS  | CHECKED BY: HV               |                     |
| SCALE:<br>1:50@A1 / 1:100@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 109</b> | ISSUE:<br><b>01</b> |





## TYPE B3

LOT 7

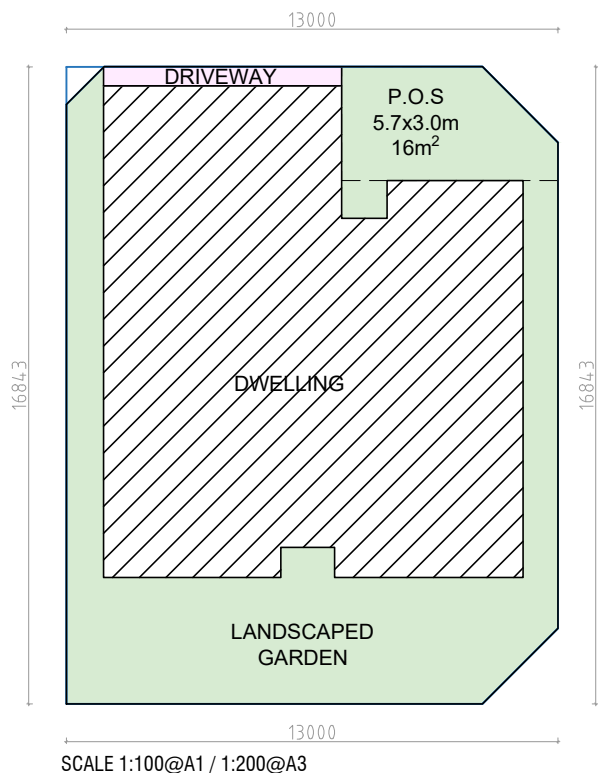
1 DWELLING = 3.5% of total units

INTERNAL AREA GF = 80 m<sup>2</sup>  
1F = 91 m<sup>2</sup>  
TOTAL = 171 m<sup>2</sup>

## PARKING SPACES

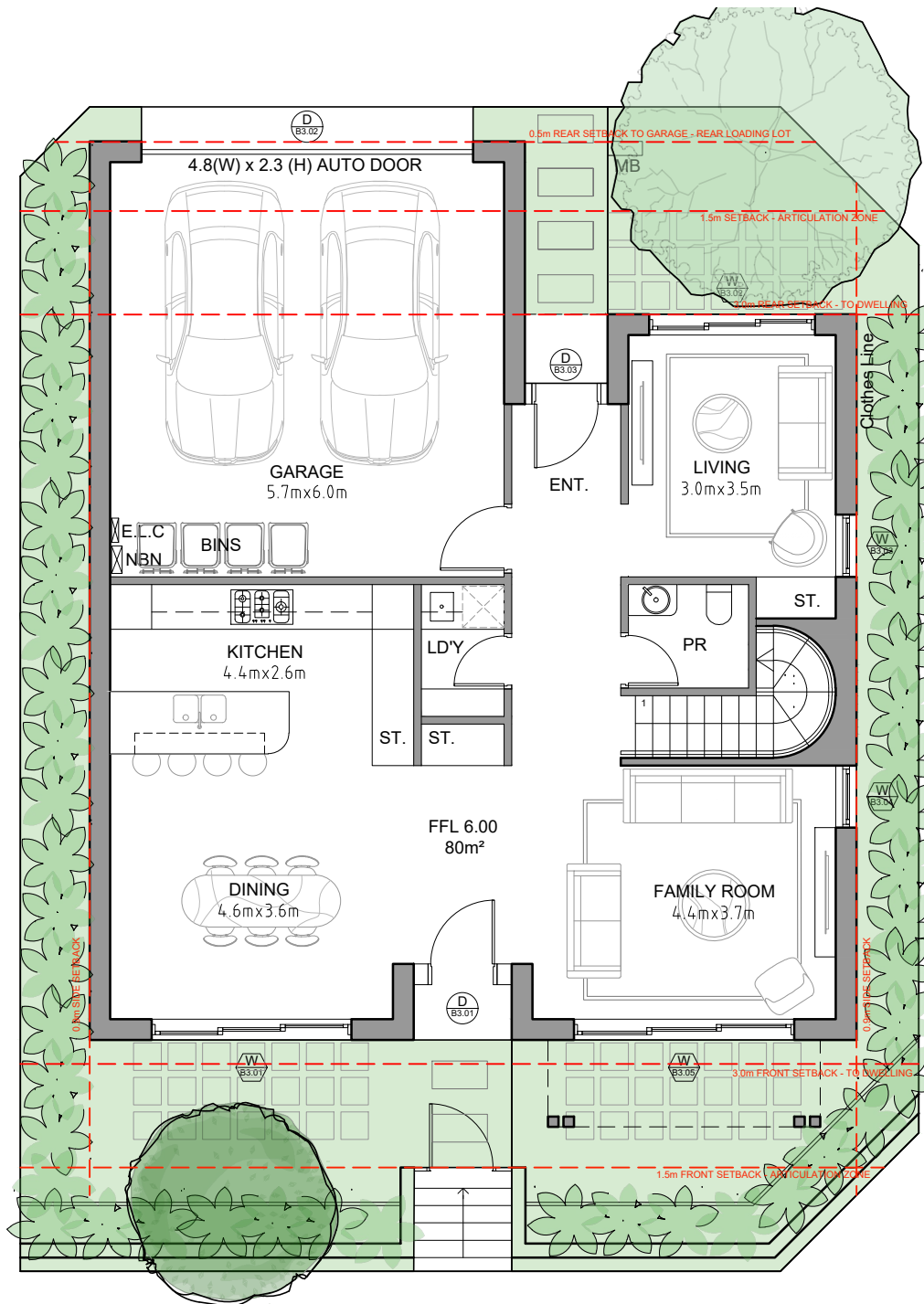
IN GARAGE (double)

5.7 x 6.0m = 34 m<sup>2</sup>



## SITE COVERAGE (TYPICAL LOT SIZE)

|                   |                                       |
|-------------------|---------------------------------------|
| LOT AREA          | 214 m <sup>2</sup>                    |
| BUILDING COVERAGE | 130 m <sup>2</sup>                    |
| LANDSCAPE AREA    | 78 m <sup>2</sup><br>36% of site area |



REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS



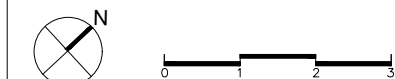
GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| HV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

|       |          |              |
|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



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ARCHITECT:  
**PBD | ARCHITECTS**  
ABN 36 147 035 550  
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
**TYPE B3**  
**GROUND FLOOR LEVEL**

|   |   |
|---|---|
| DRAWN BY: SS  | CHECKED BY: HV                                      |
| SCALE:<br>1:50@A1 / 1:100@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 110</b><br>ISSUE:<br><b>01</b> |





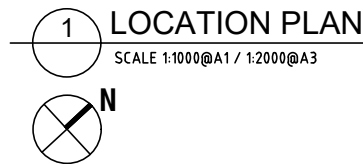
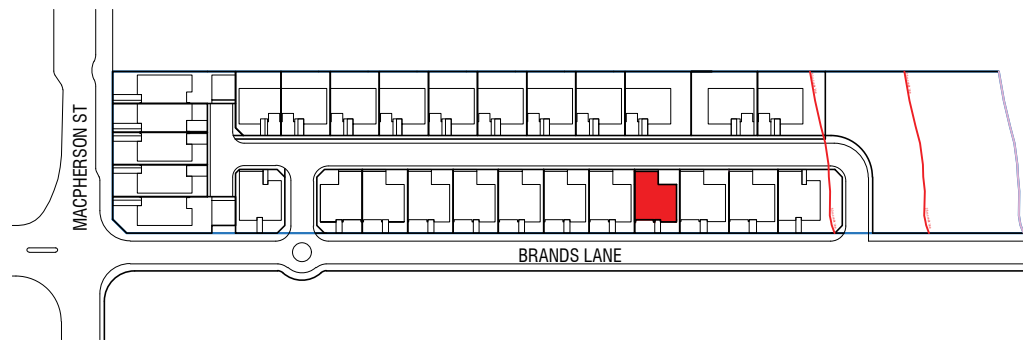
**LEGEND:**

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| MV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

ARCHITECT: **PBD | ARCHITECTS**  
 ABN 36 147 035 550  
 P - 02 9698 8140 E - [info@pbdarchitects.com.au](mailto:info@pbdarchitects.com.au) W - [www.pbdarchitects.com.au](http://www.pbdarchitects.com.au)  
 Level 2, 52 Albion Street, Surry Hills NSW 2010  
 Nominated Architect: Paul Buljivic NSW 7768

|                              |                              |                     |
|------------------------------|------------------------------|---------------------|
| DRAWN BY: SS                 | CHECKED BY: HV               |                     |
| SCALE:<br>1:50@A1 / 1:100@A3 | DRAWING NO:<br><b>DA 111</b> | ISSUE:<br><b>01</b> |
| PROJECT NO:<br>2235          |                              |                     |





## TYPE B4

LOT 22

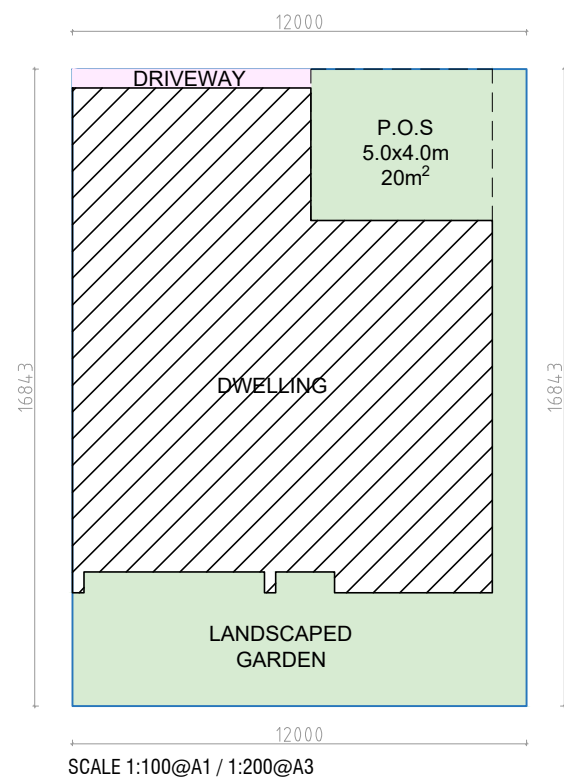
1 DWELLING = 3.5% of total units

INTERNAL AREA GF = 78 m<sup>2</sup>  
1F = 91 m<sup>2</sup>  
TOTAL = 169 m<sup>2</sup>

## PARKING SPACES

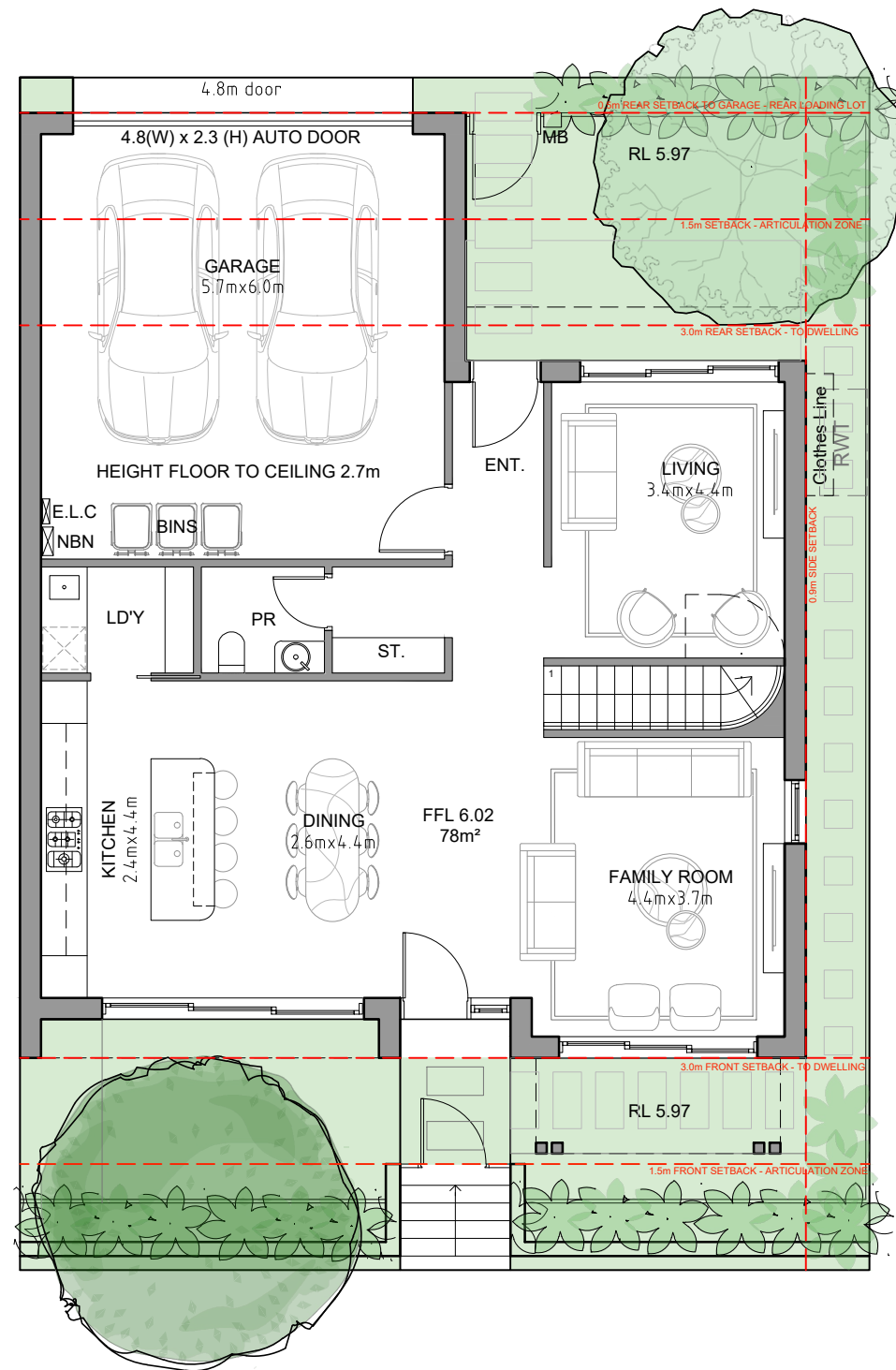
IN GARAGE (double)

5.7 x 6.0m = 34 m<sup>2</sup>



## SITE COVERAGE (TYPICAL LOT SIZE)

|                   |                                       |
|-------------------|---------------------------------------|
| LOT AREA          | 202 m <sup>2</sup>                    |
| BUILDING COVERAGE | 126 m <sup>2</sup>                    |
| LANDSCAPE AREA    | 71 m <sup>2</sup><br>35% of site area |



2 GROUND FLOOR PLAN  
SCALE 1:50@A1 / 1:100@A3

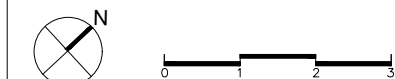
REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS

- GENERAL NOTES:
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LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| HV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

|       |          |              |
|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



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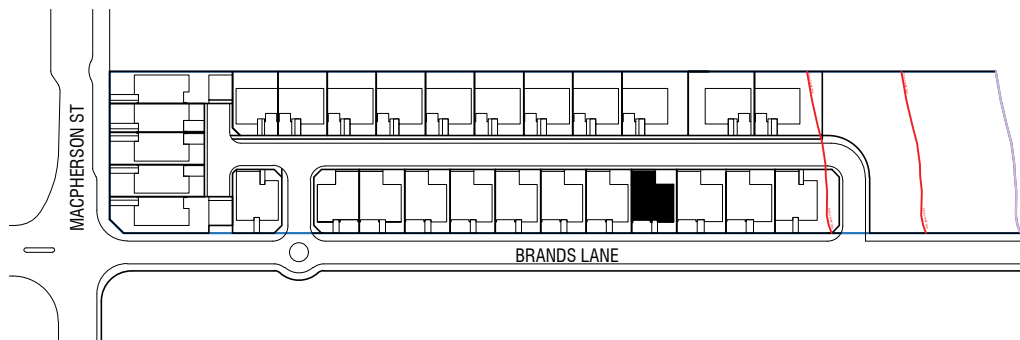
ARCHITECT:  
**PBD | ARCHITECTS**  
ABN 36 147 035 550  
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

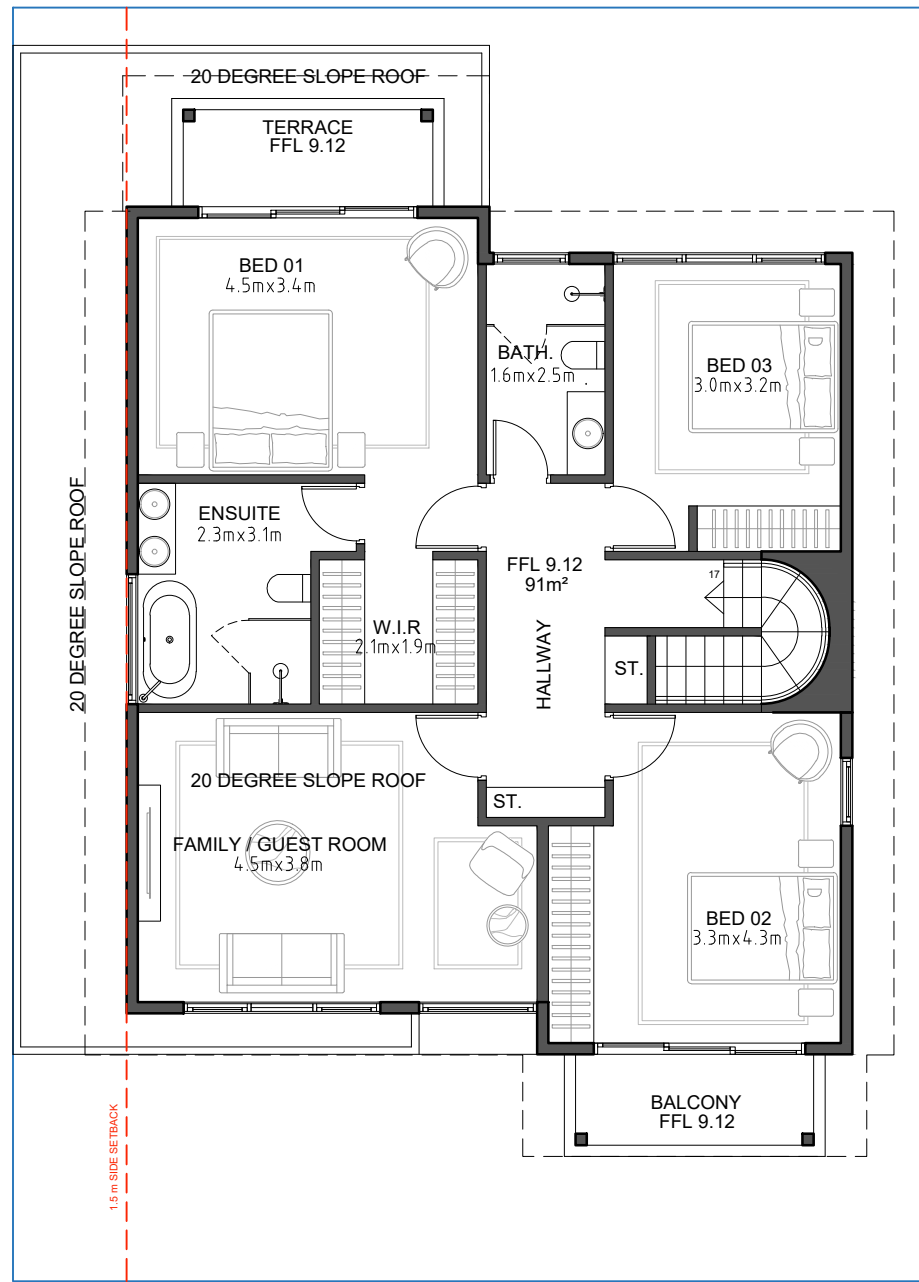
APR. 2023  
DRAWING TITLE:  
**TYPE B4**  
**GROUND FLOOR LEVEL**  
**PRE + POST ADAPTATION**

|   |                              |                     |
|---|------------------------------|---------------------|
| DRAWN BY: SS  | CHECKED BY: HV               |                     |
| SCALE:<br>1:50@A1 / 1:100@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 112</b> | ISSUE:<br><b>01</b> |

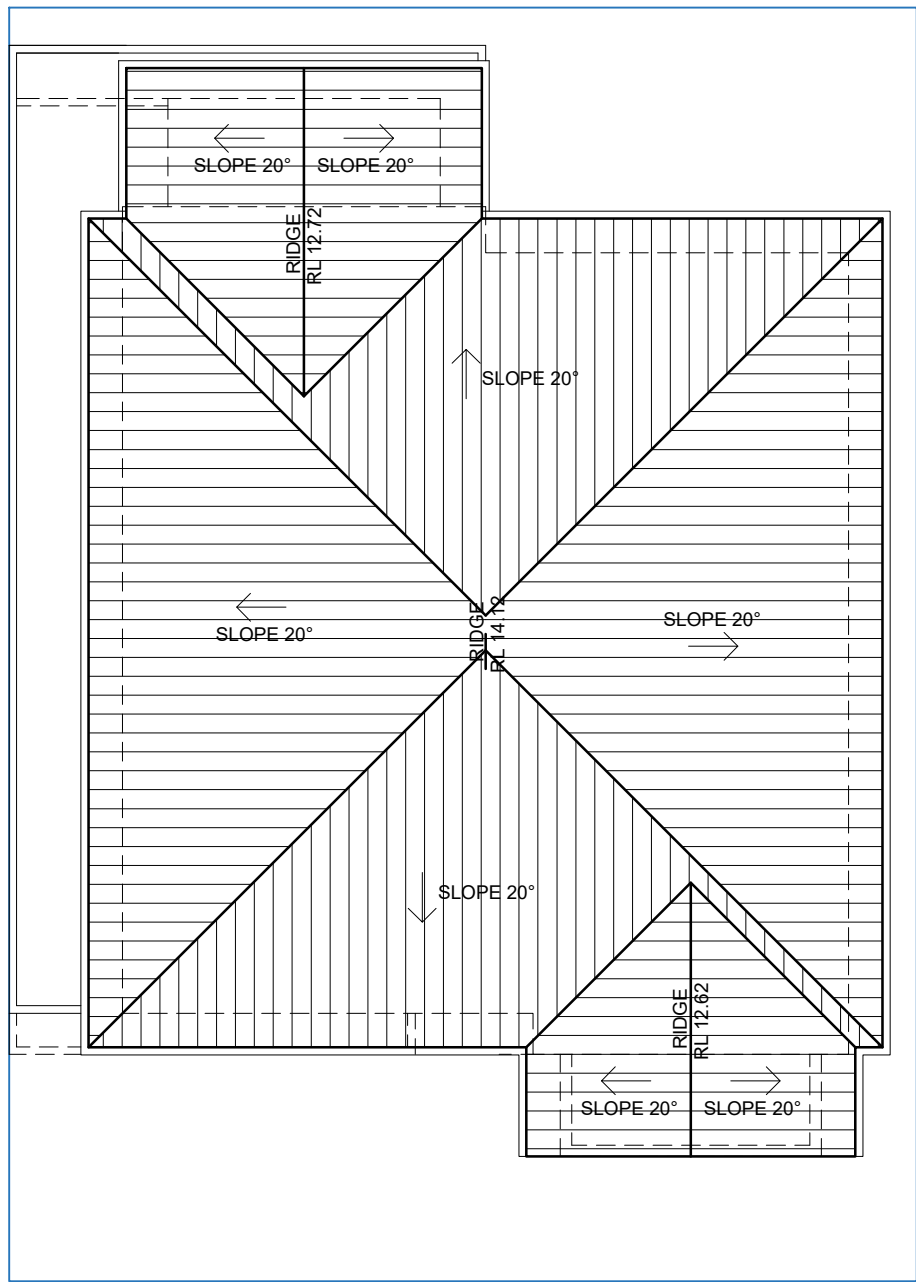




1 LOCATION PLAN  
SCALE 1:1000@A1 / 1:2000@A3



2 FIRST FLOOR PLAN  
SCALE 1:50@A1 / 1:100@A3



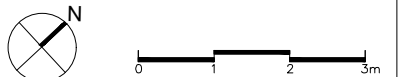
3 ROOF PLAN  
SCALE 1:50@A1 / 1:100@A3

- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| HV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

|       |          |              |
|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



CLIENT:  
IPM PROPERTY

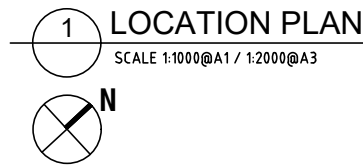
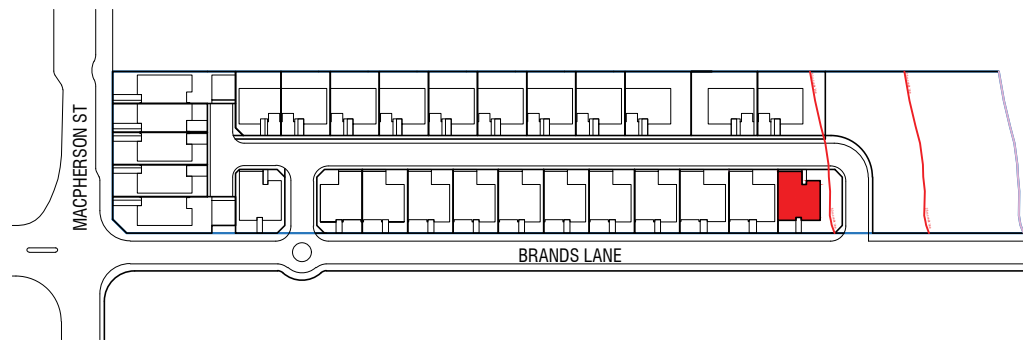
ARCHITECT:  
**PBD | ARCHITECTS**  
ABN 36 147 035 550  
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
**TYPE B4**  
**FIRST FLOOR + ROOF**

|   |                              |                     |
|---|------------------------------|---------------------|
| DRAWN BY: SS  | CHECKED BY: HV               |                     |
| SCALE:<br>1:50@A1 / 1:100@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 113</b> | ISSUE:<br><b>01</b> |

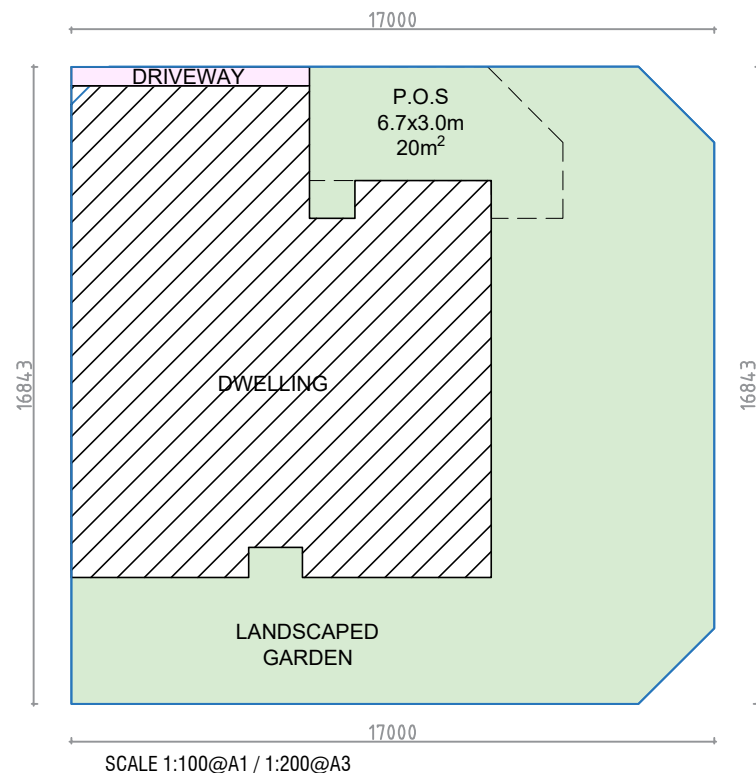




**TYPE B5**  
**LOT 19**  
**1 DWELLING** = 3.5% of total units

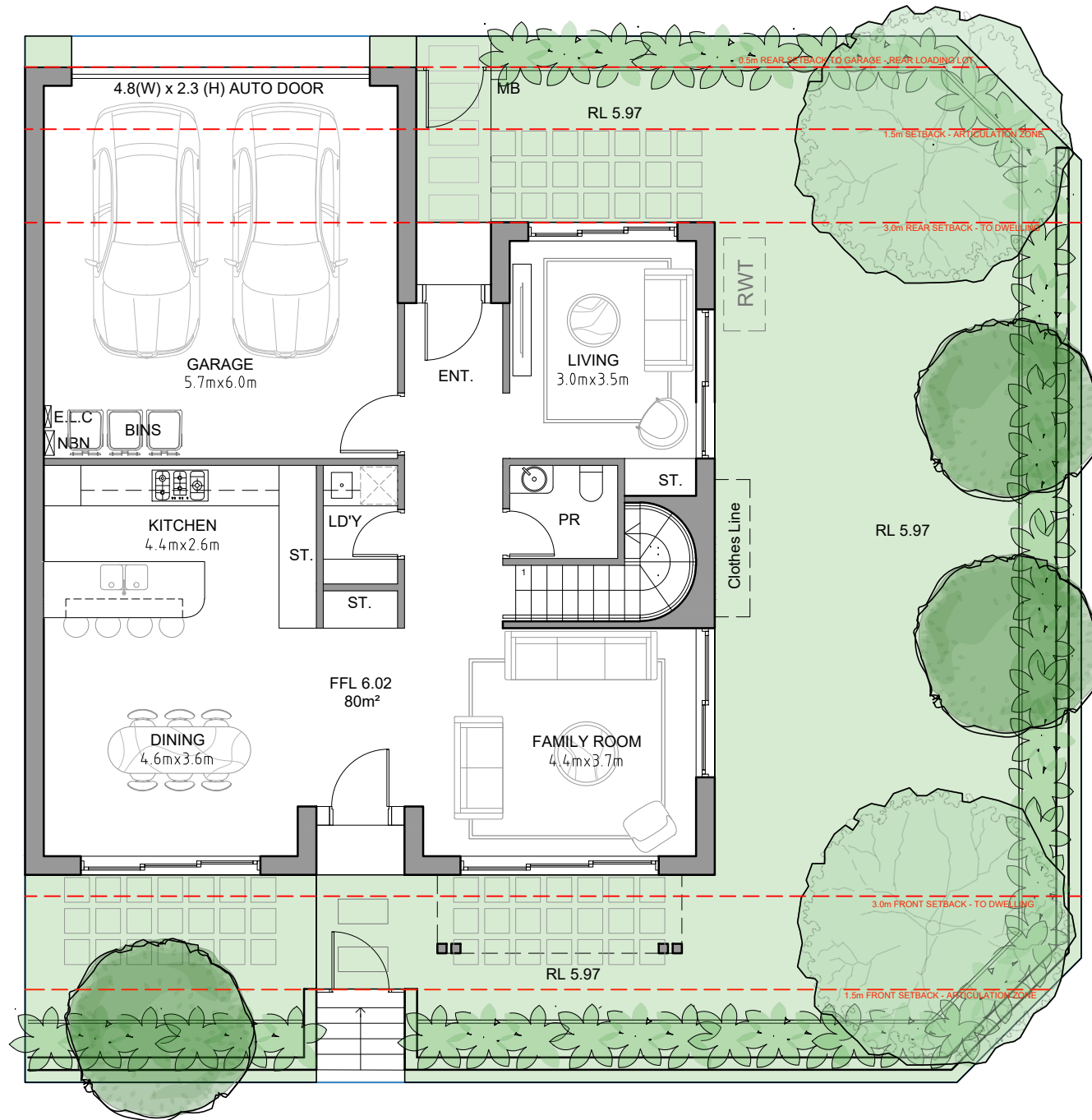
**INTERNAL AREA** GF = 80 m<sup>2</sup>  
1F = 91 m<sup>2</sup>  
**TOTAL** = 171 m<sup>2</sup>

**PARKING SPACES**  
**IN GARAGE** (double)  
5.7 x 6.0m = 34 m<sup>2</sup>



**SITE COVERAGE (TYPICAL LOT SIZE)**

|  |                   |  |
|--|-------------------|--|
|  | LOT AREA          | 282 m <sup>2</sup>                     |
|  | BUILDING COVERAGE | 130 m <sup>2</sup>                     |
|  | LANDSCAPE AREA    | 135 m <sup>2</sup><br>48% of site area |



REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS

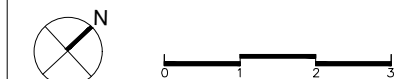


- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
  - DRAWINGS FOR THE PURPOSES OF DA ONLY - FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
  - ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
  - COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
  - AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| HV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

|       |          |              |
|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



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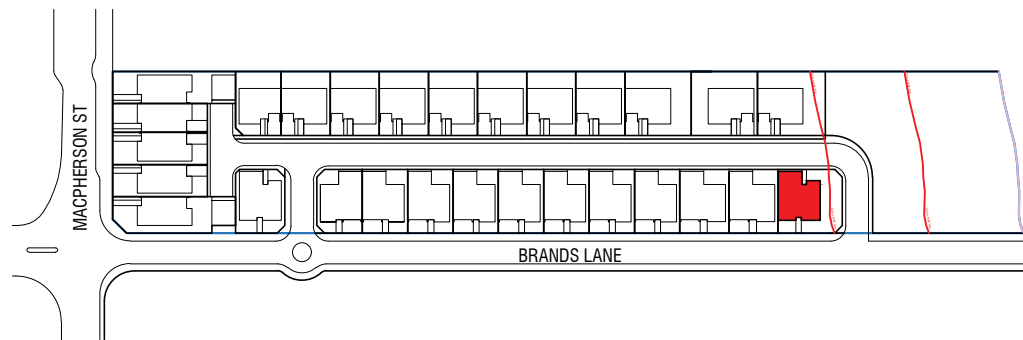
ARCHITECT:  
**PBD | ARCHITECTS**  
ABN 36 147 035 550  
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

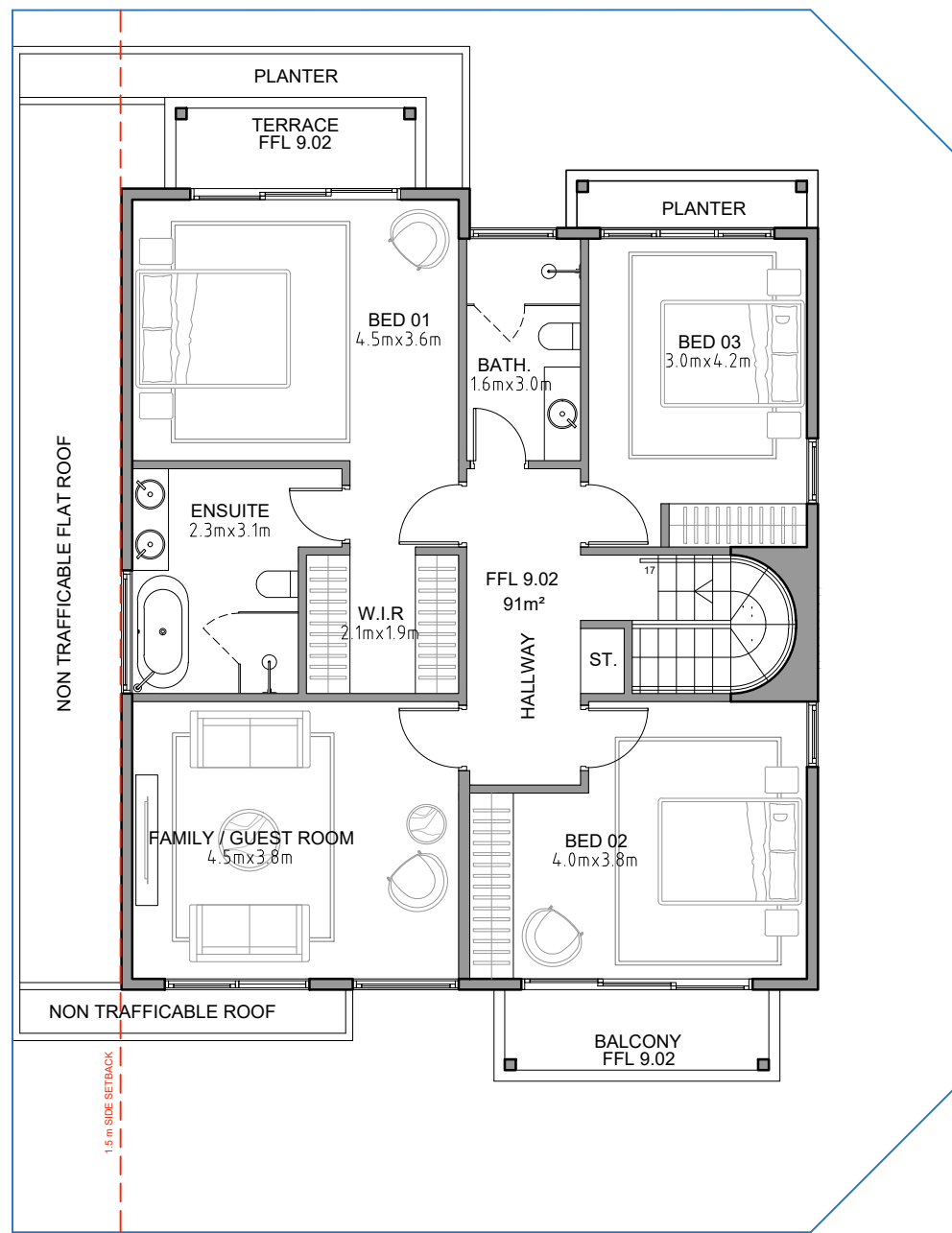
APR. 2023  
DRAWING TITLE:  
**TYPE B5**  
**GROUND FLOOR LEVEL**

|   |                              |                     |
|---|------------------------------|---------------------|
| DRAWN BY: SS  | CHECKED BY: HV               |                     |
| SCALE:<br>1:50@A1 / 1:100@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 114</b> | ISSUE:<br><b>01</b> |

