

DEVELOPMENT PROPOSAL

DP: 28663
LOT No. 22
SITE AREA: 694.90MSQ.
EXIST. GFA: 205.00MSQ.
PROPOSED GFA: 67.00MSQ
MAX. BUILDING HEIGHT: 8.5M

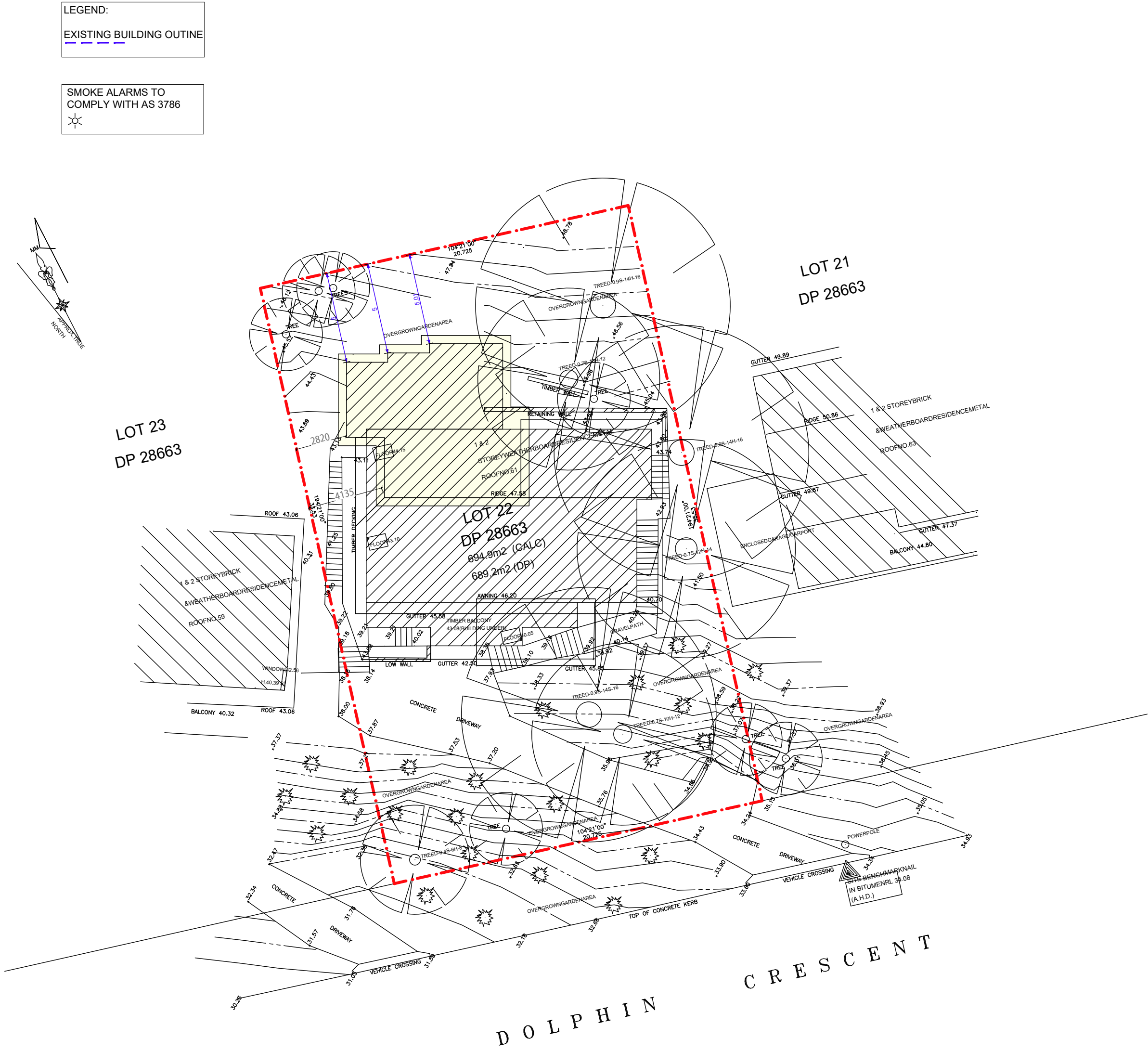
NEW WORKS:
NEW 3RD STOREY ADDITION AT REAR OF DWELLING
NEW GREEN ROOF

NOTE:

NEW ROOF, COLOUR - SHALE GREY, COLORBOND® CORRUGATED STEEL. IN FITTING WITH EXISTING HOUSE ROOF.

NEW WALLS: NEW WALLS - JAMES HARDIE™ TEX BASE SHEET, COLOUR IS APPROXIMATELY AN RGB VALUE OF (187, 161, 145). THIS CORRESPONDS TO A SOFT, EARTHY TONE WITH A WARM BEIGE OR LIGHT TAUPE APPEARANCE

FLOOR: TIMBER FRAME.



SITE PLAN
SCALE 1:200

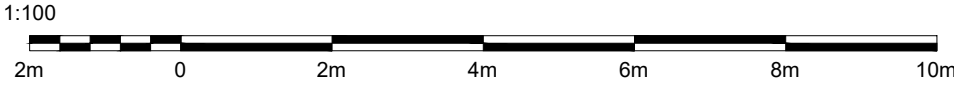
BASIX CERT.

SMOKE ALARMS TO COMPLY WITH AS 3786

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
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- CONNECT DPS TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

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DISCLAIMER:

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61 DOLPHIN CRES.
AVALON BEACH
2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

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Project Name and Address
MATTHEW DENT
61 DOLPHIN CRES.
AVALON BEACH
2107

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9. ☐ 10. ☐ 11. ☐ 12. ☐

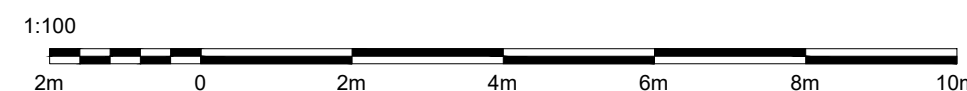
13. ☐ 14. ☐ 15. ☐ 16. ☐

LEGEND:

EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786





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3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS**

LEGEND:
 **EXISTING BUILDING OUTLINE**
 **PROPOSED WORK**

General Notes

proudly supporting

bear cottage

an initiative of the children's hospitals & nurseries

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Project ADDITONS AND ALTERATIONS	Sheet 2
Date 07.07.2025	
Scale AS SHOWN	

DP No. 28662

LOT No. **22**

A	ISSUED FOR DA	07.07.2023
No.	Revision/Issue	Date

dh DRAFTING HELP

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02 87763474

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
9. ☐ 10. ☐ 11. ☐ 12. ☐

13. ☐ 14. ☐ 15. ☐ 16. ☐

LEGEND:

EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786



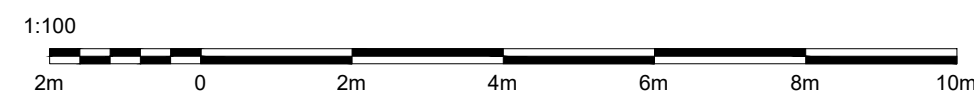


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AVALON BEACH
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DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS**

LEGEND:
 EXISTING BUILDING OUTLINE
 **PROPOSED WORK**

General No.

proudly supporting

bear cottage

an initiative of
the children's hospital at moseley

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Project CONDITIONS AND ALTERATIONS	Sheet
Date 07.07.2025	3
Scale AS SHOWN	

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13. ☐ 14. ☐ 15. ☐ 16. ☐

SMOKE ALARMS TO
COMPLY WITH AS 3786

The architectural site plan displays three building footprints within a defined site boundary, marked by a red dashed line. The plan includes detailed dimensions and orientation information.

Central Building: This building features a complex internal layout with rooms labeled "BED", "W.I.R.", "WC", and a staircase. It is oriented with a 13° angle. Key dimensions include a total width of 16865 and a total depth of 13530. The building's footprint is 15665 wide and 9320 deep. The internal layout shows a central corridor (820) connecting the rooms. The total area is noted as 55.00 MSQ.

Left Building: A large rectangular building oriented with a 17° angle. It has a total width of 16865 and a total depth of 13530. The footprint is 15665 wide and 9320 deep. The building is divided into two main sections, each 6060 wide and 2500 deep, with a central corridor (50) and side sections (40 and 1390).

Right Building: A large rectangular building oriented with a 17° angle. It has a total width of 17805 and a total depth of 13530. The footprint is 16805 wide and 9320 deep. The building is divided into two main sections, each 6060 wide and 2500 deep, with a central corridor (50) and side sections (40 and 1390).

Site Orientation and Dimensions: The site is bounded by a red dashed line. The overall width is 16865 and the overall depth is 13530. The plan includes orientation arrows and angles (13°, 17°, 5°) indicating the buildings' alignment. The central building's orientation is 13°, the left building is 17°, and the right building is 17°.

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SCALE 1:100

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COUNCIL COMPLIANT PLANS**

LEGEND:

 EXISTING BUILDING OUTLINE

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Project ADDITONS AND ALTERATIONS	Sheet
Date 07.07.2025	4
Scale AS SHOWN	

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LOT No.	22

LOT No. **22**

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No.	Revision/Issue	Date
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 Springer

5470 Suddow Rd

Balgownie 2093 NSW
www.draftinghelp.com.au

02 87763474

Project Name and Address

MATTHEW DENT
61 DOLPHIN CRES.

