

DRAWING LIST

SITE AND ROOF PLAN

PERSPECTIVE VIEWS

AR.S455. 0000

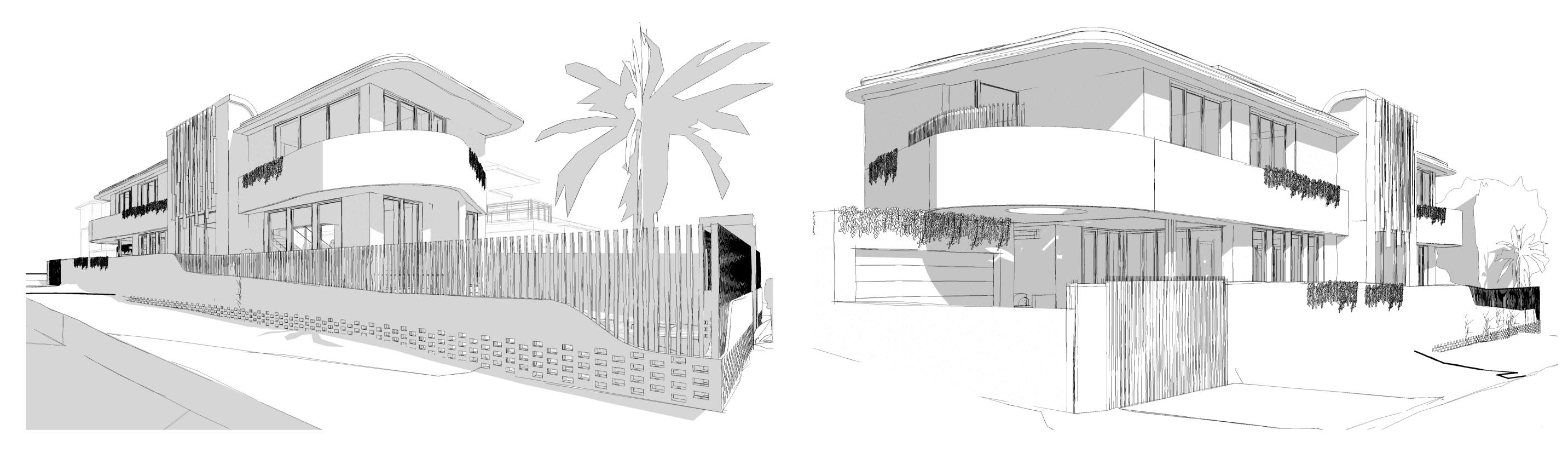