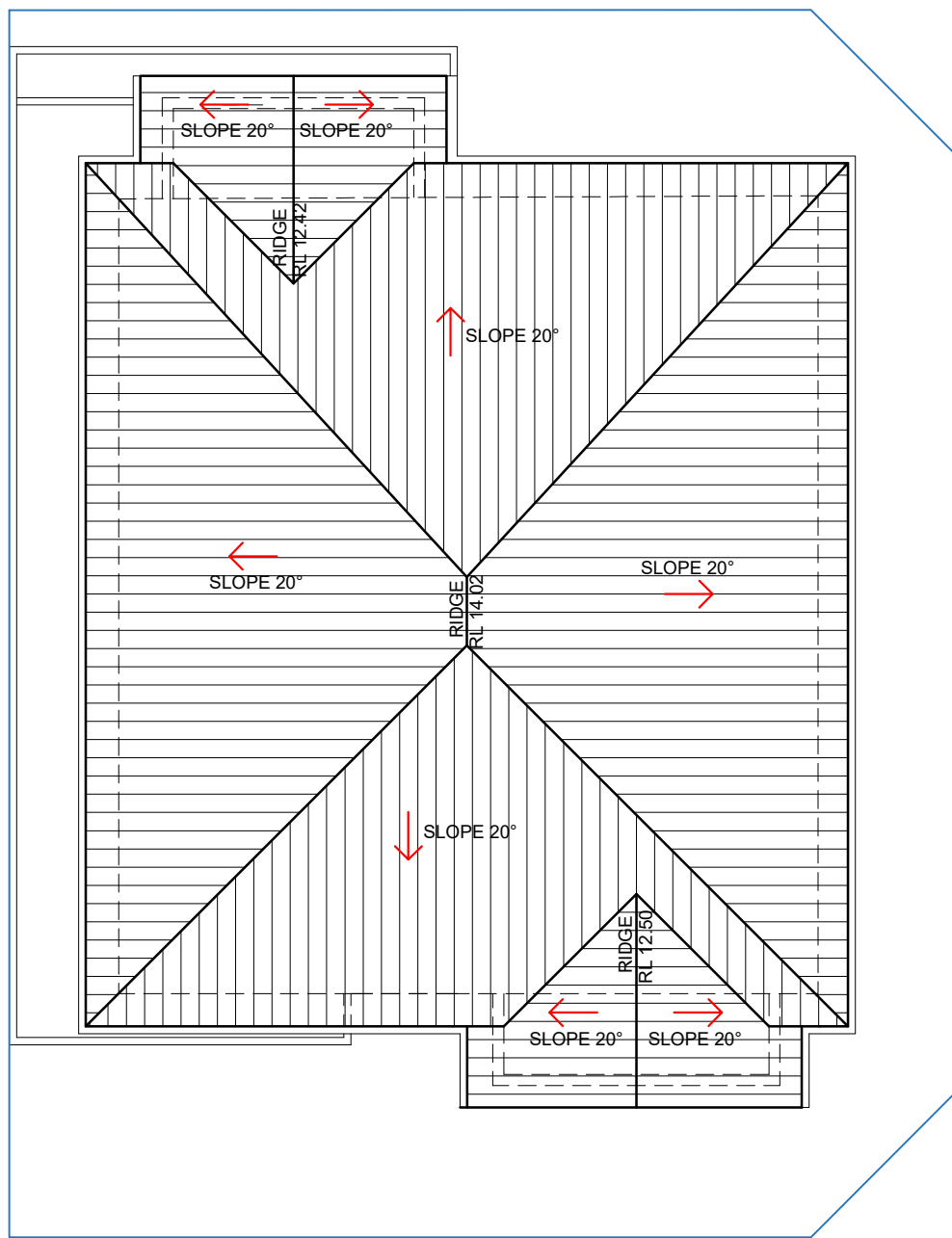




1 LOCATION PLAN  
SCALE 1:1000@A1 / 1:2000@A3



2 FIRST FLOOR PLAN  
SCALE 1:50@A1 / 1:100@A3

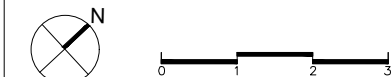


3 ROOF PLAN  
SCALE 1:50@A1 / 1:100@A3

- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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- LEGEND:
- AW AWNING
  - HW HIGHLIGHT WINDOW
  - CU A/C CONDENSER UNITS
  - FH FIRE HYDRANT
  - FHR FIRE HOSE REEL
  - FS FIRE STAIRS
  - HV MECHANICAL RISER TO FUTURE DETAIL
  - GC GARBAGE CHUTE
  - MB MAILBOX TO FUTURE DETAIL
  - PB PLANTERBOX
  - R 240L RECYCLING BIN
  - SK SKYLIGHT
  - ST STORAGE
  - WT HOT WATER UNITS

|       |          |              |
|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



CLIENT:  
IPM PROPERTY

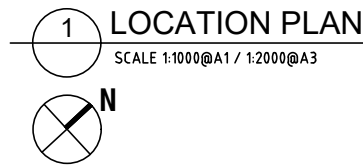
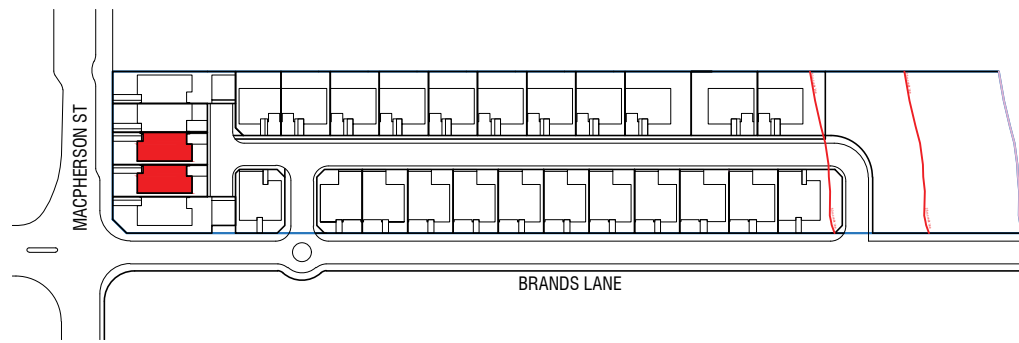
ARCHITECT:  
**PBD | ARCHITECTS**  
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P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
**TYPE B5**  
**FIRST FLOOR + ROOF**

|   |                              |                     |
|---|------------------------------|---------------------|
| DRAWN BY: SS  | CHECKED BY: HV               |                     |
| SCALE:<br>1:50@A1 / 1:100@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 115</b> | ISSUE:<br><b>01</b> |



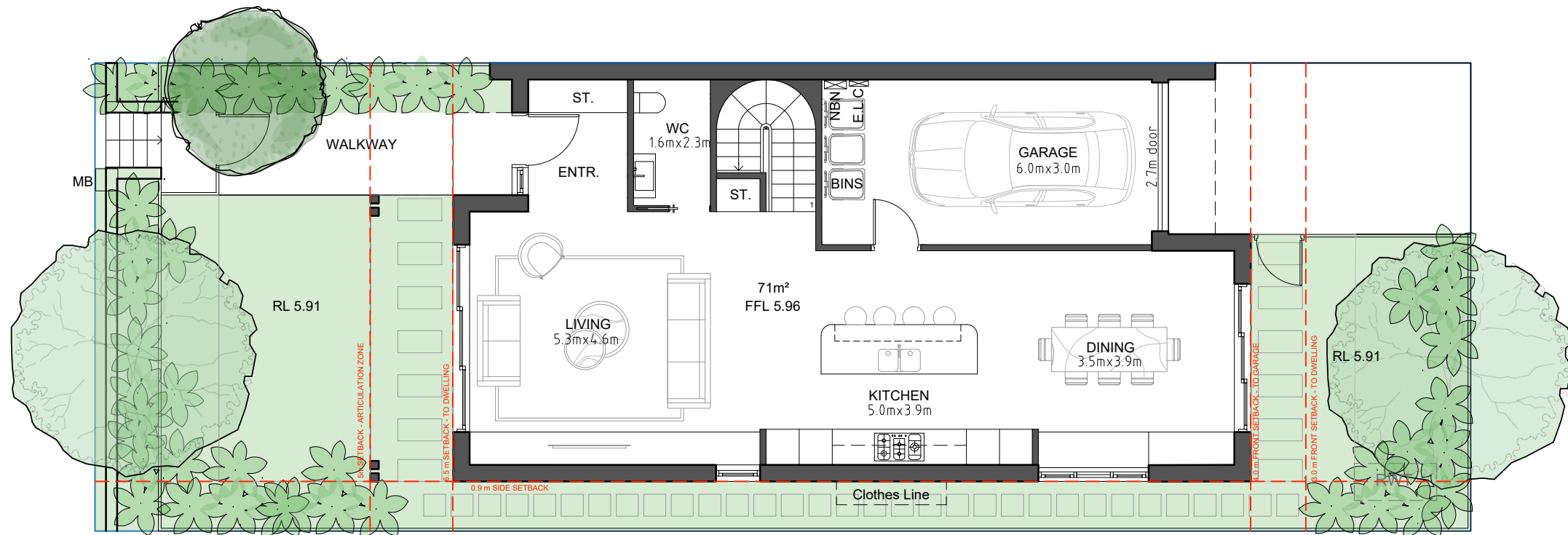


**TYPE C1**  
LOTS 4, 5  
**2 DWELLINGS** = 7% of total units

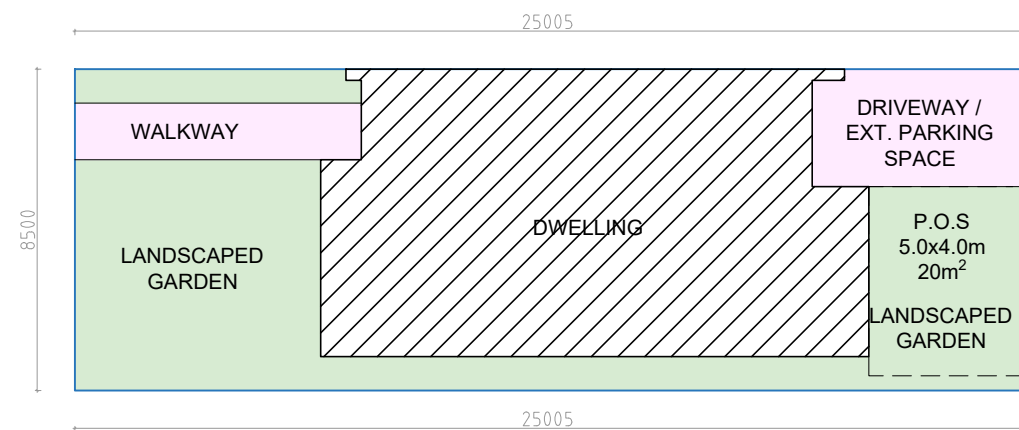
**INTERNAL AREA** GF = 71 m<sup>2</sup>  
1F = 86 m<sup>2</sup>  
**TOTAL** = 157 m<sup>2</sup>

**PARKING SPACE 1**  
**IN GARAGE** (single)  
6.0 x 3.0m = 18 m<sup>2</sup>

**PARKING SPACE 2**  
**EXTERNAL** (within Lot Boundary)  
5.5 x 3.0 = 16 m<sup>2</sup>



REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS



#### SITE COVERAGE (TYPICAL LOT SIZE)

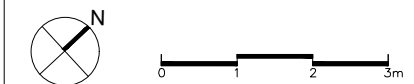
|                   |                    |
|-------------------|--------------------|
| LOT AREA          | 212 m <sup>2</sup> |
| BUILDING COVERAGE | 103 m <sup>2</sup> |
| LANDSCAPE AREA    | 81 m <sup>2</sup>  |
|                   | 38% of site area   |

- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
  - DRAWINGS FOR THE PURPOSES OF DA ONLY - FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
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LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| HV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

|       |          |              |
|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



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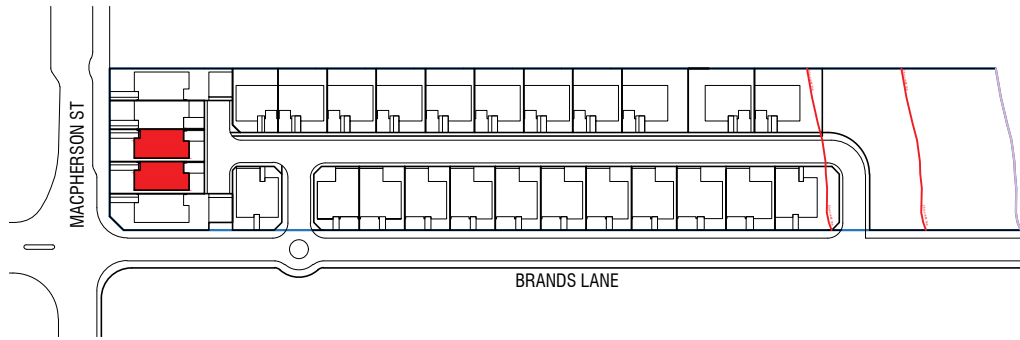
ARCHITECT:  
**PBD | ARCHITECTS**  
ABN 36 147 035 550  
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

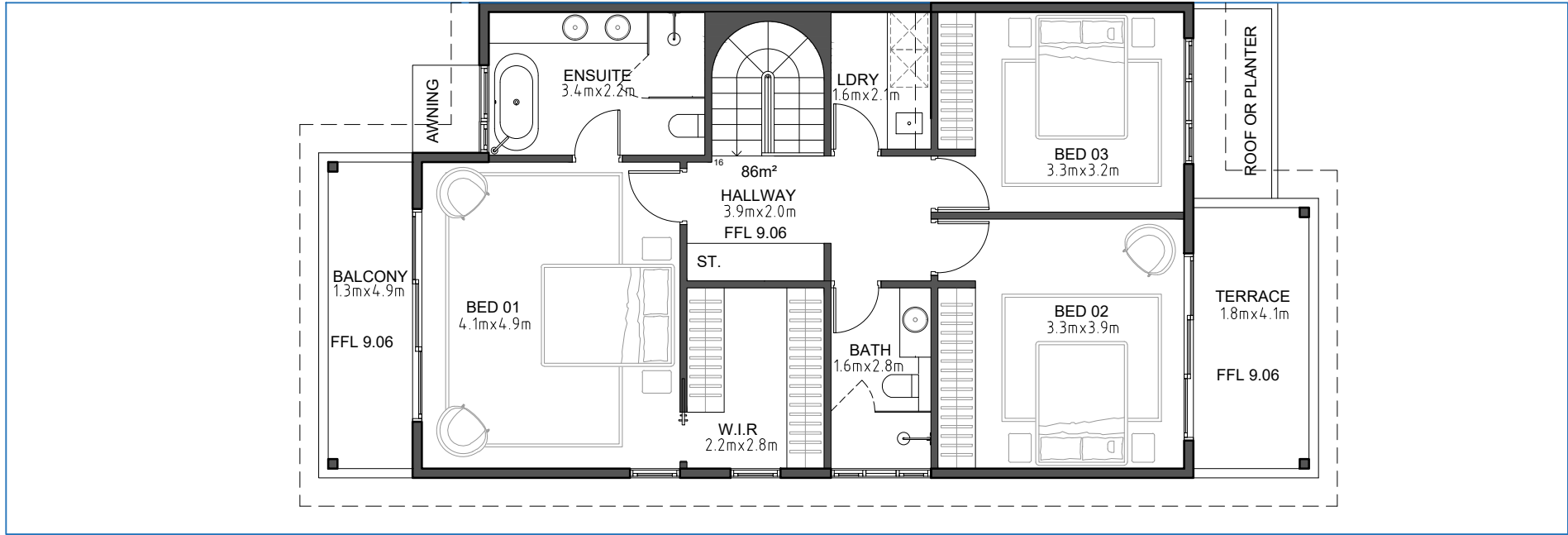
APR. 2023  
DRAWING TITLE:  
**TYPE C1**  
**GROUND FLOOR LEVEL**

|   |                              |                     |
|---|------------------------------|---------------------|
| DRAWN BY: SS  | CHECKED BY: HV               |                     |
| SCALE:<br>1:50@A1 / 1:100@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 116</b> | ISSUE:<br><b>01</b> |

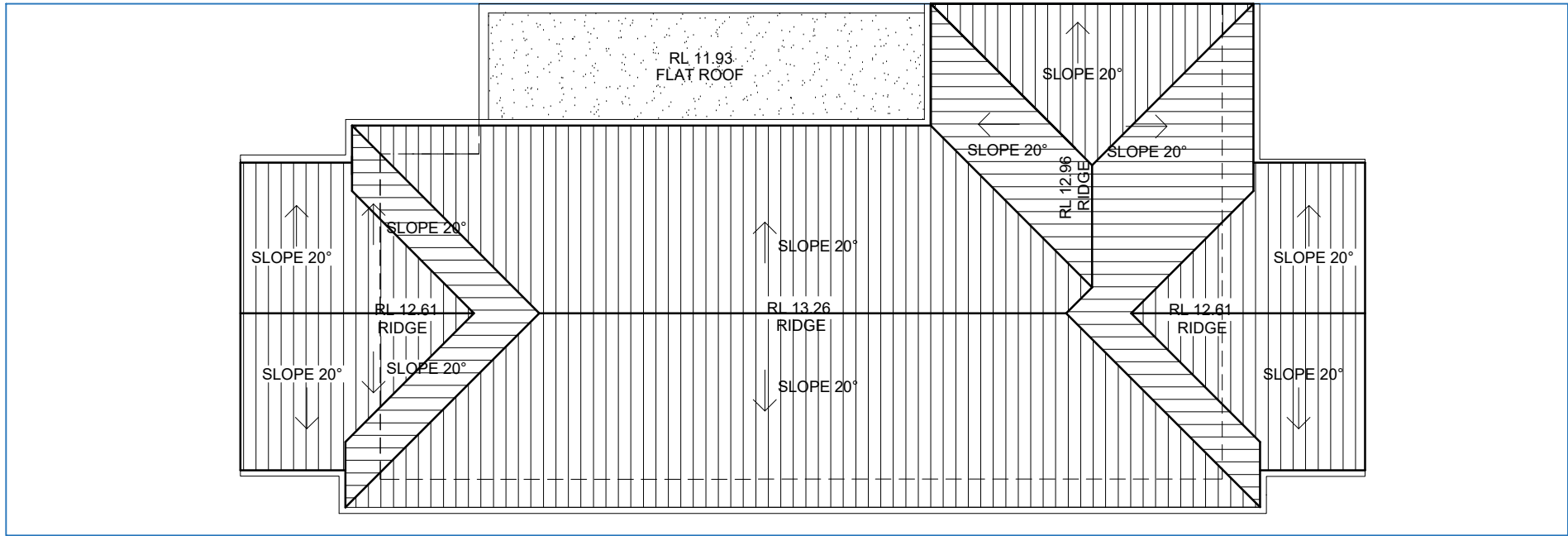




1 LOCATION PLAN  
SCALE 1:1000@A1 / 1:2000@A3



2 FIRST FLOOR PLAN  
SCALE 1:50@A1 / 1:100@A3



3 ROOF PLAN  
SCALE 1:50@A1 / 1:100@A3

- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| HV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

|       |          |              |
|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



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**PBD | ARCHITECTS**  
ABN 36 147 035 550  
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023

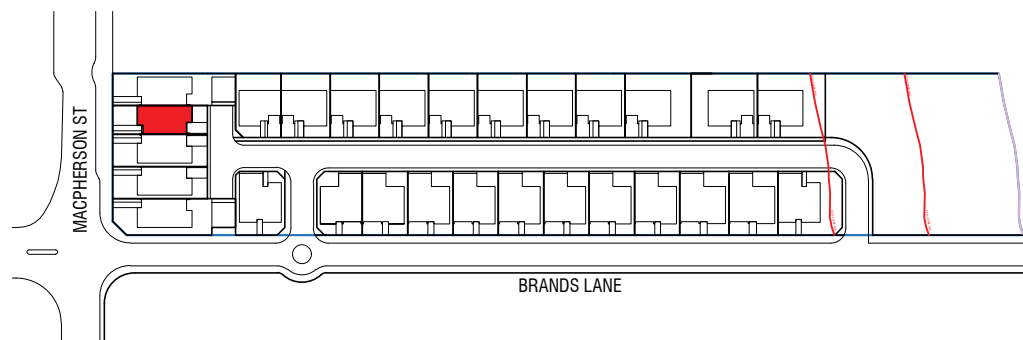
DRAWING TITLE:

TYPE C1  
FIRST FLOOR + ROOF

DRAWN BY: SS CHECKED BY: HV

|                              |                       |              |
|------------------------------|-----------------------|--------------|
| SCALE:<br>1:50@A1 / 1:100@A3 | DRAWING NO:<br>DA 117 | ISSUE:<br>01 |
| PROJECT NO:<br>2235          |                       |              |



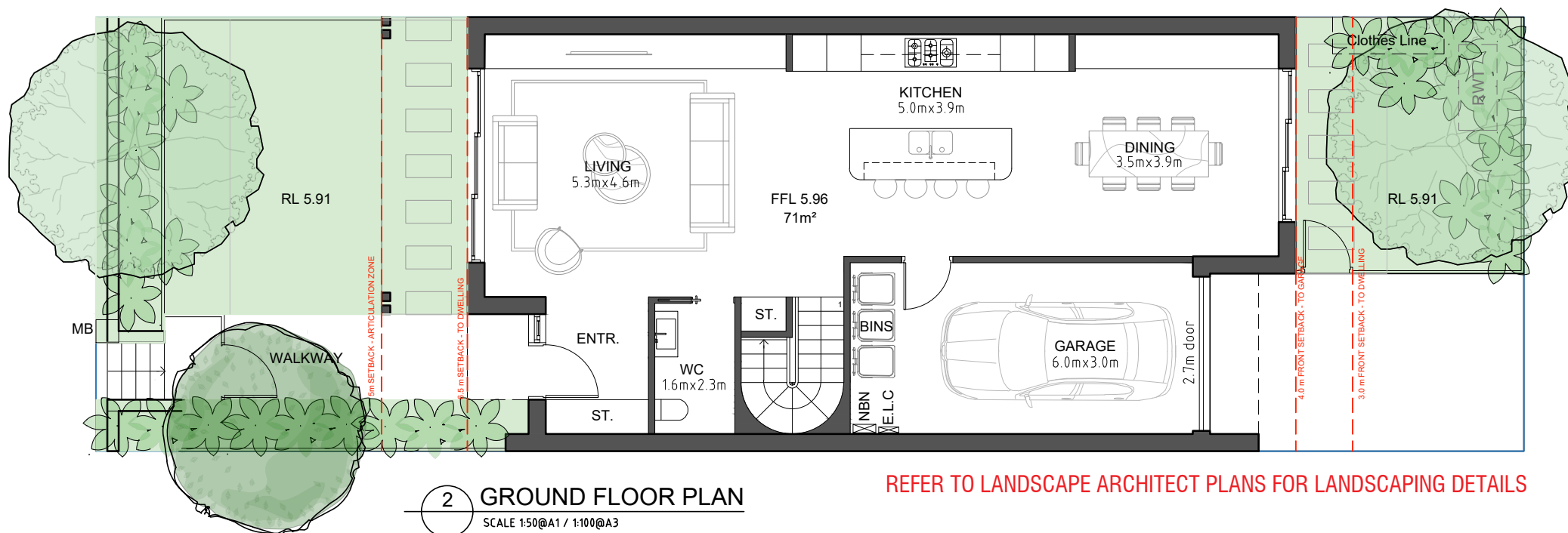


**TYPE C1**  
**LOT 3**  
**1 DWELLING** = 3% of total units

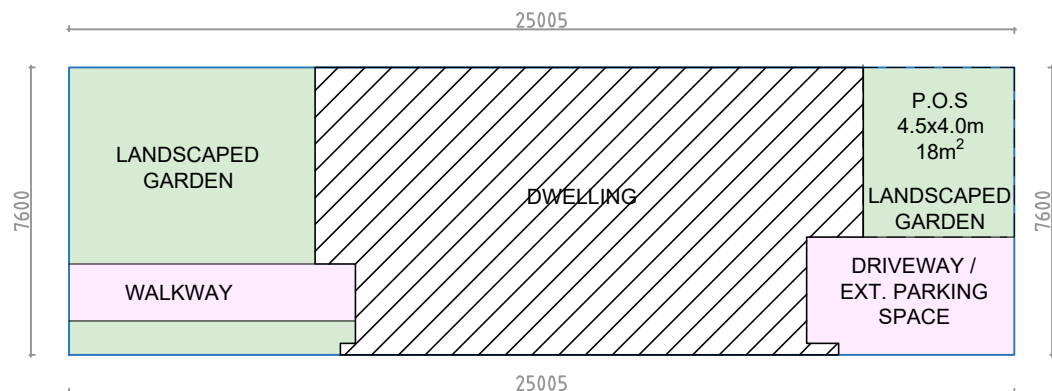
**INTERNAL AREA** GF = 71 m<sup>2</sup>  
1F = 86 m<sup>2</sup>  
**TOTAL** = **157 m<sup>2</sup>**

**PARKING SPACE 1**  
**IN GARAGE** (single)  
6.0 x 3.0m = 18 m<sup>2</sup>

**PARKING SPACE 2**  
**EXTERNAL** (within Lot Boundary)  
5.5 x 3.0 = 16 m<sup>2</sup>



REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS



#### SITE COVERAGE (TYPICAL LOT SIZE)

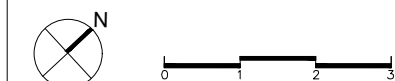
|                   |                                       |
|-------------------|---------------------------------------|
| LOT AREA          | 190 m <sup>2</sup>                    |
| BUILDING COVERAGE | 103 m <sup>2</sup>                    |
| LANDSCAPE AREA    | 58 m <sup>2</sup><br>31% of site area |

- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
  - DRAWINGS FOR THE PURPOSES OF DA ONLY - FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
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LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| HV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

|       |          |              |
|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



CLIENT:  
IPM PROPERTY

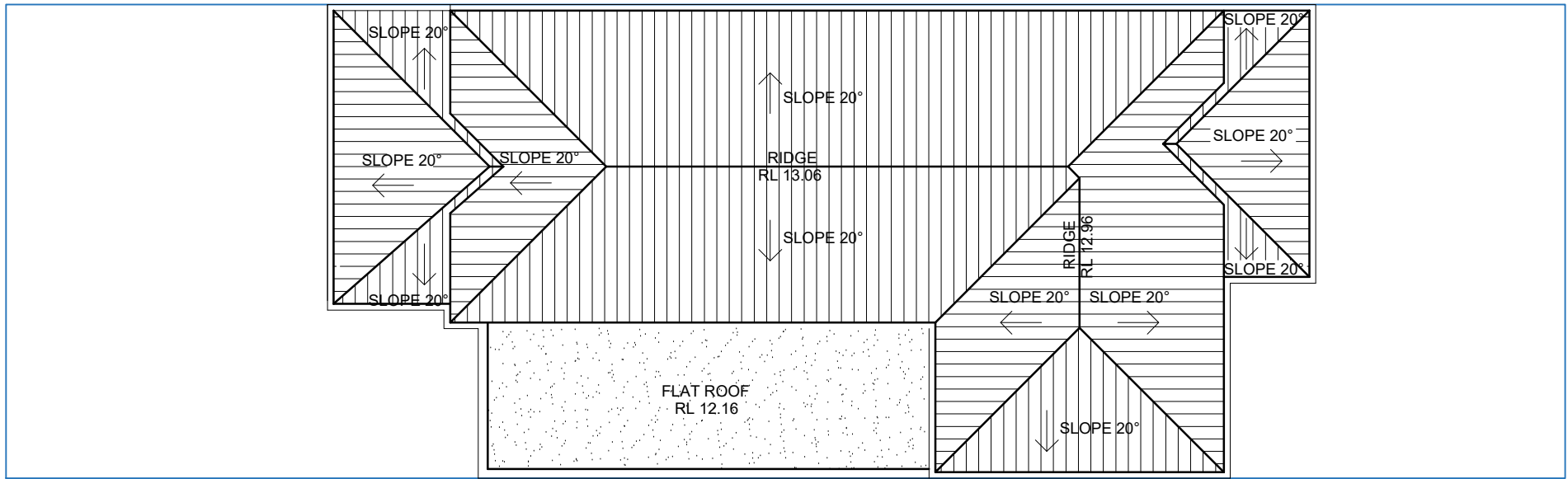
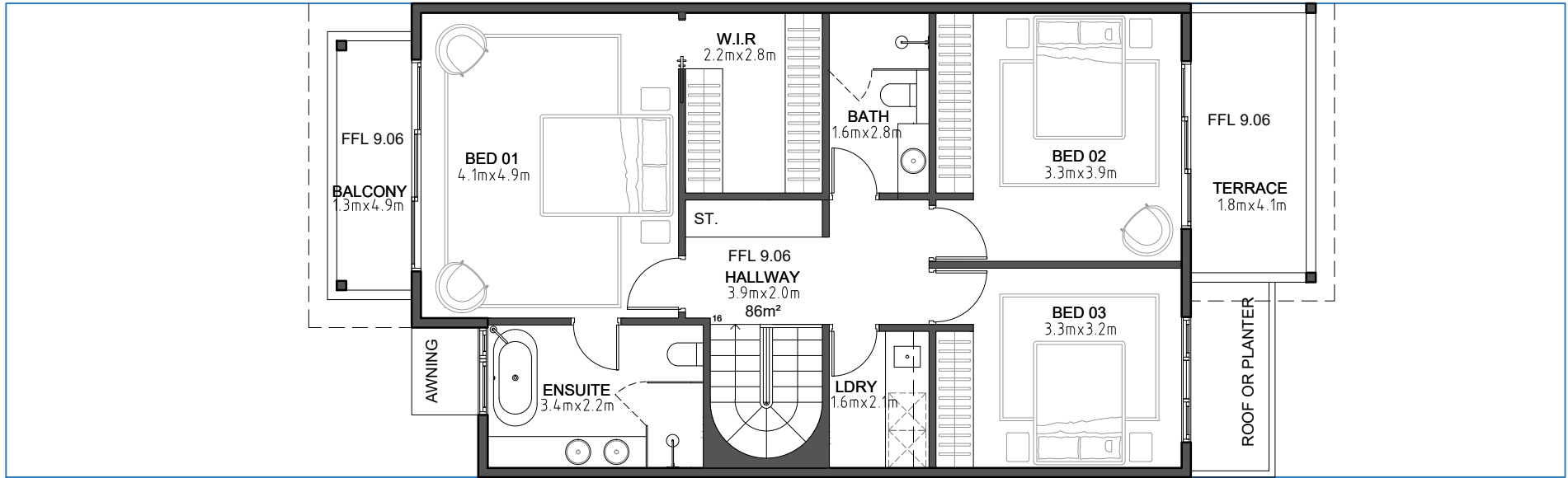
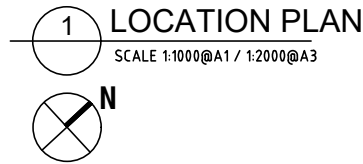
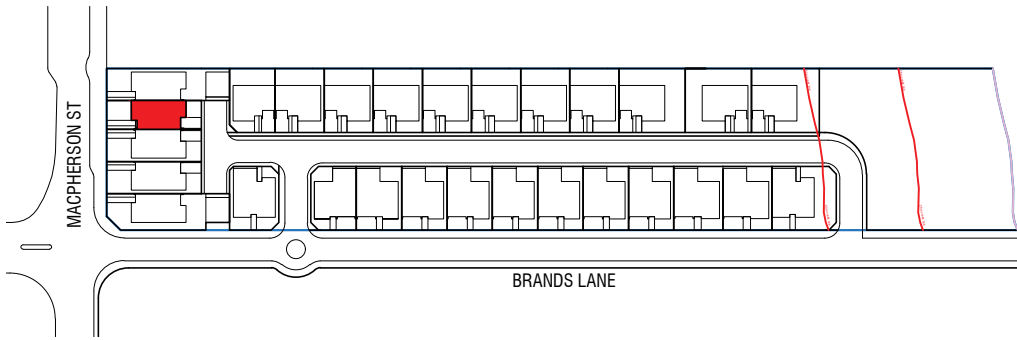
ARCHITECT:  
**PBD | ARCHITECTS**  
ABN 36 147 035 550  
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

DRAWING TITLE:  
**TYPE C2**  
**GROUND FLOOR LEVEL**

|   |                              |                     |
|---|------------------------------|---------------------|
| DRAWN BY: SS  | CHECKED BY: HV               |                     |
| SCALE:<br>1:50@A1 / 1:100@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 118</b> | ISSUE:<br><b>01</b> |

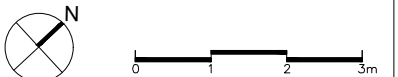




- GENERAL NOTES:
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- LEGEND:
- AW AWNING
  - HW HIGHLIGHT WINDOW
  - CU A/C CONDENSER UNITS
  - FH FIRE HYDRANT
  - FHR FIRE HOSE REEL
  - FS FIRE STAIRS
  - HV MECHANICAL RISER TO FUTURE DETAIL
  - GC GARBAGE CHUTE
  - MB MAILBOX TO FUTURE DETAIL
  - PB PLANTERBOX
  - R 240L RECYCLING BIN
  - SK SKYLIGHT
  - ST STORAGE
  - WT HOT WATER UNITS

|       |          |              |
|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



CLIENT:  
IPM PROPERTY

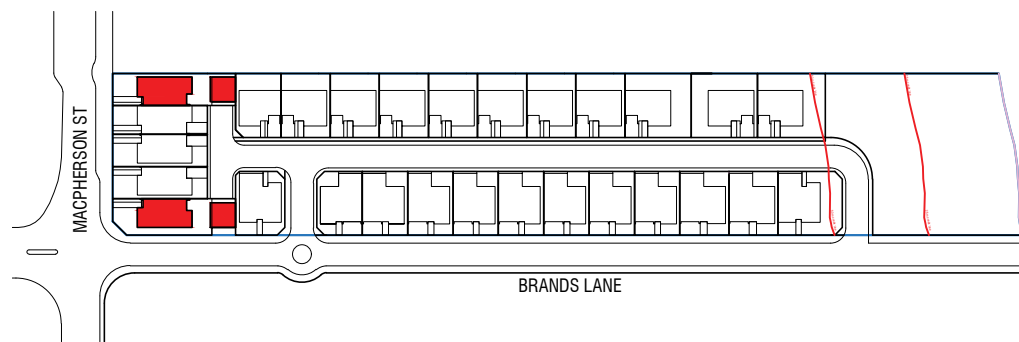
ARCHITECT:  
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Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
**TYPE C2**  
**FIRST FLOOR + ROOF**

|   |                              |                     |
|---|------------------------------|---------------------|
| DRAWN BY: SS  | CHECKED BY: HV               |                     |
| SCALE:<br>1:50@A1 / 1:100@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 119</b> | ISSUE:<br><b>01</b> |





## TYPE C3

LOTS 2, 6

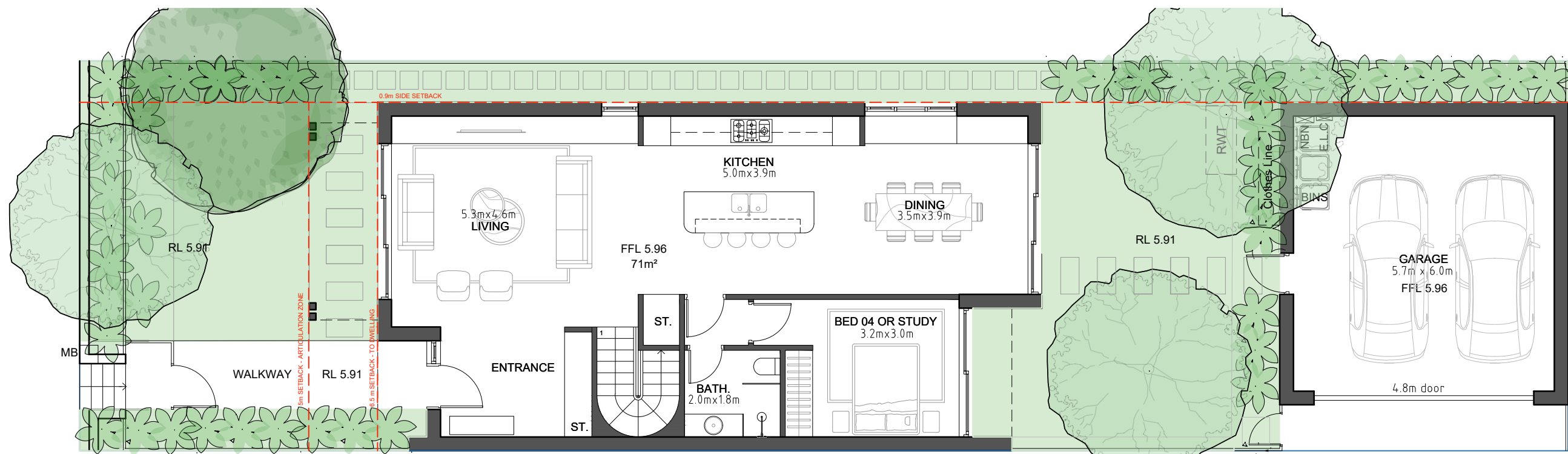
2 DWELLINGS = 7% of total units

INTERNAL AREA GF = 71 m<sup>2</sup>  
1F = 86 m<sup>2</sup>  
TOTAL = 157 m<sup>2</sup>

## PARKING SPACES

IN GARAGE (double)

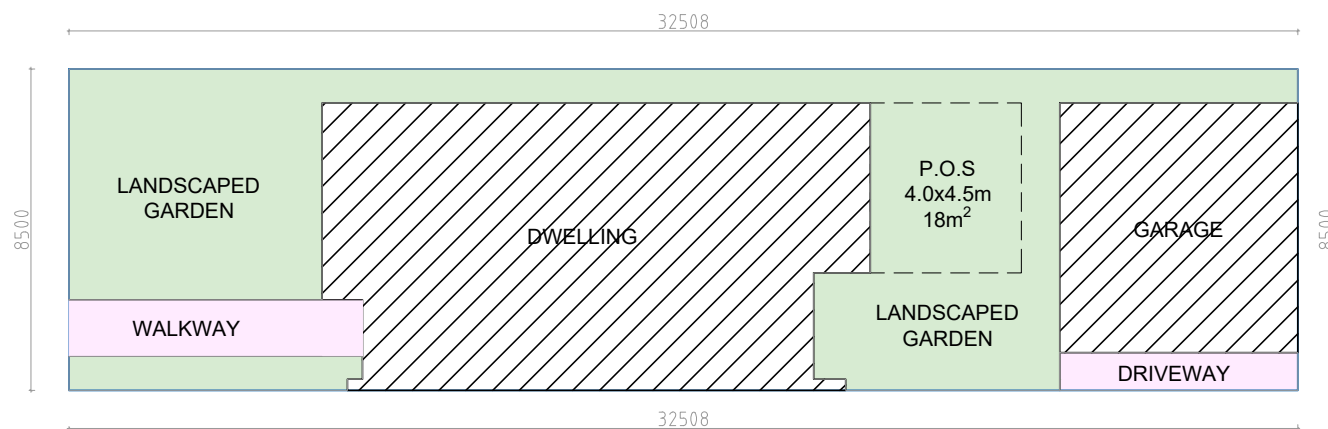
5.7 x 6.0m = 34 m<sup>2</sup>



## 2 GROUND FLOOR PLAN

SCALE 1:50@A1 / 1:100@A3

REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS



## SITE COVERAGE (TYPICAL LOT SIZE)

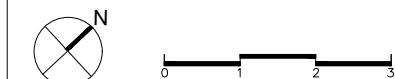
|                   |  |
|-------------------|--|
| LOT AREA          | 276 m <sup>2</sup>                     |
| BUILDING COVERAGE | 145 m <sup>2</sup>                     |
| LANDSCAPE AREA    | 113 m <sup>2</sup><br>41% of site area |

