

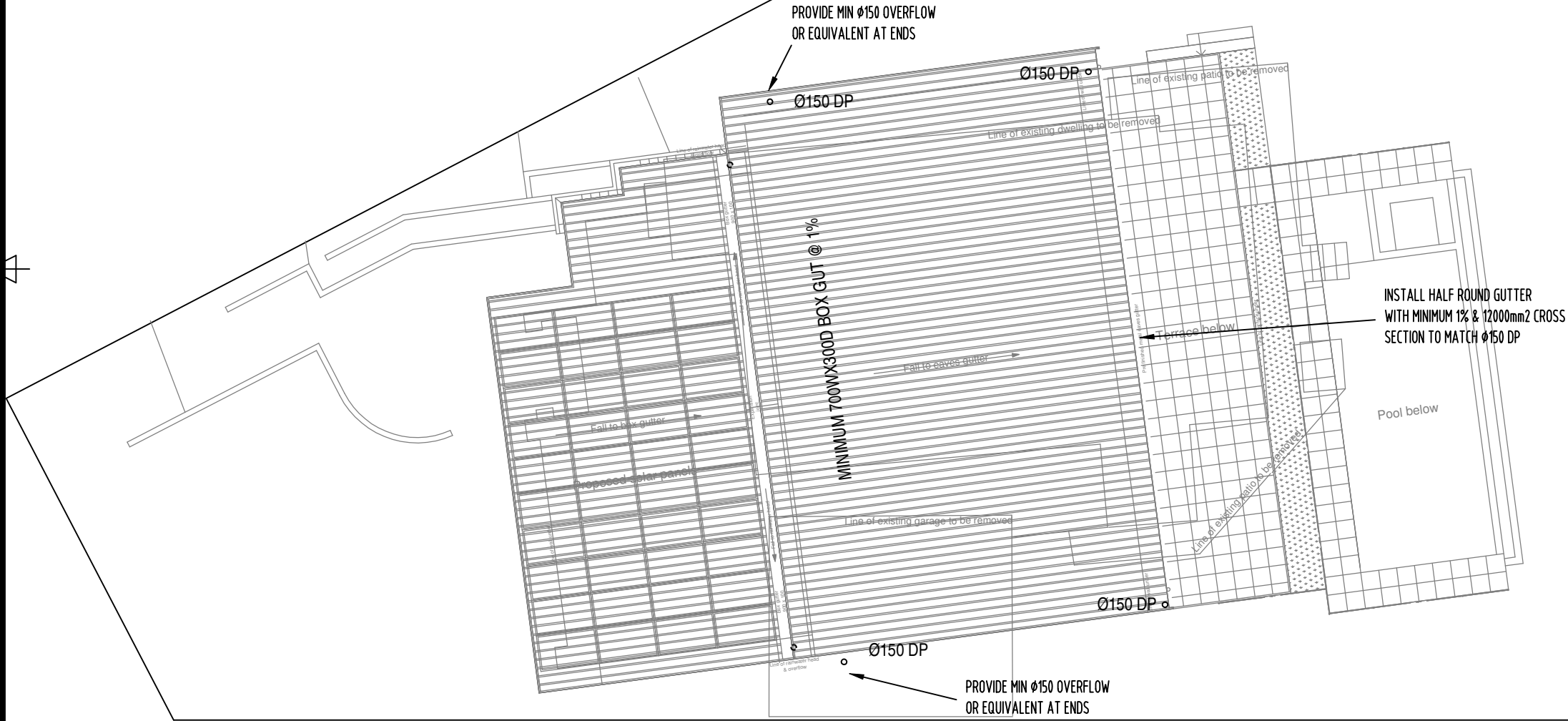
FOR D.A SUBMISSION, NOT FOR CONSTRUCTION