AVALON BEACH

2107

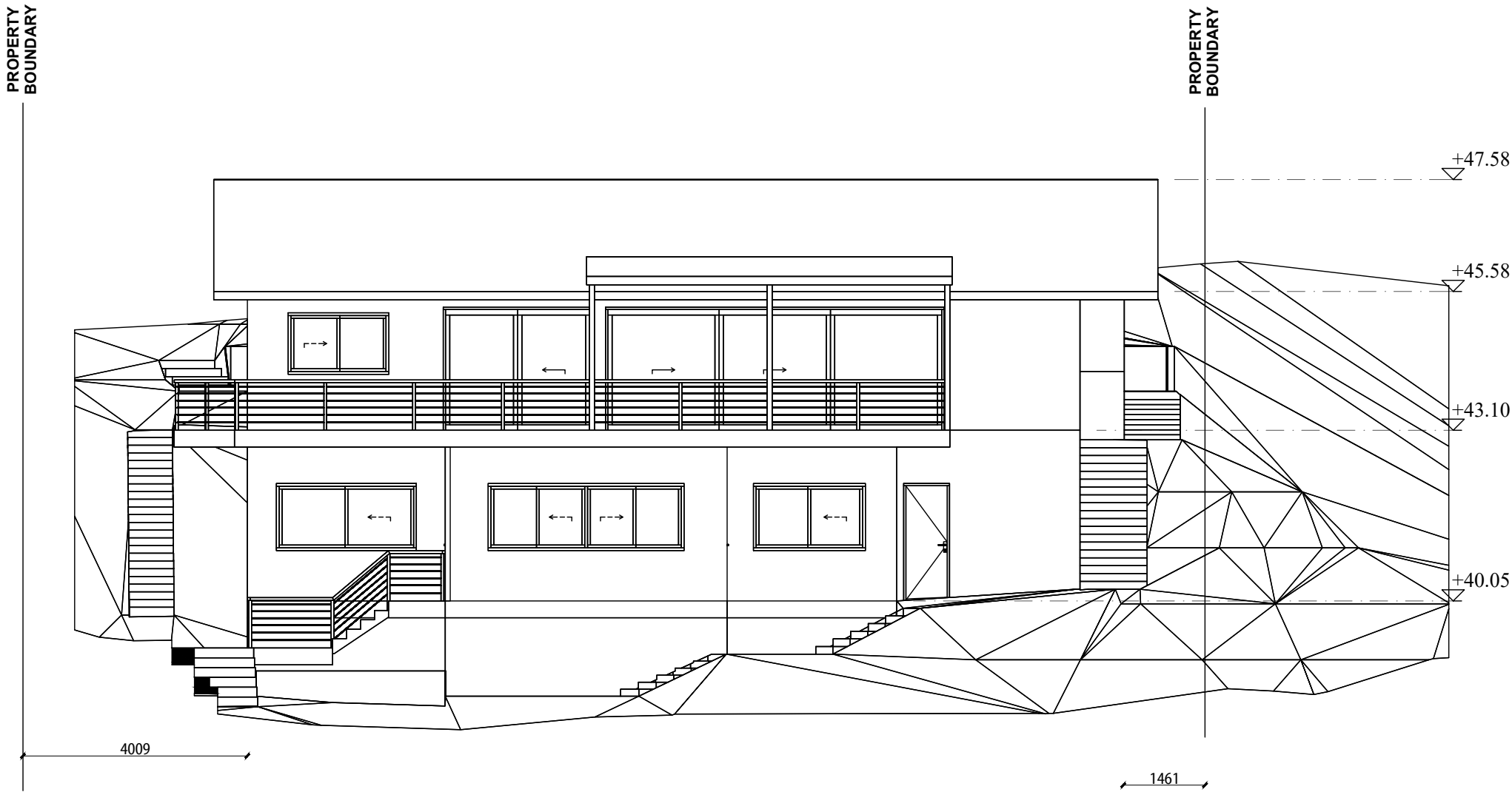
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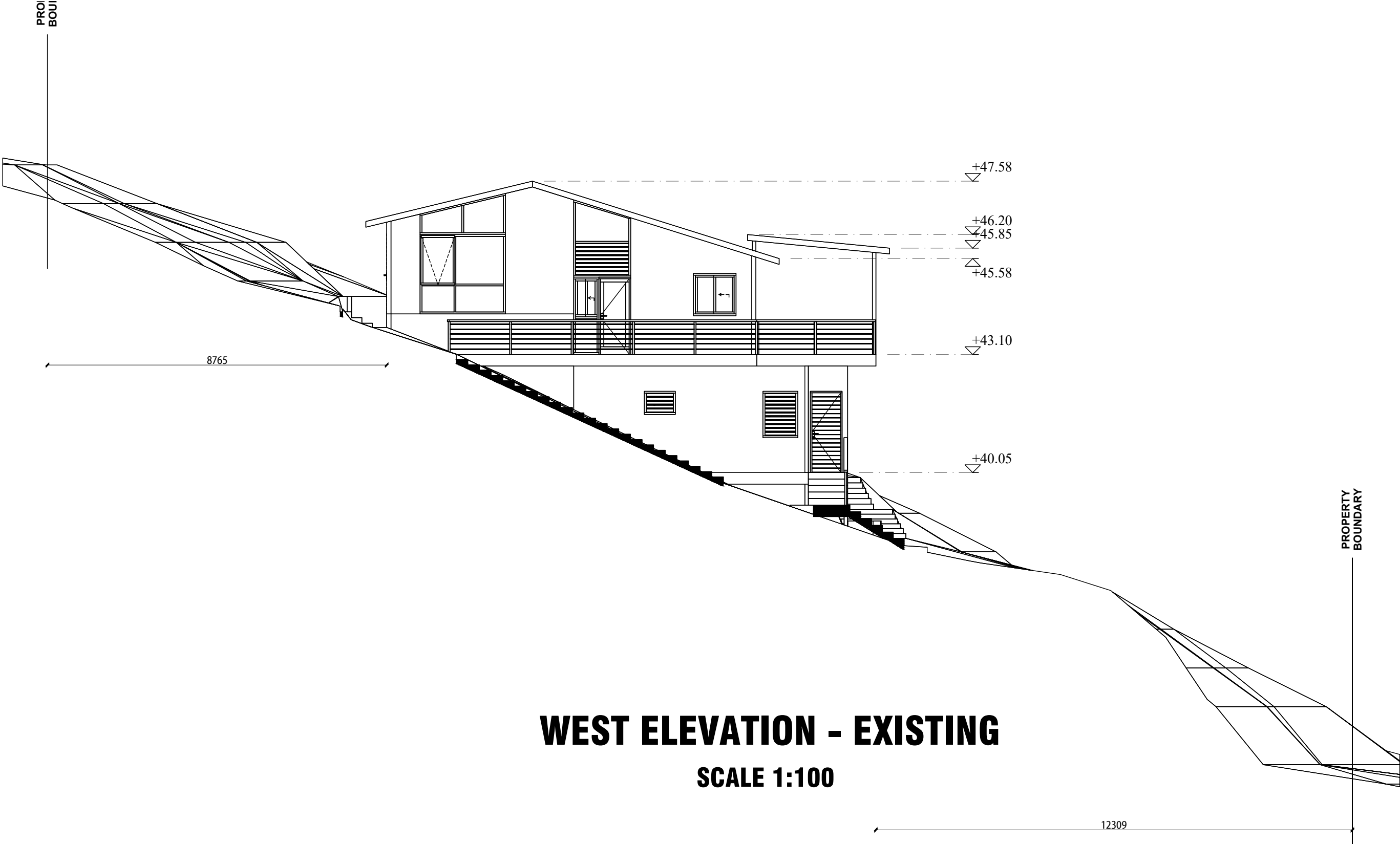
NEW WORKS:
NEW 3RD STOREY ADDITION AT REAR OF DWELLING
NEW GREEN ROOF