- GENERAL NOTES:
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LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| HV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

|       |          |              |
|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



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IPM PROPERTY

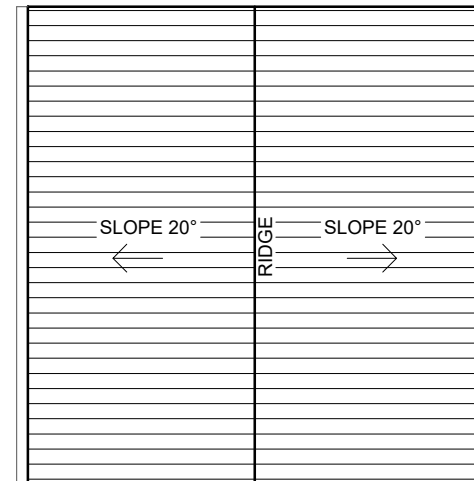
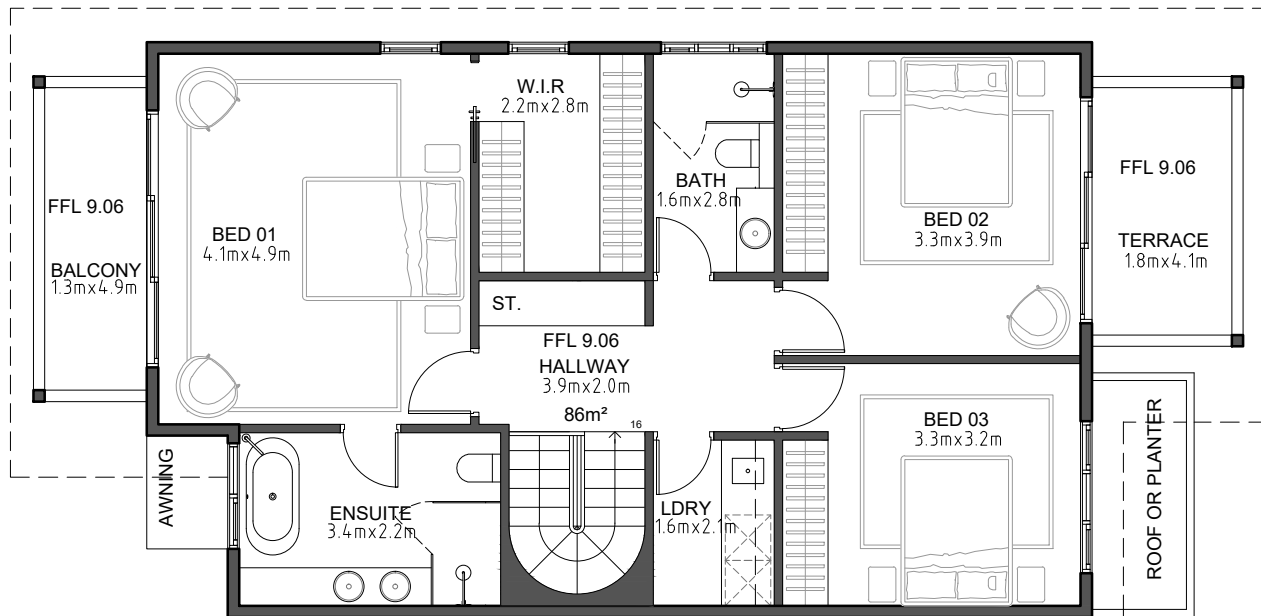
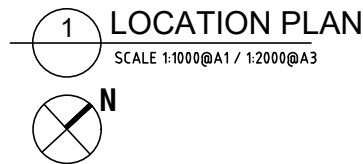
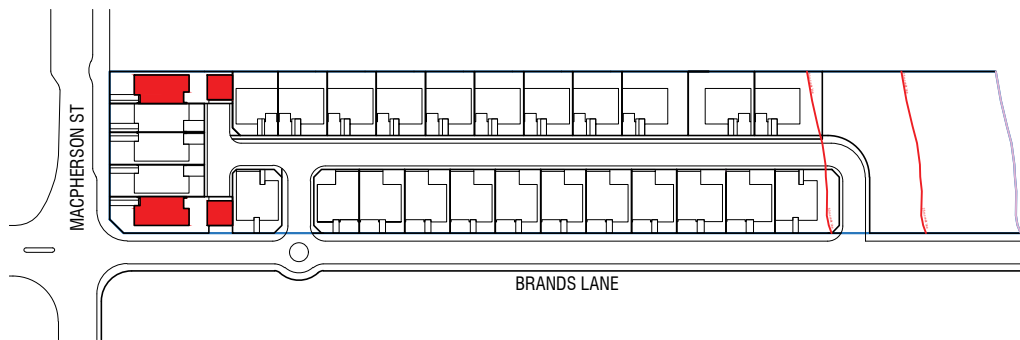
ARCHITECT:  
**PBD | ARCHITECTS**  
ABN 36 147 035 550  
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

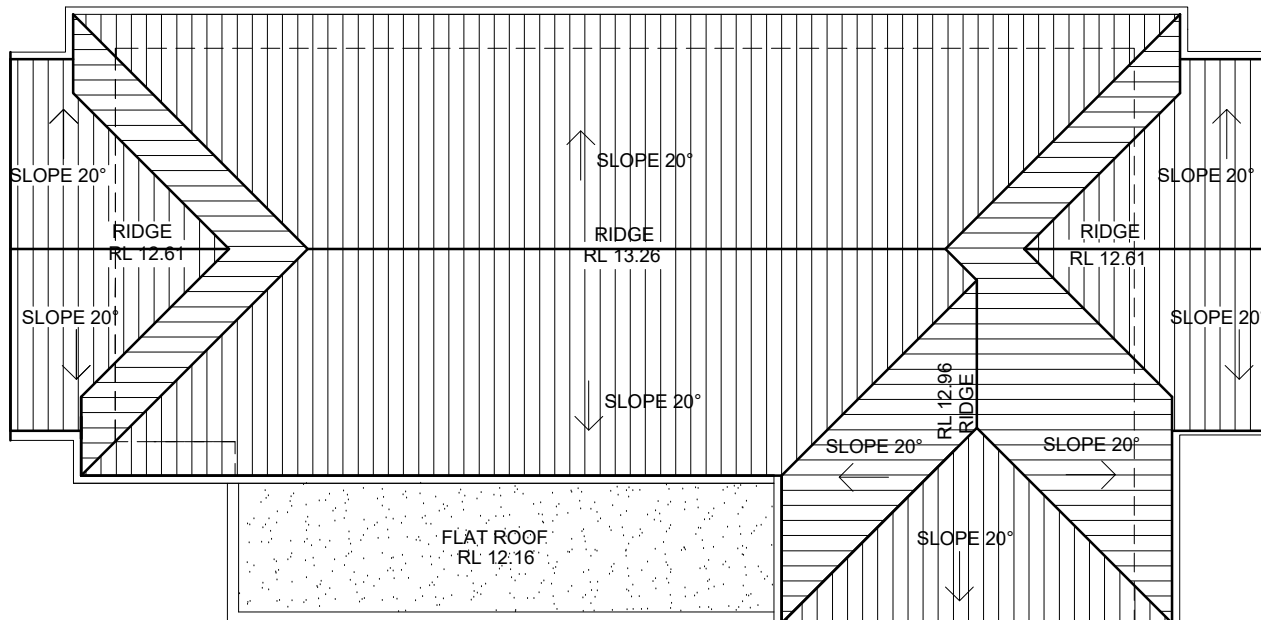
APR. 2023  
DRAWING TITLE:  
**TYPE C3**  
**GROUND FLOOR LEVEL**

|                              |                       |              |
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| SCALE:<br>1:50@A1 / 1:100@A3 | DRAWING NO:<br>DA 120 | ISSUE:<br>01 |
| PROJECT NO:<br>2235          |                       |              |

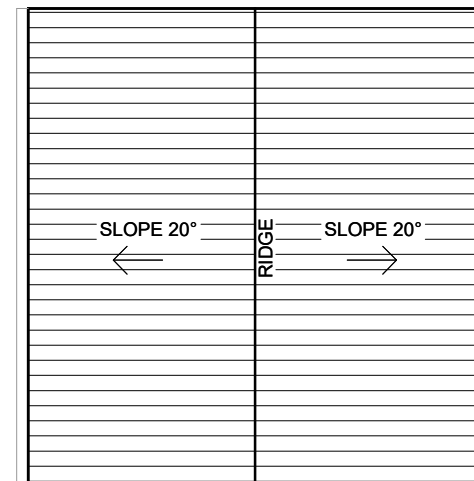




2 FIRST FLOOR PLAN  
SCALE 1:50@A1 / 1:100@A3



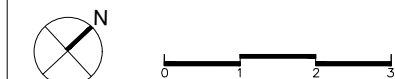
3 ROOF PLAN  
SCALE 1:50@A1 / 1:100@A3



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- LEGEND:
- AW AWNING
  - HW HIGHLIGHT WINDOW
  - CU A/C CONDENSER UNITS
  - FH FIRE HYDRANT
  - FHR FIRE HOSE REEL
  - FS FIRE STAIRS
  - HV MECHANICAL RISER TO FUTURE DETAIL
  - GC GARBAGE CHUTE
  - MB MAILBOX TO FUTURE DETAIL
  - PB PLANTERBOX
  - R 240L RECYCLING BIN
  - SK SKYLIGHT
  - ST STORAGE
  - WT HOT WATER UNITS

| 01    | 12.04.23 | ISSUE FOR DA |
|-------|----------|--------------|
| ISSUE | DATE     | DESCRIPTION  |



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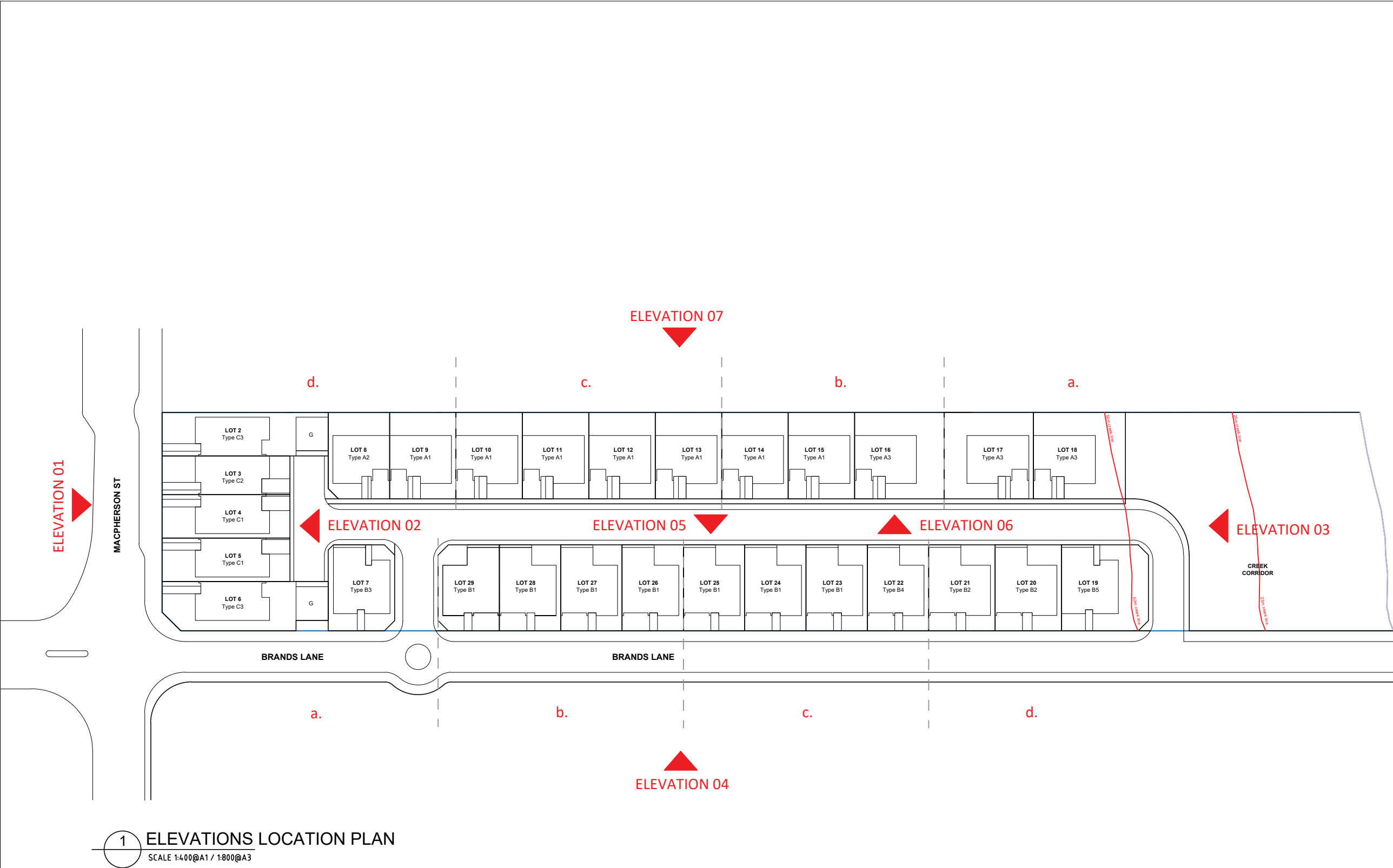
ARCHITECT:  
**PBD | ARCHITECTS**  
ABN 36 147 035 550  
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
**TYPE C3**  
**FIRST FLOOR + ROOF**

|   |                              |                     |
|---|------------------------------|---------------------|
| DRAWN BY: SS  | CHECKED BY: HV               |                     |
| SCALE:<br>1:50@A1 / 1:100@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 121</b> | ISSUE:<br><b>01</b> |





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  - WT HOT WATER UNITS

|       |          |              |
|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



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ABN 36 147 035 550  
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Sunny Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
**ELEVATIONS  
LOCATION PLAN**

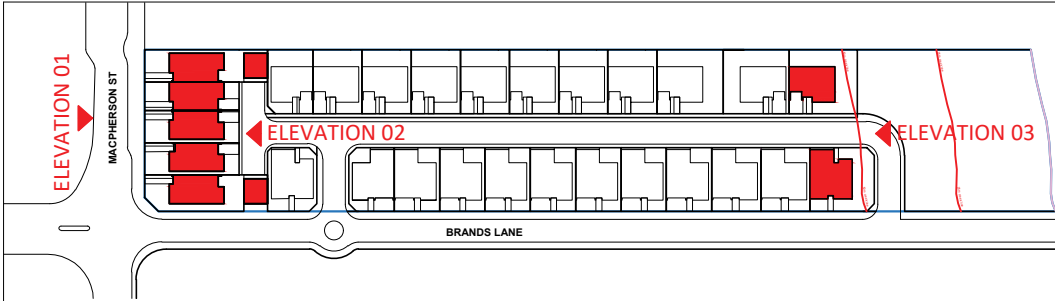
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SCALE:  
1:400@A1 / 1:800@A3  
PROJECT NO:  
2235

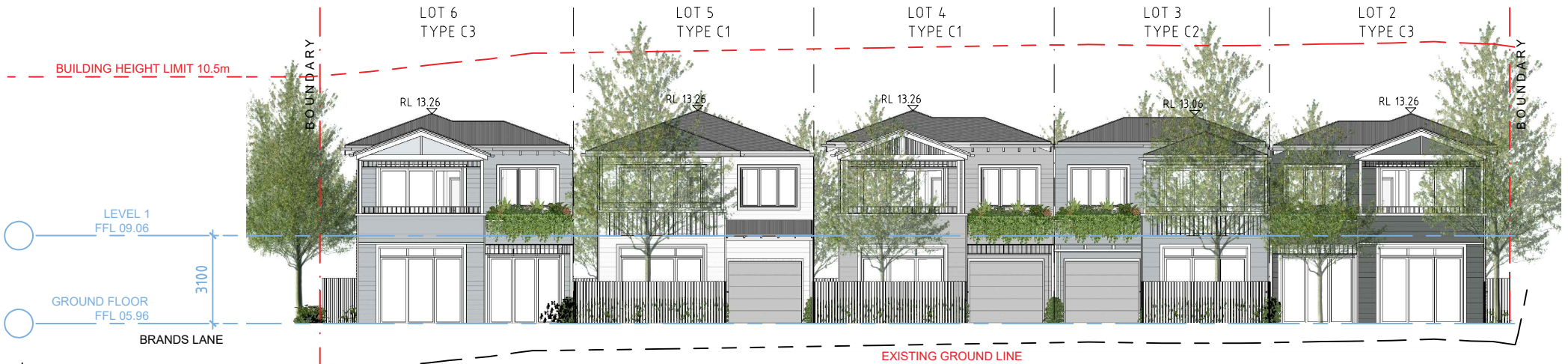
DRAWING NO:  
**DA 200**

ISSUE:  
**01**





**ELEVATION 01**  
on Macpherson St



**ELEVATION 02**  
on Accessway



**ELEVATION 03**  
on Accessway

- GENERAL NOTES:
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- LEGEND:
- AW AWNING
  - HW HIGHLIGHT WINDOW
  - CU A/C CONDENSER UNITS
  - FH FIRE HYDRANT
  - FHR FIRE HOSE REEL
  - FS FIRE STAIRS
  - MV MECHANICAL RISER TO FUTURE DETAIL
  - GC GARBAGE CHUTE
  - MB MAILBOX TO FUTURE DETAIL
  - PB PLANTERBOX
  - R 240L RECYCLING BIN
  - SK SKYLIGHT
  - ST STORAGE
  - WT HOT WATER UNITS

| ISSUE | DATE     | DESCRIPTION  |
|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |

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IPM PROPERTY

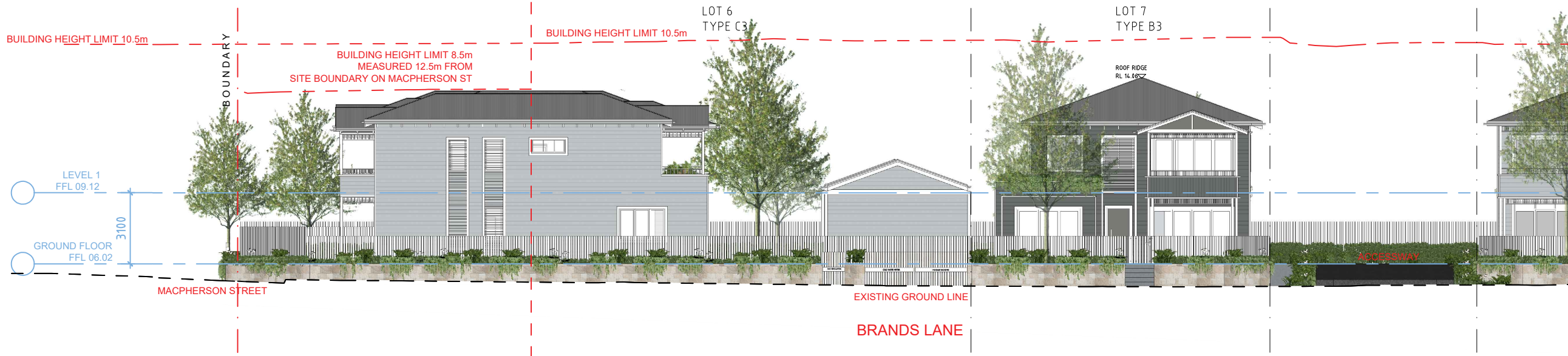
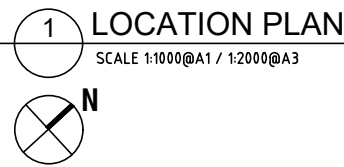
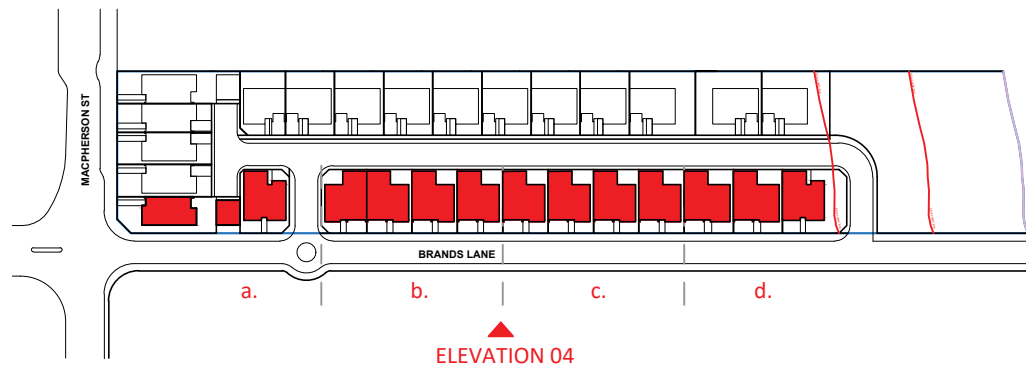
ARCHITECT:  
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P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
**ELEVATIONS 01 + 02**  
**ON MACPHERSON ST + ACCESSWAY**

|  |                              |                     |
|--|------------------------------|---------------------|
| DRAWN BY: SS   | CHECKED BY: HV               |                     |
| SCALE:<br>1:100@A1 / 1:200@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 201</b> | ISSUE:<br><b>01</b> |





## ELEVATION 04.a on Brands Lane

SCALE 1:100@A1 / 1:200@A3



## ELEVATION 04.b on Brands Lane

SCALE 1:100@A1 / 1:200@A3

- GENERAL NOTES:
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- LEGEND:
- AW AWNING
  - HW HIGHLIGHT WINDOW
  - CU A/C CONDENSER UNITS
  - FH FIRE HYDRANT
  - FHR FIRE HOSE REEL
  - FS FIRE STAIRS
  - HV MECHANICAL RISER TO FUTURE DETAIL
  - GC GARBAGE CHUTE
  - MB MAILBOX TO FUTURE DETAIL
  - PB PLANTERBOX
  - R 240L RECYCLING BIN
  - SK SKYLIGHT
  - ST STORAGE
  - WT HOT WATER UNITS

| ISSUE | DATE     | DESCRIPTION  |
|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |



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ARCHITECT:  
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Level 2, 52 Albion Street, Sunny Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

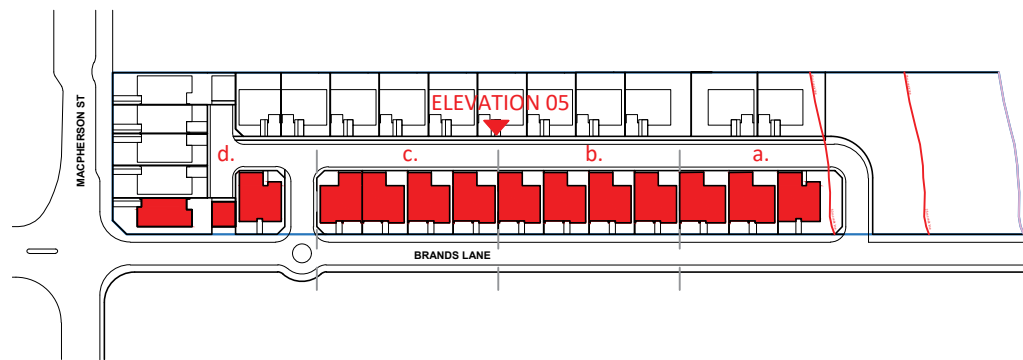
DRAWING TITLE:  
ELEVATION 04  
ON BRANDS LANE

|  |                              |                     |
|--|------------------------------|---------------------|
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| SCALE:<br>1:100@A1 / 1:200@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 202</b> | ISSUE:<br><b>01</b> |



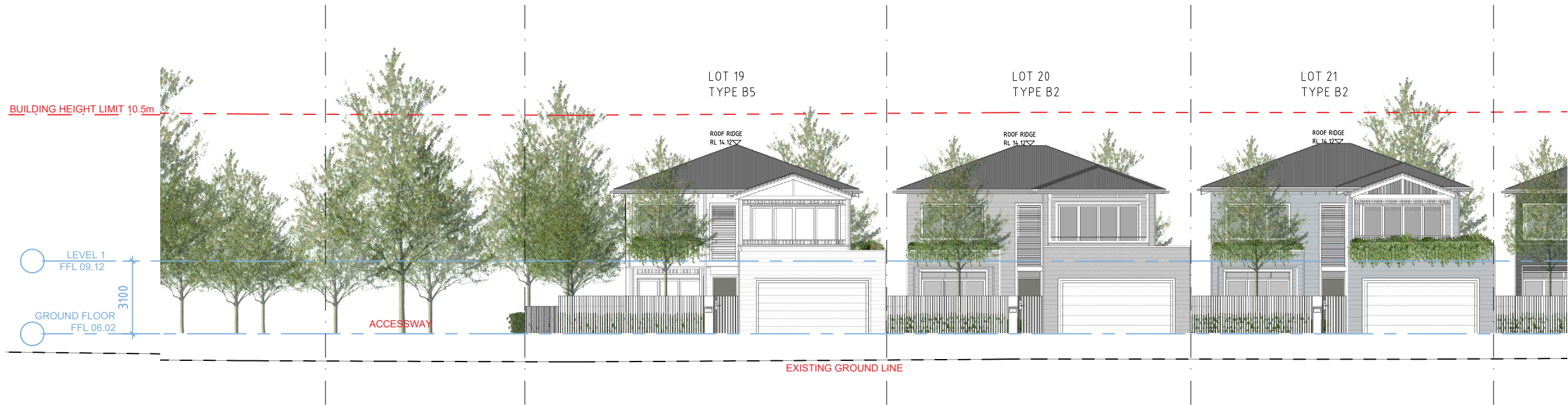






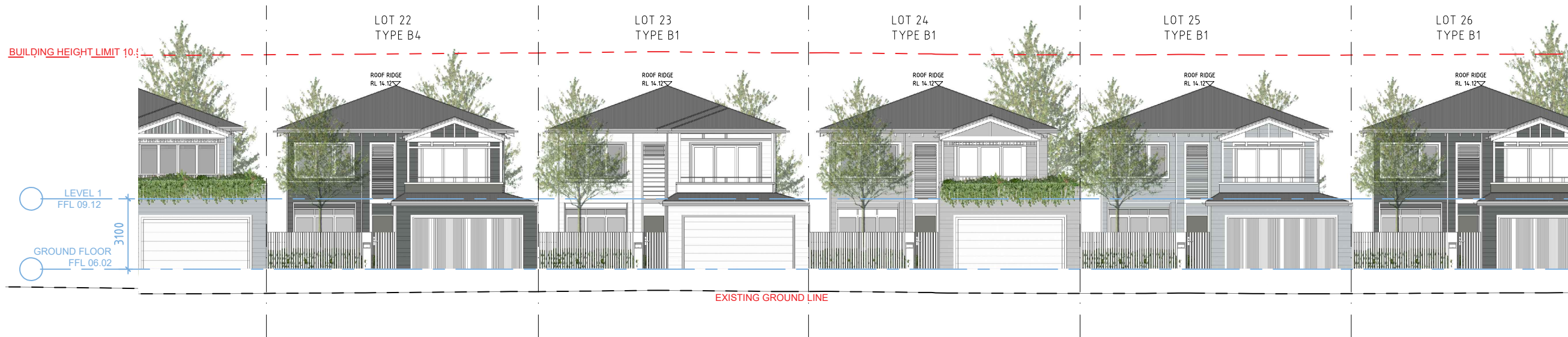
# 1 LOCATION PLAN

SCALE 1:1000@A1 / 1:2000@A3



## 2 ELEVATION 05.a on Accessway

SCALE 1:100@A1 / 1:200@A3



## 3 ELEVATION 05.b on Accessway

SCALE 1:100@A1 / 1:200@A3

- GENERAL NOTES:
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LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| HV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

|       |          |              |
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|       |          |              |
| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



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ARCHITECT:  
**PBD | ARCHITECTS**  
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Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
**ELEVATION 05  
ON ACCESSWAY**

|  |                              |                     |
|--|------------------------------|---------------------|
| DRAWN BY: SS   | CHECKED BY: HV               |                     |
| SCALE:<br>1:100@A1 / 1:200@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 204</b> | ISSUE:<br><b>01</b> |





### GENERAL NOTES:

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**LEGEND:**

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
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| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

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|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



CLIENT:  
IPM PROPERTY

ARCHITECT:

**PBD | ARCHITECTS**

ABN 36 147 035 550

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Level 2, 52 Albion Street, Surry Hills NSW 2010

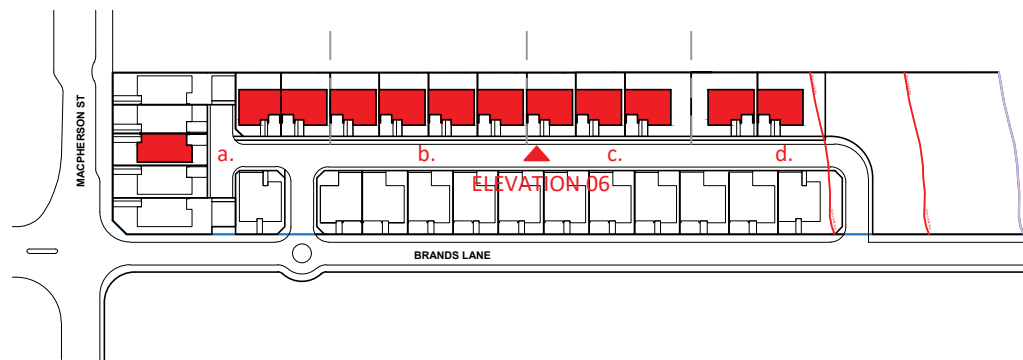
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
ELEVATION 05  
ON ACCESSWAY

|                               |             |                |    |
|-------------------------------|-------------|----------------|----|
| DRAWN BY: SS                  |             | CHECKED BY: HV |    |
| SCALE:<br>1:100@A1 / 1:200@A3 | DRAWING NO: | ISSUE:         |    |
| PROJECT NO:<br>2235           | DA 205      |                | 01 |



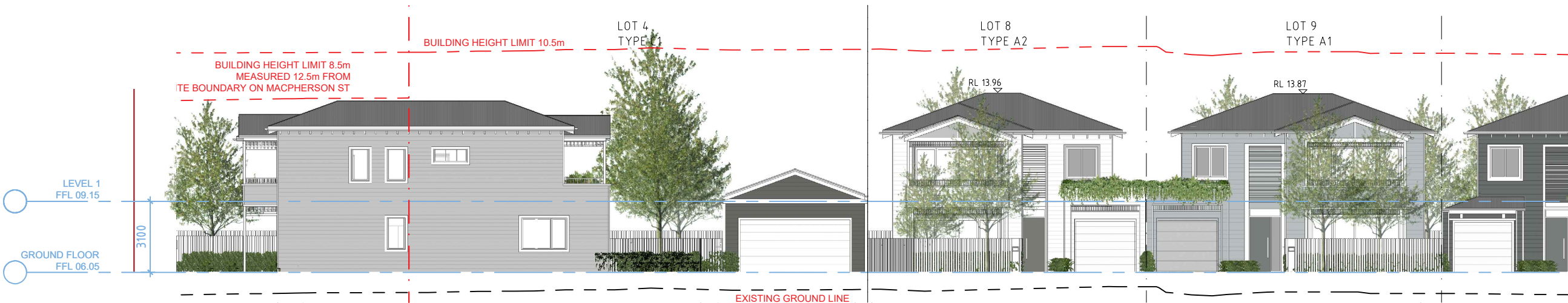


# 1 LOCATION PLAN

SCALE 1:1000@A1 / 1:2000@A3

- GENERAL NOTES:
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  - HV MECHANICAL RISER TO FUTURE DETAIL
  - GC GARBAGE CHUTE
  - MB MAILBOX TO FUTURE DETAIL
  - PB PLANTERBOX
  - R 240L RECYCLING BIN
  - SK SKYLIGHT
  - ST STORAGE
  - WT HOT WATER UNITS



## 2 ELEVATION 06.a on Accessway

SCALE 1:100@A1 / 1:200@A3



## 3 ELEVATION 06.b on Accessway

SCALE 1:100@A1 / 1:200@A3

CLIENT:  
IPM PROPERTY

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Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
ELEVATION 06  
ON ACCESSWAY

DRAWN BY: SS CHECKED BY: HV

SCALE:  
1:100@A1 / 1:200@A3  
PROJECT NO:  
2235

DRAWING NO:  
DA 206

ISSUE:  
01





**GENERAL NOTES:**

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES / LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- DRAWINGS FOR THE PURPOSES OF DD ONLY - FURTHER CONSULTANT / AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
- COPYRIGHT OF DESIGN SHOWN HEREIN IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR CERTAIN SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| MV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

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| ISSUE | DATE     | DESCRIPTION  |



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ARCHITECT:

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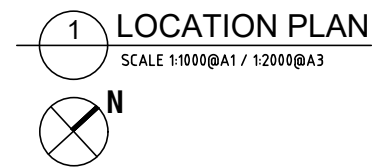
Nominated Architect: Paul Buljivic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
ELEVATION 06  
ON ACCESSWAY

|                               |                              |                     |
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| DRAWN BY: SS                  | CHECKED BY: HV               |                     |
| SCALE:<br>1:100@A1 / 1:200@A3 | DRAWING NO:<br><b>DA 207</b> | ISSUE:<br><b>01</b> |
| PROJECT NO:<br>2235           |                              |                     |





## GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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- ASBIL SCHEDULES SURVEY ARE APPROXIMATIVE ONLY. FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| MV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARAGE CHUTE                      |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |



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| ISSUE | DATE     | DESCRIPTION  |



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Nominated Architect: Paul Buljevic NSW 7768

PROJECT:

28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023

DRAWING TITLE:

ELEVATION 07  
ON NORTH WEST BOUNDARY

DRAWN BY: SS

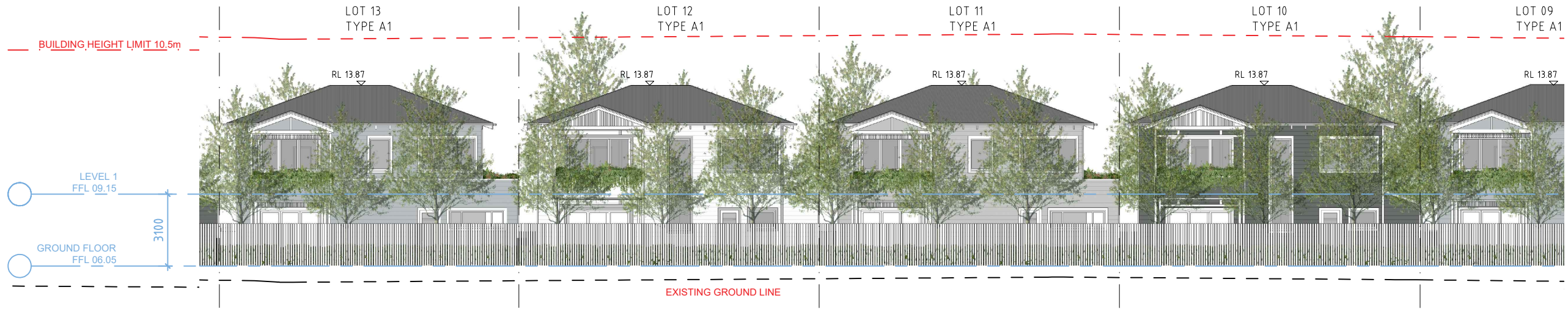
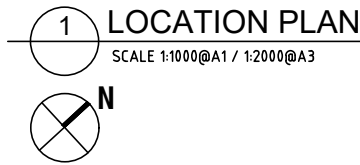
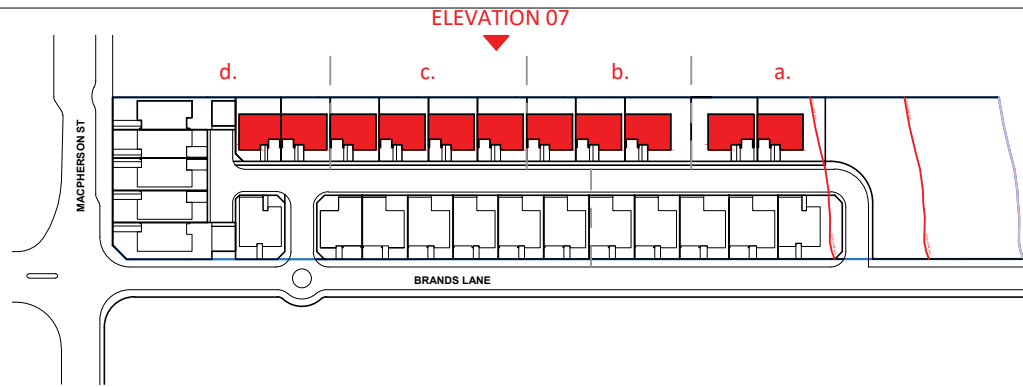
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| CHECKED BY: HV |
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| PROJECT NO:<br>2235           |    |

DRAWING NO:  
DA 208

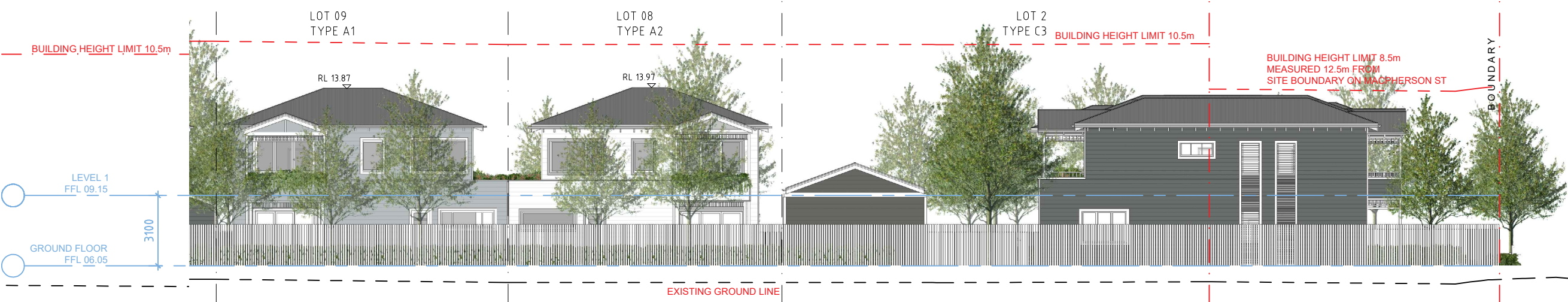
01





ELEVATION 07.c  
on Northwest Boundary

SCALE 1:100@A1 / 1:200@A3



ELEVATION 07.d  
on Northwest Boundary

SCALE 1:100@A1 / 1:200@A3

- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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- LEGEND:
- AW AWNING
  - HW HIGHLIGHT WINDOW
  - CU A/C CONDENSER UNITS
  - FH FIRE HYDRANT
  - FHR FIRE HOSE REEL
  - FS FIRE STAIRS
  - HV MECHANICAL RISER TO FUTURE DETAIL
  - GC GARBAGE CHUTE
  - MB MAILBOX TO FUTURE DETAIL
  - PB PLANTERBOX
  - R 240L RECYCLING BIN
  - SK SKYLIGHT
  - ST STORAGE
  - WT HOT WATER UNITS

| 01    | 12.04.23 | ISSUE FOR DA |
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Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:

ELEVATION 07  
ON NORTH WEST BOUNDARY

DRAWN BY: SS CHECKED BY: HV

SCALE:  
1:100@A1 / 1:200@A3  
PROJECT NO:  
2235

DRAWING NO:  
DA 209

ISSUE:  
01





- LEGEND:**
- |     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| MV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

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Level 2, 52 Albion Street, Surry Hills NSW 2010

Nominated Architect: Paul Buljovic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

|                |
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| APR. 2023      |
| DRAWING TITLE: |

SECTIONS  
LOCATION PLAN

|                               |                              |                |                     |
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| DRAWN BY: SS                  |                              | CHECKED BY: HV |                     |
| SCALE:<br>1:400@A1 / 1:800@A3 | DRAWING NO:<br><b>DA 300</b> |                | ISSUE:<br><b>01</b> |
| PROJECT NO:<br>2235           |                              |                |                     |





- ## GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
  - DRAWINGS FOR THE PURPOSES OF DA ONLY - FURTHER CONSULTANT AUTHORITY COORDINATION WILL BE REQUIRED AT CC stage WHICH MAY IMPACT ON DESIGN AND CONSTRUCTION DATES
  - ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
  - PLYWOOD SHEATHING SHOWN HEREIN IS NOT REPRODUCED BY P&O ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY RETENTION BY
  - AREA SCHEDULES SUGGESTED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED
- ## LEGEND:
- |     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| MV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARAGE CHUTE                      |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

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| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |



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ARCHITECT:

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Level 2, 52 Albion Street, Surry Hills NSW 2010

Nominated Architect: Paul Buljivic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
**SECTION AA**

|                               |                           |                |                  |
|-------------------------------|---------------------------|----------------|------------------|
| DRAWN BY: SS                  |                           | CHECKED BY: HV |                  |
| SCALE:<br>1:100@A1 / 1:200@A3 | DRAWING NO:<br><br>DA 301 |                | ISSUE:<br><br>01 |
| PROJECT NO:<br>2235           |                           |                |                  |





## GENERAL NOTES:

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- AREA SCHEDULES SURFACES ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SURFACE SURFACES, STRUCTURAL WALLS SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| MC  | MECHANICAL RISER TO FUTURE DETAIL |
| GV  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

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ARCHITECT:

**PBD | ARCHITECTS**

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Level 2, 52 Albion Street, Surry Hills NSW 2010

Nominated Architect: Paul Buljovic NSW 7768

PROJECT:  
8 TERRACES  
6 MACPHERSON STREET  
VARRIEWOOD

PR. 2023

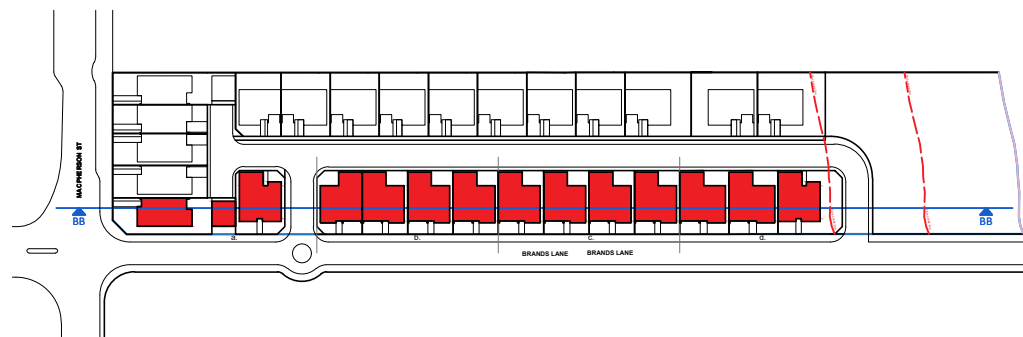
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DRAWING TITLE:

SECTION BB

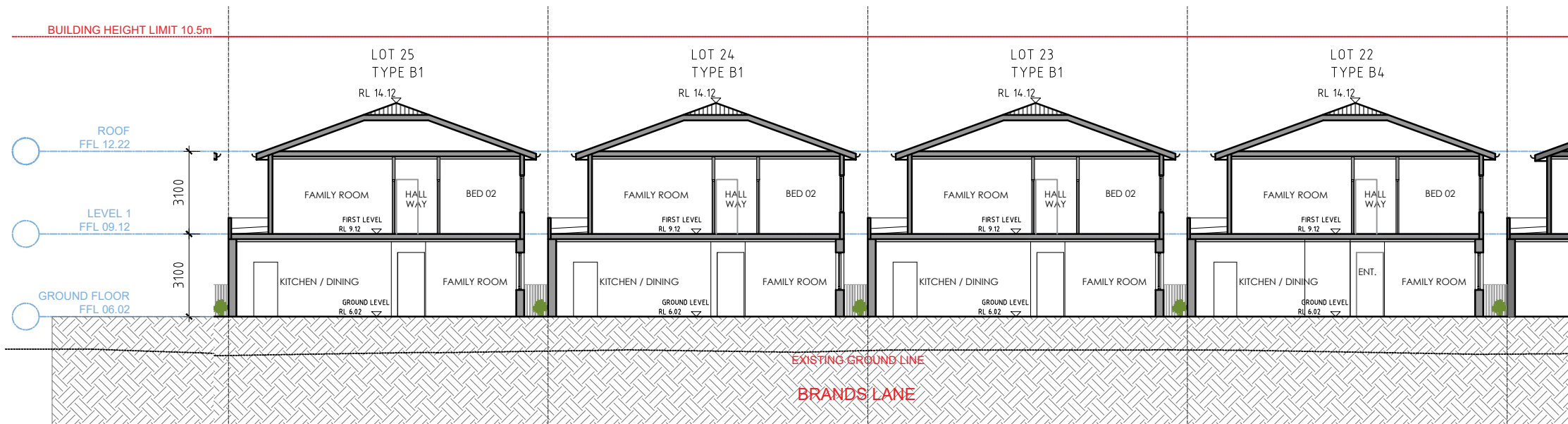
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| PROJECT NO:<br>235            |                              |                     |





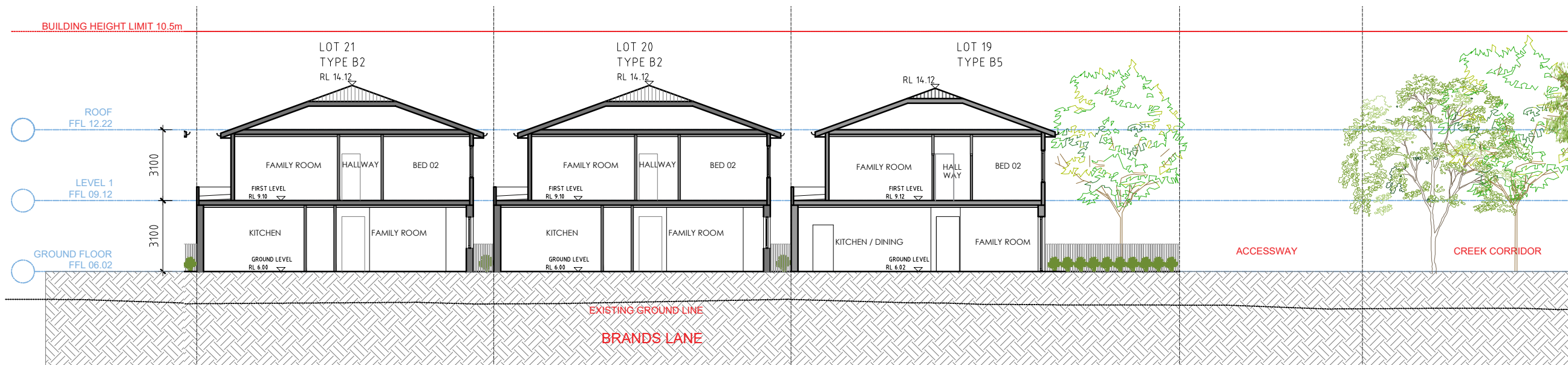
# 1 LOCATION PLAN

SCALE 1:1000@A1 / 1:2000@A3



## 2 SECTION BB.c

SCALE 1:100@A1 / 1:200@A3



## 3 SECTION BB.d

SCALE 1:100@A1 / 1:200@A3

- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| HV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

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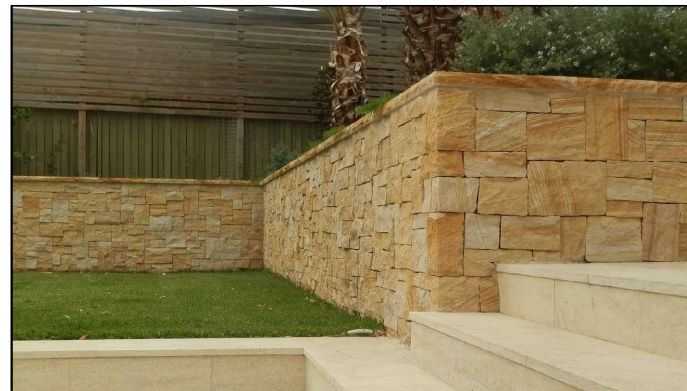
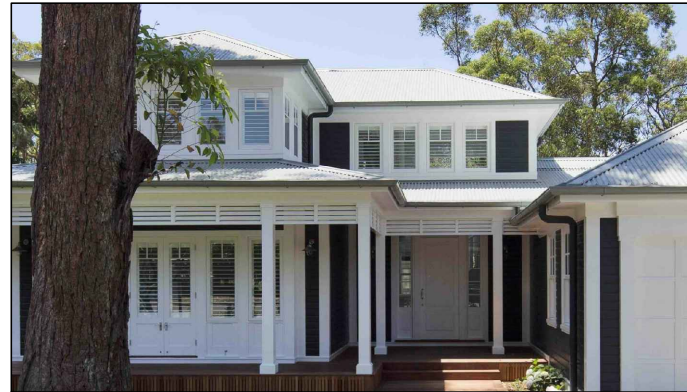
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Level 2, 52 Albion Street, Sunny Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
**28 TERRACES**  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
**SECTION DD**

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| DRAWN BY: SS   | CHECKED BY: HV               |                     |
| SCALE:<br>1:100@A1 / 1:200@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 303</b> | ISSUE:<br><b>01</b> |





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| P1 | DULUX - VIVID WHITE (1 W)        |
| P2 | DULUX - GREY PAIL (GR 21)        |
| P3 | DULUX - TRANQUIL RETREAT (GR 24) |
| P4 | DULUX - TEA HOUSE (GR 23)        |

GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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LEGEND:

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| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| MV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

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| 01    | 12.04.23 | ISSUE FOR DA |
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ARCHITECT:

PBD | ARCHITECTS

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Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:

28 TERRACES

16 MACPHERSON STREET  
WARRIEWOOD

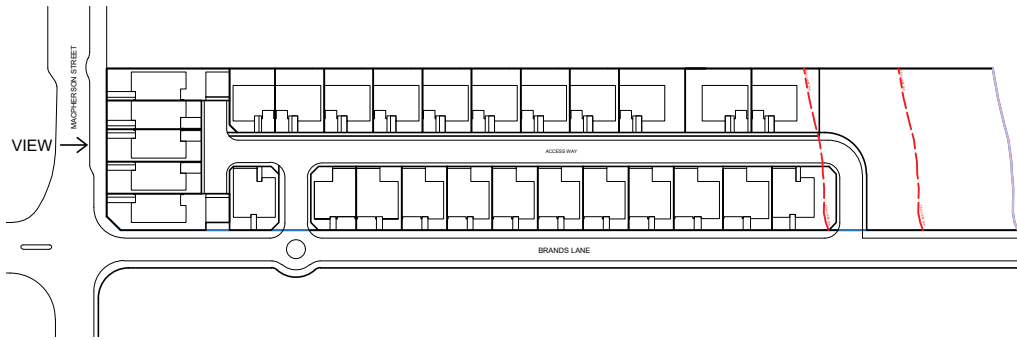
APR. 2023

DRAWING TITLE:

## MATERIAL SCHEDULE

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| DRAWN BY: SS        | CHECKED BY: HV               |                     |
| SCALE:<br>NTS       | DRAWING NO:<br><b>DA 400</b> | ISSUE:<br><b>01</b> |
| PROJECT NO:<br>2235 |                              |                     |





## 1 LOCATION PLAN

SCALE 1:1000@A1 / 1:2000@A3



## 2 PHOTOMONTAGE 01 - MACPHERSON ST

NOT TO SCALE

- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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| LEGEND: |                                   |
|---------|-----------------------------------|
| AW      | AWNING                            |
| HW      | HIGHLIGHT WINDOW                  |
| CU      | A/C CONDENSER UNITS               |
| FH      | FIRE HYDRANT                      |
| FHR     | FIRE HOSE REEL                    |
| FS      | FIRE STAIRS                       |
| HV      | MECHANICAL RISER TO FUTURE DETAIL |
| GC      | GARBAGE CHUTE                     |
| MB      | MAILBOX TO FUTURE DETAIL          |
| PB      | PLANTERBOX                        |
| R       | 240L RECYCLING BIN                |
| SK      | SKYLIGHT                          |
| ST      | STORAGE                           |
| WT      | HOT WATER UNITS                   |

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| 01    | 12 04 23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |

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**PBD | ARCHITECTS**  
ABN 36 147 035 550  
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

DRAWING TITLE:  
PHOTOMONTAGE 01  
MACPHERSON ST

|                     |                       |              |
|---------------------|-----------------------|--------------|
| DRAWN BY: SS        | CHECKED BY: HV        |              |
| SCALE:<br>NTS       | DRAWING NO:<br>DA 410 | ISSUE:<br>01 |
| PROJECT NO:<br>2235 |                       |              |





### GENERAL NOTES:

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| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |

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Level 2, 52 Albion Street, Surry Hills NSW 2010

Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023

DRAWING TITLE:

PHOTOMONTAGE 02

BRANDS LANE

|                     |                              |                     |
|---------------------|------------------------------|---------------------|
| DRAWN BY: SS        | CHECKED BY: HV               |                     |
| SCALE:<br>NTS       | DRAWING NO:<br><b>DA 411</b> | ISSUE:<br><b>01</b> |
| PROJECT NO:<br>2235 |                              |                     |



28 Lots  
28 Dwellings  
SITE AREA = 10,172m<sup>2</sup>

LANDSCAPED AREA

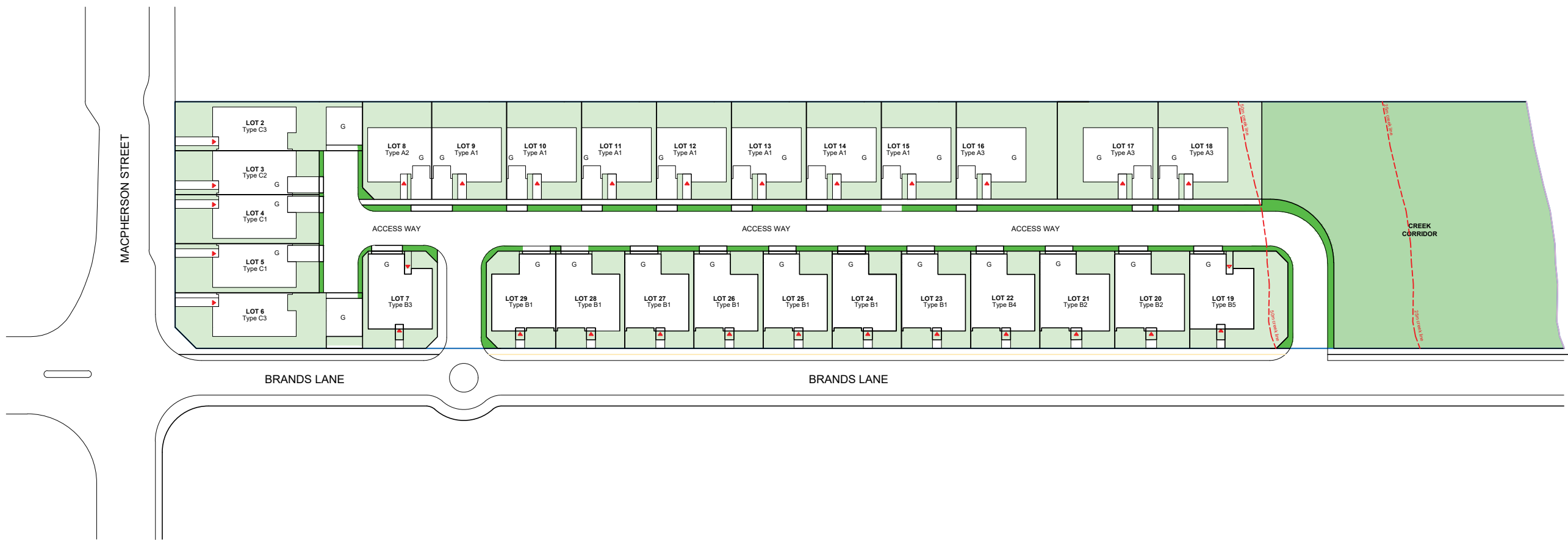
PRIVATE GARDENS



COMMUNAL LANDSCAPED AREAS (VERGES)



CREEK CORRIDOR



1 SITE COVERAGE CALCULATION - PLAN  
SCALE 1:400@A1 / 1:800@A3

- GENERAL NOTES:
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- LEGEND:
- AW AWNING
  - HW HIGHLIGHT WINDOW
  - CU A/C CONDENSER UNITS
  - FH FIRE HYDRANT
  - FHR FIRE HOSE REEL
  - FS FIRE STAIRS
  - HV MECHANICAL RISER TO FUTURE DETAIL
  - GC GARBAGE CHUTE
  - MB MAILBOX TO FUTURE DETAIL
  - PB PLANTERBOX
  - R 240L RECYCLING BIN
  - SK SKYLIGHT
  - ST STORAGE
  - WT HOT WATER UNITS

| ISSUE | DATE     | DESCRIPTION  |
|-------|----------|--------------|
| 01    | 12.04.23 | ISSUE FOR DA |



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Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
AREA CALCULATION  
PLAN

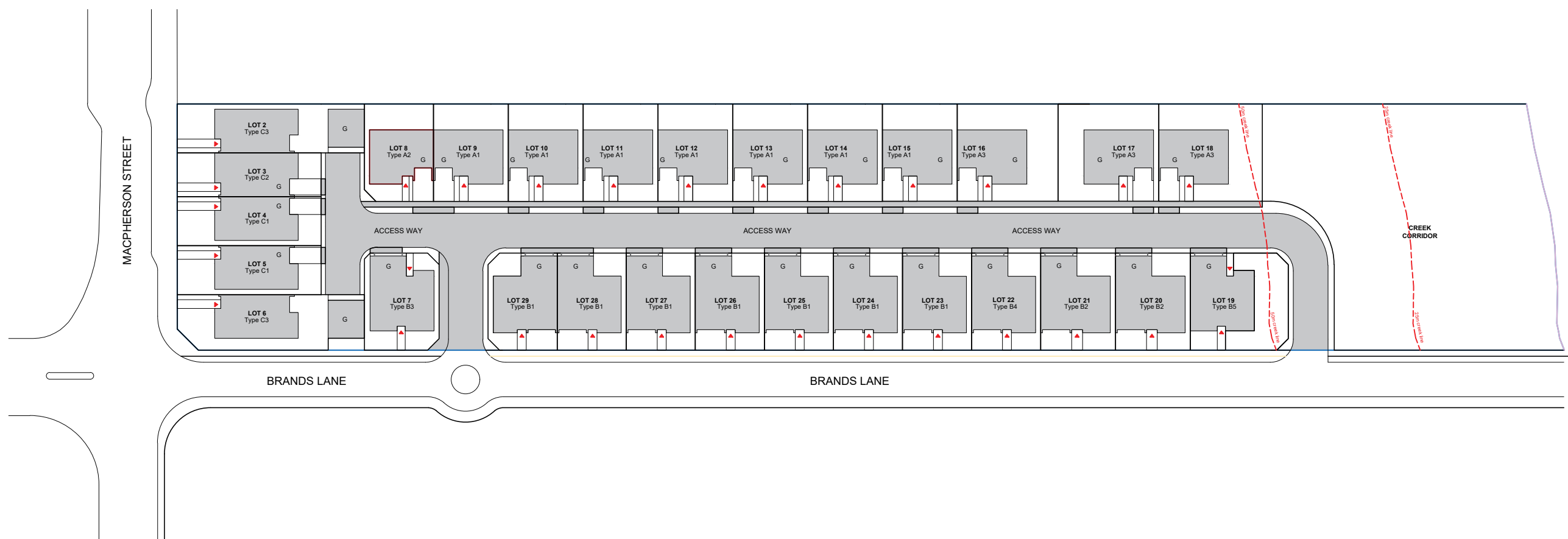
DRAWN BY: SS  
CHECKED BY: HV

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|--|------------------------------|---------------------|
| SCALE:<br>1:400@A1 / 1:800@A3<br>PROJECT NO:<br>2235 | DRAWING NO:<br><b>DA 510</b> | ISSUE:<br><b>01</b> |
|--|------------------------------|---------------------|





28 Lots  
28 Dwellings  
**SITE AREA = 10,172m<sup>2</sup>**



## 1 SITE COVERAGE CALCULATION - PLAN

SCALE 1:400@A1 / 1:800@A3

GENERAL NOTES:

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LEGEND:

|     |                                   |
|-----|-----------------------------------|
| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
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| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

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| ISSUE | DATE     | DESCRIPTION  |



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- 02 9698 8140 E - [info@pbdarchitects.com.au](mailto:info@pbdarchitects.com.au) W - [www.pbdarchitects.com.au](http://www.pbdarchitects.com.au)  
Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljovic NSW 7768

PROJECT:

8 TERRACES

6 MACPHERSON STREET  
VARRIEWOOD

PR. 2023

DRAWING TITLE:

AREA CALCULATION  
PLAN 02

RAWN BY: SS      CHECKED BY: HV

|                   |             |        |
|-------------------|-------------|--------|
| SCALE:            | DRAWING NO: | ISSUE: |
| 400@A1 / 1:800@A3 | DA 511      | 01     |
| PROJECT NO:       |             |        |
| 235               |             |        |



SITE COVERAGE CALCULATION

16 Macpherson Street, Warriewood

SITE AREA in m<sup>2</sup> 10,172

| LOT NUMBER | LOT AREA<br>(m <sup>2</sup> ) | TYPE | LANDSCAPE AREA                  |                             |                                 |                        |                      |  |
|------------|-------------------------------|------|---------------------------------|-----------------------------|---------------------------------|------------------------|----------------------|--|
|            |                               |      | AREA REQUIRED<br>m <sup>2</sup> | % OF LOT AREA REQUIRED<br>% | AREA PROPOSED<br>m <sup>2</sup> | % OF LOT AREA ACHIEVED | COMPLIANCE<br>YES NO |  |
| LOT 2      | 276                           | C3   | 69                              | 25                          | 114                             | 43                     | ✓                    |  |
| LOT 3      | 190                           | C2   | 48                              | 25                          | 62                              | 35                     | ✓                    |  |
| LOT 4      | 212                           | C1   | 53                              | 25                          | 84                              | 42                     | ✓                    |  |
| LOT 5      | 212                           | C1   | 53                              | 25                          | 84                              | 40                     | ✓                    |  |
| LOT 6      | 307                           | C3   | 107                             | 35                          | 145                             | 49                     | ✓                    |  |
| LOT 7      | 214                           | B3   | 75                              | 35                          | 78                              | 38                     | ✓                    |  |
| LOT 8      | 201                           | A2   | 70                              | 35                          | 83                              | 44                     | ✓                    |  |
| LOT 9      | 220                           | A1   | 77                              | 35                          | 92                              | 44                     | ✓                    |  |
| LOT 10     | 220                           | A1   | 77                              | 35                          | 92                              | 43                     | ✓                    |  |
| LOT 11     | 220                           | A1   | 77                              | 35                          | 92                              | 44                     | ✓                    |  |
| LOT 12     | 220                           | A1   | 77                              | 35                          | 92                              | 43                     | ✓                    |  |
| LOT 13     | 220                           | A1   | 77                              | 35                          | 92                              | 44                     | ✓                    |  |
| LOT 14     | 220                           | A1   | 77                              | 35                          | 92                              | 43                     | ✓                    |  |
| LOT 15     | 220                           | A1   | 77                              | 35                          | 92                              | 44                     | ✓                    |  |
| LOT 16     | 295                           | A3   | 133                             | 45                          | 167                             | 58                     | ✓                    |  |
| LOT 17     | 295                           | A3   | 133                             | 45                          | 167                             | 58                     | ✓                    |  |
| LOT 18     | 304                           | A3   | 137                             | 45                          | 176                             | 59                     | ✓                    |  |
| LOT 19     | 282                           | B5   | 127                             | 45                          | 135                             | 49                     | ✓                    |  |
| LOT 20     | 219                           | B2   | 77                              | 35                          | 77                              | 36                     | ✓                    |  |
| LOT 21     | 219                           | B2   | 77                              | 35                          | 77                              | 38                     | ✓                    |  |
| LOT 22     | 202                           | B4   | 71                              | 35                          | 71                              | 35                     | ✓                    |  |
| LOT 23     | 202                           | B1   | 71                              | 35                          | 71                              | 35                     | ✓                    |  |
| LOT 24     | 202                           | B1   | 71                              | 35                          | 71                              | 38                     | ✓                    |  |
| LOT 25     | 202                           | B1   | 71                              | 35                          | 71                              | 35                     | ✓                    |  |
| LOT 26     | 202                           | B1   | 71                              | 35                          | 71                              | 35                     | ✓                    |  |
| LOT 27     | 202                           | B1   | 71                              | 35                          | 71                              | 35                     | ✓                    |  |
| LOT 28     | 202                           | B1   | 71                              | 35                          | 71                              | 38                     | ✓                    |  |
| LOT 29     | 198                           | B1   | 69                              | 35                          | 67                              | 36                     | ✓                    |  |
|            |                               |      |                                 |                             | 2657                            |                        |                      |  |

CREEK CORRIDOR LANDSCAPED AREA  
COMMUNAL LANDSCAPED AREA (VERGE)

|      |
|------|
| 1779 |
| 295  |

TOTAL LANDSCAPE AREA (m<sup>2</sup>)

|      |                         |
|------|-------------------------|
| 4731 | 46.51<br>% of site area |
|------|-------------------------|

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| WT  | HOT WATER UNITS                   |

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| ISSUE | DATE     | DESCRIPTION  |

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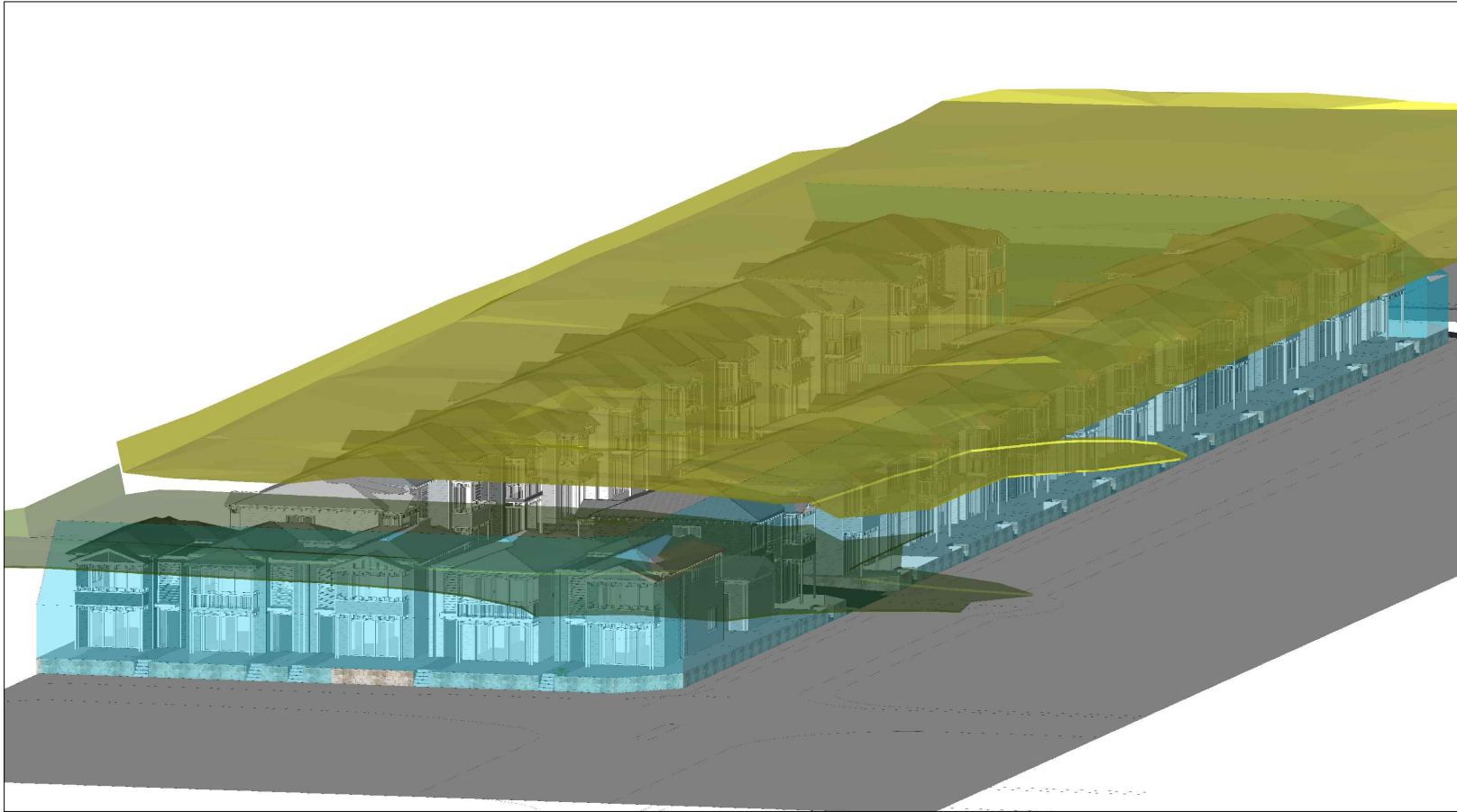
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ABN 36 147 035 550  
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Sunny Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
AREA CALCULATION  
SCHEDULE

|               |                     |                       |              |
|---------------|---------------------|-----------------------|--------------|
| DRAWN BY: SS  |                     | CHECKED BY: HV        |              |
| SCALE:<br>NTS | PROJECT NO:<br>2235 | DRAWING NO:<br>DA 512 | ISSUE:<br>01 |
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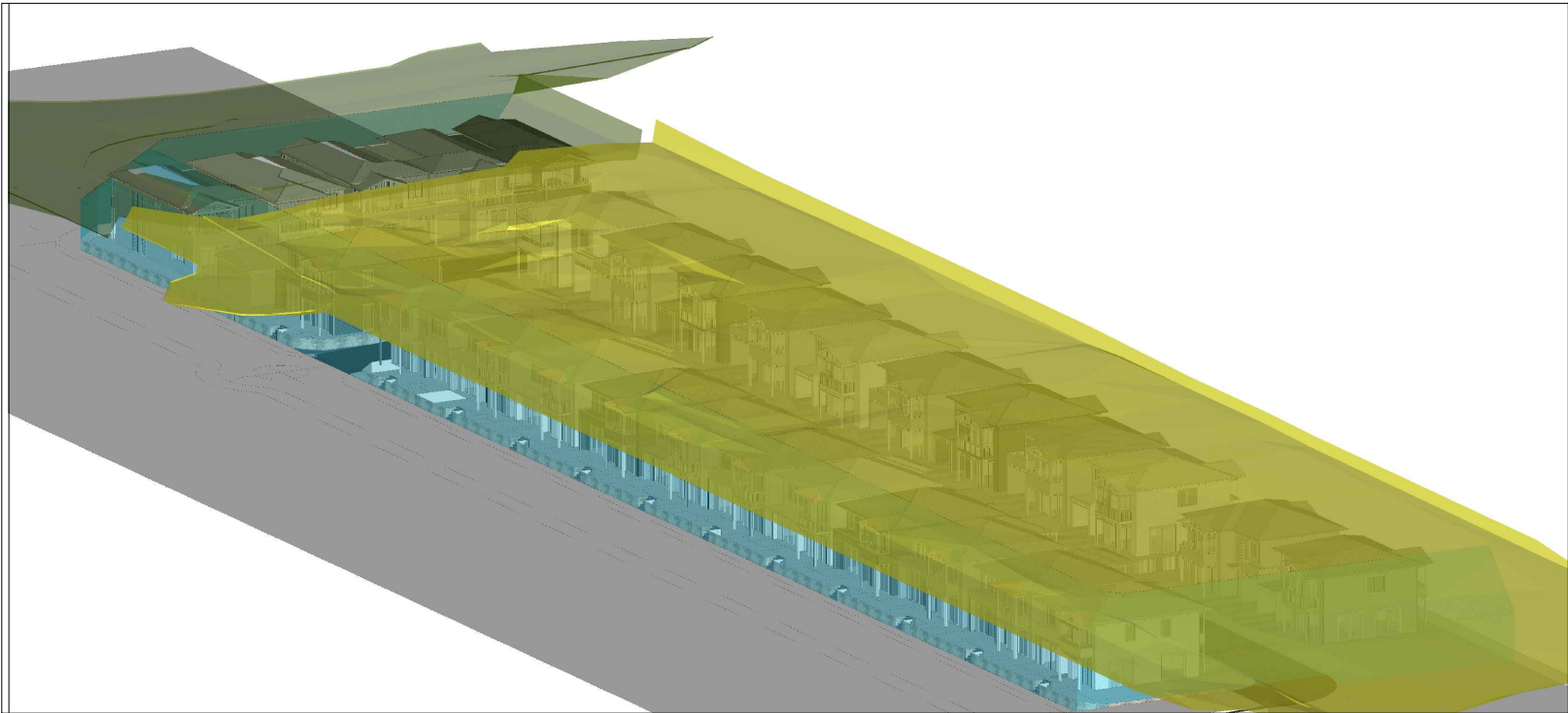


8.5 m BUILDING HEIGHT LIMIT

10.5 m BUILDING HEIGHT LIMIT

1 BUILDING ENVELOPE 01

NOT TO SCALE



1 BUILDING ENVELOPE 02

NOT TO SCALE

- GENERAL NOTES:
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| WT  | HOT WATER UNITS                   |

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| 01    | 12.04.23 | ISSUE FOR DA |
| ISSUE | DATE     | DESCRIPTION  |

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ARCHITECT:

**PBD | ARCHITECTS**

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Level 2, 52 Albion Street, Surry Hills NSW 2010

Nominated Architect: Paul Buljevic NSW 7768

PROJECT:

28 TERRACES

16 MACPHERSON STREET

WARRIEWOOD

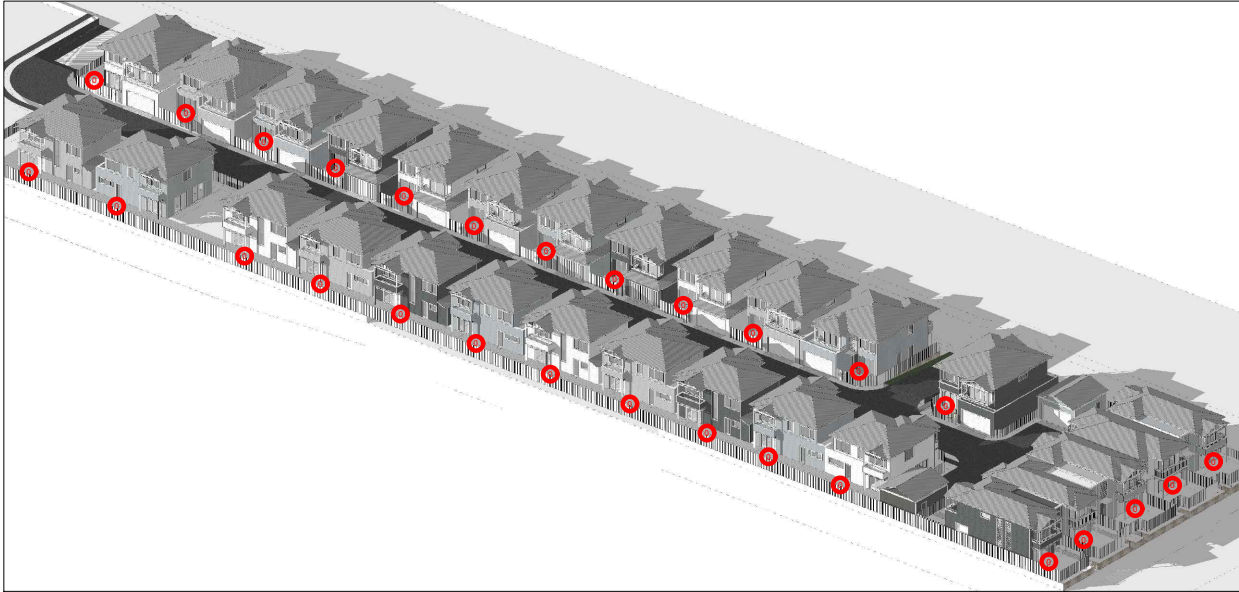
APR. 2023

DRAWING TITLE:

**BUILDING ENVELOPE DIAGRAMS**

|              |                |        |
|--------------|----------------|--------|
| DRAWN BY: SS | CHECKED BY: HV |        |
| SCALE:       | DRAWING NO:    | ISSUE: |
| NTS          |                |        |
| PROJECT NO:  | DA 520         | 01     |
| 2235         |                |        |





1 9AM - JUNE 21ST  
NOT TO SCALE



1 10AM - JUNE 21ST  
NOT TO SCALE



1 11AM - JUNE 21ST  
NOT TO SCALE



1 12PM - JUNE 21ST  
NOT TO SCALE

GENERAL NOTES:

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| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

- 0 0 HOUR SOLAR ACCESS
- 1 1 HOUR SOLAR ACCESS
- 2 2 HOUR SOLAR ACCESS
- 3 3 HOUR SOLAR ACCESS
- 4 4 HOUR SOLAR ACCESS
- 5 5 HOUR SOLAR ACCESS
- 6 6 HOUR SOLAR ACCESS