STORMWATER NOTES

1. ALL PIPES AND WORKMANSHIP ARE TO BE SOLVENT WELDED AND INSTALLED IN ACCORDANCE WITH RELEVANT PARTS OF AS/NZS 3500.
2. ALL PIPES ARE MIN 100mm DIA U.N.O LAID AT MIN. 1% GRADE
3. ALL DOWN PIPES SHALL BE 100mm DIA SOLVENT WELDED
4. EAVE GUTTERS SHALL HAVE MIN CROSS-SECT AREA 8500mm². BOX MIN 350WX200D
5. PLUMBER MUST INVESTIGATE ALL UNDERGROUND SERVICES LOCATIONS AND LEVELS BY CONTACTING "DIAL BEFORE YOU DIG" PRIOR TO WORKS COMMENCING. ANY CONFLICT OR DISCREPENCIES WITH DESIGN, THE ENGINEER SHALL BE CONSULTED FOR RESOLUTION.
6. THE LOCATION OF PIPELINE AND D.P SHOWN ARE NOT RESTRICTIVE. THEY CAN BE VARIED TO SUIT SITE CONDITIONS AS LONG AS THE TOTAL AREA DRAINING TO EACH PIPE/D.P REMAINS ESSENTIALLY THE SAME AND MINIMUM GRADIENT IS MAINTAINED.
7. THE DESIGN COVERS THE COLLECTION & DISPOSAL OF SURFACE WATER ONLY. CONSULT OTHER PROFESSIONALS FOR THE COLLECTION & DISPOSAL OF SEEPAGE & SUBSURFACE WATER FLOWS WHERE REQUIRED.
8. ALL GUTTERS AND ROOF FLASHING INSTALLATION SHALL BE IN ACCORDANCE WITH RELEVANT SECTIONS OF AS3500.3 REGARDING OVERFLOW PROTECTION.
9. ENSURE EXTERNALL FINISHED GROUND LEVELS ARE GRADED AWAY FROM BUILDING AND LOCATED A MINIMUM 150mm BELOW INTERNAL FINISHED FLOOR LEVEL.

RAIN WATER TANKS

1. ONLY ROOF RUNOFF IS TO BE DIRECTED TO RAINWATER TANK
2. SYDNEY WATER SUPPLY TO TOP UP TANKS SHALL BE INSTALLED TO SYDNEY WATER REQUIREMENTS.
- 3 CONNECTION FOR INTERNAL REUSE SHALL BE AS PER D.A CONSENT OR BASIX REQUIREMENTS.
4. ALL RAINWATER TANKS AND ASSOCIATED PIPE WORKS ARE TO BE LABEL LED NON-POTABLE - NOT FOR DRINKING.
5. PROVIDE A PROPRIETOR CONTROLLER BOX TO REGULATE WATER SUPPLY FROM RAINWATER TANKS FOR INTERNAL REUSE.
- 6.PROVIDE LEAF GUARD TO ALL GUTTERS & MOSQUITOES NETTING TO R/W TANKS INLET, WITH APPROPRIATE AIR GAP.
7. RAINWATER TANK INSTALLATION & THEIR ASSOCIATED FITTINGS & FIXTURES SHALL COMPLY WITH RELEVANT SECTIONS OF AS/NZS 2179-1994 & AS 2180-1986.



Rev	Description	Eng	Draft	Date
B	REVISED TO ARCHITECT REVISION	MN	MN	7.2.24
A	FOR D.A SUBMISSION	MN	MN	26.8.23

Client Mr & Mrs Micallef			
Drawn MN	Designed MN	Checked MN	Scale 1:150
Proj No. 230500	Drw No. C01	Issue B	Date 7.8.23

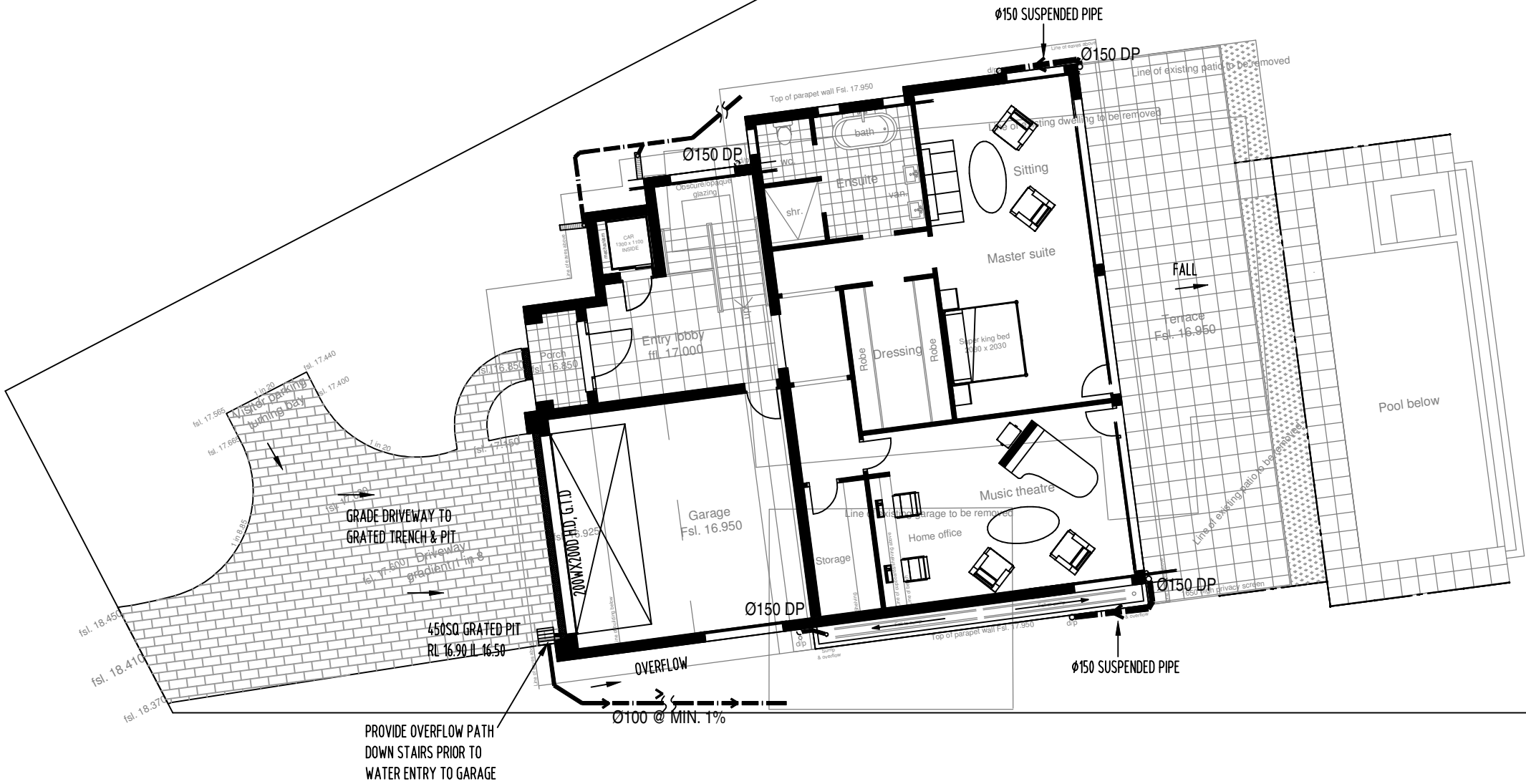
Title	ROOF STORMWATER
Project	New Residence at 212 Hudson Parade, Claireville