LEGEND:
EXISTING BUILDING OUTLINE

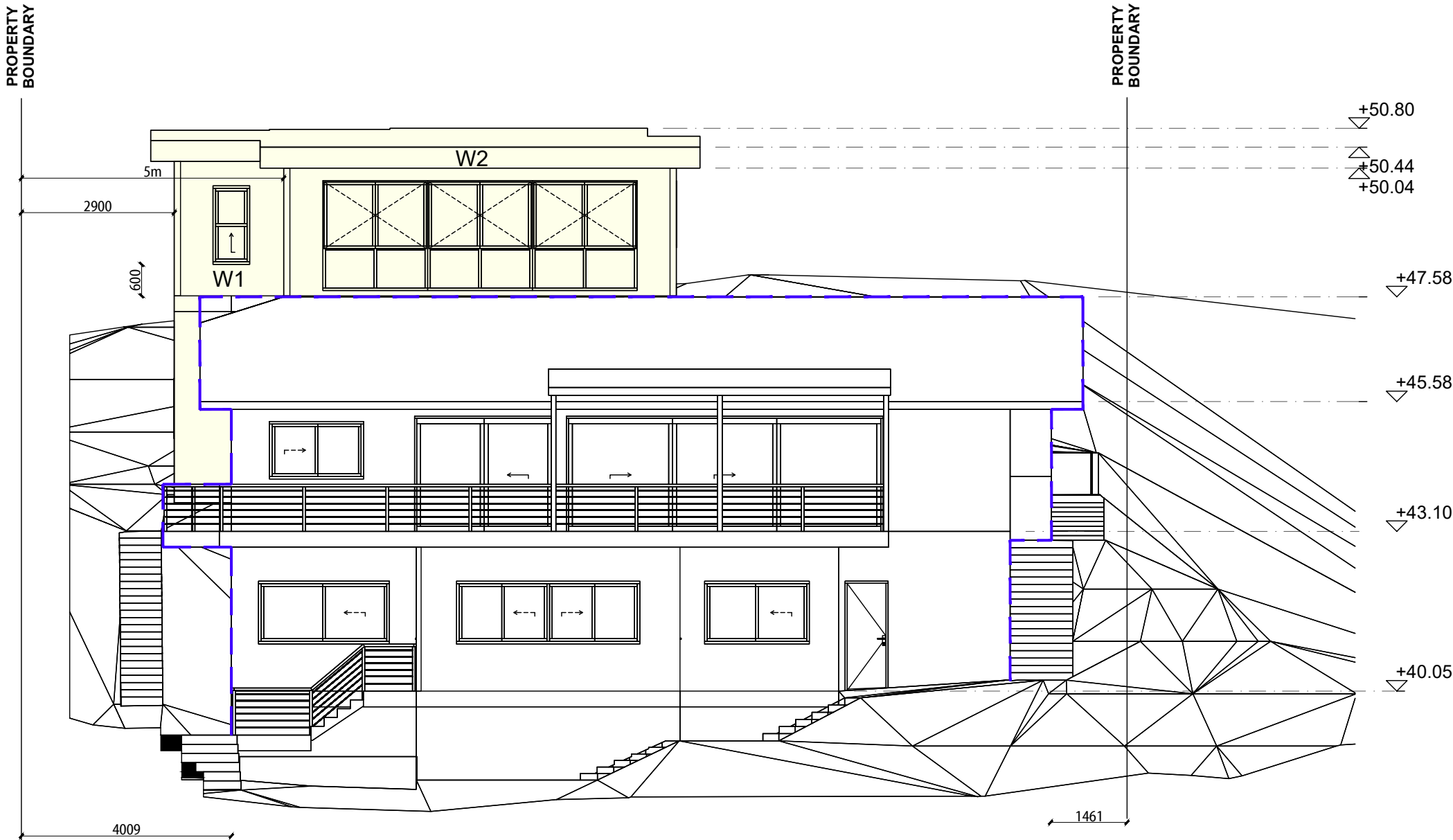
SMOKE ALARMS TO COMPLY WITH AS 3786



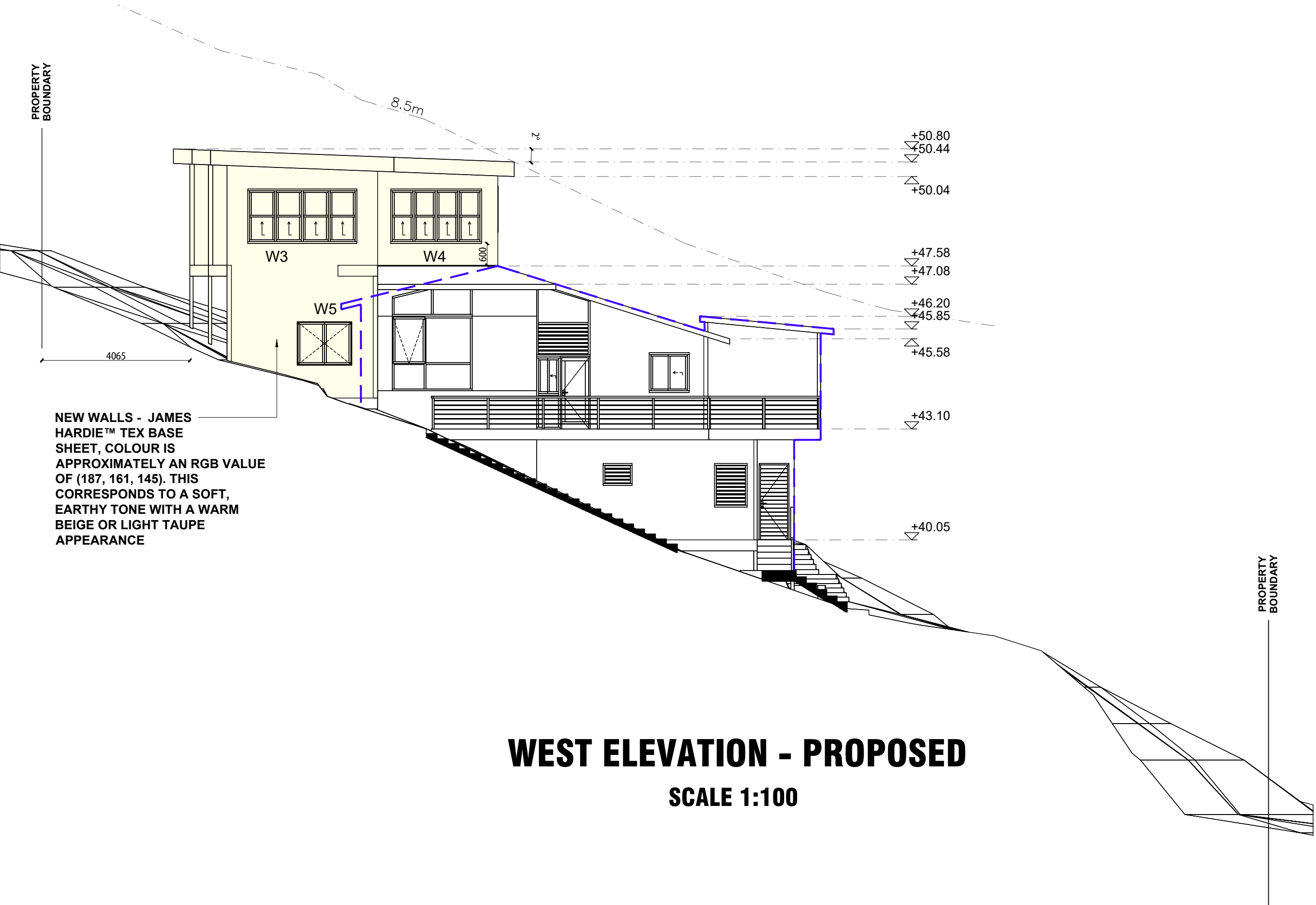
SOUTH ELEVATION - EXISTING
SCALE 1:100



WEST ELEVATION - EXISTING
SCALE 1:100



SOUTH ELEVATION - PROPOSED
SCALE 1:100

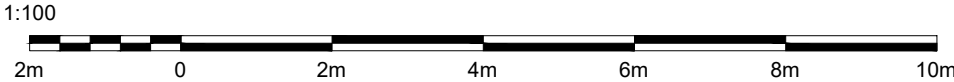


WEST ELEVATION - PROPOSED
SCALE 1:100

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AVALON BEACH
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COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

proudly supporting
bear cottage

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Project address and alterations
Date 07.07.2025
Scale AS SHOWN

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dh DRAFTING HELP
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1:100