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| ISSUE | DATE     | DESCRIPTION  |

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ABN 36 147 035 550  
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Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
**SOLAR STUDY**  
**9AM - 12 PM**

|                     |                              |                     |
|---------------------|------------------------------|---------------------|
| DRAWN BY: SS        | CHECKED BY: HV               |                     |
| SCALE:<br>NTS       | DRAWING NO:<br><b>DA 601</b> | ISSUE:<br><b>01</b> |
| PROJECT NO:<br>2235 |                              |                     |





1 01PM - JUNE 21ST  
NOT TO SCALE



1 02PM - JUNE 21ST  
NOT TO SCALE



1 03PM - JUNE 21ST  
NOT TO SCALE

GENERAL NOTES:

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LEGEND:

AW AWNING  
HW HIGHLIGHT WINDOW  
CU A/C CONDENSER UNITS  
FH FIRE HYDRANT  
FHR FIRE HOSE REEL  
FS FIRE STAIRS  
MV MECHANICAL RISER TO FUTURE DETAIL  
GC GARBAGE CHUTE  
MB MAILBOX TO FUTURE DETAIL  
PB PLANTERBOX  
R 240L RECYCLING BIN  
SK SKYLIGHT  
ST STORAGE  
WT HOT WATER UNITS

- 0 0 HOUR SOLAR ACCESS
- 1 1 HOUR SOLAR ACCESS
- 2 2 HOUR SOLAR ACCESS
- 3 3 HOUR SOLAR ACCESS
- 4 4 HOUR SOLAR ACCESS
- 5 5 HOUR SOLAR ACCESS
- 6 6 HOUR SOLAR ACCESS

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**PBD | ARCHITECTS**

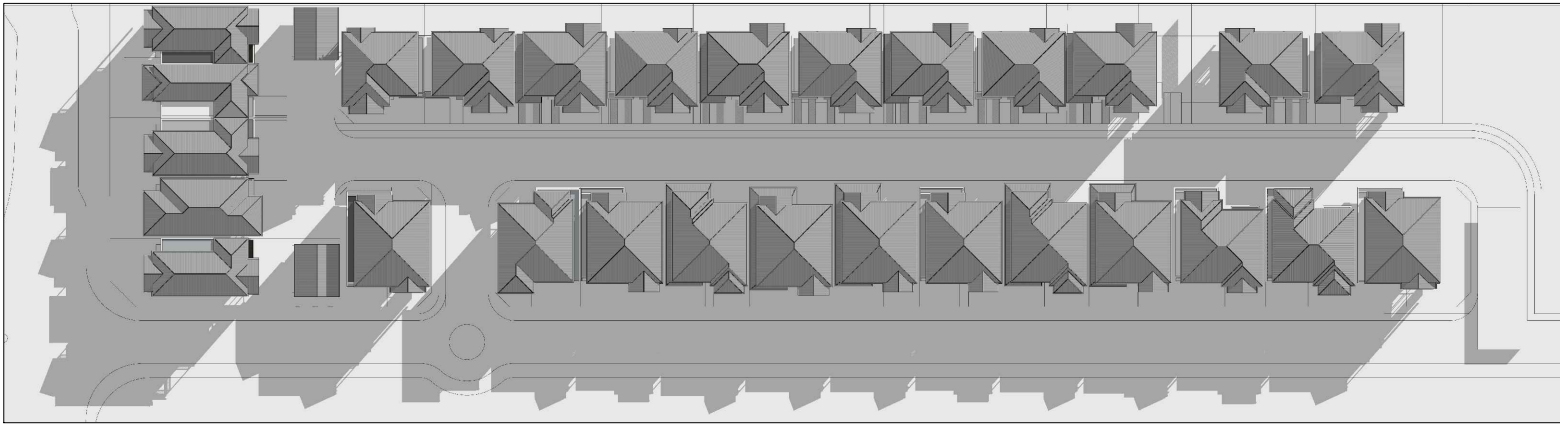
ABN 36 147 035 550  
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Surry Hills NSW 2010  
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

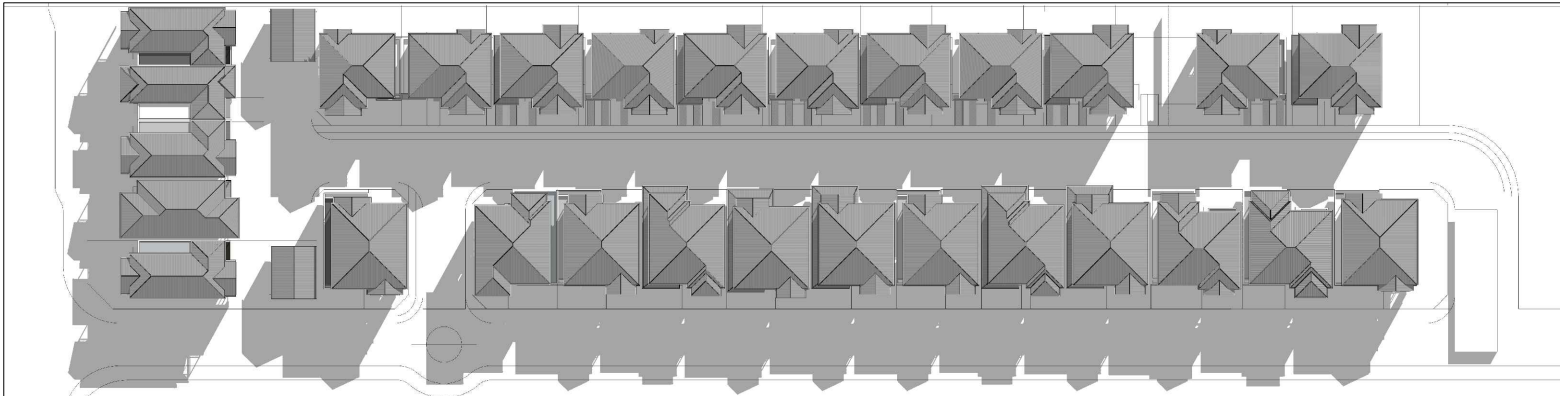
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DRAWING TITLE:  
SOLAR STUDY  
01PM - 03PM

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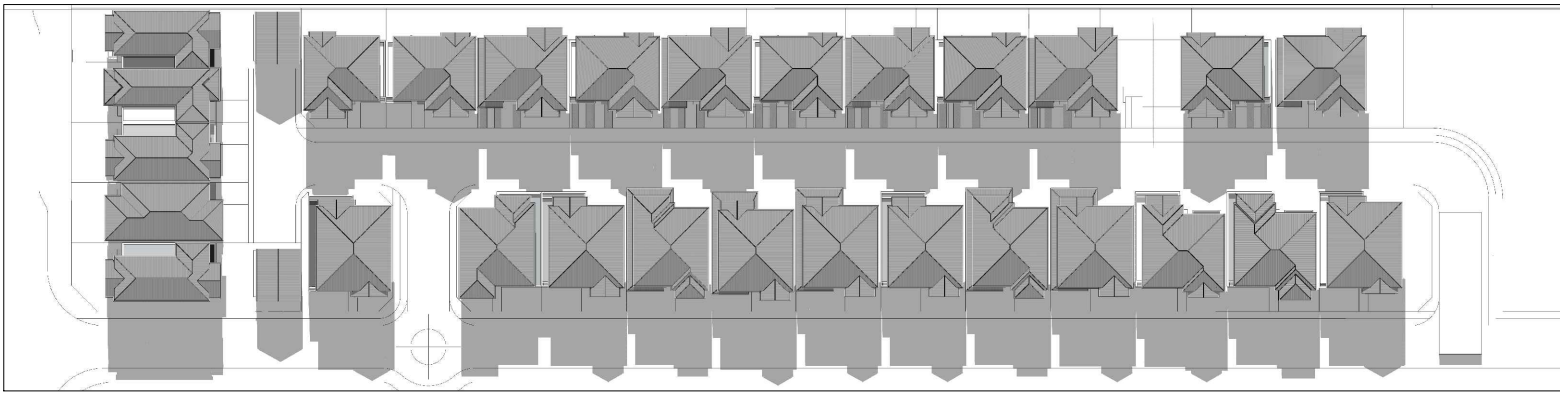
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2 10AM - JUNE 21ST  
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3 11AM - JUNE 21ST  
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4 12PM - JUNE 21ST  
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- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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LEGEND:

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| AW  | AWNING                            |
| HW  | HIGHLIGHT WINDOW                  |
| CU  | A/C CONDENSER UNITS               |
| FH  | FIRE HYDRANT                      |
| FHR | FIRE HOSE REEL                    |
| FS  | FIRE STAIRS                       |
| HV  | MECHANICAL RISER TO FUTURE DETAIL |
| GC  | GARBAGE CHUTE                     |
| MB  | MAILBOX TO FUTURE DETAIL          |
| PB  | PLANTERBOX                        |
| R   | 240L RECYCLING BIN                |
| SK  | SKYLIGHT                          |
| ST  | STORAGE                           |
| WT  | HOT WATER UNITS                   |

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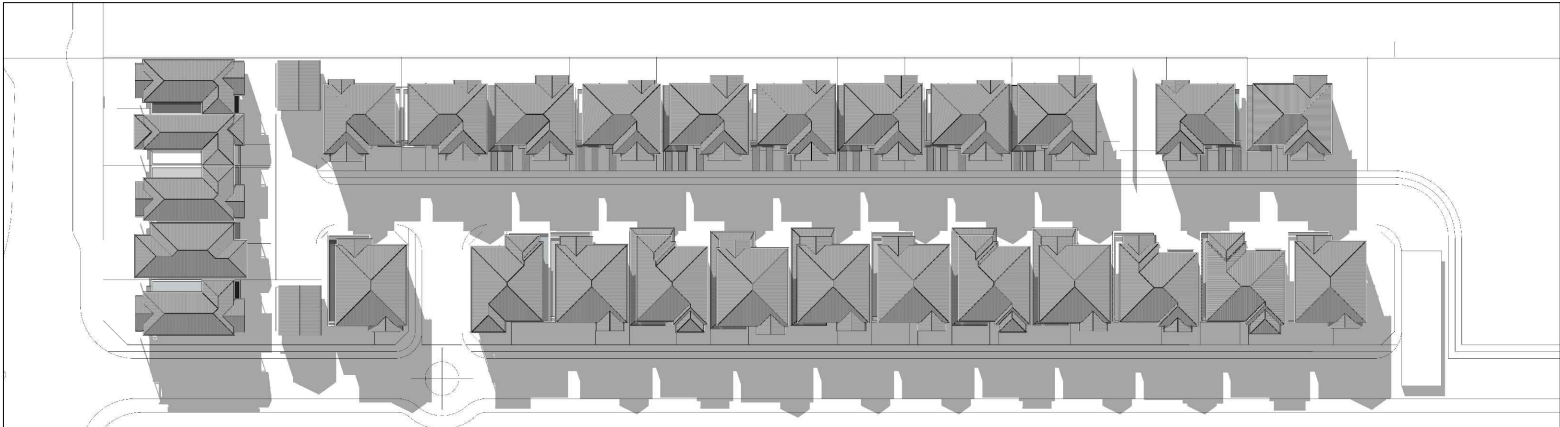
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PROJECT:  
28 TERRACES  
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WARRIEWOOD

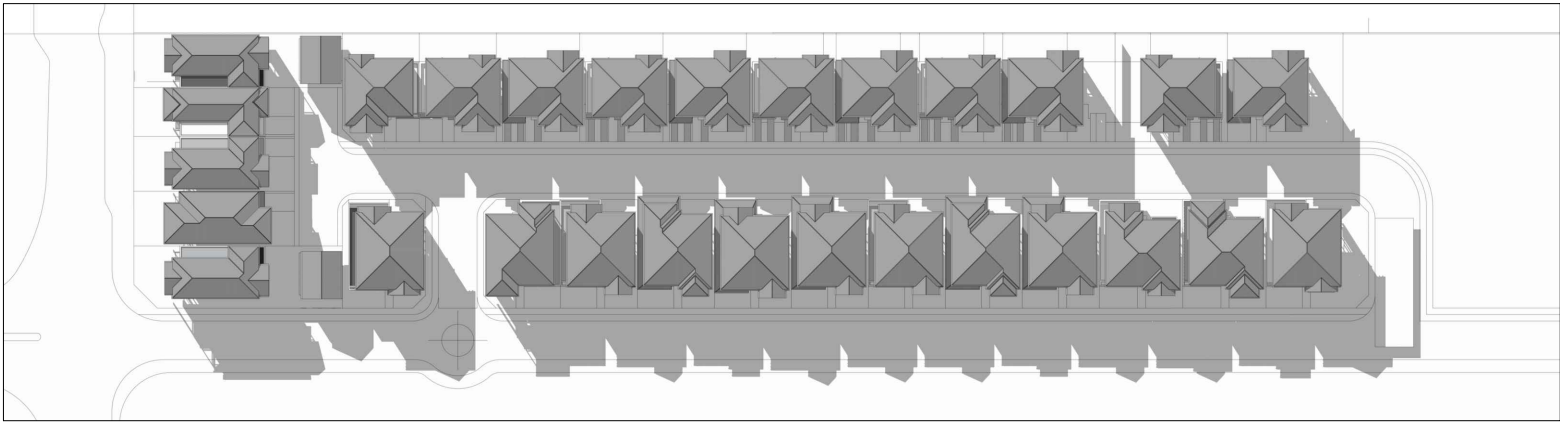
APR. 2023  
DRAWING TITLE:  
SHADOW DIAGRAMS  
09AM - 12PM - JUNE 21ST

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| DRAWN BY: SS        | CHECKED BY: HV        |              |
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| PROJECT NO:<br>2235 |                       |              |

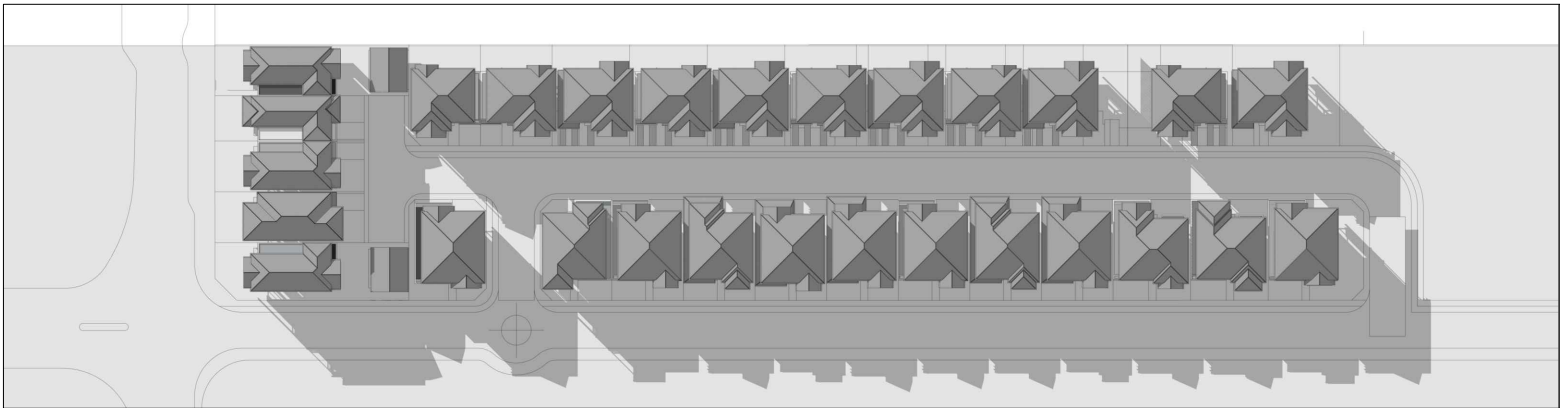




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2 02PM - JUNE 21ST  
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3 03PM - JUNE 21ST  
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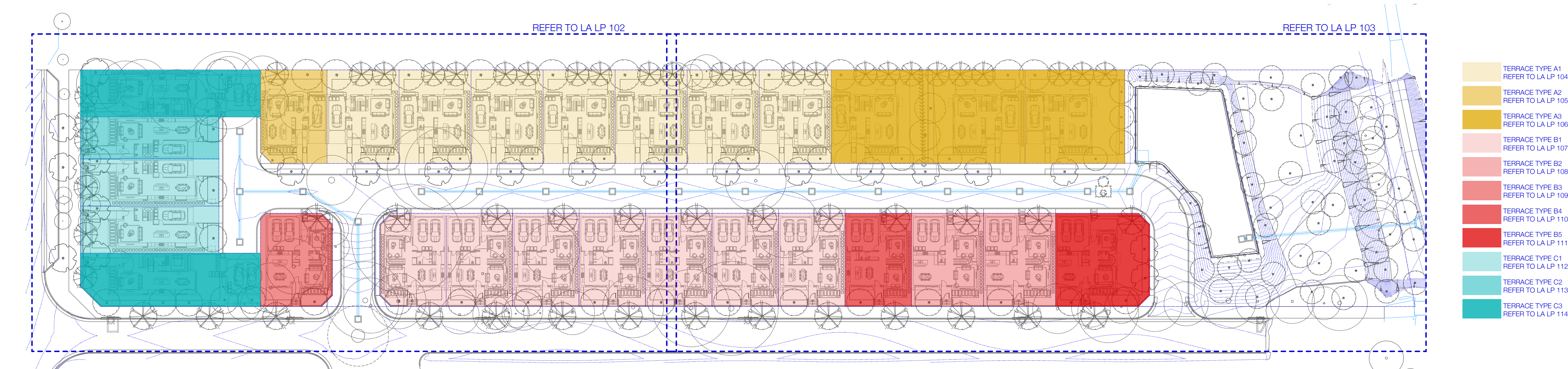
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PROJECT:  
28 TERRACES  
16 MACPHERSON STREET  
WARRIEWOOD

APR. 2023  
DRAWING TITLE:  
SHADOW DIAGRAM  
01PM - 03PM - JUNE 21ST

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| DRAWN BY: SS        | CHECKED BY: HV        |              |
| SCALE:<br>NTS       | DRAWING NO:<br>DA 604 | ISSUE:<br>01 |
| PROJECT NO:<br>2235 |                       |              |





- TERRACE TYPE A1  
REFER TO LA LP 104
- TERRACE TYPE A2  
REFER TO LA LP 105
- TERRACE TYPE A3  
REFER TO LA LP 106
- TERRACE TYPE B1  
REFER TO LA LP 107
- TERRACE TYPE B2  
REFER TO LA LP 108
- TERRACE TYPE B3  
REFER TO LA LP 109
- TERRACE TYPE B4  
REFER TO LA LP 110
- TERRACE TYPE B5  
REFER TO LA LP 111
- TERRACE TYPE C1  
REFER TO LA LP 112
- TERRACE TYPE C2  
REFER TO LA LP 113
- TERRACE TYPE C3  
REFER TO LA LP 114

01 SITE PLAN  
Scale 1:500 @ A1

#### GENERAL NOTES / SPECIFICATION

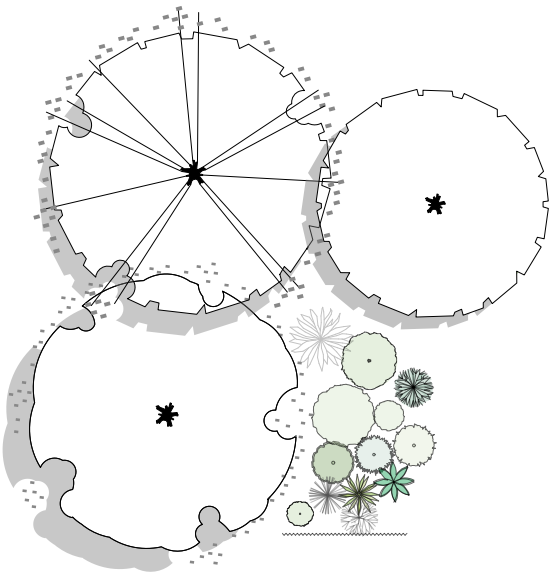
- DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. NOTE ALL LANDSCAPE HARDWORKS INCLUDING PAVING, STEPS, RETAINING WALLS AND FENCES TO ARCHITECTS DOCUMENTATION .
- ALL PLANTING AREAS TO BE MULCHED, TYPICALLY 50MM DEPTH. ORGANIC MULCH TO CONFORM TO AS 4454-2012 COMPOST, SOIL CONDITIONERS AND MULCHES.  
FERTILISER SHALL BE A SLOW RELEASE PELLETISED FORM SUITABLE FOR USE WITH AUSTRALIAN NATIVE PLANTS APPLIED AT THE MANUFACTURES' RECOMMENDED RATE.  
SOIL WETTING AGENT SHALL BE "AQUASOIL" OR "WETTASOIL" APPLIED AT A RATE OF 1 LITRE/ 1000 LITRES OF WATER OR EQUIVALENT.
- SOILS TO CONFORM TO AS 4419-2018 SOILS FOR LANDSCAPING AND GARDENS USE.  
SOIL DEPTHS- PLANTING AREAS VARIES (300MM - 1000MM SOIL DEPTH)
  - ON STRUCTURE - MINIMUM 1000MM FOR TREE PLANTING
  - ON STRUCTURE - MINIMUM 600MM FOR GROUND COVERS AND SHRUBS
- GARDEN SOIL SHALL HAVE A PH BETWEEN 5.5 AND 7.0, EC< 1.2DS/M; 2-5CG/MG RATIO, 5-20MEQ % CEC, AND NUTRIENTS TO AS 3743 POTTING MIXES.  
ALL PLANTING SOIL SHALL BE FREE OF RUBBISH, DEBRIS AND SUBSTANCES THAT ARE TOXIC TO LIVING ORGANISMS, OR WOULD OTHERWISE BE DECLARED CONTAMINATED. ALL IMPORTED GARDEN SOIL SHALL BE FREE OF WEED SEEDS.  
PLANTING SOIL SHALL NOT BE WATER REPELLENT AND IT SHALL TAKE LESS THAN 53 SECONDS FOR A WATER DROPLET TO SOAK INTO DRY SOIL(REFERENCE: HANDECK & BLACK).
- THE CONTRACTOR SHALL ENSURE ANY INSTALLED SUB GRADES ARE NOT TOXIC TO NORMAL PLANT GROWTH OR UNNATURALLY OVERLY COMPACTED. ENSURE EXISTING SUB SOIL IS NOT TOXIC TO PLANT GROWTH, AND NOTIFY SUPERINTENDENT IMMEDIATELY IF THERE ARE ANY CONCERNS WITH REGARD TO THE SUB SOIL CONDITIONS.
- ALL PLANTING SOIL TO BE CONSOLIDATED BUT NOT COMPACTED AND HAVE PARTICLE SIZES GREATER THAN THE SUBSOIL.
- PLANT SUPPLY - THE PLANTS ARE TO BE VIGOROUS AND APPROPRIATELY ACCLIMATISED WITH A ROOTBALL THAT IS FULL BUT NOT RESTRAINED. TREE STOCK ARE TO BE GROWN AND CERTIFIED AS COMPLYING WITH NATSPEC'S "SPECIFYING TREES - A GUIDE TO ASSESSMENT OF TREE QUALITY", SECOND EDITION 2003 BY ROSS CLARK AND AS 2303-2015 TREE STOCK FOR LANDSCAPE USE
- PLANT INSTALLATION - THE TOPS OF ROOT BALLS ARE TO BE LEVEL WITH OR UP TO 50MM HIGHER THAN THE SURROUNDING SOIL LEVEL. CREATE WATERING "SAUCERS" AROUND ALL PLANTS FROM POTS LARGER THAN 5 LITRE (E 200MM DIAMETER). DO NOT PILE UP MULCH AGAINST THE BASE OF THE PLANT STEM/TRUNK.
- STAKING - REMOVE ALL NURSERY STAKES, TIES AND LABELS. THE ROOT BALL AND CANOPY ARE TO BE BALANCED AND THE STEM / TRUNK SUFFICIENTLY DEVELOPED SO THAT THE PLANTS STAY UPRIGHT WITHOUT THE NEED TO BE STAKED. DO NOT STAKE PLANTS UNLESS SPECIFICALLY NOTED TO DO SO OR UNLESS SPECIAL CIRCUMSTANCES REQUIRE A PLANT TO BE TEMPORARILY STAKED FOR STABILITY.
- ALL PLANTING AREAS TO HAVE DRIP IRRIGATION SYSTEM WITH BACK UP PROTECTION TO THE MAIN SUPPLY, TO ALL CURRENT SYDNEY WATERS REQUIREMENTS AND RELEVANT AUSTRALIAN STANDARDS
- SUPPLY - DESIGN, SUPPLY AND INSTALL A PERMANENT AUTOMATED SUB-SURFACE IRRIGATION SYSTEM.
- EXTENT - THE SYSTEM IS TO COVER ALL NEW GARDENS. WATER IS TO BE DELIVERED VIA SUBSURFACE DRIP LINES BURIED BELOW THE FINISHED GROUND LEVEL TO GARDENS AND TREES AND VIA POPUP SPRAYS ON FLEXIBLE ARMS TO THE LAWN AREA.
- CAPACITY - THE SYSTEM IS TO BE CAPABLE OF SUPPLYING 32MM OF WATER/WEEK OVER ALL AREAS. IT IS TO BE DESIGNED TO OPERATE FOR 10 YEARS (MIN).
- INSTALLATION - VALVE PITS ARE TO BE SET ON A 200MM DEEP BED OF GRAVEL FOR DRAINAGE. PIT COVERS ARE TO BE LEVEL WITH THE SOIL SURFACE. INCLUDE PLUMBING CONNECTION TO THE MAIN LINE. ALL VALVES AND BACKFLOW PREVENTION. LOCATE A CENTRAL MULTI-STATION CONTROLLER IN A LOCKABLE BOX AS DIRECTED BY THE PROJECT MANAGER. A DEDICATED GPO IS TO BE PROVIDED BY THE BUILDER FOR THE CONTROLLER TO BE PLUGGED INTO.
- MAINTAIN ALL WORKS DURING THE CONTRACT PERIOD FOR 52 WEEKS FROM THE DATE OF PRACTICAL COMPLETION INCLUDING, BUT NOT LIMITED TO WATERING, MOWING, WEEDING, RUBBISH REMOVAL, REPLACEMENT PLANTING, DISEASE AND PEST CONTROL, PRUNING, SOIL AND MULCH CONTROL, RENOVATION.
- PROTECT ALL ADJOINING PROPERTY BUILDINGS, WALLS, FENCES AND PAVING. DAMAGED ELEMENTS ARE TO BE REPLACED.
- THERE ARE TO BE NO SHARP PROTRUSIONS OR ABRASIVE EDGES, OBTRUSIVE FITTINGS OR FIXTURES.
- GENERALLY PAVEMENTS ARE TO FALL AT 1% TO 2% UNLESS NOTED OTHERWISE.
- PROVIDE CONDUITS THROUGH WALLS / PAVEMENTS AS REQUIRED FOR SERVICES.
- ALL STRUCTURAL DETAILS OF FOOTINGS, SLABS, WALLS AND THE LIKE ARE TO BE REFERRED TO AN ENGINEER TO PROVIDE DETAILS AND SPECIFICATION.
- LEVELS SHOWN ARE FINISHED SURFACE LEVELS. GRADE AND TRIM LOCALLY TO ENSURE THE FINISHED SURFACE DRAINS.
- SOIL LEVELS IN GARDEN AREAS TO FINISH 50MM BELOW ADJACENT WALLS/ PAVEMENTS UNLESS NOTED OTHERWISE.
- MATERIAL SAMPLES AND PRODUCT INFORMATION- MATERIALS AND WORKMANSHIP ARE TO CONFORM TO THE CURRENT EDITION OF APPLICABLE REQUIREMENTS OF AUSTRALIAN STANDARD SPECIFICATIONS AND CODES.
- REFER TO ARBORIST REPORT REGARDING RETENTION AND REMOVAL OF TREES
- GREEN WASTE REMOVAL - ALL GREEN WASTE GENERATED BY THE MAINTENANCE WORK SHALL BE CONTAINED WITHIN THE IMMEDIATE WORK AREA, AND SHALL NOT LEAK INTO ADJACENT AREAS, OR OUTSIDE THE SITE. ALL DEBRIS SHALL BE CONTAINED AND REMOVED FROM SITE TO AN APPROVED CERTIFIED TIPPING AND LEGAL RECYCLING DEPOT LOCATION USING SUITABLE CLOSED WASTE CONTAINERS AND VEHICLES.

#### MAINTENANCE PLAN

- THE OBJECTIVE OF THIS MAINTENANCE PLAN IS TO OUTLINE THE MAINTENANCE REQUIREMENTS OF THE DEVELOPMENT AND ENABLE A DEFINED SCOPE OF MAINTENANCE ACTIVITIES TO BE REGULARLY UNDERTAKEN. A DETAILED MAINTENANCE PLAN TO BE PREPARED AS PART OF THE CONSTRUCTION CERTIFICATE DOCUMENTATION.
- MAINTENANCE INCLUDE WATERING, WEEDING, MOWING PEST AND DISEASE CONTROL, REPLACING FAILED PLANTS, SOIL AND MULCH REPLENISHMENT, CULTIVATING, PRUNING, REPAIRING EROSION AND RECTIFYING STORM DAMAGE. SWEEP AND/OR REMOVE FALLEN BRANCHES AND LEAF LITTER INCLUDING THE AUTUMN LEAF DROP) AND OTHER GARDEN DEBRIS. MAINTENANCE OF THE SITE IS TO ALSO INCLUDE THE PUBLIC DOMAIN
- IT IS EXPECTED THAT THE CONTRACTOR SHALL TAKE A PROACTIVE AND DILIGENT APPROACH TO ALL MAINTENANCE ACTIVITIES AND ENCOURAGE ALL STAFF AND SUB-CONTRACTORS TO PICKUP ANY OBVIOUS LITTER FOUND THROUGHOUT THE MAINTAINED AREAS. SIMILARLY BE VIGILANT IN LOOKING FOR AND REPORTING ANY NOTED INCIDENCE OF VANDALISM, BREAKAGES, DAMAGE AND GRAFFITI ETC.
- LOG BOOK  
KEEP A LOGBOOK RECORDING WHEN AND WHAT MAINTENANCE WORK HAS BEEN DONE AND WHAT MATERIALS, INCLUDING TOXIC MATERIALS, HAVE BEEN USED. THIS LOG BOOK IS TO BE GIVEN TO THE PROJECT MANAGER/ OR COMMUNITY ASSOCIATION AND MADE AVAILABLE FOR INSPECTION ON REQUEST.
- PROGRAM  
AT LEAST TWO WEEKS PRIOR TO PRACTICAL COMPLETION SUBMIT A PROGRAM OUTLINING PROPOSED MAINTENANCE REGIME DURING THE PLANT ESTABLISHMENT PERIOD, INCLUDING ANTICIPATED FREQUENCY AND DURATION OF INDIVIDUAL TASKS. REVISE PROGRESSIVELY TO ENSURE THE OPTIMAL MAINTENANCE REGIME IS IMPLEMENTED AND SUBMIT ON A MONTHLY BASIS.
- ALL PLANTED AREAS SHALL BE ADEQUATELY WATERED TO KEEP THEM HEALTHY AND GROWING VIGOROUSLY. THE MINIMUM ACCEPTABLE WATERING REQUIREMENT SHALL EQUAL 25 MM OF NATURAL RAINFALL OR ITS APPLIED EQUIVALENT, OR A COMBINATION OF BOTH, DURING EACH PERIOD OF ONE WEEK, EXCEPT IN PERIODS OF HEAVY RAIN. VARY THE WATERING REQUIREMENT TO SUIT SEASONAL CONDITIONS AND MAINTAIN HEALTHY PLANT MATERIAL AND GRASS AREAS IN OPTIMUM CONDITION.
- PEST AND DISEASE  
ALL LANDSCAPE AREAS INCLUDING TREES ARE TO BE VISUALLY INSPECTED FOR THE PRESENCE OF PERSISTENT AND DAMAGING INSECT PESTS OR DISEASES. THE CONTRACTOR SHALL REPORT ANY INCIDENCE OF INSECT ATTACK OR EVIDENCE OF DISEASE AMONGST PLANT MATERIAL ALONG WITH A RECOMMENDED CONTROL AND ACTION TO BE UNDERTAKEN
- FERTILISING  
FERTILIZER SHALL BE SUPPLIED AND APPLIED EVENLY TO ALL LANDSCAPE AREAS ENSURE OPTIMUM PLANT GROWTH, HEALTH AND DISEASE RESISTANCE THROUGH THE PROVISION OF ALL ESSENTIAL MACRO AND MICRO NUTRIENTS COMMONLY REQUIRED BY PLANTS AND THEREBY PREVENT ANY SYMPTOMS ASSOCIATED WITH NUTRIENT DEFICIENCIES.
- EXTENT AND TASK  
THE CONTRACTOR SHALL MONITOR ALL TREE AND ASSOCIATED LANDSCAPE WORKS FOR THE DURATION OF THE MAINTENANCE PERIOD. THIS WILL GENERALLY INCLUDING WATERING, FAILED PLANT REPLACEMENT, PEST AND DISEASE CONTROL, PRUNING, SOIL CONTROL, MOWING, WEED CONTROL, SOIL PH CORRECTION AND FERTILIZATION. CARRY OUT MAINTENANCE ACTIVITIES FOR ALL NEW GARDEN AREAS AS REQUIRED TO ENSURE THE PLANT BECOME ESTABLISHED WITHIN THE MAINTENANCE PERIOD AND ARE KEPT IN A HEALTHY AND TIDY STATE IN ACCORDANCE WITH BEST HORTICULTURAL PRACTICES.
- PLANT REPLACEMENT  
SHALL BE UNDERTAKEN WITHIN 7 DAYS OF PLANT BEING IDENTIFIED AS FAILED OR UNACCEPTABLY DAMAGED. NOTE, SERVE WILTING OR WATER LOGGING LEADING TO DEATH OF FOLIAGE, BREAKAGE OR WOUNDING OF MAIN STEM, DAMAGE OF APICAL LEADERS OR DAMAGE TO SIGNIFICANT ORDER OF BRANCHES SHALL BE DEEMED TO CONSTITUTE FAILURE.
- HARDSCAPE / FURNITURE AND FIXINGS  
ENSURE ALL EXTERNAL HARDSCAPE AREAS INCLUDING FURNITURE AND FIXINGS ARE MAINTAINED IN A SAFE, CLEAN, NEAT AND TIDY CONDITION THAT PROMOTES THEIR USE AND ENJOYMENT. INSPECT ALL HARDSCAPE AND FURNITURE AND FIXTURES ITEMS FOR DAMAGE OR VANDALISM AND REPORT ANY FAULTS OR DAMAGE. MAKE ARRANGEMENT TO FIX ANY MINOR ISSUES.
- IRRIGATION  
REGULARLY INSPECT, MONITOR AND ADJUST IRRIGATION AND WATERING SYSTEM TO ENSURE PROPER OPERATION AND COVERAGE AND RECTIFY ANY LEAKS, BLOCKAGES OR BREAKAGES IN A TIMELY FASHION. IF REQUIRED, UNDERTAKE PRESSURE TESTING OR FLUSHING TO IDENTIFY AND/OR ADDRESS ANY SYSTEM MALFUNCTION. THE CONTRACTOR SHALL REPAIR THE SYSTEM DUE TO VANDALISM, UNAUTHORIZED USE AND BREAKAGE. IF VANDALISM OR BREAKAGE IS A PERSISTENT OR A LARGE-SCALE PROBLEM, THE CONTRACTOR SHALL KEEP A RECORD OF COMPONENTS REPLACED OR RECTIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLEMENTARY WATERING DUE TO ANY INADEQUACIES WITH THE SYSTEM, AND ADDRESS LEAKS IMMEDIATELY.