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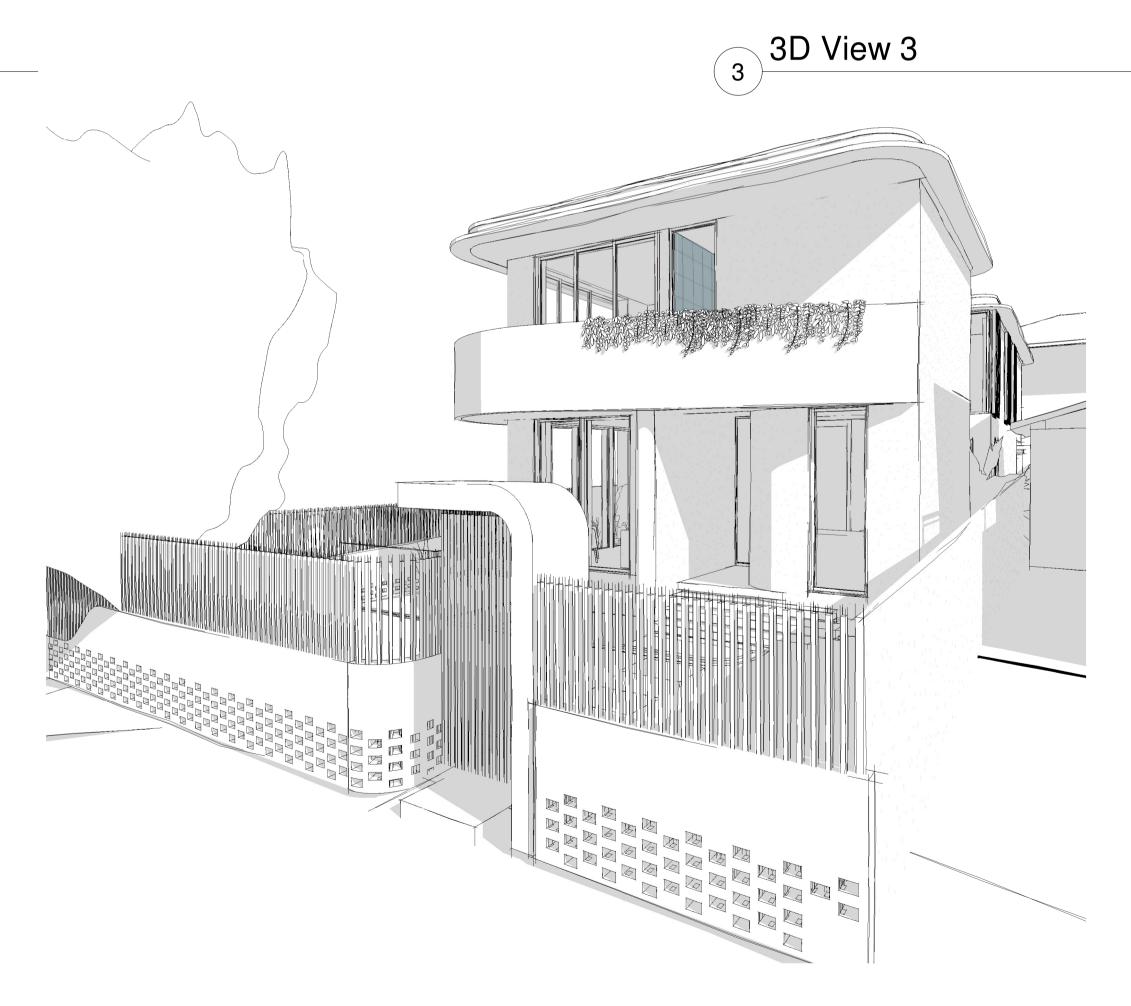
GORE STREET