2m 0 2m 4m 6m 8m 10m

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6

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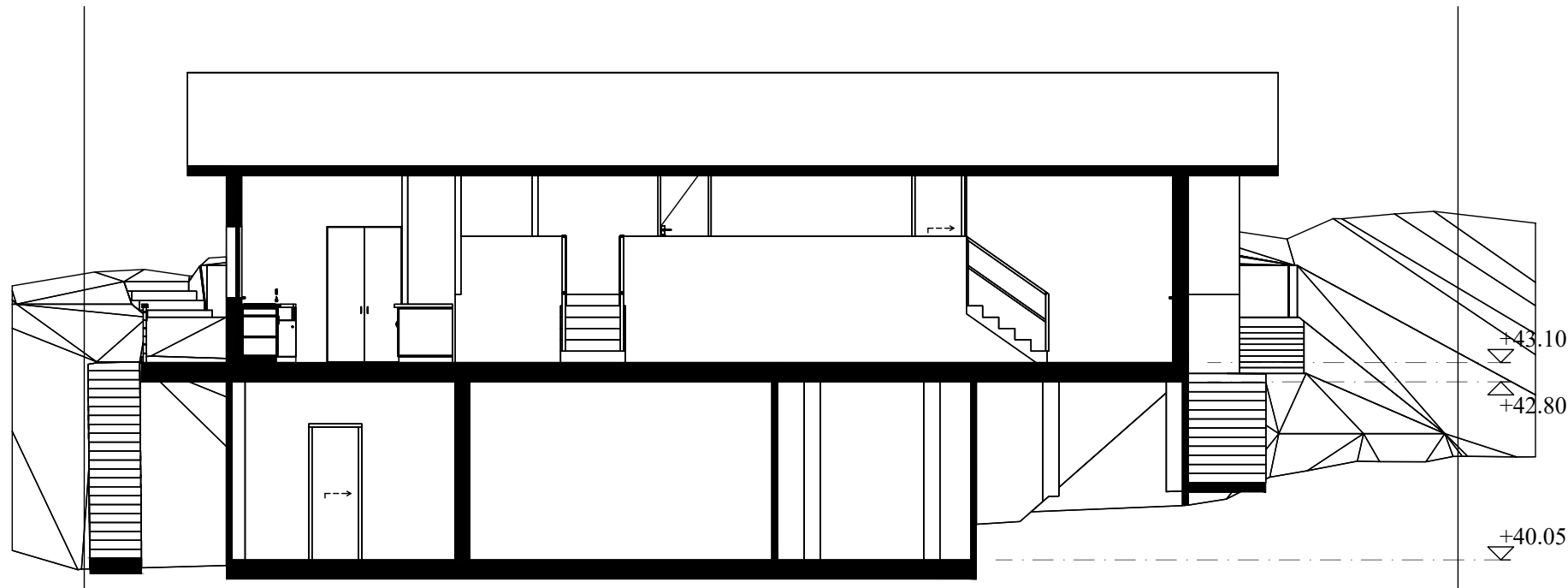
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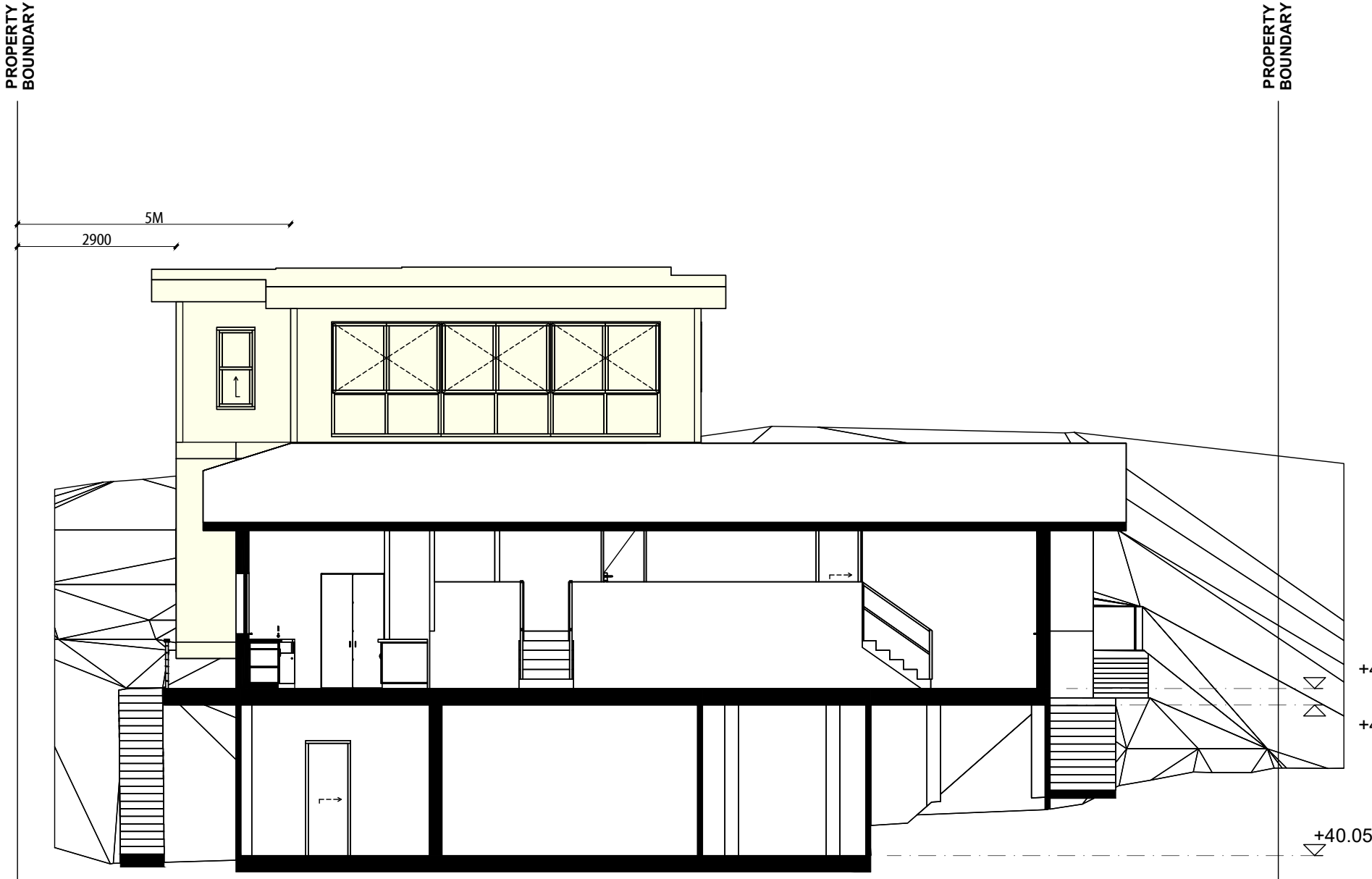
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⚡



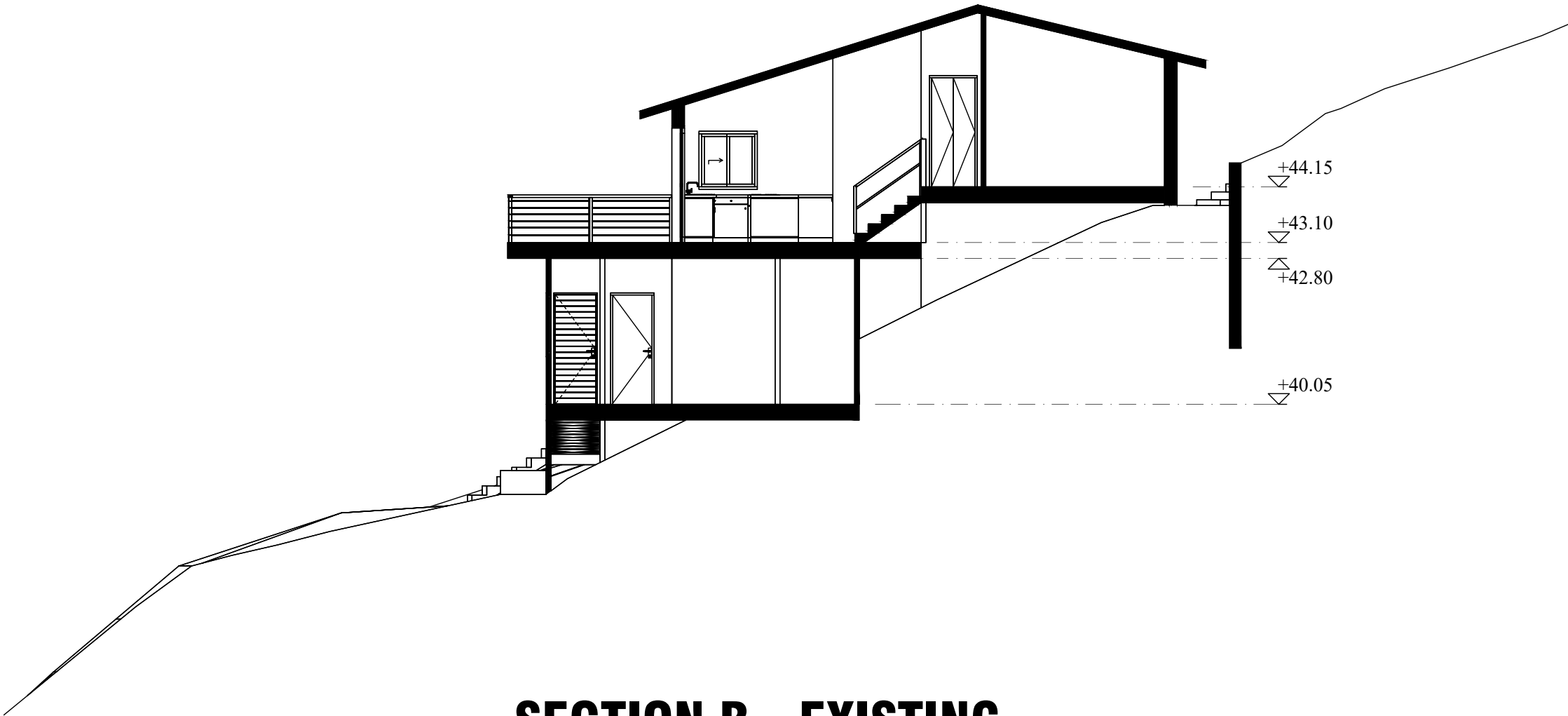
SECTION A - EXISTING
SCALE 1:100



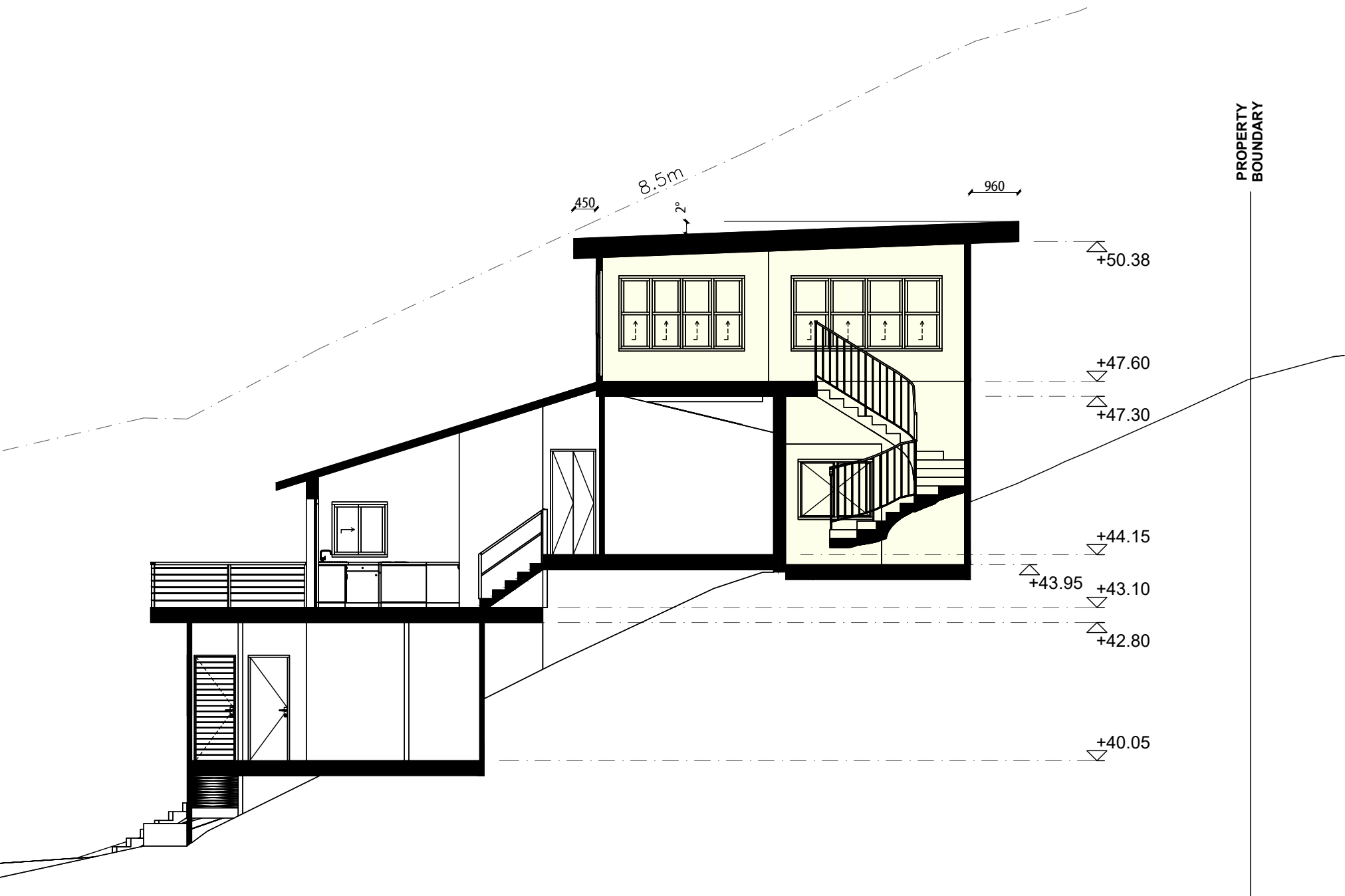
SECTION A - PROPOSED
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SECTION B - EXISTING
SCALE 1:100