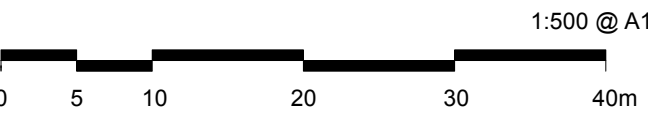
#### LEGEND

- BOUNDARY
- EXISTING TREE TO BE RETAINED AND PROTECTED.
- EXISTING TREE TO BE REMOVED.
- P1 - PAVEMENT TYPE 1 - CONCRETE PAVEMENT - (LIGHTLY EXPOSED CONCRETE)
- P2 - PAVEMENT TYPE 2 - PERMEABLE PAVEMENT (STONE-SET)
- P3 - PAVEMENT TYPE 3 - TIMBER DECKING
- STEPPERS THROUGH GARDEN / LAWN
- G1 - GARDEN PROFILE 01- GARDEN ON GRADE AND IRRIGATION EXTENT (DRIP IRRIGATION)
- G2 - GARDEN PROFILE 02- RAISED GARDEN ON GRADE AND IRRIGATION EXTENT (DRIP IRRIGATION)
- G3 - GARDEN PROFILE 03- GARDEN ON STRUCTURE (MIN 600MM SOIL DEPTH) AND IRRIGATION EXTENT (DRIP IRRIGATION)
- G4 - GARDEN PROFILE 04- GARDEN ON GRADE - CREEKLINE CORRIDOR
- G5 - GARDEN PROFILE 05- BIO RETENTION BASIN
- LAWN ON GRADE AND IRRIGATION EXTENT (POP UP SPRAY)

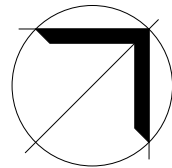


| REV: | DATE:    | DOCUMENT STATUS/ AMENDMENTS |
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| 01   | 28.04.23 | FOR COORDINATION            |
| 02   | 03.05.23 | FOR DA                      |
|      |          |                             |
|      |          |                             |

REFER TO LALP05 FOR NOTES AND PLANT SCHEDULE



NORTH



black beetle  
Landscape Architecture and Design

Black Beetle Pty Ltd  
Level 1, 1073 Pittwater Road, Collaroy NSW 2037  
Tel: 0422 104 416  
email: blackbeetle@blackbeetle.com.au

#### PLANT SCHEDULE

| BOTANICAL NAME                                 | COMMON NAME        | HEIGHT | POT SIZE | QTY      | NATIVE |
|--|--------------------|--------|----------|----------|--------|
| <b>TREES</b>                                   |                    |        |          |          |        |
| <i>Backhousea myrtifolia</i>                   | Grev Myrtle        | 8M     | 200L     | as shown | N      |
| <i>Lagerstomia 'Tuscarora'</i>                 | Crope Myrtle       | 8M     | 200L     | as shown |        |
| <i>Tristanopsis laurina</i>                    | Water Gum          | 10M    | 300L     | as shown | N      |
| <i>Waterhousea floribunda 'Green Avenue'</i>   | Weeping Lily Ply   | 12M    | 400L     | as shown | N      |
| <i>Xanthostemon chrysanthus</i>                | Golden Penda       | 10M    | 200L     | as shown | N      |
| <b>SHRUBS AND CLIMBERS</b>                     |                    |        |          |          |        |
| <i>Banksia 'Bush Candles'</i>                  | Bush Candles       | 0.4M   | 200MM    | 3/m2     | N      |
| <i>Carpobrotus clauscens</i>                   | Pia Face           | 0.2M   | 150MM    | 5/m2     | N      |
| <i>Carissa 'Desert Star'</i>                   | Desert Star        | 0.8M   | 200MM    | 3/m2     |        |
| <i>Doranthus excelsa</i>                       | Gymea Lily         | 1.5M   | 300MM    | 2/m2     | N      |
| <i>Eremophila 'Blue Horizon'</i>               | Blue Horizon       | 0.2M   | 150MM    | 3/m2     | N      |
| <i>Gazania rigens 'New Day Pink'</i>           | New Day Pink       | 0.1M   | 150MM    | 7/m2     |        |
| <i>Lomandra 'Lime Tuft'</i>                    | Lime Tuft          | 0.5M   | 150MM    | 5/m2     | N      |
| <i>Lomandra 'Verday'</i>                       | Verday Matt Rush   | 0.5M   | 150MM    | 5/m2     | N      |
| <i>Myoporum parvifolium</i>                    | Creeping Boobiala  | 0.3M   | 150MM    | 3/m2     | N      |
| <i>Neomarcia gracilis</i>                      | Walking Iris       | 0.8M   | 150MM    | 3/m2     |        |
| <i>Philodendron 'Xanadu'</i>                   | Xanadu             | 0.8M   | 200MM    | 3/m2     |        |
| <i>Pratia pedunculata</i>                      | White Star Creeper | 0.1M   | 150MM    | 7/m2     | N      |
| <i>Sisyrinchium australe 'Select'</i>          | Select Lily Ply    | 5M     | 300MM    | 2/m2     | N      |
| <i>Trachelosporum jasminoides</i>              | Star Jasmine       | 0.2M   | 200MM    | 5/m2     |        |
| <i>Trachelosporum 'Tricolor'</i>               | Tricolor Jasmine   | 0.2M   | 150MM    | 5/m2     |        |
| <i>Viburnum odoratissimum 'Emerald Lustre'</i> | Emerald Lustre     | 4M     | 300MM    | 2/m2     |        |
| <i>Viola hederacea</i>                         | Native Violet      | 0.1M   | 150MM    | 7/m2     | N      |
| <i>Westringia 'Blue Gem'</i>                   | Blue Gem           | 0.8M   | 200MM    | 3/m2     | N      |
| <i>Westringia 'Mundi'</i>                      | Mundi              | 0.5M   | 200MM    | 3/m2     | N      |

#### PLANT SCHEDULE - CREEKLINE CORRIDOR

| BOTANICAL NAME                   | COMMON NAME                | HEIGHT | POT SIZE               | QTY    |      |
|----------------------------------|----------------------------|--------|------------------------|--------|------|
| CANOPY                           |                            |        |                        |        |      |
| <i>Acmena smithii</i>            | Common Lily Pily           | 8M     | 45L                    | 1/30m2 |      |
| <i>Banksia integrifolia</i>      | Coastal Banksia            | 10M    | 45L                    |        |      |
| <i>Cerapetalum apetalum</i>      | Coachwood                  | 25M    | 45L                    |        |      |
| <i>Corymbia maculata</i>         | Spotted Gum                | 20M    | 45L                    |        |      |
| <i>Cyathea australis</i>         | Rough Tree Fern            | 12M    | 45L                    |        |      |
| <i>Eucalyptus robusta</i>        | Swamp Mahogany             | 25M    | 45L                    |        |      |
| SHRUBS                           |                            |        |                        |        |      |
| <i>Acacia longifolia</i>         | Golden Wattle              | 8M     | 50MM                   | 1/10m2 |      |
| <i>Casuarina glauca</i>          | Swamp She Oak              | 15M    | 50MM                   |        |      |
| <i>Dodonaea triquetra</i>        | Common Hop Bush            | 3M     | 50MM                   |        |      |
| <i>Elaeocarpus reticulatus</i>   | Blue Berry Ash             | 8M     | 50MM                   |        |      |
| <i>Glochidion ferdinandii</i>    | Cheese Tree                | 8M     | 50MM                   |        |      |
| <i>Homalanthus populifolius</i>  | Bleeding Heart             | 8M     | 50MM                   |        |      |
| <i>Livistona australis</i>       | Cabbage Tree Palm          | 15M    | 50MM                   |        |      |
| <i>Mealeuca linifolia</i>        | Snow in summer             | 6M     | 50MM                   |        |      |
| <i>Mealeuca steylhoferodes</i>   | Prickley Leafed Paper Bark | 4M     | 50MM                   |        |      |
| <i>Pittosporum unguatum</i>      | Sweet Pittosporum          | 15M    | 50MM                   |        |      |
| GROUNDCOVERS                     |                            |        |                        |        |      |
| <i>Alternanthera denticulata</i> | Lesser Joywood             | 0.1M   | Direct Seeding or 50MM | 5/m2   |      |
| <i>Blechnum camfieldii</i>       | Eared Swamp fern           | 1M     | Direct Seeding or 50MM |        |      |
| <i>Calochlaena dubia</i>         | Soft Bracken               | 0.8M   | Direct Seeding or 50MM |        |      |
| <i>Centella asiatica</i>         | Asiatic pennywort          | 0.5M   | Direct Seeding or 50MM |        |      |
| <i>Commelina cyanea</i>          | Sourv Weed                 | 0.1M   | Direct Seeding or 50MM |        |      |
| <i>Entolasia marginata</i>       | Bordered Panic Grass       | 0.5M   | Direct Seeding or 50MM |        |      |
| <i>Gahnia cyanea</i>             | Gahnia                     | 0.5M   | Direct Seeding or 50MM |        |      |
| <i>Hydrocotyle peduncularis</i>  | Hydrocotyle                | 0.1M   | Direct Seeding or 50MM |        |      |
| <i>Hypochaeris muelleri</i>      | Ground fern                | 0.1M   | Direct Seeding or 50MM |        |      |
| <i>Oplismenus aemulus</i>        | Creeping Beard Grass       | 0.2M   | Direct Seeding or 50MM |        |      |
| <i>Oplismenus imbecilis</i>      | Basket Grass               | 0.2M   | Direct Seeding or 50MM |        |      |
| <i>Phragmites australis</i>      | Common Reed                | 2M     | Direct Seeding or 50MM |        |      |
| <i>Pteridium esculentum</i>      | Bracken Fern               | 1M     | Direct Seeding or 50MM |        |      |
| <i>Viola hederacea</i>           | Native Violet              | 0.1M   | Direct Seeding or 50MM |        |      |
| AQUATIC SPECIES                  |                            |        |                        |        |      |
| <i>Carex longibrachiata</i>      | Drooping Sedge             | 1.2M   | 50MM                   |        | 8/m2 |
| <i>Cyperus gracilis</i>          | Slender Flat Sedge         | 1M     | 50MM                   |        |      |
| <i>Gahnia clerkei</i>            | Tall Saw Sedge             | 1.5M   | 50MM                   |        |      |
| <i>Juncus usitatus</i>           | Common Rush                | 1.1M   | 50MM                   |        |      |
| <i>Lomandra longifolia</i>       | Spiny-leaf Mat -Rush       | 1M     | 50MM                   |        |      |

PROPOSED CREEKLINE CORRIDOR SPECIES - REFER TO BIODIVERSITY MANAGEMENT PLAN - PREPARED BY AEP

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| Scale<br>as shown @ A1  | Status<br>Development Application                  |  |
| <b>D R A W I N G T I T L E</b><br><b>Landscape Plan - Cover Sheet</b>                             |  |  |
| <b>J O B N U M B E R</b><br>BB 1323   |  | <b>D R A W I N G N U M B E R / I S S U E</b><br>LA LP 101 / 02 |

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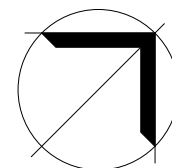
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Scale 1:200 @ A1

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PROJECT  
**Residential Development**  
16 Macpherson Street  
WARRIEWOOD, NSW

DRAWING TITLE  
**Landscape Plan -  
Site Plan South**

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JOB NUMBER  
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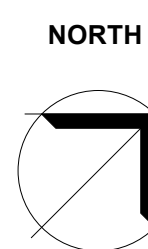
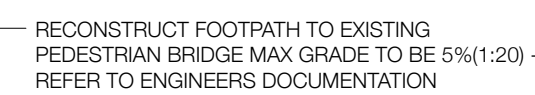
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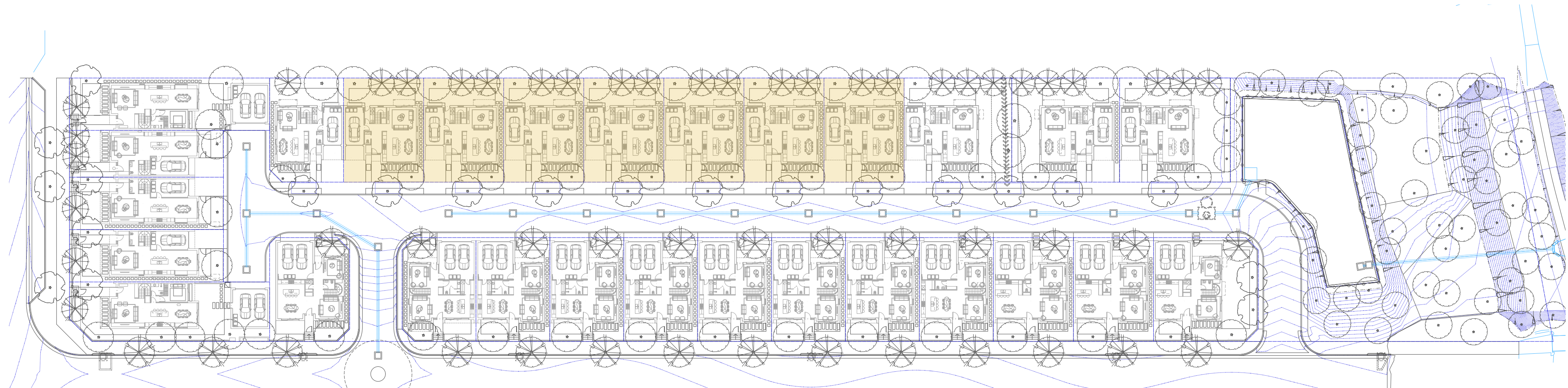


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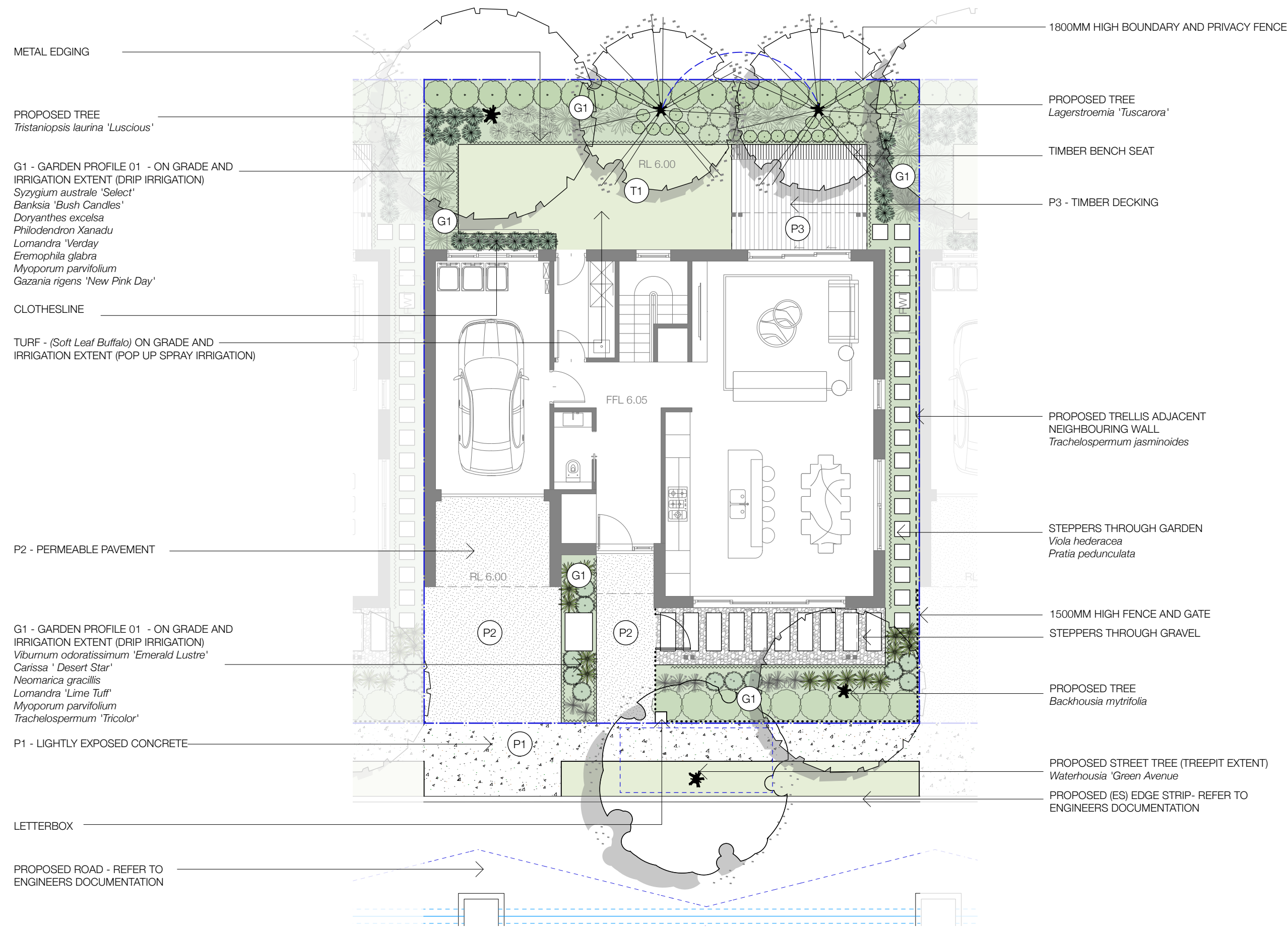
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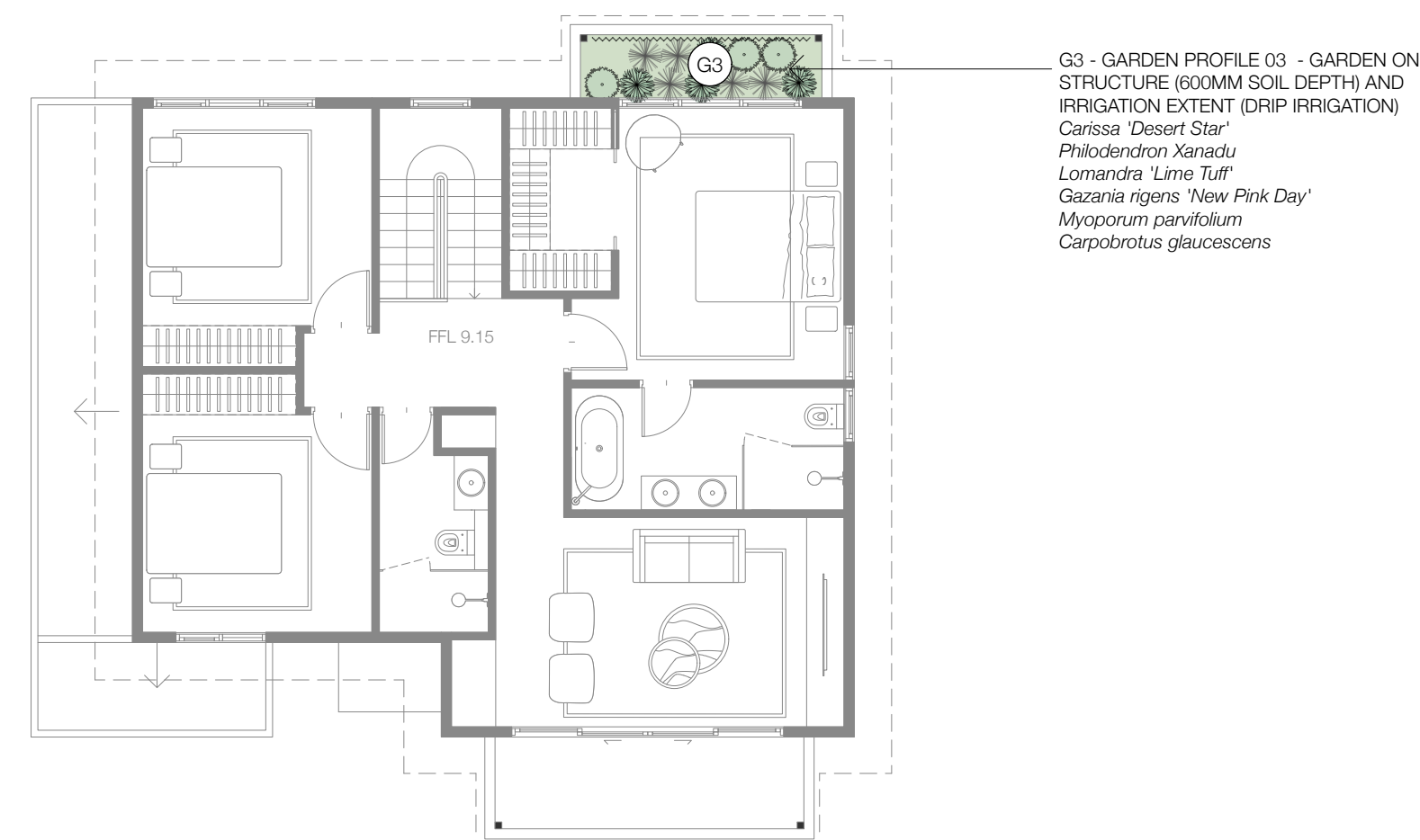




01 KEY PLAN  
Scale 1:500 @ A1



02 LANDSCAPE PLAN - TERRACE TYPE A1 - GROUND FLOOR  
Scale 1:100 @ A1



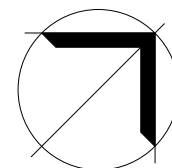
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Scale 1:100 @ A1

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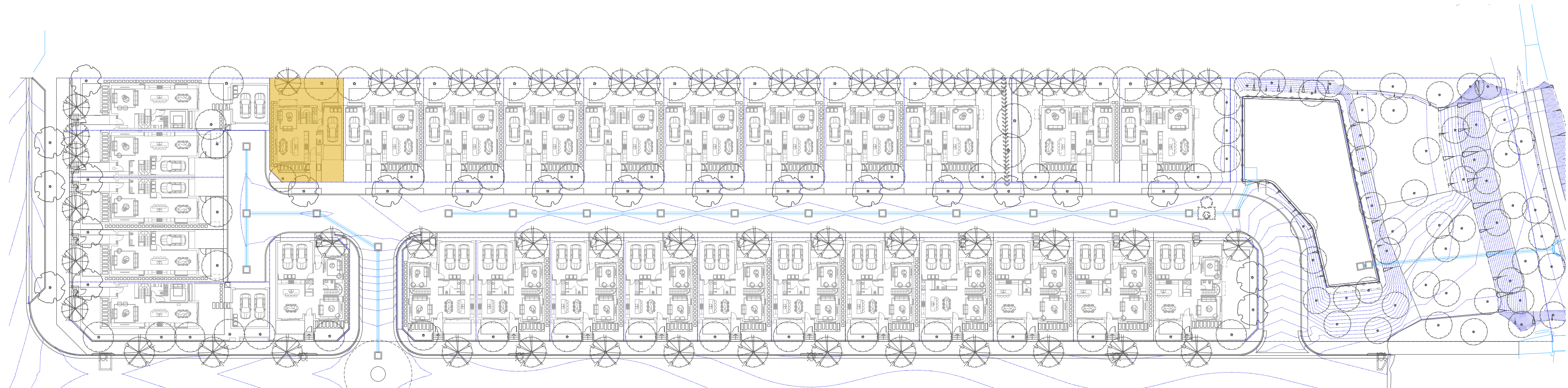
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Landscape Plan -  
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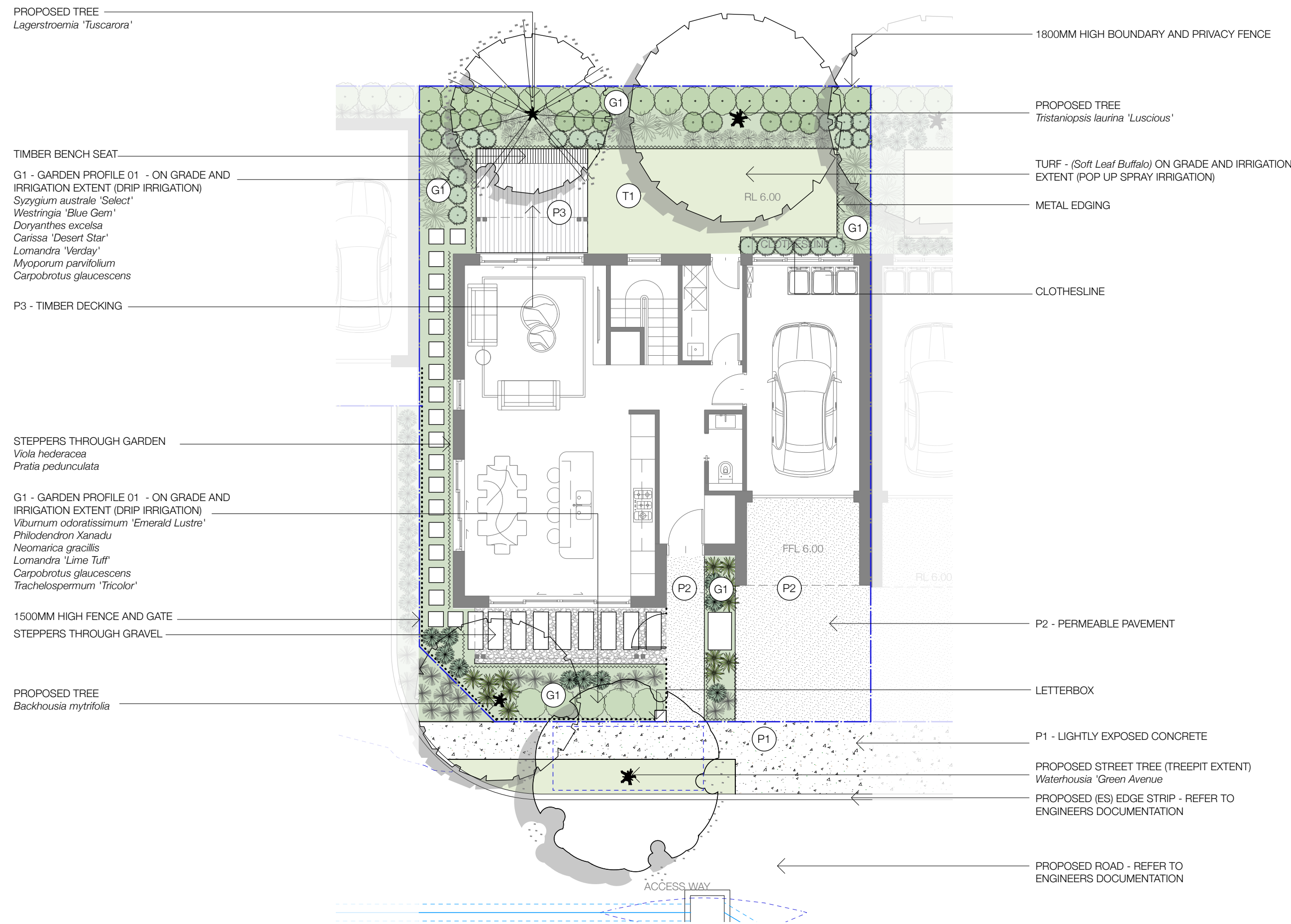
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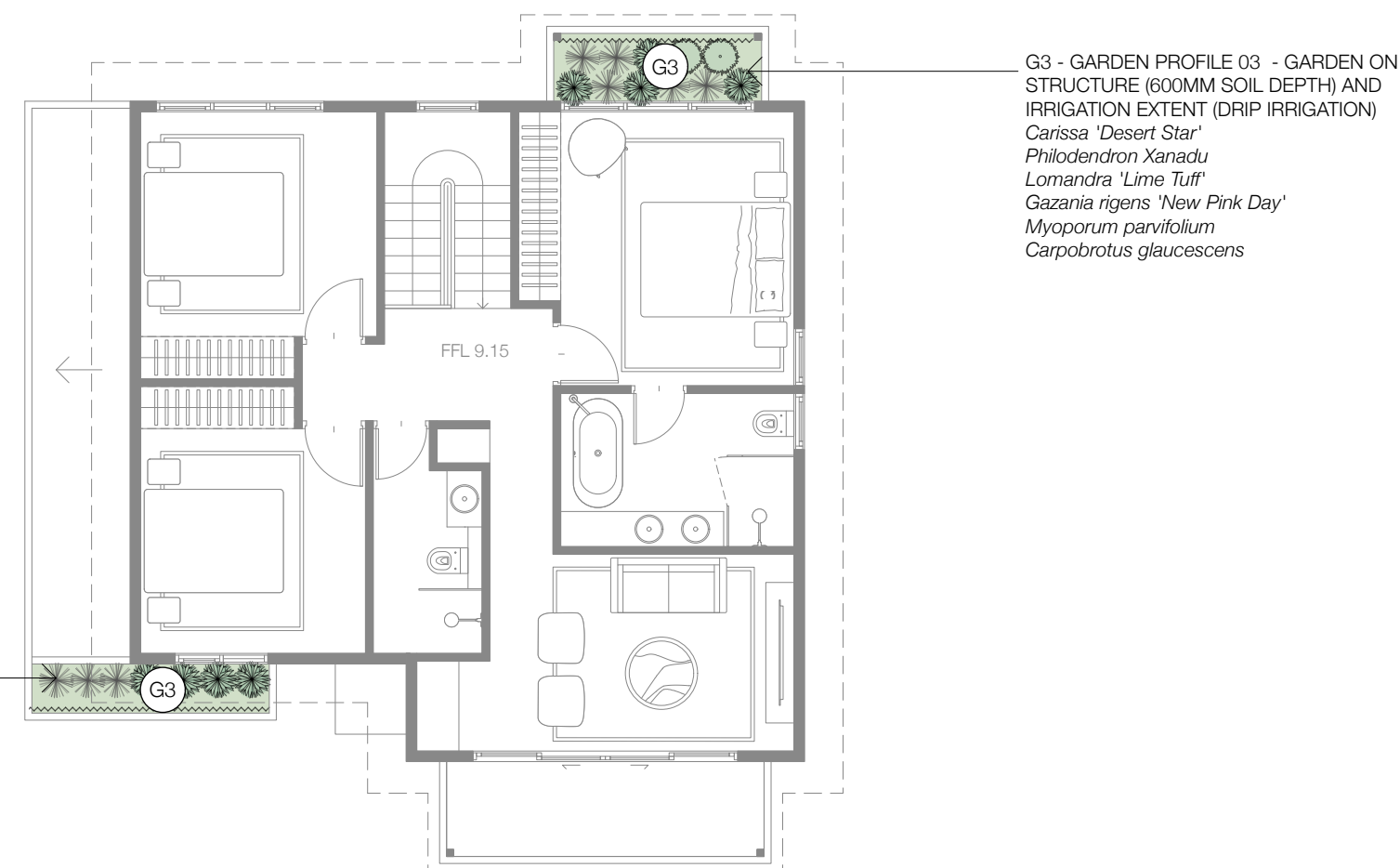




01 KEY PLAN  
Scale 1:500 @ A1



02 LANDSCAPE PLAN - TERRACE TYPE A2 - GROUND FLOOR  
Scale 1:100 @ A1



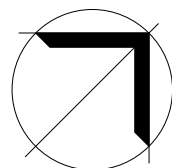
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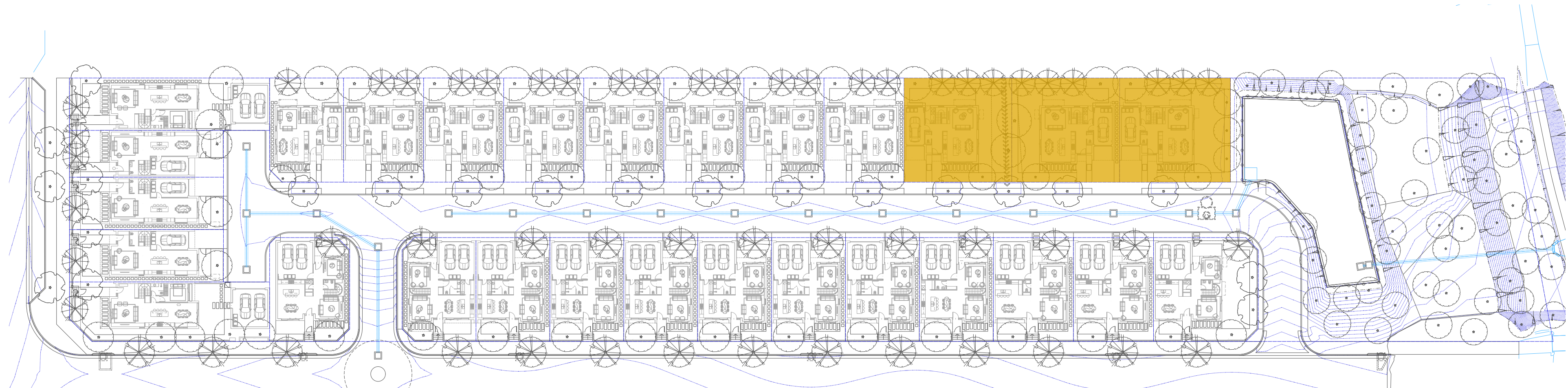
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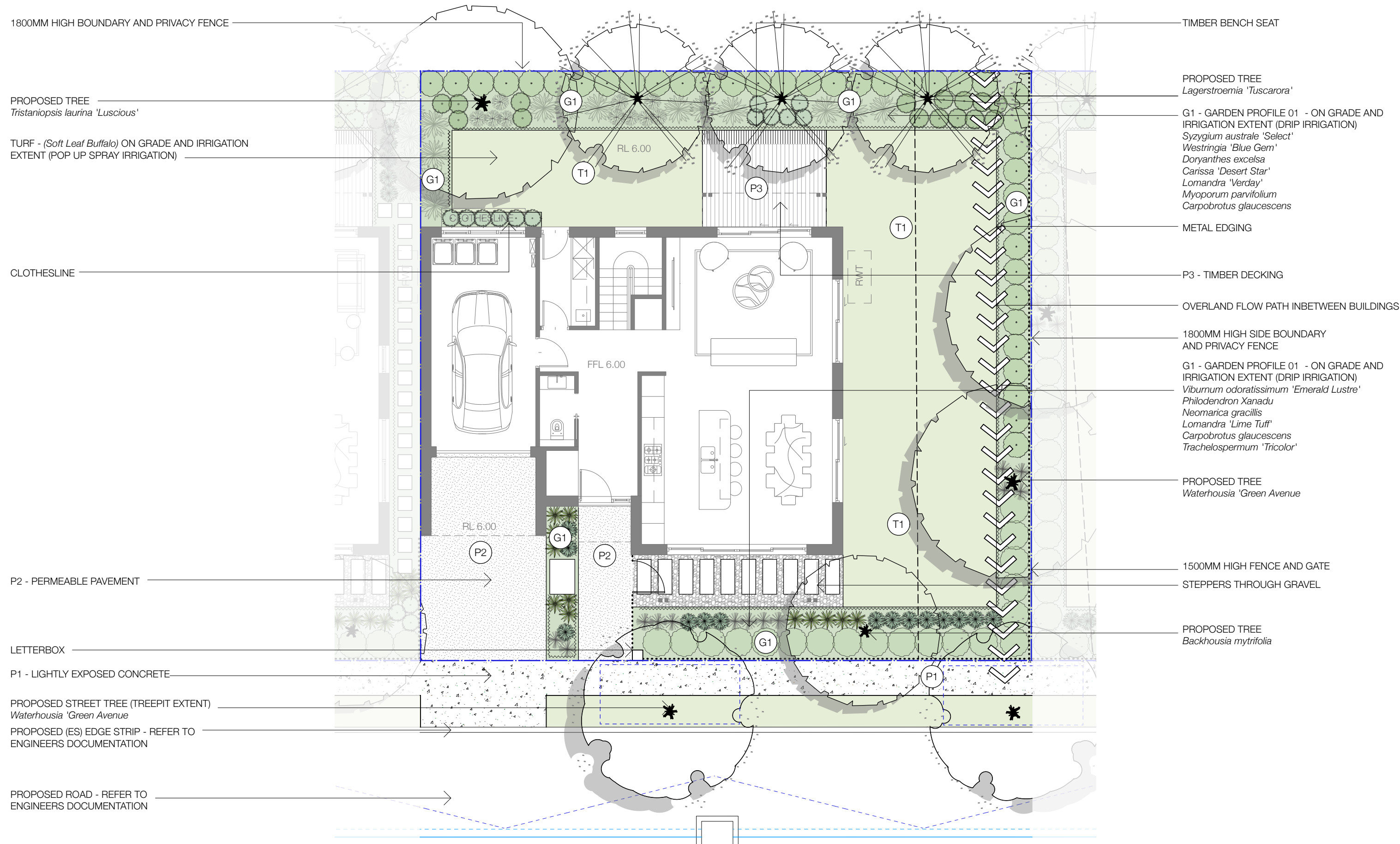
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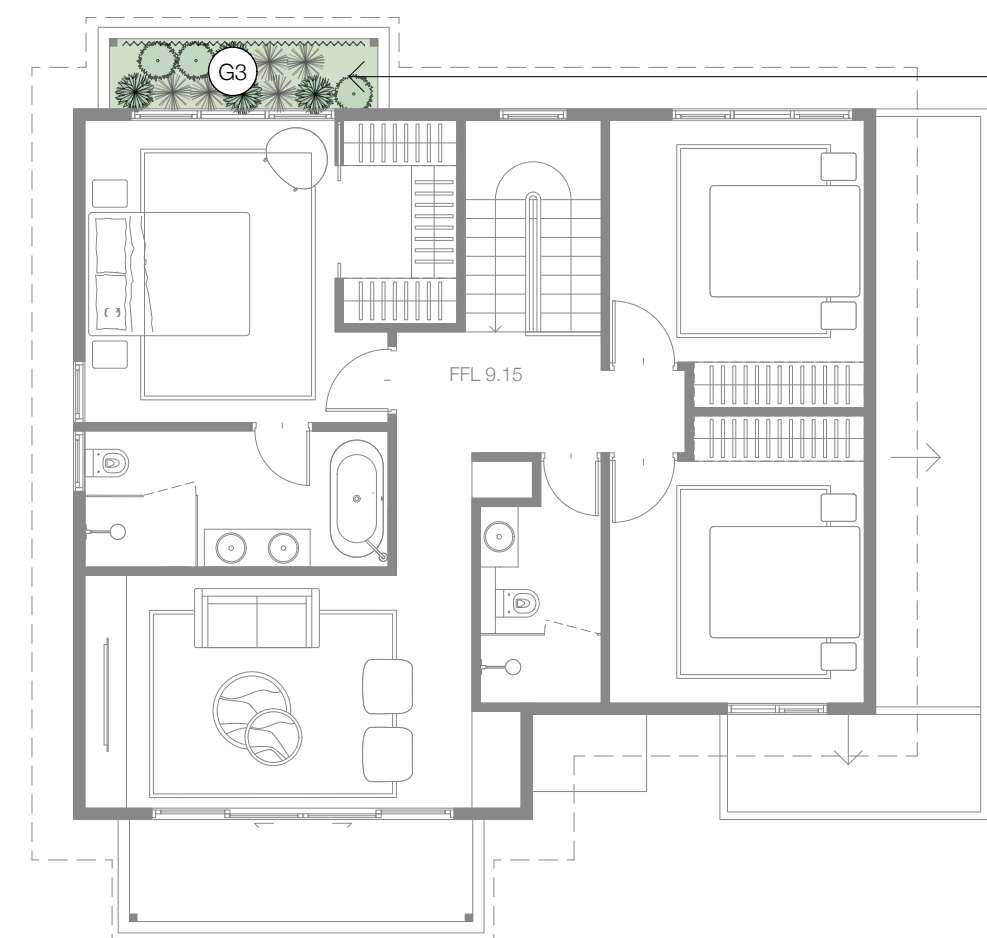




01 KEY PLAN  
Scale 1:500 @ A1



02 LANDSCAPE PLAN - TERRACE TYPE A3 - GROUND FLOOR  
Scale 1:100 @ A1



G3 - GARDEN PROFILE 03 - GARDEN ON STRUCTURE (600MM SOIL DEPTH) AND IRRIGATION EXTENT (DRIP IRRIGATION)  
Carissa 'Desert Star'  
Philodendron Xanadu  
Lomandra 'Lime Turf'  
Gazania rigens 'New Pink Day'  
Myoporum parvifolium  
Carpobrotus glaucescens