DEVELOPMENT ENGINEERING SOLUTIONS

21 GRAND AVE, WESTMEAD 2145 P 8898 9830 M 0411506738

FOR D.A SUBMISSION, NOT FOR CONSTRUCTION



Rev	Description	Eng	Draft	Date
B	REVISED TO ARCHITECT REVISION	MN	MN	7.2.24
A	FOR D.A SUBMISSION	MN	MN	26.8.23

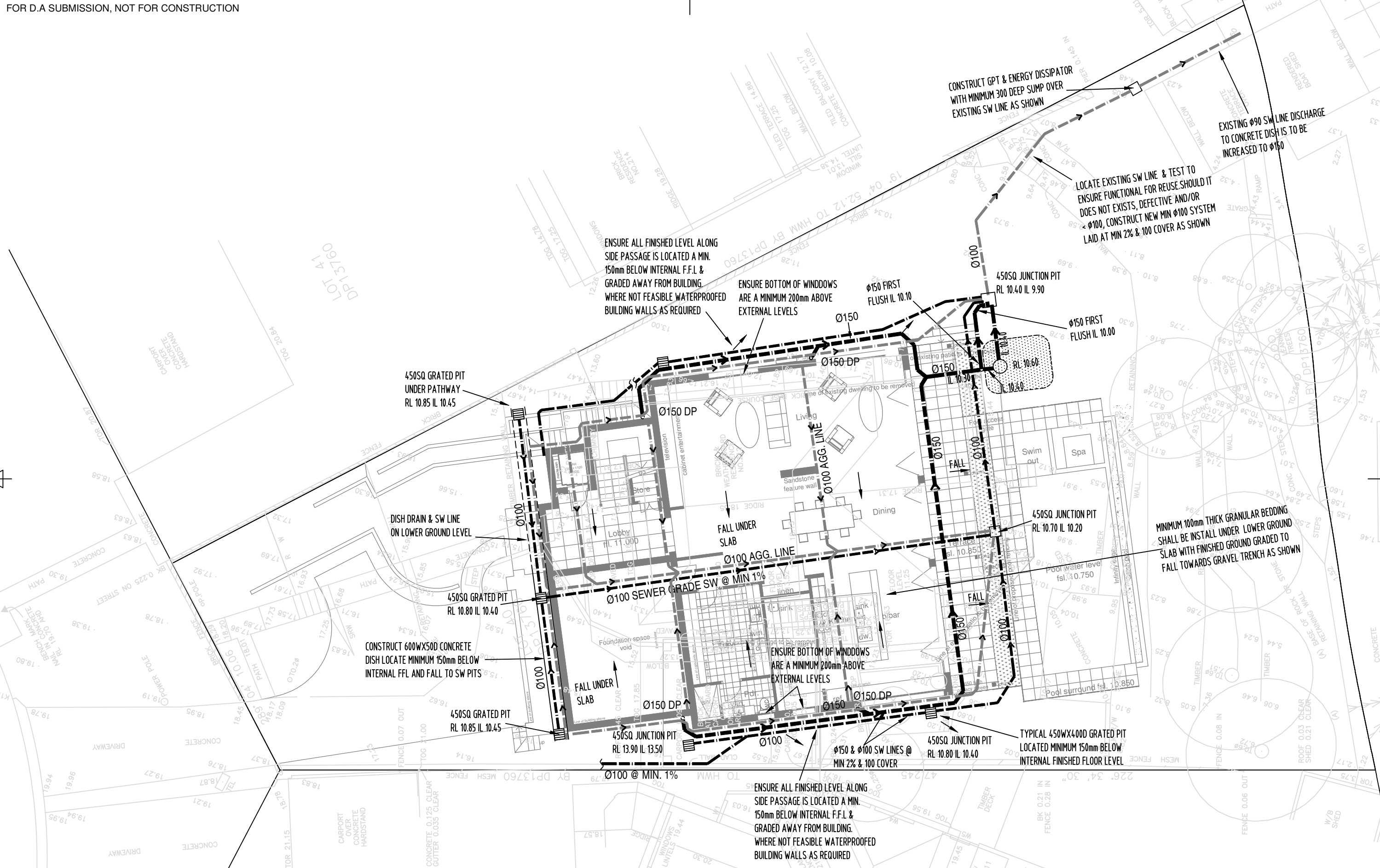
Client Mr & Mrs Micallef			
Drawn MN	Designed MN	Checked MN	Scale 1:150
Proj No. 230500	Drw No. C02	Issue B	Date 7.8.23