SECTION B - PROPOSED
SCALE 1:100

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PROPOSED WORK

General Notes

PROUDLY SUPPORTING
bear cottage
architectural drafting help

Project Additions and Alterations
Date: 07.07.2025
Scale: AS SHOWN

Sheet
7

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SMOKE ALARMS TO
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LEGEND:

 EXISTING WORKS TO BE REMOVED

1:100

2m 0 2m 4m 6m 8m 10m

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LEGEND:

 EXISTING WORKS TO BE REMOVED

**61 DOLPHIN CRES.
AVALON BEACH
2107**

General Notes



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Project CONDITIONS AND ALTERATIONS	Sheet
Date 07.07.2025	8
Scale AS SHOWN	

DP No. 00662

LOT No. 22

ISSUED FOR DA	07.07.20
Revision/Issue	Date

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ARCHITECTURAL DRAFTING & DESIGN SERVICES
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Balgowlah 2093 NSW
www.draftinghelp.com.au
02 87763474

MATTHEW DENT
61 DOLPHIN CRES.
AVALON BEACH
2107

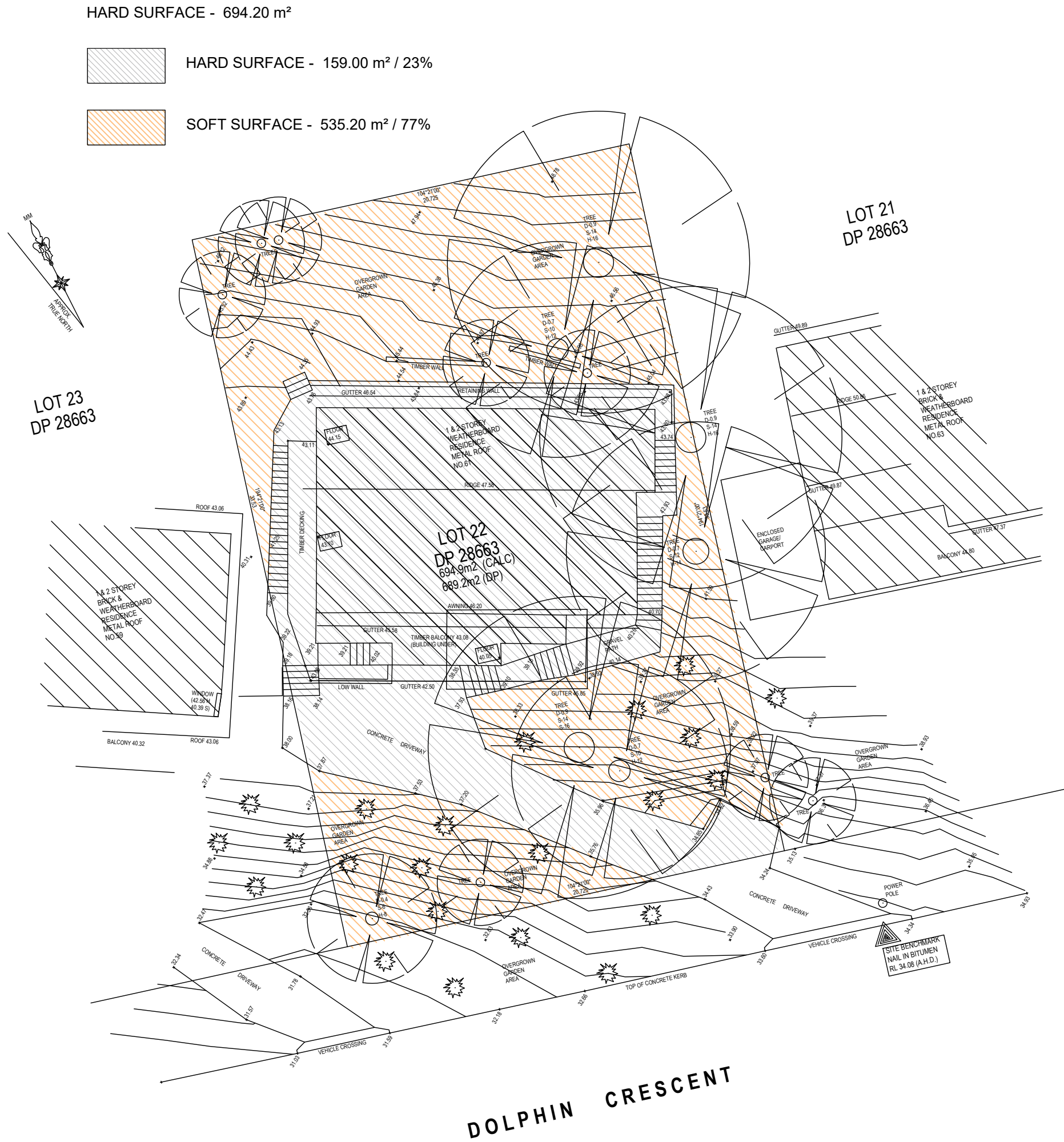
DEVELOPMENT PROPOSAL

DP: 28663
LOT No. 22
SITE AREA: 694.90MSQ.
EXIST. GFA: 205.00MSQ.
PROPOSED GFA: 67.00MSQ
MAX. BUILDING HEIGHT: 8.5M

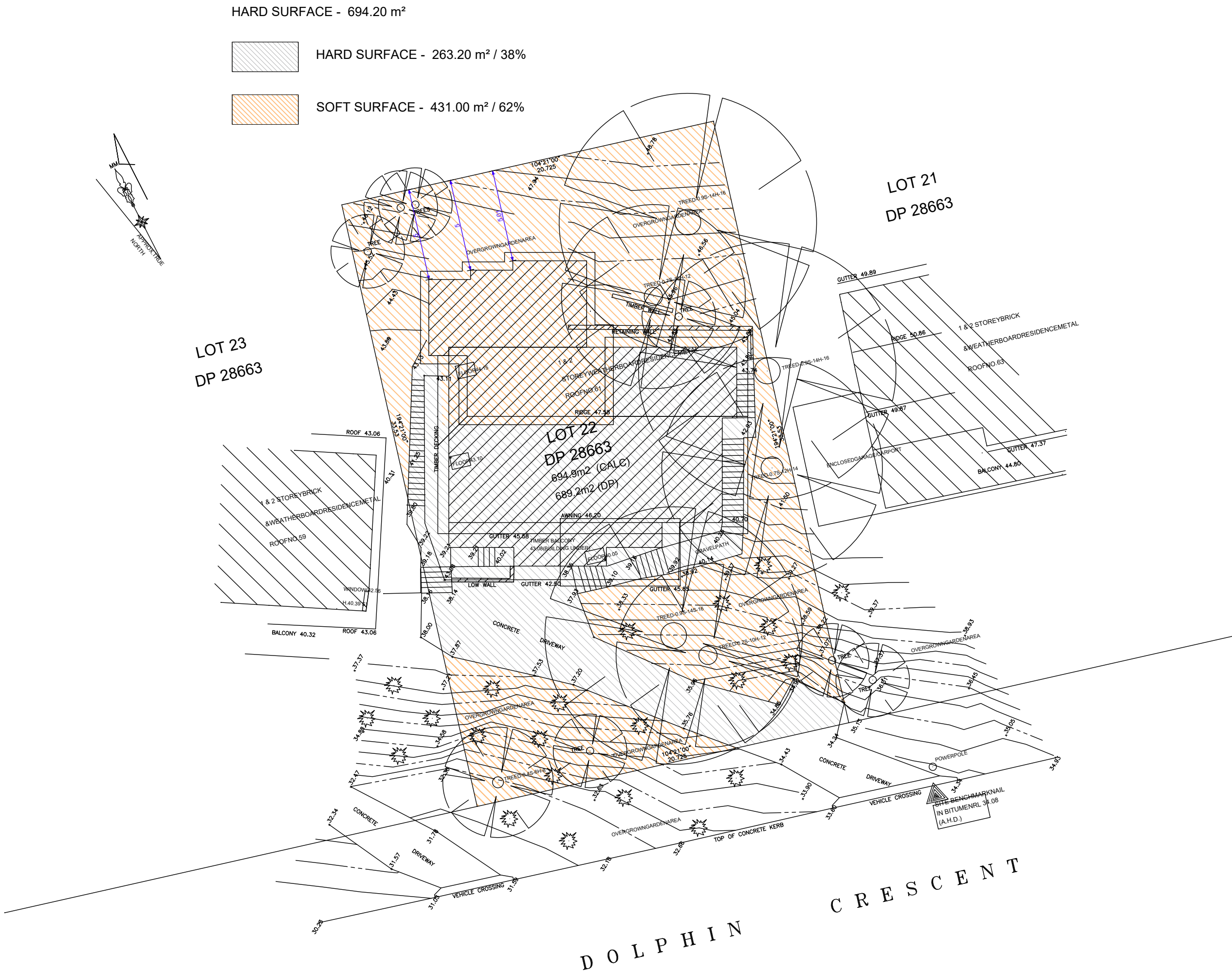
NEW WORKS:
NEW 3RD STOREY ADDITION AT REAR OF DWELLING
NEW GREEN ROOF

LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786
☆☆



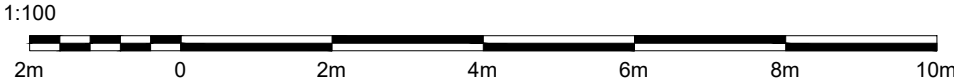
LANDUSE DIAGRAM - EXISTING
SCALE 1:200



LANDUSE DIAGRAM - PROPOSED
SCALE 1:200

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
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- CONNECT DPS TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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61 DOLPHIN CRES.
AVALON BEACH
2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes