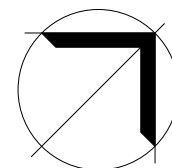
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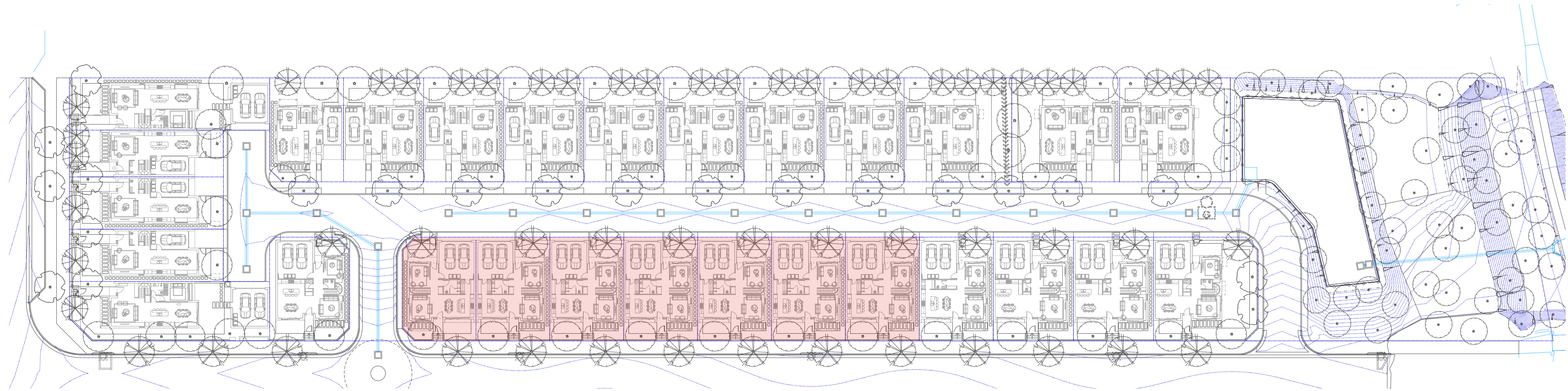
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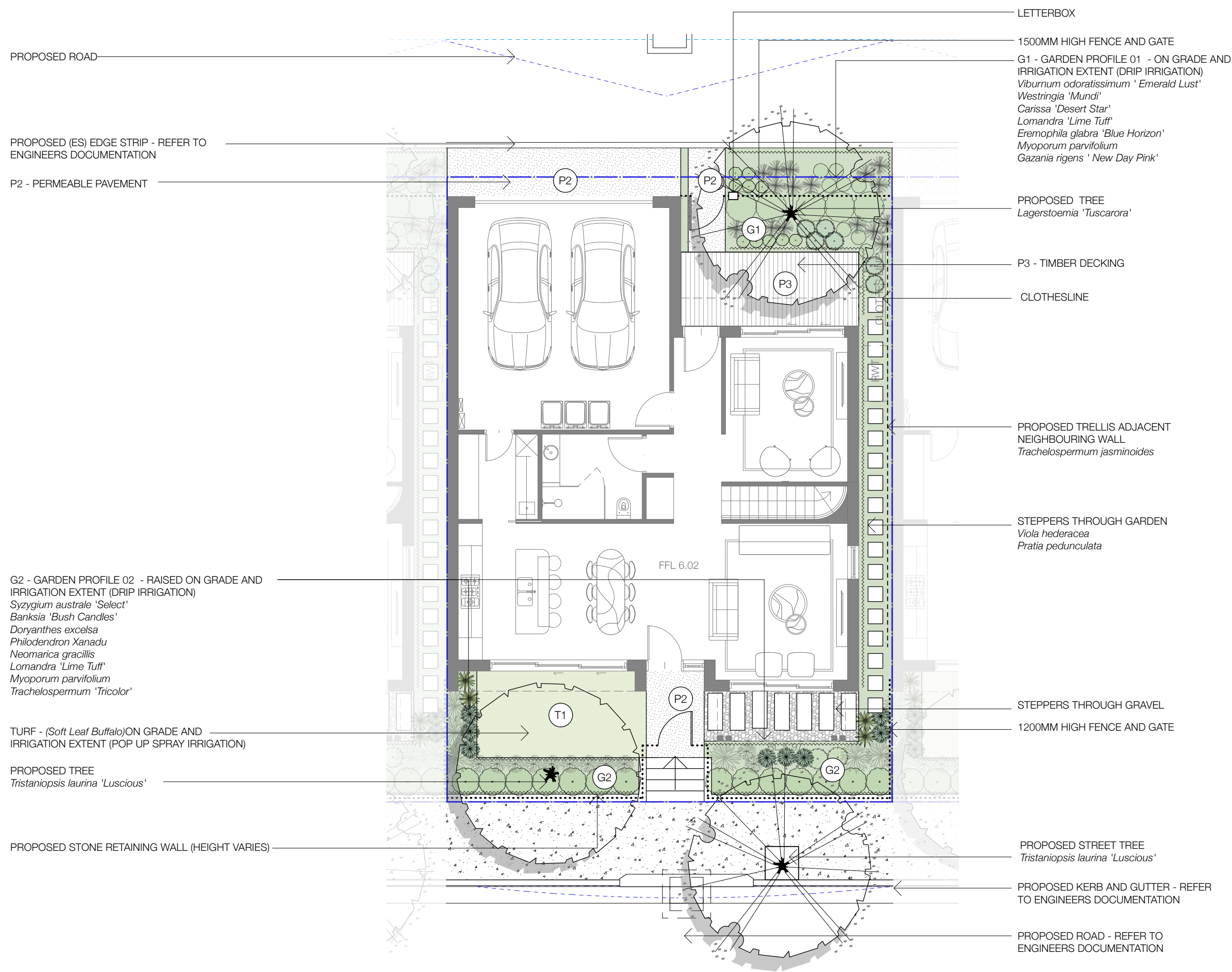
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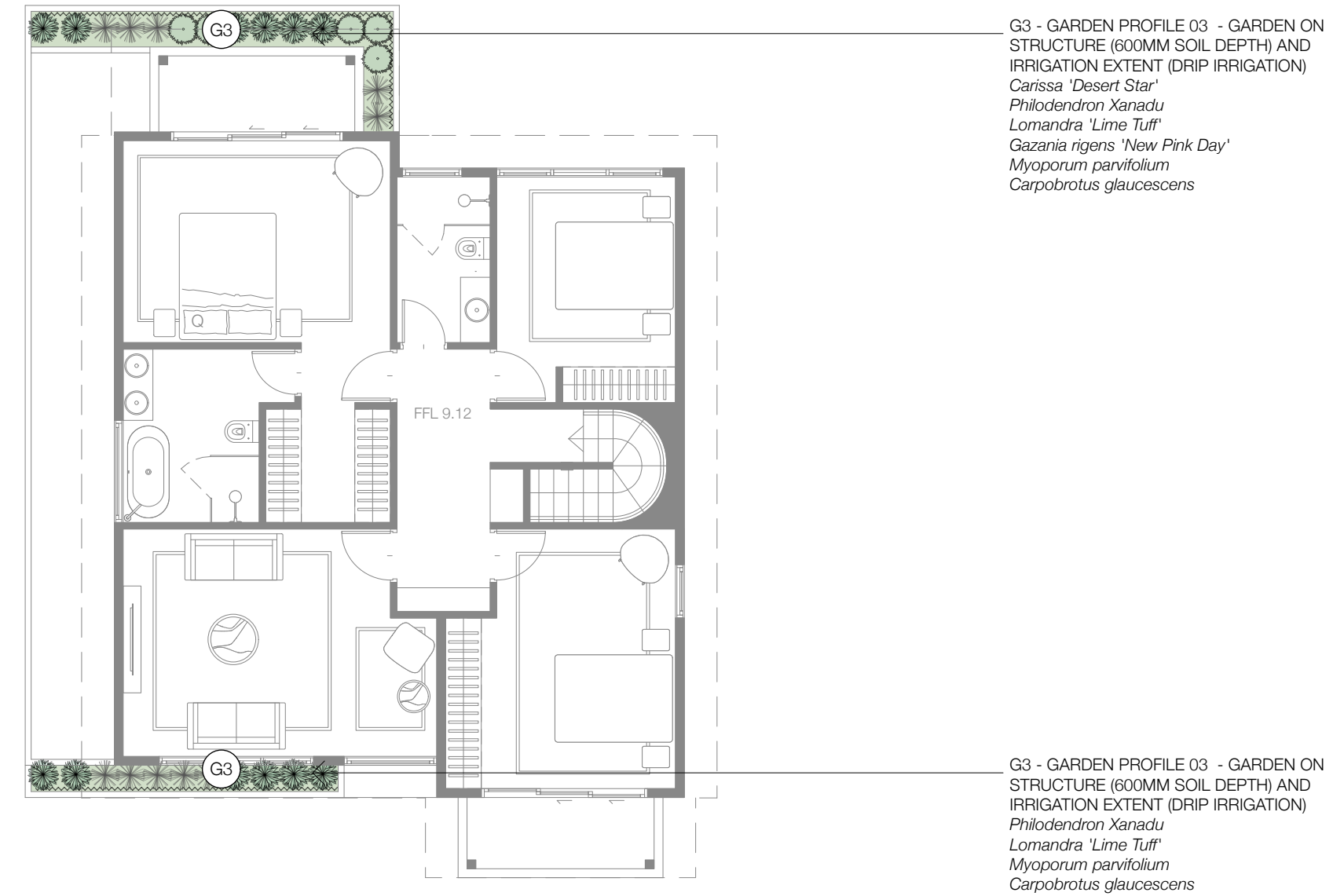




01 KEY PLAN  
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02 LANDSCAPE PLAN - TERRACE TYPE B1 - GROUND FLOOR  
Scale 1:100 @ A1



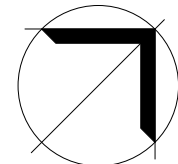
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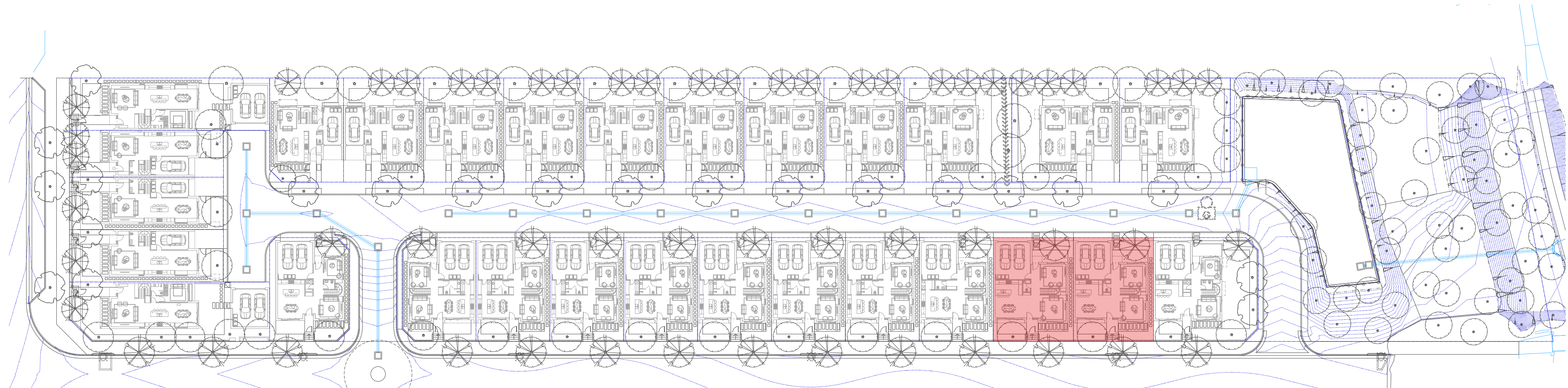
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Landscape Plan -  
Terrace Type B1

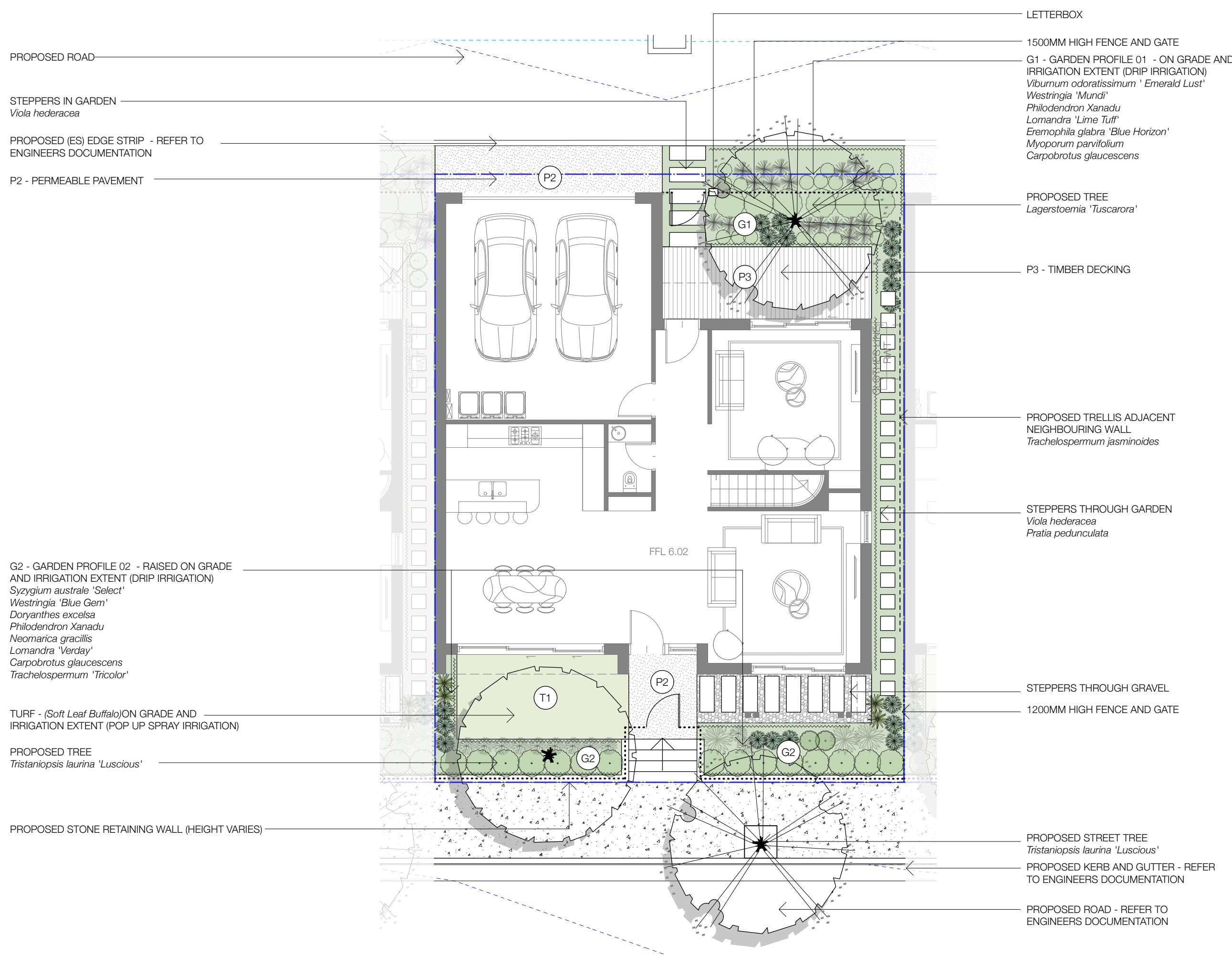
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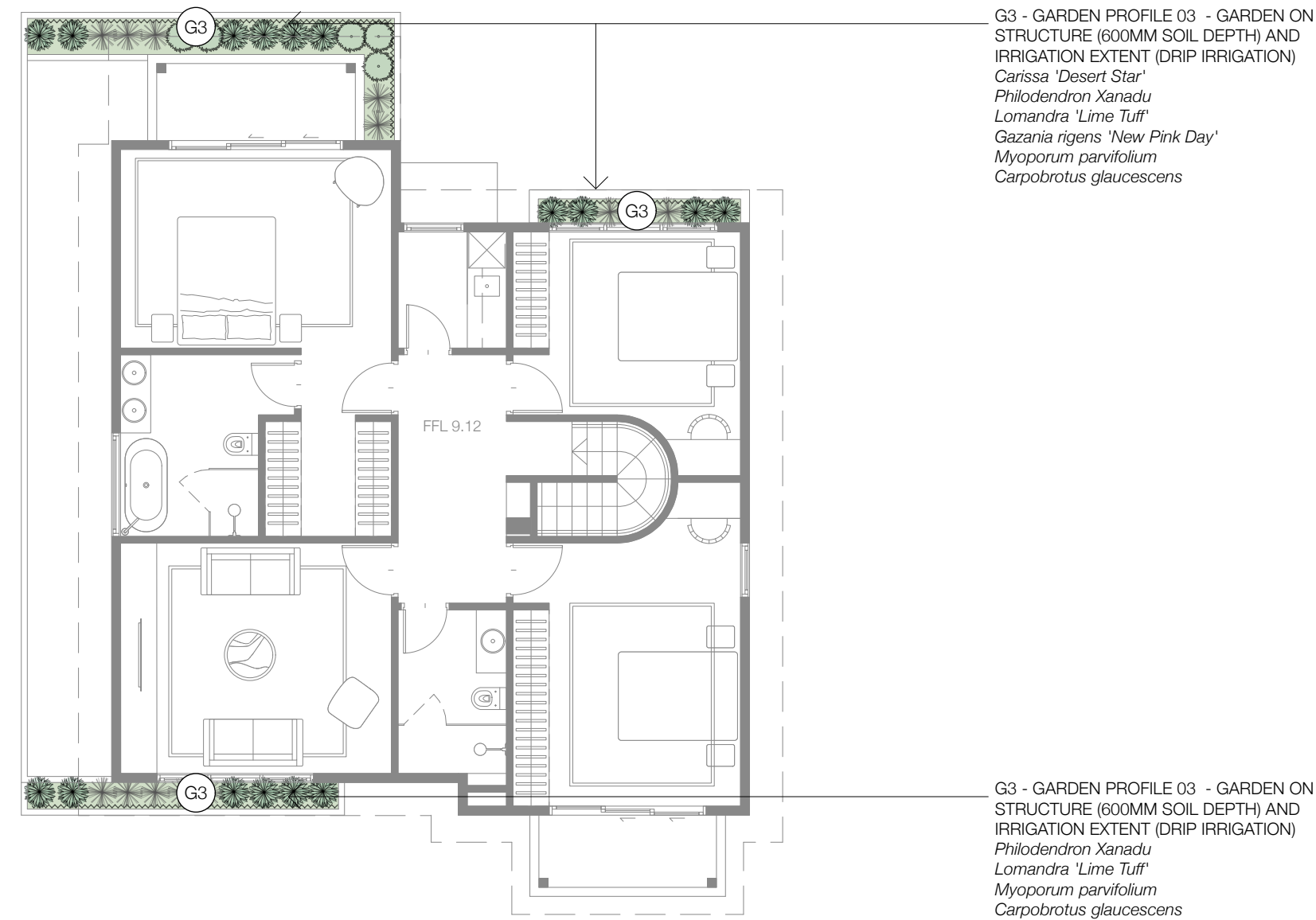




01 KEY PLAN  
Scale 1:500 @ A1



02 LANDSCAPE PLAN - TERRACE TYPE B2 - GROUND FLOOR  
Scale 1:100 @ A1



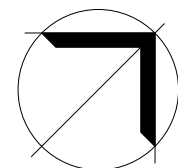
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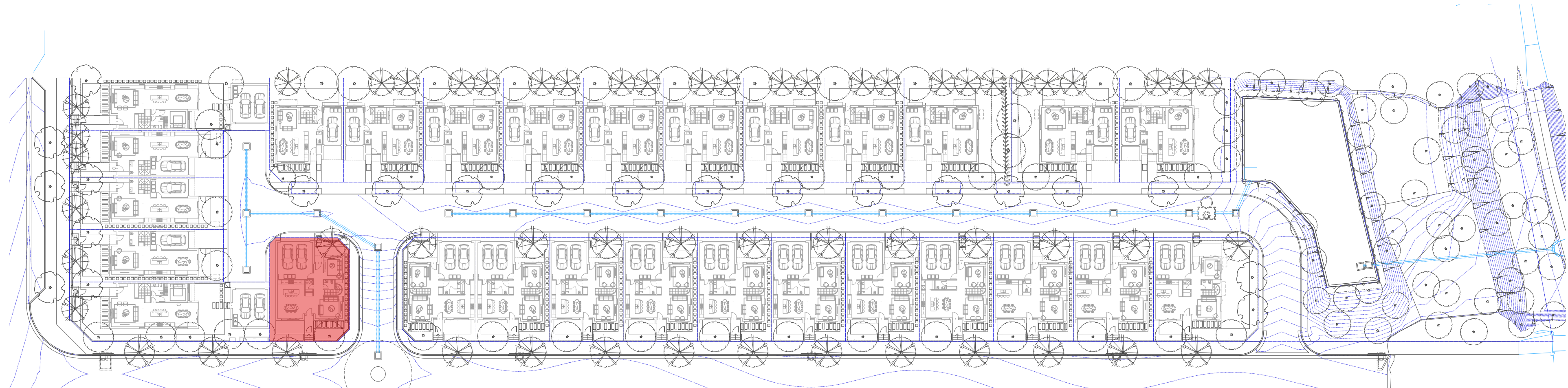
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Terrace Type B2

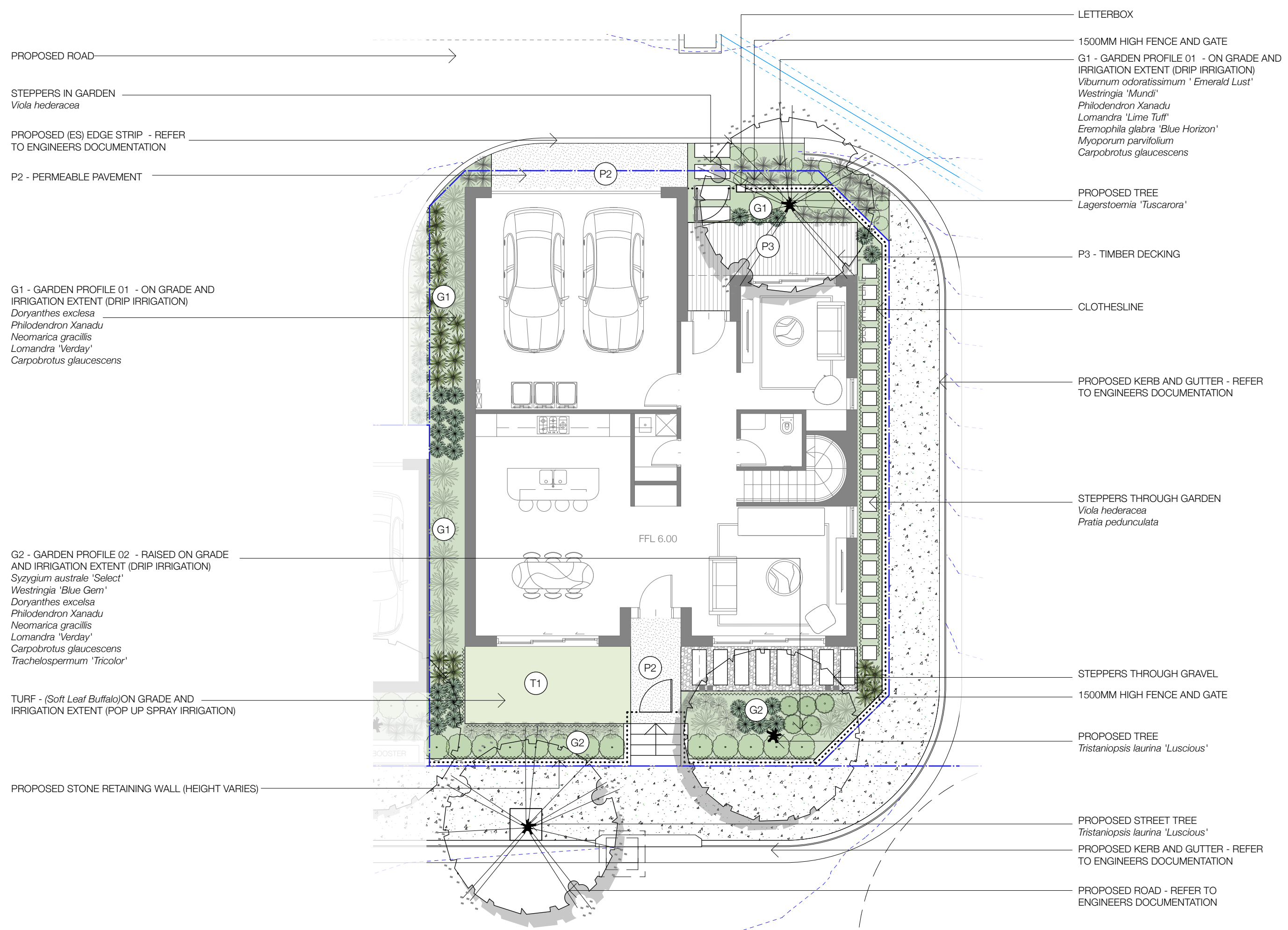
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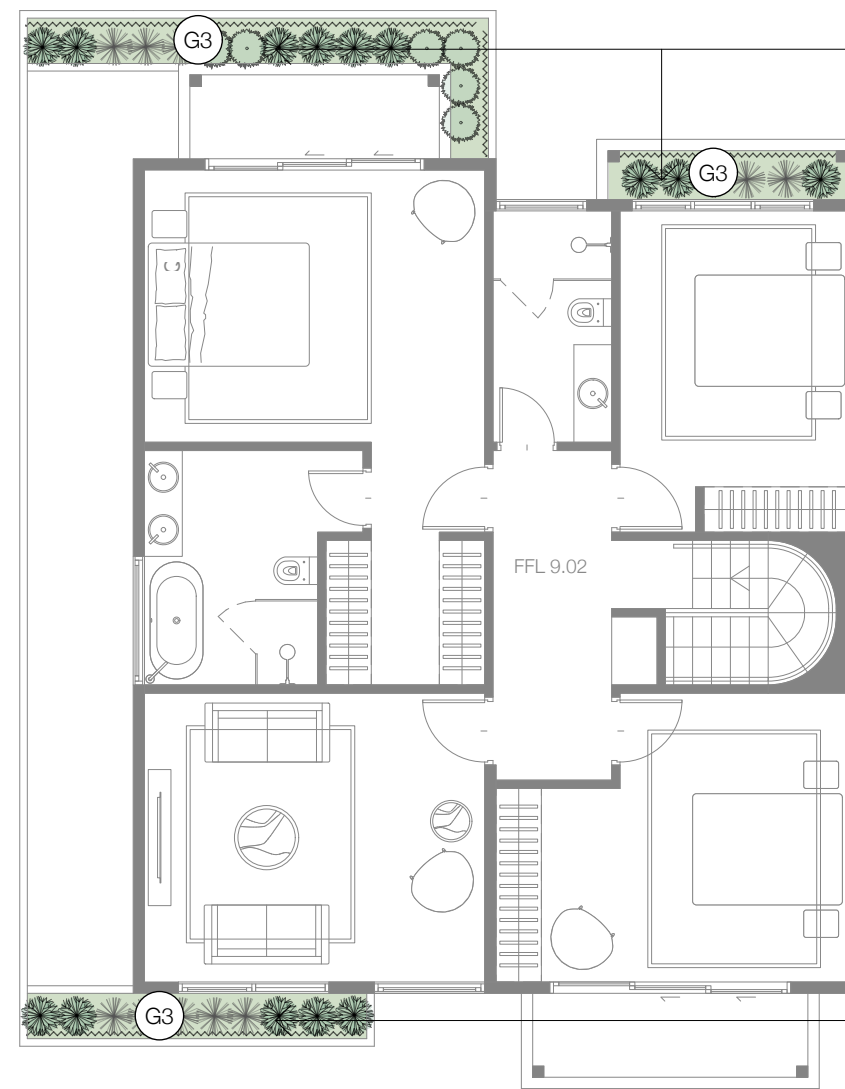




01 KEY PLAN  
Scale 1:500 @ A1



02 LANDSCAPE PLAN - TERRACE TYPE B3 - GROUND FLOOR  
Scale 1:100 @ A1



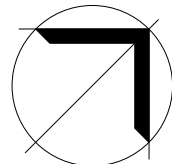
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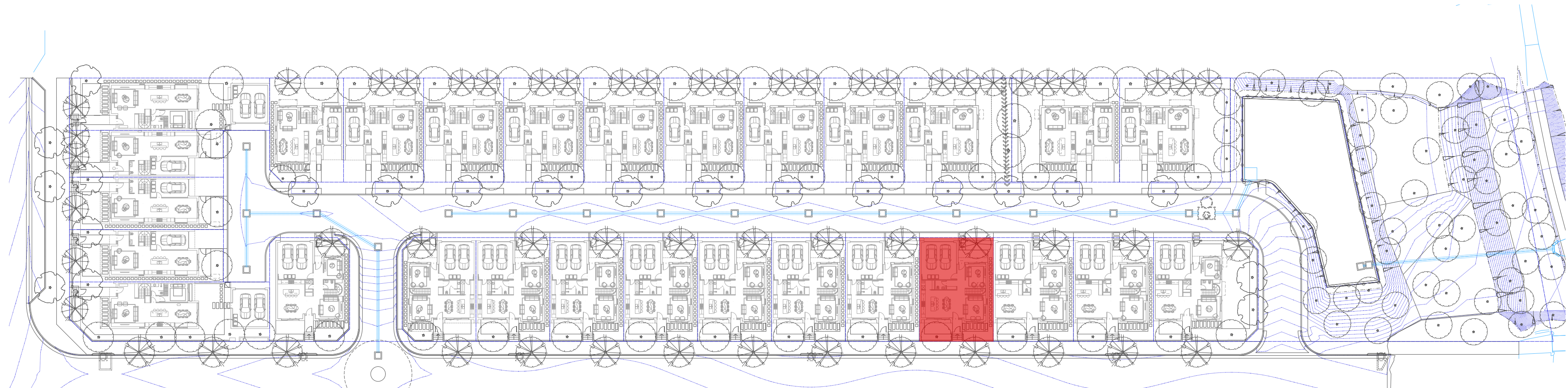
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Terrace Type B3

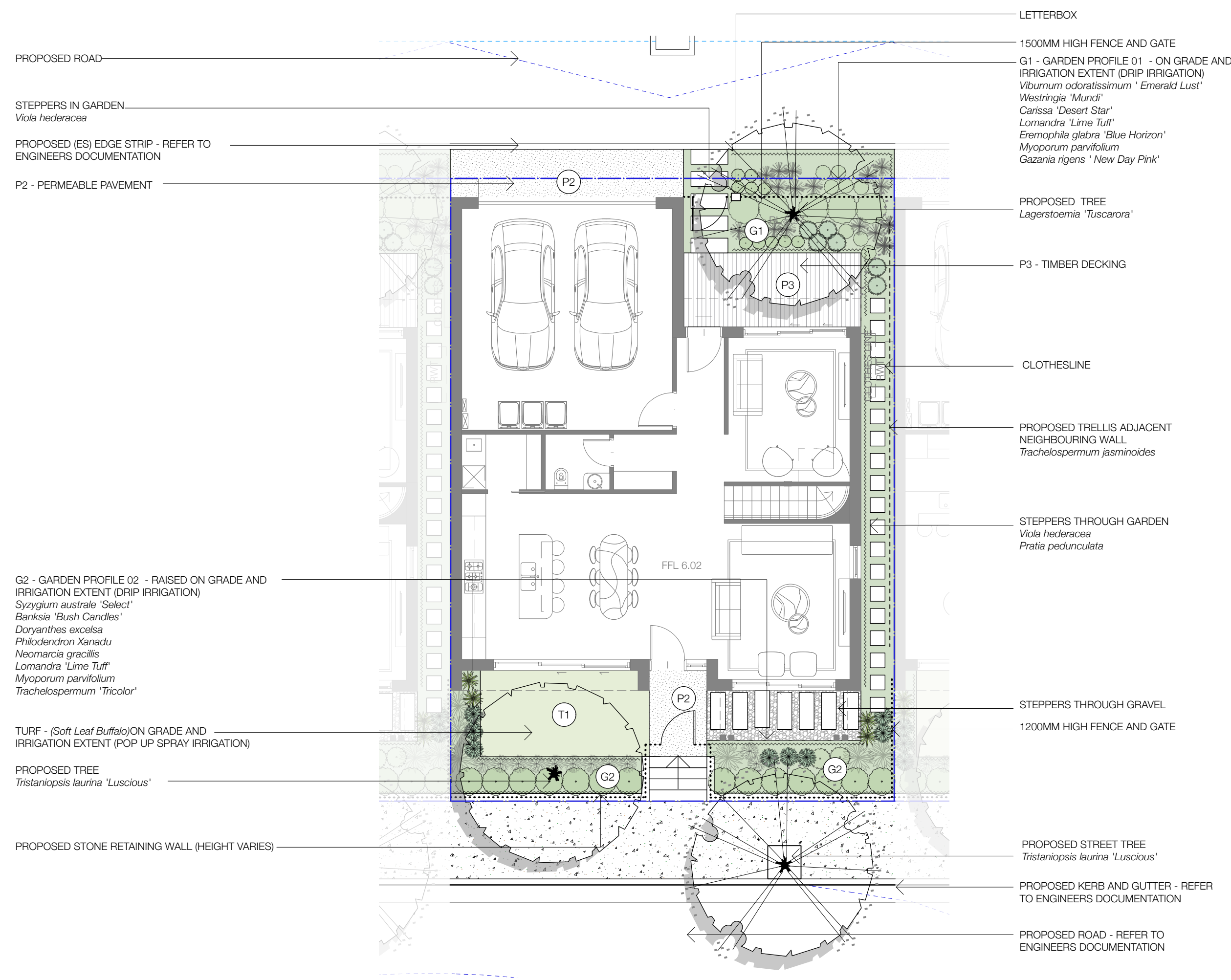
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01 KEY PLAN  
Scale 1:500 @ A1



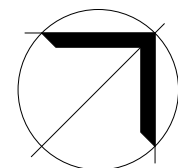
02 LANDSCAPE PLAN - TERRACE TYPE B4  
Scale 1:100 @ A1

| REV: | DATE:    | DOCUMENT STATUS/ AMENDMENTS |
|------|----------|-----------------------------|
| 01   | 15.02.23 | FOR COORDINATION            |
| 02   | 28.04.23 | FOR COORDINATION            |
| 03   | 03.05.23 | FOR DA                      |
|      |          |                             |
|      |          |                             |

REFER TO LALP101 FOR NOTES AND PLANT SCHEDULE



NORTH



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Tel: 0422 104 416  
email: blackbeetle@blackbeetle.com.au

PROJECT  
**Residential Development**  
16 Macpherson Street  
WARRIEWOOD, NSW

DRAWING TITLE  
**Landscape Plan -  
Terrace Type B4**

Drawn IK / GB  
L.Architect Authorised  
IK / GB  
Scale  
as shown @ A1

JOB NUMBER  
BB 1323

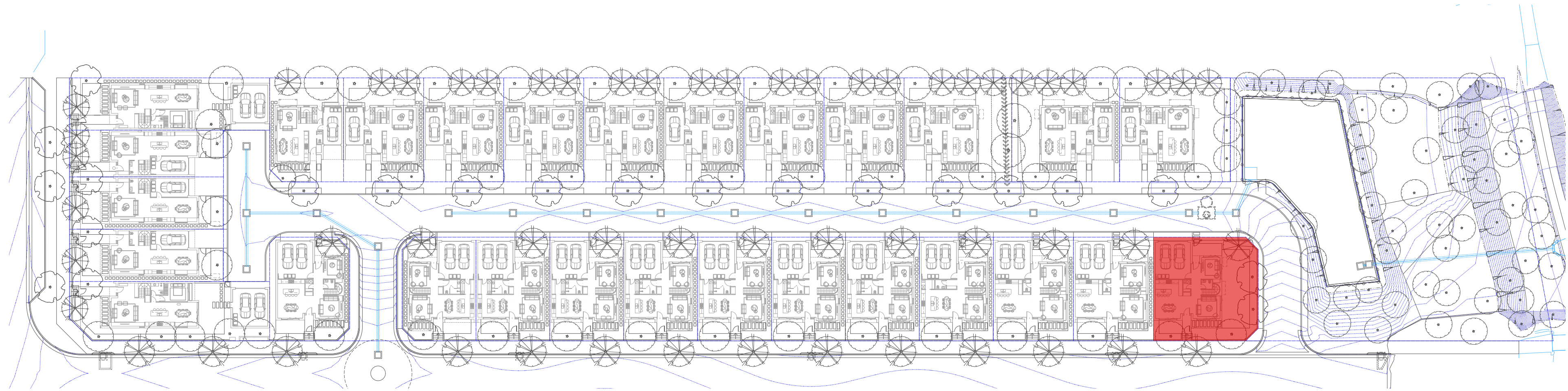
Client  
Warrimac Pty Ltd  
Status  
Development Application

DRAWING NUMBER / ISSUE  
LA LP 110 / 03

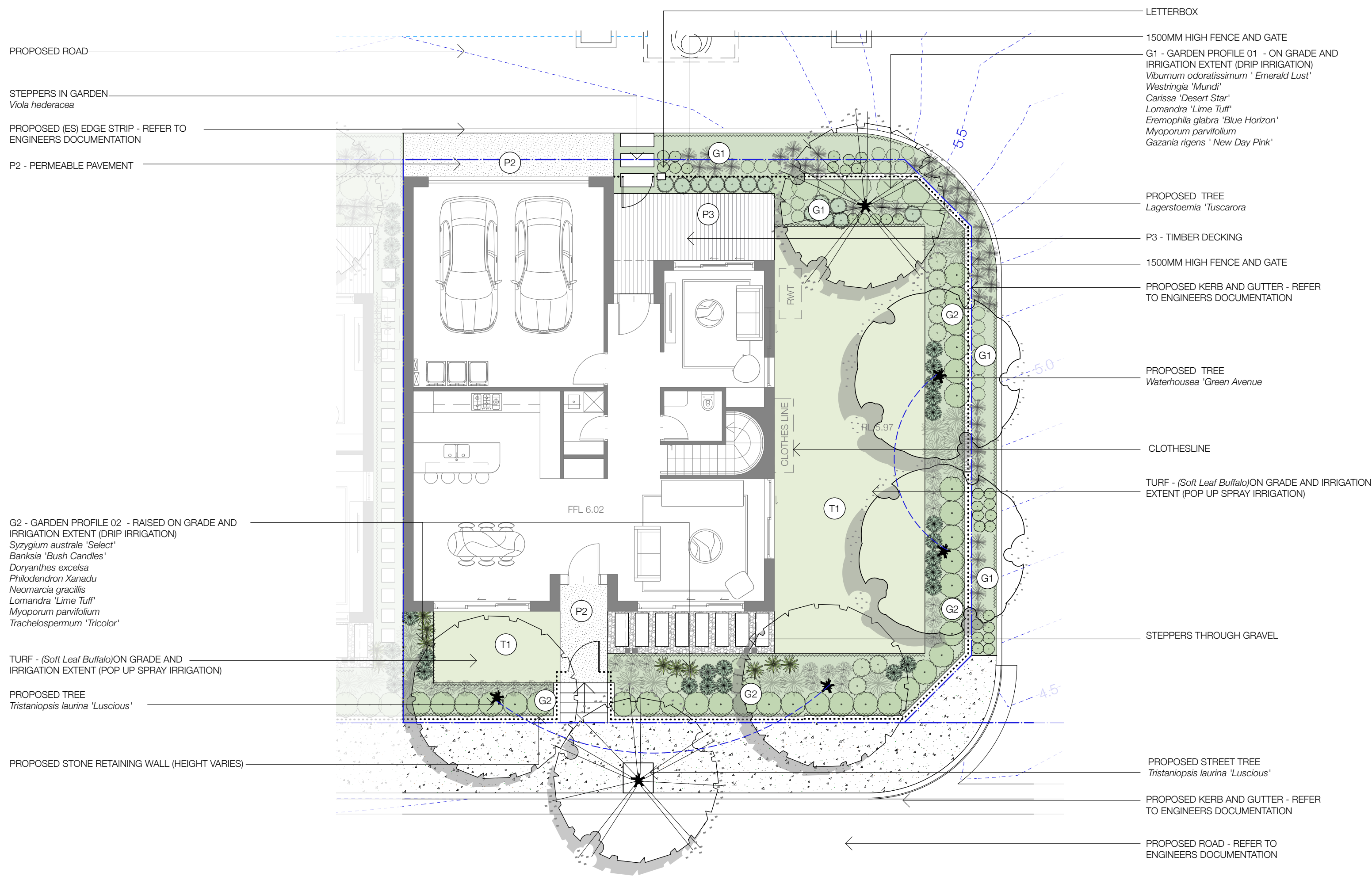
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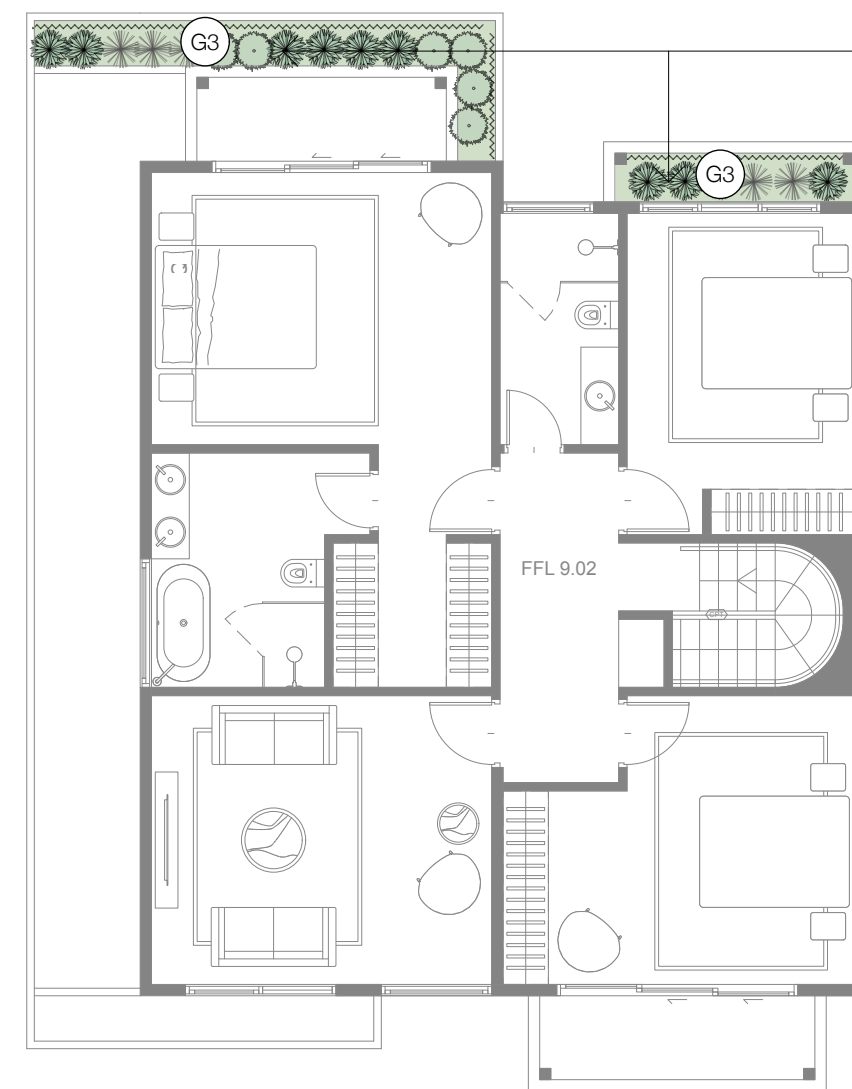