Title GROUND FLOOR DRAINAGE
Project New Residence at 212 Hudson Parade, Claireville



DEVELOPMENT ENGINEERING SOLUTIONS


21 GRAND AVE, WESTMEAD 2145 P 8898 9830 M 0411506738



Rev	Description	Eng	Draft	Date
B	REVISED TO ARCHITECT REVISION	MN	MN	7.2.24
A	FOR D.A SUBMISSION	MN	MN	19.8.23

Client Mr & Mrs Micallef			
Drawn MN	Designed MN	Checked MN	Scale 1:100
Proj No. 230500	Drw No. C04	Issue B	Date 7.8.23

Title LOWER FLOOR DRAINAGE
Project New Residence at 212 Hudson Parade, Claireville



DEVELOPMENT ENGINEERING SOLUTIONS

21 GRAND AVE, WESTMEAD 2145 P 8898 9830 M 0411506738

This architectural section drawing illustrates a proposed dwelling with various rooms and structural details. The drawing includes the following elements:

- Rooms and Spaces:** Bed room 5, Bed room 4, van. Ens., van. Ens., king bed 1830 x 2030, Music theatre, Home office, Storage, Garage, Terrace, Scullery, Kitchen, b/bar, and another Terrace.
- Structural and Construction Details:** Roof pitch 7degrees, Proposed solar panels, Line of existing dwelling to be removed, Foundation space access, 600W X 50D CONCRETE DISH GRADE TO SW PITS, 450SQ GRATED PIT RL 10.80 IL 10.40, Ø100 SW PIPE, MINIMUM 400W X 400D GRAVEL FILL TRENCH BELOW DISH DRAIN, Ø100 SEWER GRADE PVC & Ø100 AGG. LINE LAID IN PARALLEL IN GRAVEL TRENCH @ MIN. 1%, 450SQ JUNCTION PIT RL 10.70 IL 10.20, Selected turf, Pool water level fsl 10.775nom, Infinity edge, Catch pool, CONCRETE, Pool.
- Landscaping and Site Features:** Existing ground line at section, Drive gradient 1:8, Existing trees, Proposed trees, and a large area of vegetation on the right side.
- Dimensions and Levels:** Various levels are indicated throughout the drawing, such as FFL 17.00, FFL 14.00, FFL 11.00, and RL 10.80.

F	Rev	Description	Eng	Draft	Date	Client				Title				<div><div><div></div><div></div><div></div></div><div>DEVELOPMENT ENGINEERING SOLUTIONS</div><div>21 GRAND AVE, WESTMEAD 2145 P 8898 9830 M 0411506738</div></div>	F	
						Mr & Mrs Micallef				LONGSECTION THROUGH BUILDING						
						Drawn	Designed	Checked	Scale	Project New Residence at 212 Hudson Parade, Claireville						
						MN	MN	MN	1:100							
	B	REVISED TO ARCHITECTURAL REVISION	MN	MN	7.2.24	Prj No.	Drw No.	Issue	Date							
A	FOR D.A SUBMISSION	MN	MN	19.8.23	230500	C04	B	7.8.23								
	1	2		3								6		7		8