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Project Address and Alterations	Sheet
Date: 07.07.2025	9
Scale: AS SHOWN	

DP No. 28663

LOT No. 22

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No.	Revision/Issue	Date

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Project Name and Address
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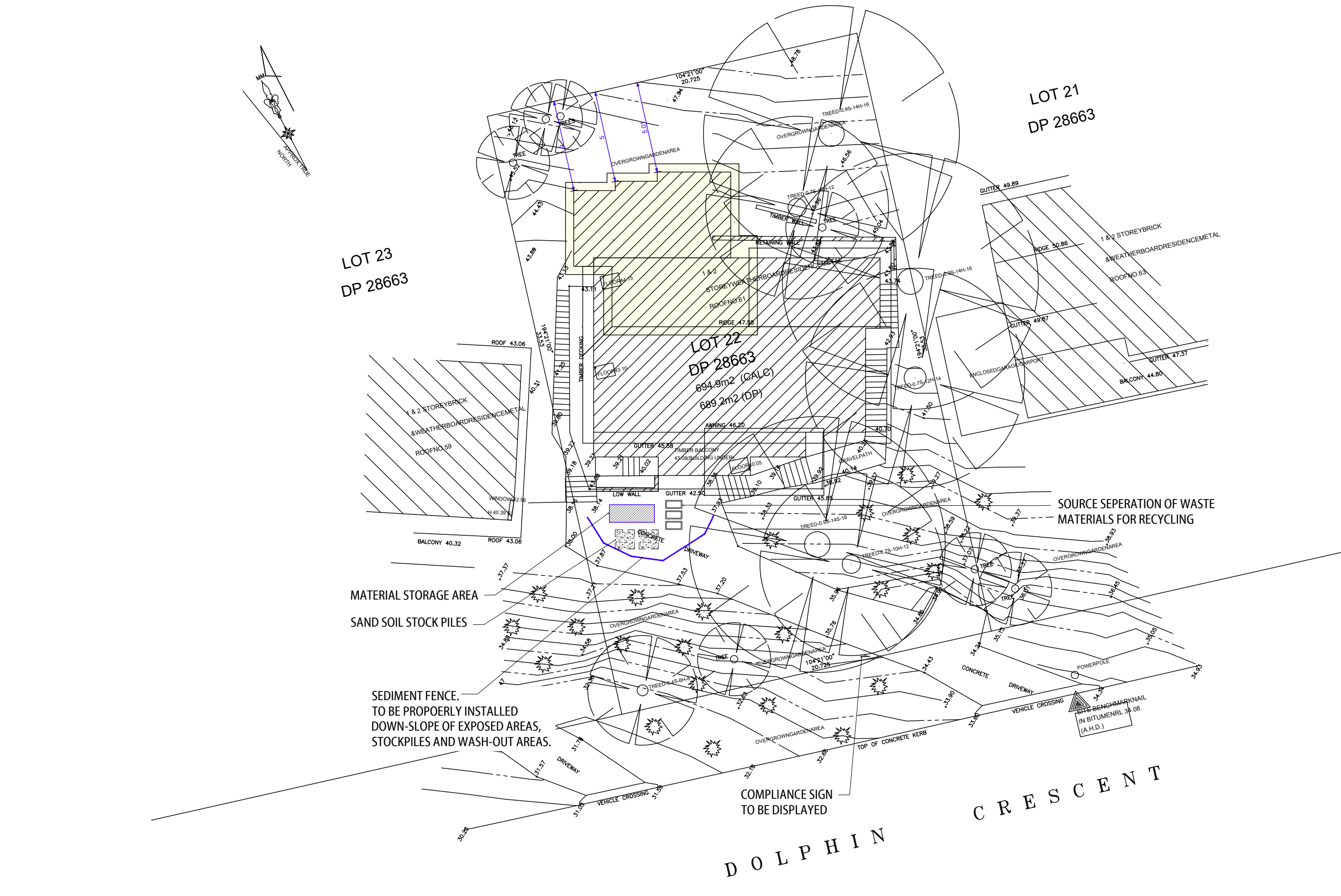
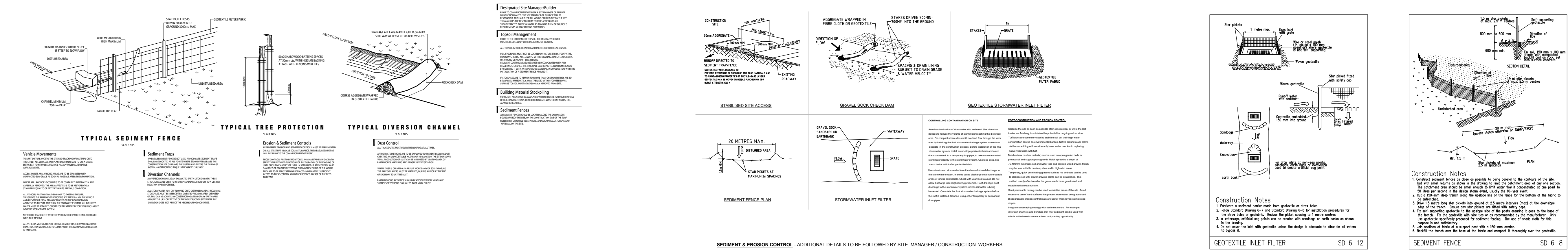
DEVELOPMENT PROPOSAL

DP: 28663
LOT No. 22
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EXIST. GFA: 205.00MSQ.
PROPOSED GFA: 67.00MSQ
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NEW WORKS:
NEW 3RD STOREY ADDITION AT REAR OF DWELLING
NEW GREEN ROOF

LEGEND:
EXISTING BUILDING OUTLINE

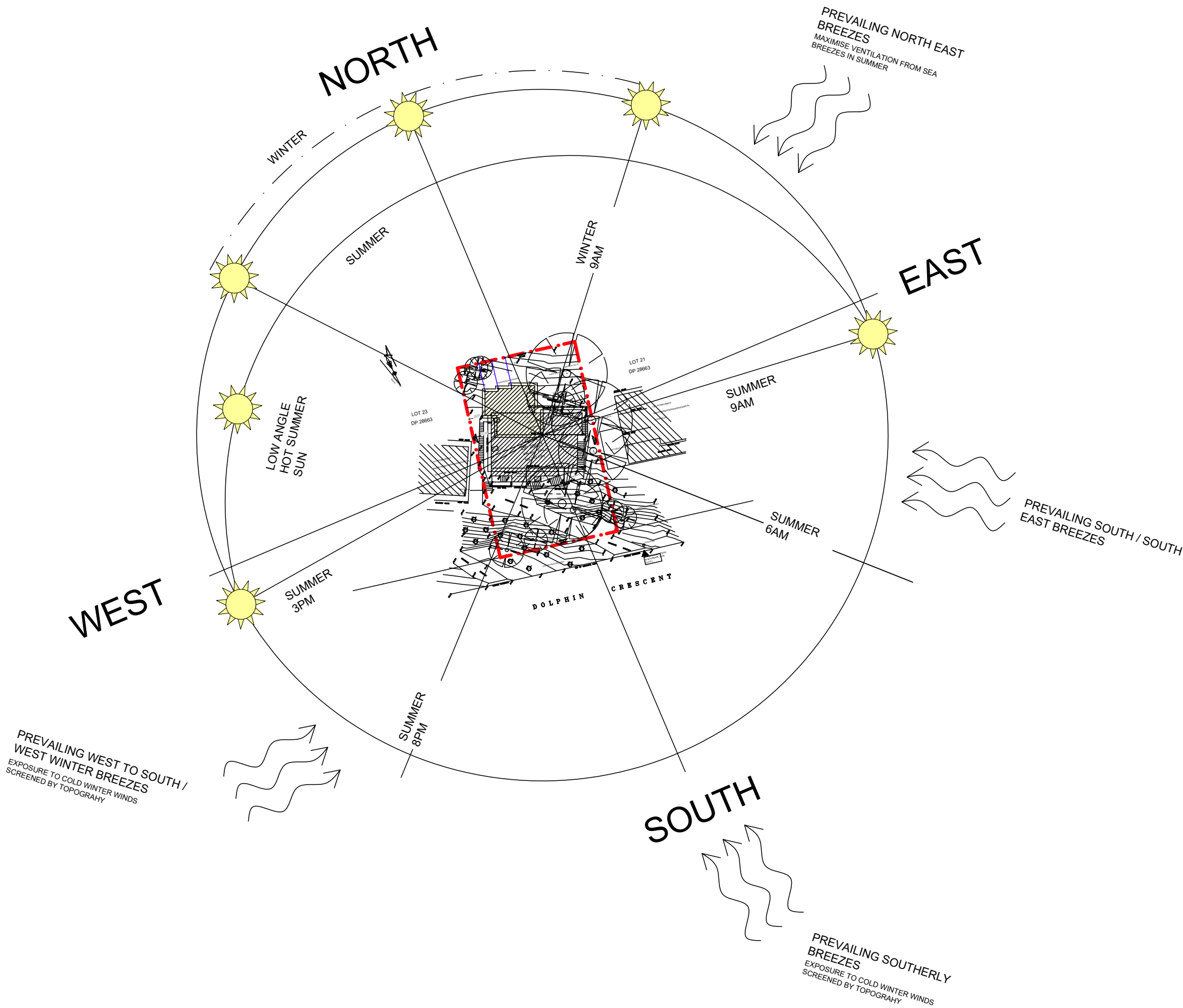
SMOKE ALARMS TO COMPLY WITH AS 3786



SEDIMENT & EROSION PLAN
SCALE 1:200

GENERAL NOTES
•BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
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•ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