01 KEY PLAN  
Scale 1:500 @ A1



02 LANDSCAPE PLAN - TERRACE TYPE B5 - GROUND FLOOR  
Scale 1:100 @ A1



G3 - GARDEN PROFILE 03 - GARDEN ON STRUCTURE (600MM SOIL DEPTH) AND IRRIGATION EXTENT (DRIP IRRIGATION)  
Carissa 'Desert Star'  
Philodendron Xanadu  
Lomandra 'Lime Tuff'  
Gazania rigens 'New Pink Day'  
Myoporum parvifolium  
Carpobrotus glaucescens

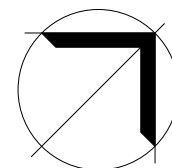
03 LANDSCAPE PLAN - TERRACE TYPE B5 - FIRST FLOOR  
Scale 1:100 @ A1

| REV: | DATE:    | DOCUMENT STATUS/ AMENDMENTS |
|------|----------|-----------------------------|
| 01   | 28.04.23 | FOR COORDINATION            |
| 02   | 03.05.23 | FOR DA                      |
| 03   | 05.05.23 | FOR DA                      |
|      |          |                             |
|      |          |                             |

REFER TO LALP101 FOR NOTES AND PLANT SCHEDULE



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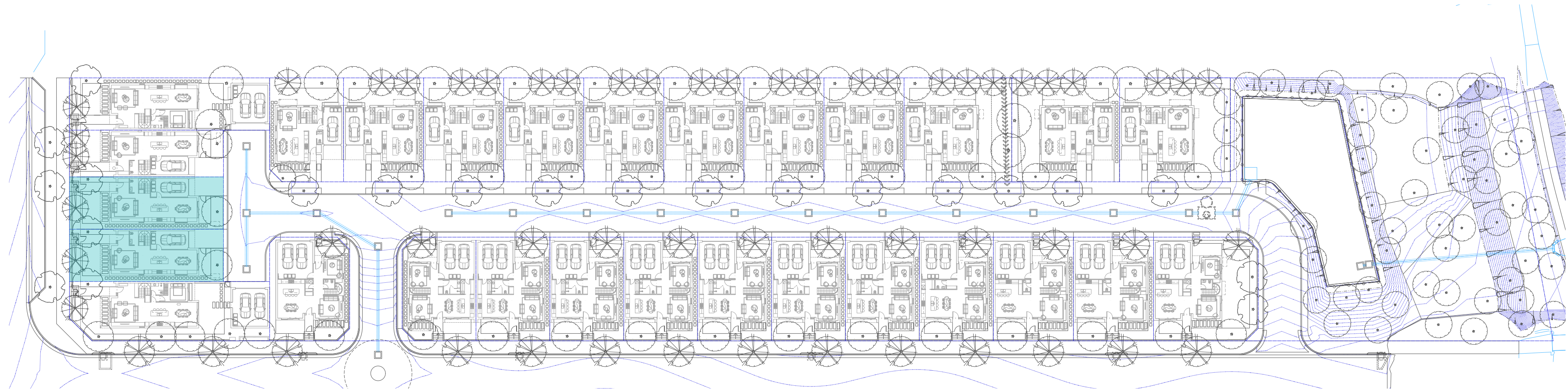
PROJECT  
Residential Development  
16 Macpherson Street  
WARRIEWOOD, NSW

DRAWING TITLE  
Landscape Plan -  
Terrace Type B5

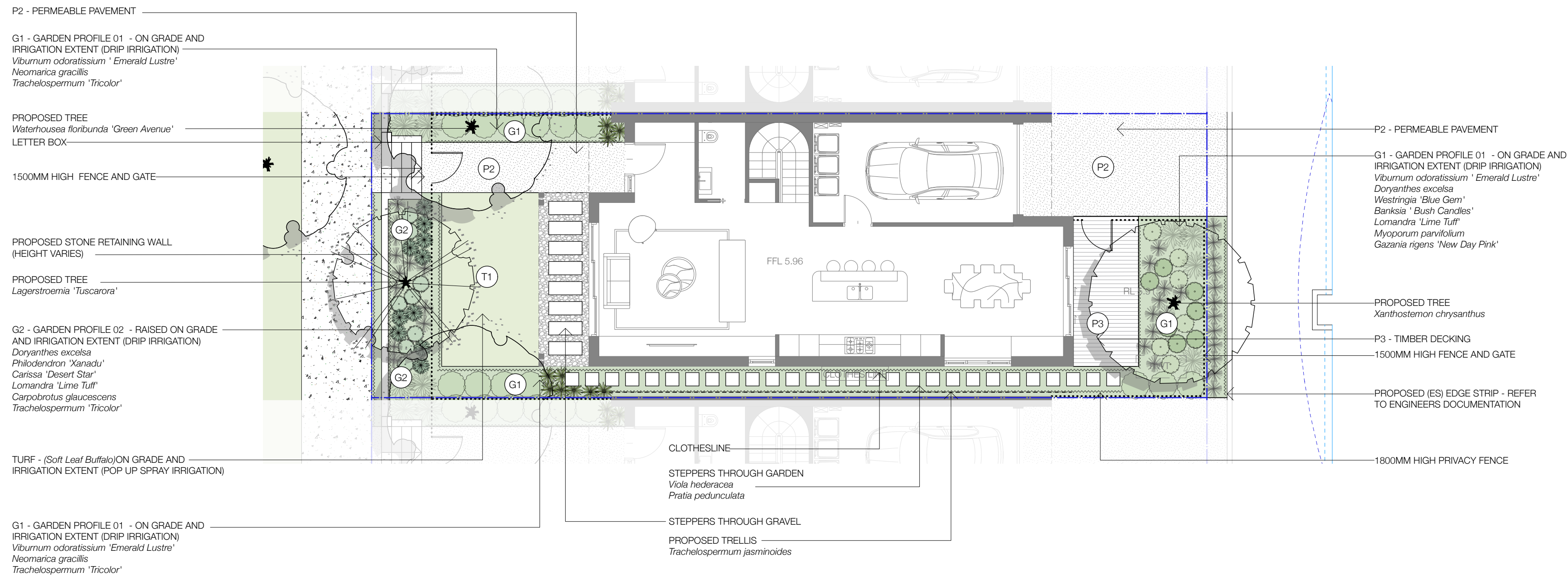
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|  |   |
|--|---|
| Drawn IK / GB<br>L.Architect Authorised IK / GB<br>Scale as shown @ A1 | Client Warrimac Pty Ltd<br>Status Development Application |
| JOB NUMBER BB 1323   | DRAWING NUMBER / ISSUE LA LP 111 / 03                     |

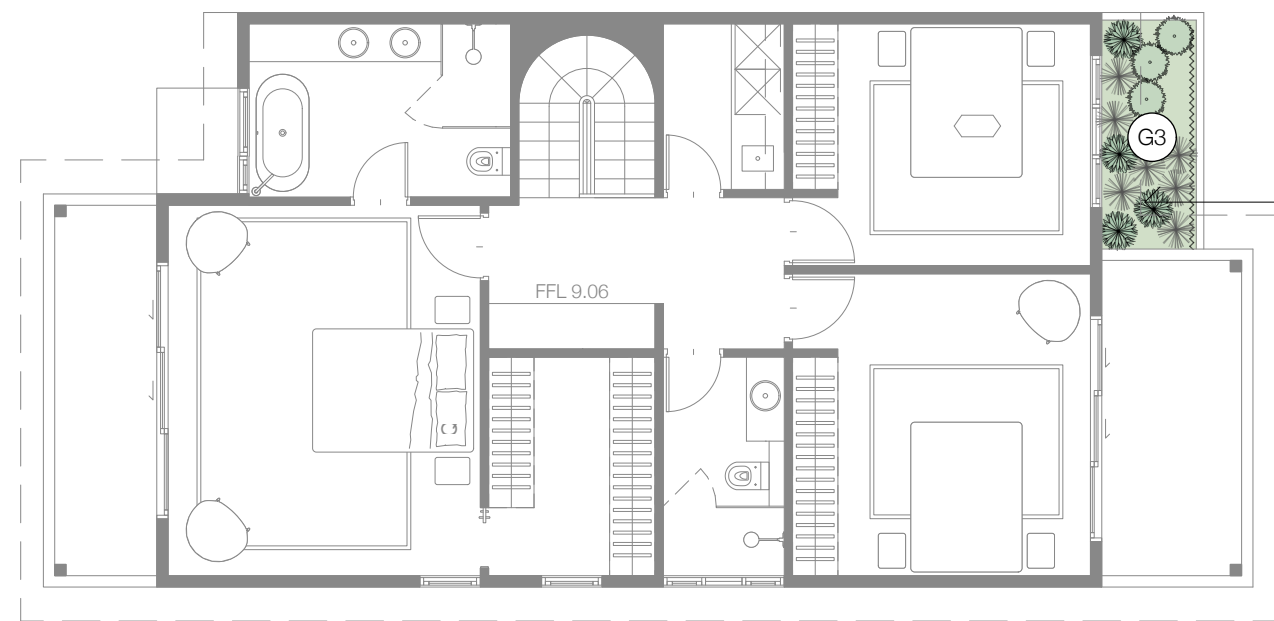




01 KEY PLAN  
Scale 1:500 @ A1



02 LANDSCAPE PLAN - TERRACE TYPE C1 - GROUND FLOOR  
Scale 1:100 @ A1



G3 - GARDEN PROFILE 03 - GARDEN ON STRUCTURE (600MM SOIL DEPTH) AND IRRIGATION EXTENT (DRIP IRRIGATION)  
*Carissa* 'Desert Star'  
*Philodendron* 'Xanadu'  
*Lomandra* 'Lime Tuft'  
*Gazania rigens* 'New Day Pink'  
*Myoporum parvifolium*  
*Carpobrotus glaucescens*

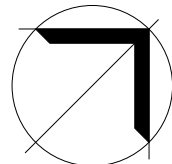
03 LANDSCAPE PLAN - TERRACE TYPE C1 - FIRST FLOOR  
Scale 1:100 @ A1

| REV: | DATE:    | DOCUMENT STATUS/ AMENDMENTS |
|------|----------|-----------------------------|
| 01   | 28.04.23 | FOR COORDINATION            |
| 02   | 03.05.23 | FOR DA                      |
|      |          |                             |
|      |          |                             |

REFER TO LALP101 FOR NOTES AND PLANT SCHEDULE



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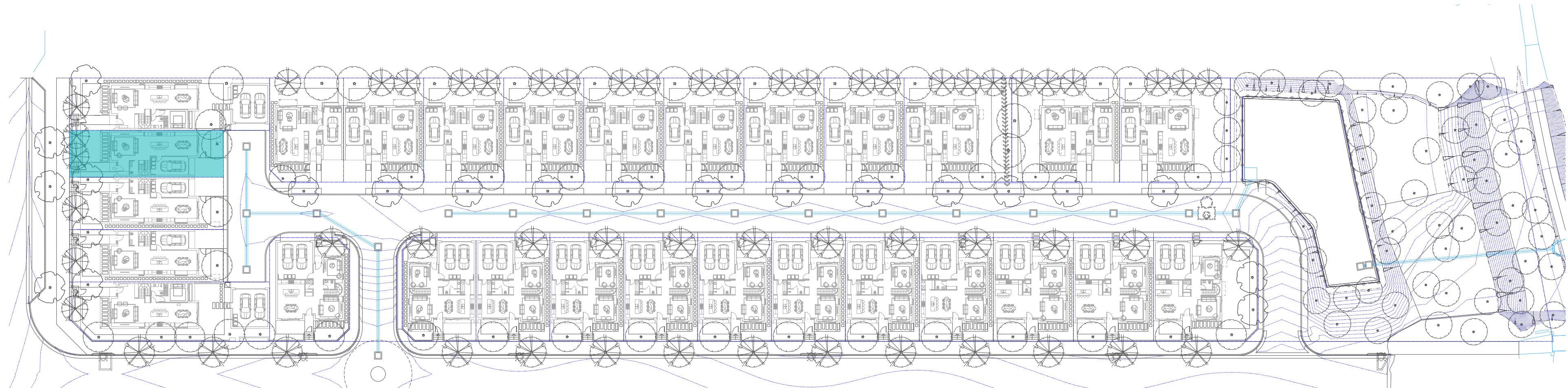
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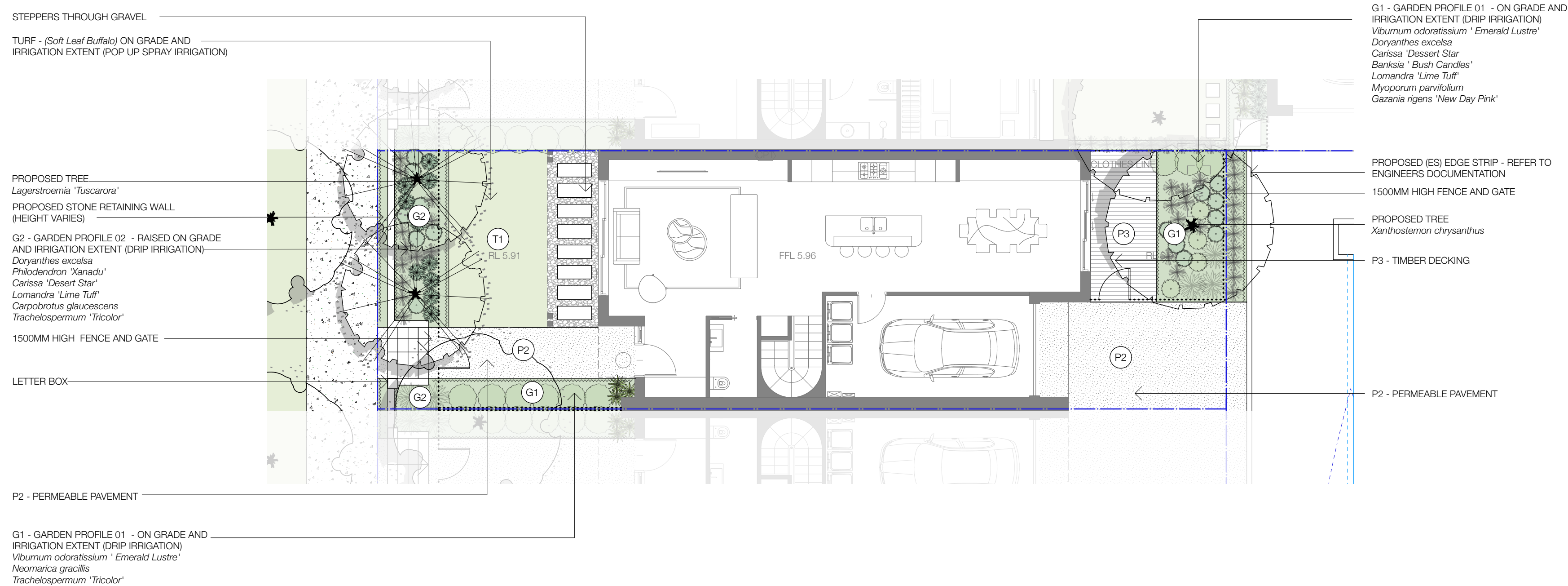
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|--|--|-----------------------------------|
| PROJECT<br><b>Residential Development</b><br>16 Macpherson Street<br>WARRIEWOOD, NSW | Drawn IK / GB<br>L.Architect Authorised<br>IK / GB       | Client<br>Warrimac Pty Ltd        |
|  | Scale<br>as shown @ A1                                   | Status<br>Development Application |
|  | DRAWING TITLE<br><b>Landscape Plan - Terrace Type C1</b> |                                   |
| JOB NUMBER<br>BB 1323  | DRAWING NUMBER / ISSUE<br>LA LP 112 / 02                 |                                   |

NOT FOR CONSTRUCTION

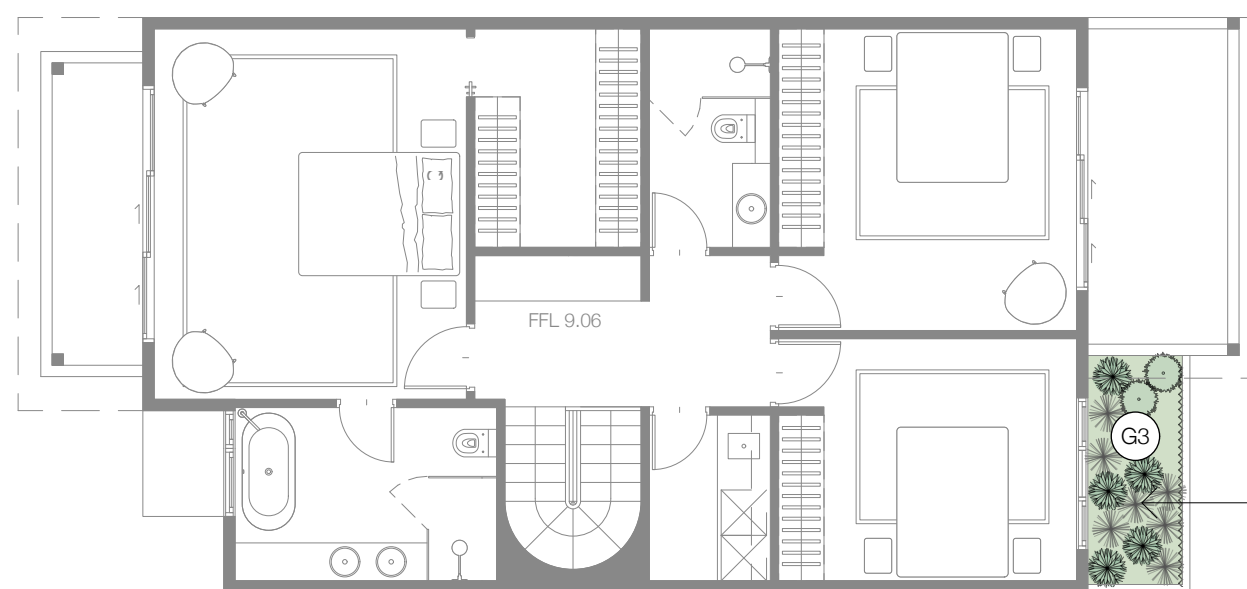




01 KEY PLAN  
Scale 1:500 @ A1



02 LANDSCAPE PLAN - TERRACE TYPE C2 - GROUND FLOOR  
Scale 1:100 @ A1



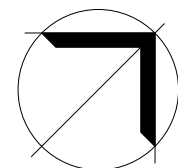
03 LANDSCAPE PLAN - TERRACE TYPE C2 - FIRST FLOOR  
Scale 1:100 @ A1

| REV: | DATE:    | DOCUMENT STATUS/ AMENDMENTS |
|------|----------|-----------------------------|
| 01   | 28.04.23 | FOR COORDINATION            |
| 02   | 03.05.23 | FOR DA                      |
| 03   | 05.05.23 | FOR DA                      |
|      |          |                             |
|      |          |                             |

REFER TO LALP101 FOR NOTES AND PLANT SCHEDULE



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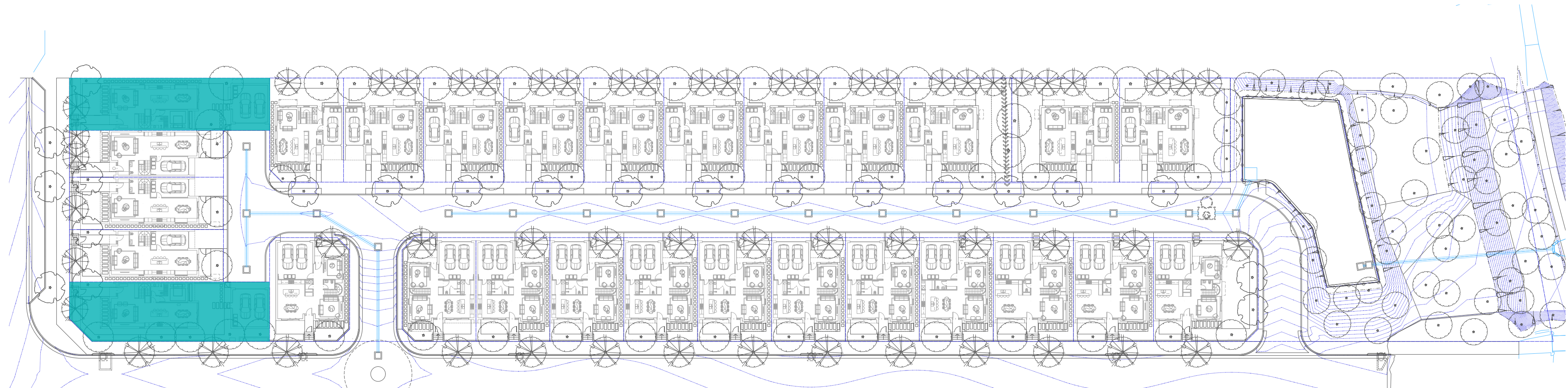
PROJECT  
Residential Development  
16 Macpherson Street  
WARRIEWOOD, NSW

DRAWING TITLE  
Landscape Plan -  
Terrace Type C2

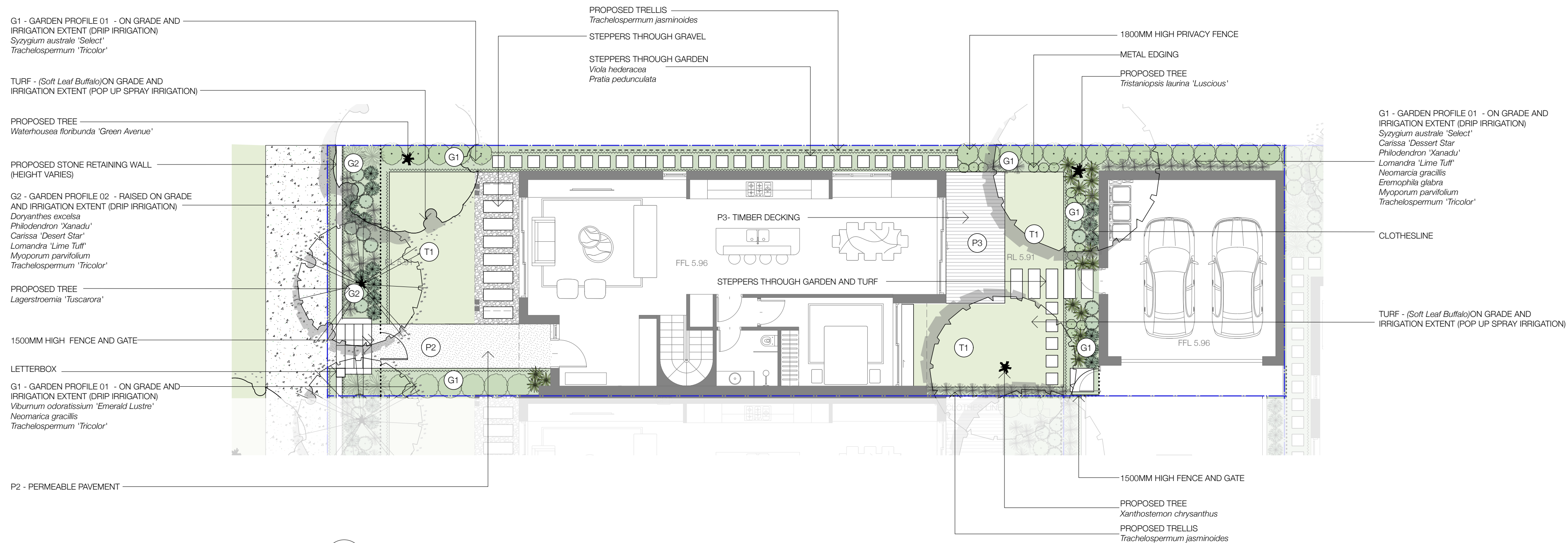
**NOT FOR CONSTRUCTION**

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| Drawn IK / GB<br>L.Architect Authorised<br>IK / GB | Client<br>Warrimac Pty Ltd               |
| Scale<br>as shown @ A1                             | Status<br>Development Application        |
| JOB NUMBER<br>BB 1323                              | DRAWING NUMBER / ISSUE<br>LA LP 113 / 03 |

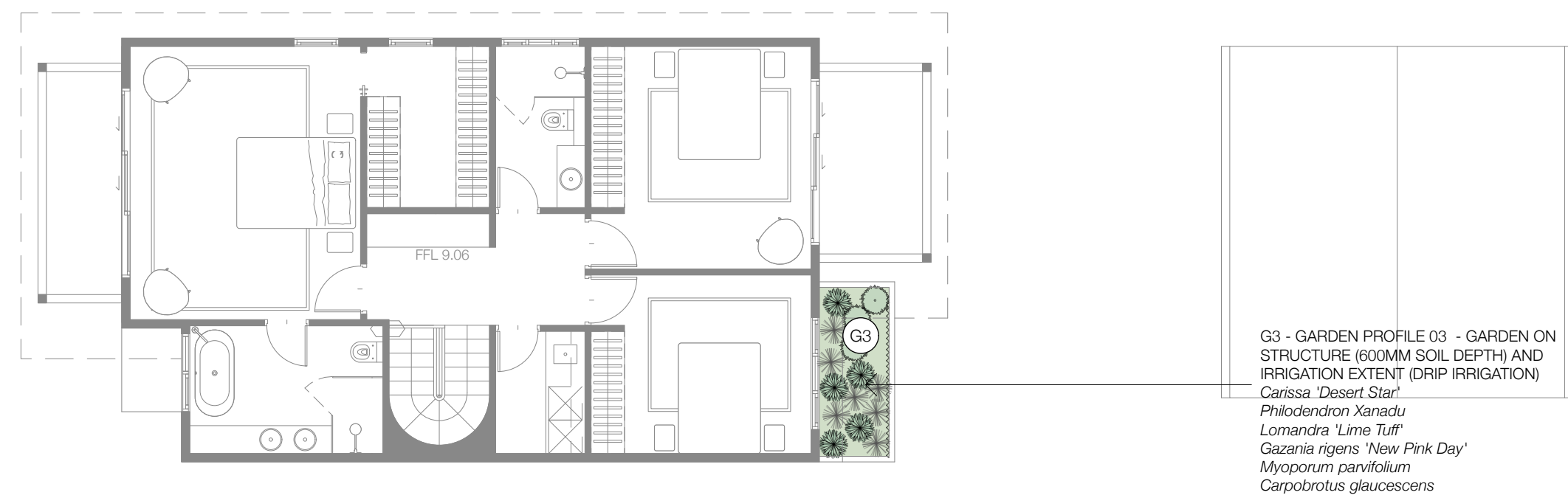




01 KEY PLAN  
Scale 1:500 @ A1



02 LANDSCAPE PLAN - TERRACE TYPE C3 - GROUND FLOOR  
Scale 1:100 @ A1

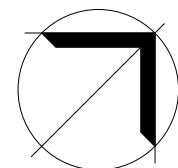


03 LANDSCAPE PLAN - TERRACE TYPE C3 - FIRST FLOOR  
Scale 1:100 @ A1

| REV: | DATE:    | DOCUMENT STATUS/ AMENDMENTS | REFER TO LALP101 FOR NOTES AND PLANT SCHEDULE |
|------|----------|-----------------------------|---|
| 01   | 14.02.23 | FOR COORDINATION            |   |
| 02   | 03.05.23 | FOR DA                      |   |
|      |          |                             |   |
|      |          |                             |   |



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PROJECT  
Residential Development  
16 Macpherson Street  
WARRIEWOOD, NSW

DRAWING TITLE  
Landscape Plan -  
Terrace Type C3

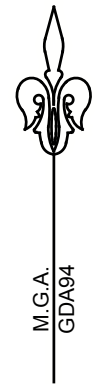
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|  |   |
|--|---|
| Drawn IK / GB<br>L.Architect Authorised<br>IK / GB<br>Scale<br>as shown @ A1 | Client<br>Warrimac Pty Ltd<br>Status<br>Development Application |
| JOB NUMBER<br>BB 1323  | DRAWING NUMBER / ISSUE<br>LA LP 114 / 02                        |





CONCEPT SUBDIVISION  
OVER LOT 4 D.P.553816  
16 MACPHERSON STREET WARRIEWOOD

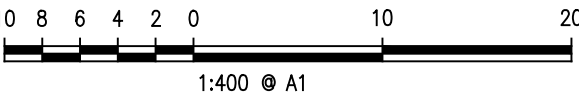


YIELD

NET SALEABLE AREA = 6377m<sup>2</sup>  
ROAD LENGTH WITHIN LOT = 229m  
ROAD LENGTH BRANDS LANE = 148m  
ROAD LENGTH TOTAL = 377m  
ROAD AREA WITHIN LOT = 1963m<sup>2</sup>

| LOT SIZE DIMENSIONS | LOT SIZE AREAS    | NUMBER | AREA               | PERCENT OF SALEABLE AREA |
|---------------------|-------------------|--------|--------------------|--------------------------|
| 8.5m X 32.5m        | 276m <sup>2</sup> | 1      | 276m <sup>2</sup>  | 4.3%                     |
| 9.6m X 32.5m        | 306m <sup>2</sup> | 1      | 302m <sup>2</sup>  | 4.8%                     |
| 7.6m X 25m          | 190m <sup>2</sup> | 1      | 190m <sup>2</sup>  | 2.9%                     |
| 8.5m X 25m          | 212m <sup>2</sup> | 2      | 425m <sup>2</sup>  | 6.6%                     |
| 12m X 16.9m         | 202m <sup>2</sup> | 9      | 1814m <sup>2</sup> | 28.4%                    |
| 13m X 16.9m         | 219m <sup>2</sup> | 10     | 2191m <sup>2</sup> | 34.3%                    |
| 17m X 16.9m         | 282m <sup>2</sup> | 1      | 282m <sup>2</sup>  | 4.4%                     |
| 17.5m X 16.9m       | 295m <sup>2</sup> | 2      | 592m <sup>2</sup>  | 9.2%                     |
| 18m X 16.9m         | 304m <sup>2</sup> | 1      | 304m <sup>2</sup>  | 4.7%                     |
| TOTAL               |                   | 28     | 6380m <sup>2</sup> | 100%                     |
| AVERAGE             | 254m <sup>2</sup> |        |                    |                          |

ALL AREAS SUBJECT TO SURVEY  
- DENOTES WASTE COLLECTION AREAS AT THE KERB LINE FOR LOTS 1-29



PRELIMINARY PLAN ONLY LOT DIMENSIONS AND AREAS SUBJECT TO SURVEY & REGISTRATION OF THE FINAL PLAN AT NSW LRS

|           |    |      |            |         |   |
|-----------|----|------|------------|---------|---|
| AMEND No. | 10 | DATE | 04/05/2023 | DETAILS | LOT 5 BOUNDARIES/AREA REVISED, LOTS RENUMBERED, PRINCIPAL AMENDED |
| AMEND No. | 09 | DATE | 31/03/2023 | DETAILS | LOT BOUNDARIES & AREAS REVISED                                    |
| AMEND No. | 08 | DATE | 22/03/2023 | DETAILS | LOT NUMBERS, BOUNDARIES & AREAS REVISED                           |
| AMEND No. | 07 | DATE | 30/01/2023 | DETAILS | LOTS, BOUNDARIES, PATH, BINS UPDATED & REVISED                    |



Project: CONCEPT SUBDIVISION  
OVER LOT 4 D.P.553816  
16 MACPHERSON STREET WARRIEWOOD

|             |                   |
|-------------|-------------------|
| Principal:  | WARRIEMAC PTY LTD |
| Scale:      | 1:400             |
| Date:       | 21/07/2022        |
| Datum:      | L.G.A.            |
| Cal's:      | F.G.              |
| Drawn:      | F.G.              |
| Proj.Man:   | A.M.              |
| Client Ref: |                   |



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www.craigandrhodes.com.au  
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Dwg File Ref. (Rev) - Sheet Ref. 048-22P L01 [10]  
- CONCEPT SUBDIVISION PLAN





CONCEPT SUBDIVISION  
OVER LOT 4 D.P.553816  
16 MACPHERSON STREET WARRIEWOOD

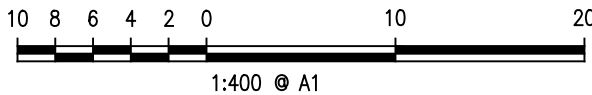
YIELD

NET SALEABLE AREA = 6377m<sup>2</sup>  
ROAD LENGTH WITHIN LOT = 229m  
ROAD LENGTH BRANDS LANE = 148m  
ROAD LENGTH TOTAL = 377m  
ROAD AREA WITHIN LOT = 1963m<sup>2</sup>

| LOT SIZE DIMENSIONS | LOT SIZE AREAS    | NUMBER | AREA               | PERCENT OF SALEABLE AREA |
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| 8.5m X 32.5m        | 276m <sup>2</sup> | 1      | 276m <sup>2</sup>  | 4.3%                     |
| 9.6m X 32.5m        | 306m <sup>2</sup> | 1      | 302m <sup>2</sup>  | 4.8%                     |
| 7.6m X 25m          | 190m <sup>2</sup> | 1      | 190m <sup>2</sup>  | 2.9%                     |
| 8.5m X 25m          | 212m <sup>2</sup> | 2      | 425m <sup>2</sup>  | 6.6%                     |
| 12m X 16.9m         | 202m <sup>2</sup> | 9      | 1814m <sup>2</sup> | 28.4%                    |
| 13m X 16.9m         | 219m <sup>2</sup> | 10     | 2191m <sup>2</sup> | 34.3%                    |
| 17m X 16.9m         | 282m <sup>2</sup> | 1      | 282m <sup>2</sup>  | 4.4%                     |
| 17.5m X 16.9m       | 295m <sup>2</sup> | 2      | 592m <sup>2</sup>  | 9.2%                     |
| 18m X 16.9m         | 304m <sup>2</sup> | 1      | 304m <sup>2</sup>  | 4.7%                     |
| TOTAL               |                   | 28     | 6380m <sup>2</sup> | 100%                     |
| AVERAGE             | 254m <sup>2</sup> |        |                    |                          |

ALL AREAS SUBJECT TO SURVEY  
- DENOTES WASTE COLLECTION AREAS AT THE KERB LINE FOR LOTS 1-29

PRELIMINARY PLAN ONLY LOT DIMENSIONS AND AREAS SUBJECT TO SURVEY & REGISTRATION OF THE FINAL PLAN AT NSW LRS



|              |                  |  |
|--------------|------------------|--|
| AMEND No. 10 | DATE: 04/05/2023 | DETAILS: LOT 5 BOUNDARIES/AREA REVISED, LOTS RENUMBERED, PRINCIPAL AMENDED |
| AMEND No. 09 | DATE: 31/03/2023 | DETAILS: LOT BOUNDARIES & AREAS REVISED                                    |
| AMEND No. 08 | DATE: 22/03/2023 | DETAILS: LOT NUMBERS, BOUNDARIES & AREAS REVISED                           |
| AMEND No. 07 | DATE: 30/01/2023 | DETAILS: LOTS, BOUNDARIES, PATH, BINS UPDATED & REVISED                    |



Project: CONCEPT SUBDIVISION  
OVER LOT 4 D.P.553816  
16 MACPHERSON STREET WARRIEWOOD

|            |                   |        |            |                            |
|------------|-------------------|--------|------------|----------------------------|
| Principal: | WARRIEMAC PTY LTD |        |            |                            |
| Scale:     | 1:400             | Date:  | 21/07/2022 | Council Ref:               |
|            |                   | Datum: |            | L.G.A.                     |
| Cal's:     | F.G.              | Drawn: | F.G.       | Proj.Man: A.M. Client Ref: |



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Dwg File Ref. [Rev] - Sheet Ref.  
048-22P L01 [10]  
- CONCEPT TRAFFIC PLAN