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2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

proudly supporting
bear cottage
the little's boutique

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Project Address and Alterations
Date: 07.07.2025
Scale: AS SHOWN
Sheet: 10

DP No: 28663

LOT No. 22

A ISSUED FOR DA 07.07.2025

No. Revision/Issue Date

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Project Name and Address
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61 DOLPHIN CRES.
AVALON BEACH
2107

DEVELOPMENT PROPOSAL

DP: 28663
LOT No. 22
SITE AREA: 694.90MSQ.
EXIST. GFA: 205.00MSQ.
PROPOSED GFA: 67.00MSQ
MAX. BUILDING HEIGHT: 8.5M

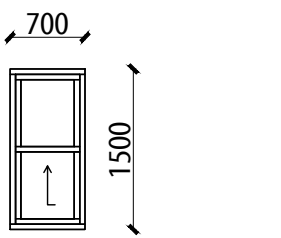
NEW WORKS:
NEW 3RD STOREY ADDITION AT REAR OF DWELLING
NEW GREEN ROOF

LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786
⚡

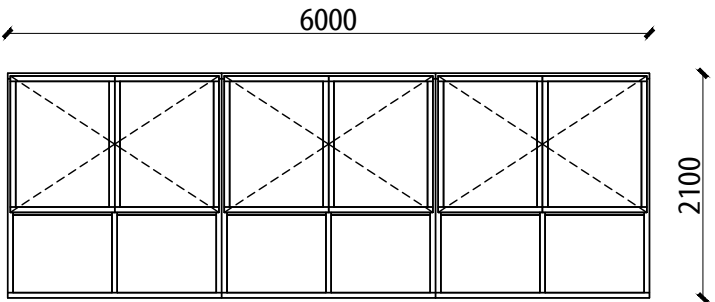
NEW WINDOWS AND DOORS FOR BASIX CERT.

SOUTH ELEVATION



W1

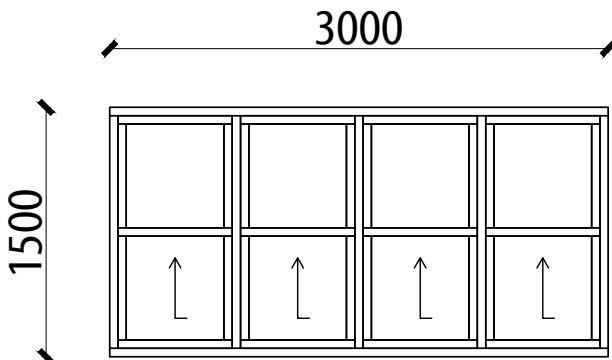
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W2

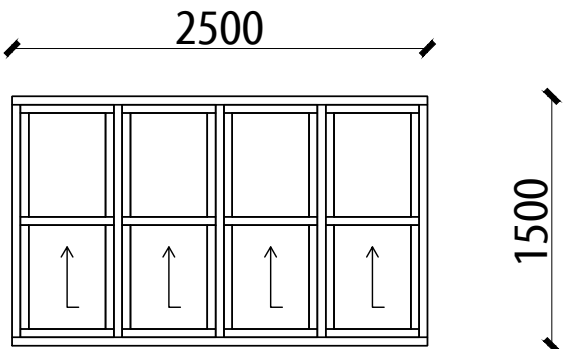
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WEST ELEVATION



W3

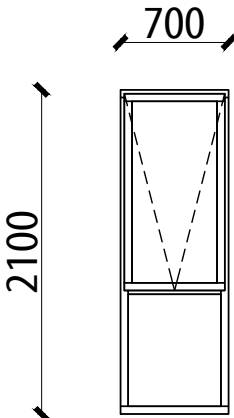
AREA : 4.5MSQ.



W4

AREA : 3.75MSQ.

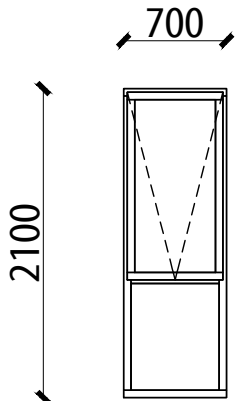
NORTH ELEVATION



W6

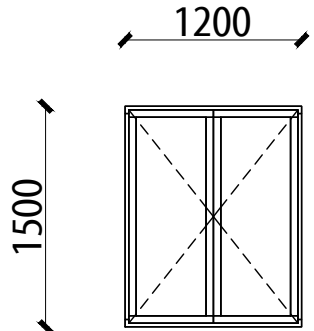
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EAST ELEVATION



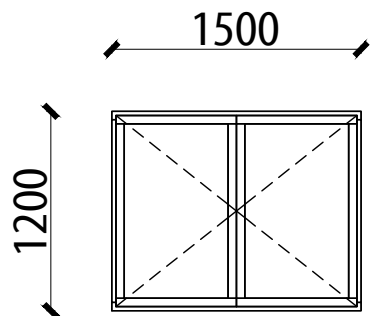
W7

AREA :1.147MSQ.

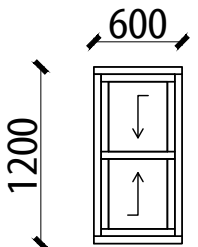


W8

AREA : 1.80MSQ.



W5



W9

AREA : 0.72MSQ.

NOTE: ALL WINDOWS AND DOORS MUST BE CHECKED AND MEASURED BY THE WINDOW / DOOR MANUFACTURER BEFORE ORDERING

GENERAL NOTES

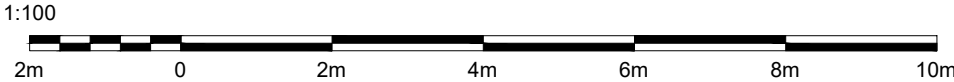
•BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS

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AVALON BEACH
2107

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3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

proudly supporting
bear cottage

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Project ADDRESS AND ALTERATIONS
Date
Scale

07.07.2025
AS SHOWN

Sheet
11

DP No.
LOT No.

28663
22

A	ISSUED FOR DA	07.07.2025
No.	Revision/Issue	Date

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Project Name and Address
MATTHEW DENT
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DEVELOPMENT PROPOSAL

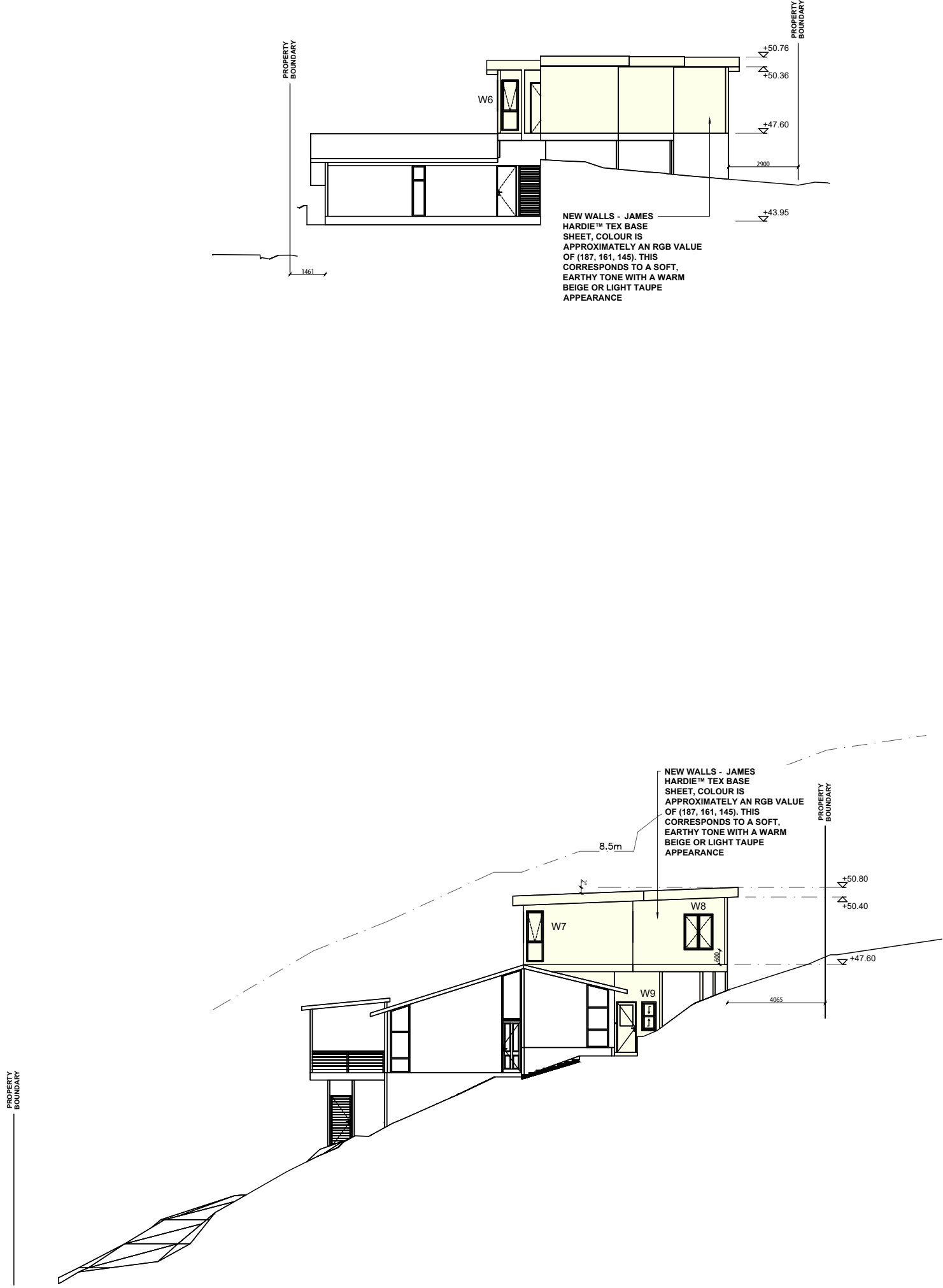
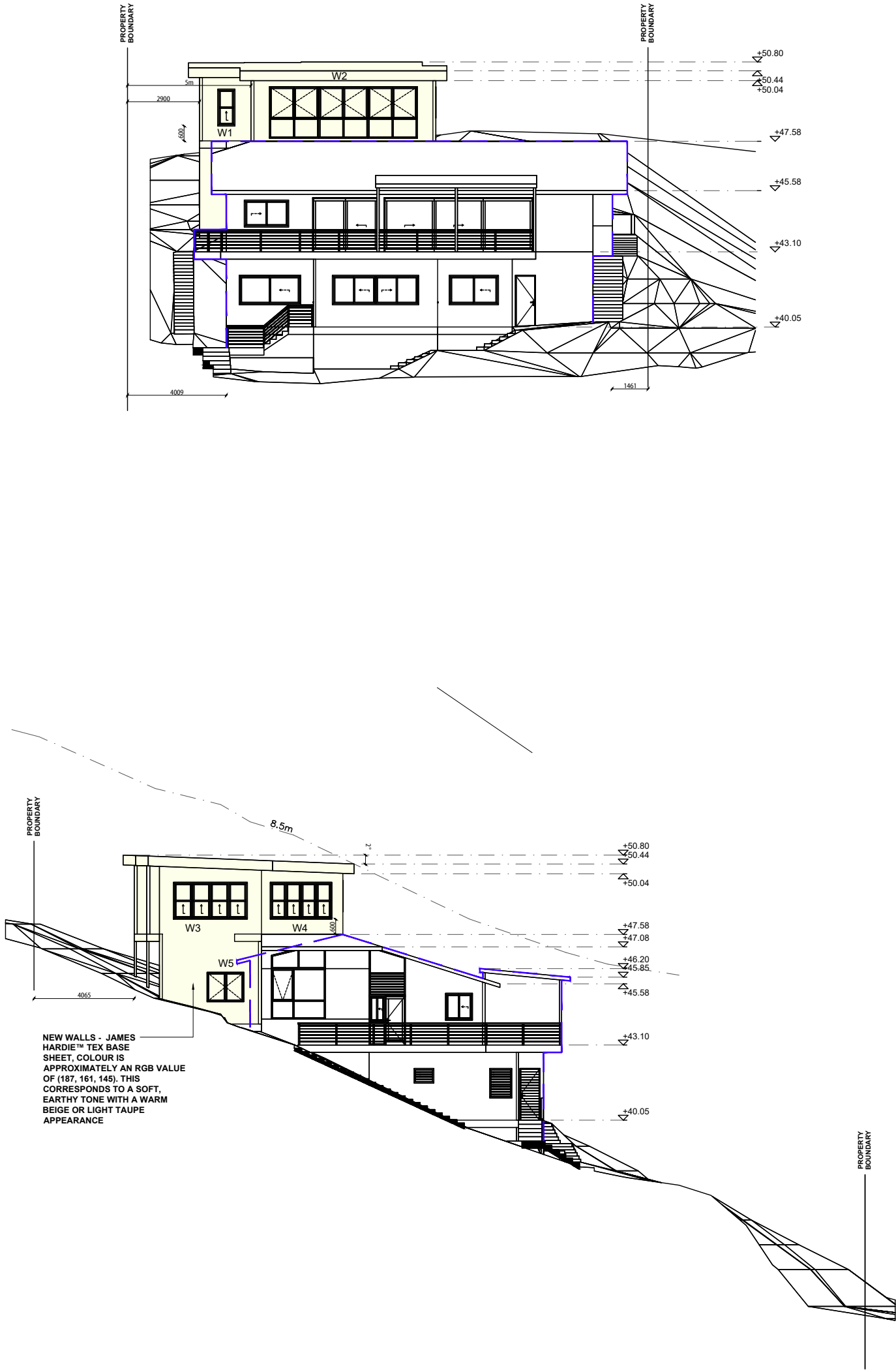
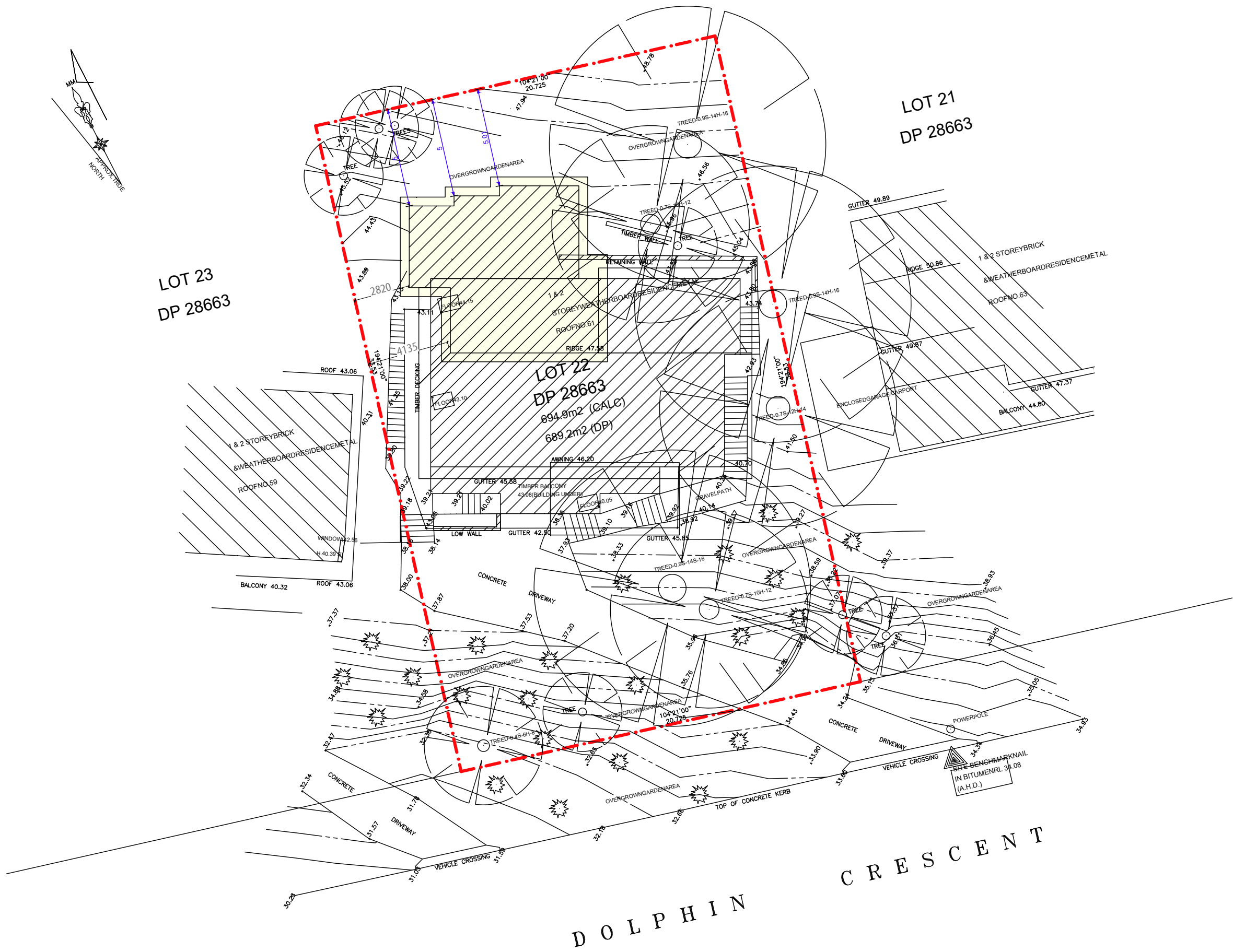
DP: 28663
LOT No. 22
SITE AREA: 694.90MSQ.
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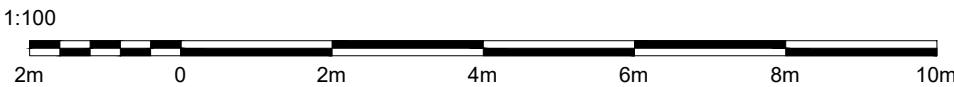
LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786

NOTIFICATION PLAN



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Project Additions and Alterations
Date: 07.07.2025
Scale: AS SHOWN
Sheet: 12

DP No. 28663
LOT No. 22

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