(N) SITE AND ROOF PLAN
1:100

DESIGN ARCHITECT SURVEYOR Drawn Auth. LEGEND Proj. Arch Description Project Architect CLIENT FRESHWATER HOUSE A 24.06.2025 ISSUE FOR COORDINATION TI R SQUARED STUDIOS **CMS SURVEYORS** B 15.07.2025 ISSUE FOR COORDINATION TI RR DA 2004/004 APPROVED HSIU-HUI HSU & 23.07.2025 ISSUE FOR SUBMITION 31 Kooloora Avenue, Freshwater JULY 2025 STRUCTURAL & HYDRAULIC ENGINEER PLANNER 1:100 CHRIS HUDSON VMDC PLANNING **VANGUARD ENGINEERS** Do not scale drawings. Verify All dimensions on site. Notify architect of all discrepancies. SITE AND ROOF PLAN **ENERGY CONSULTANT** LANDSCAPE CONSULTANT R SQUARED STUDIOS Pty Ltd Drawing No. NOMINATED ARCHITECT RENATA RATCLIFFE NSW ARB #8307 **GREEN FUTURE GROUP** AR.S455. 0000 @r2studios.com.au R² STUDIOS



3D View 1



3D View

CLIENT HSIU-HUI HS

HSIU-HUI HSU & CHRIS HUDSON DESIGN ARCHITECT
R SQUARED STUDIOS
CMS SURVEYORS

PLANNER
STRUCTURAL & HYDRAULIC ENGINEER
VMDC PLANNING
VANGUARD ENGINEERS

LANDSCAPE CONSULTANT
TCGD
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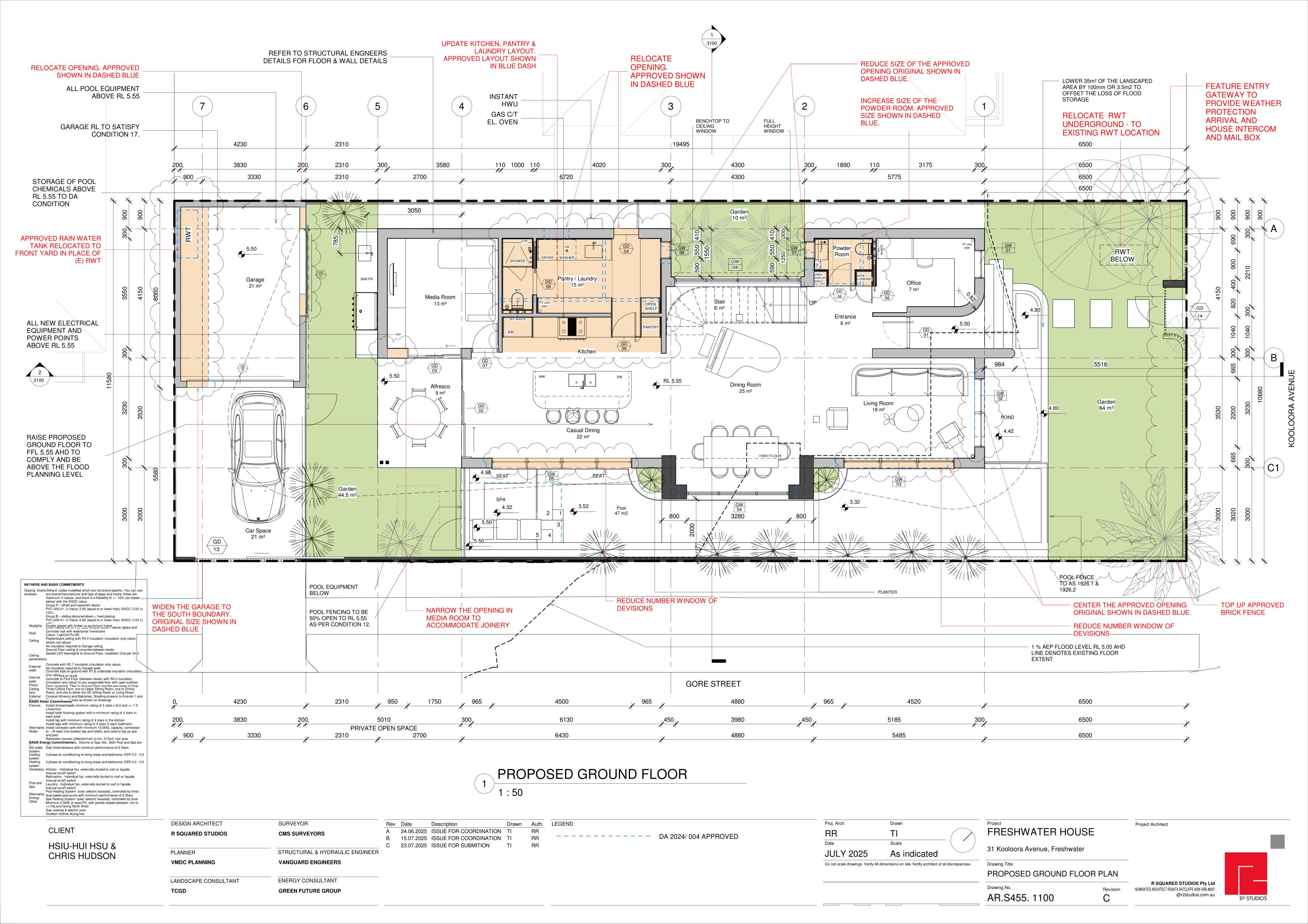
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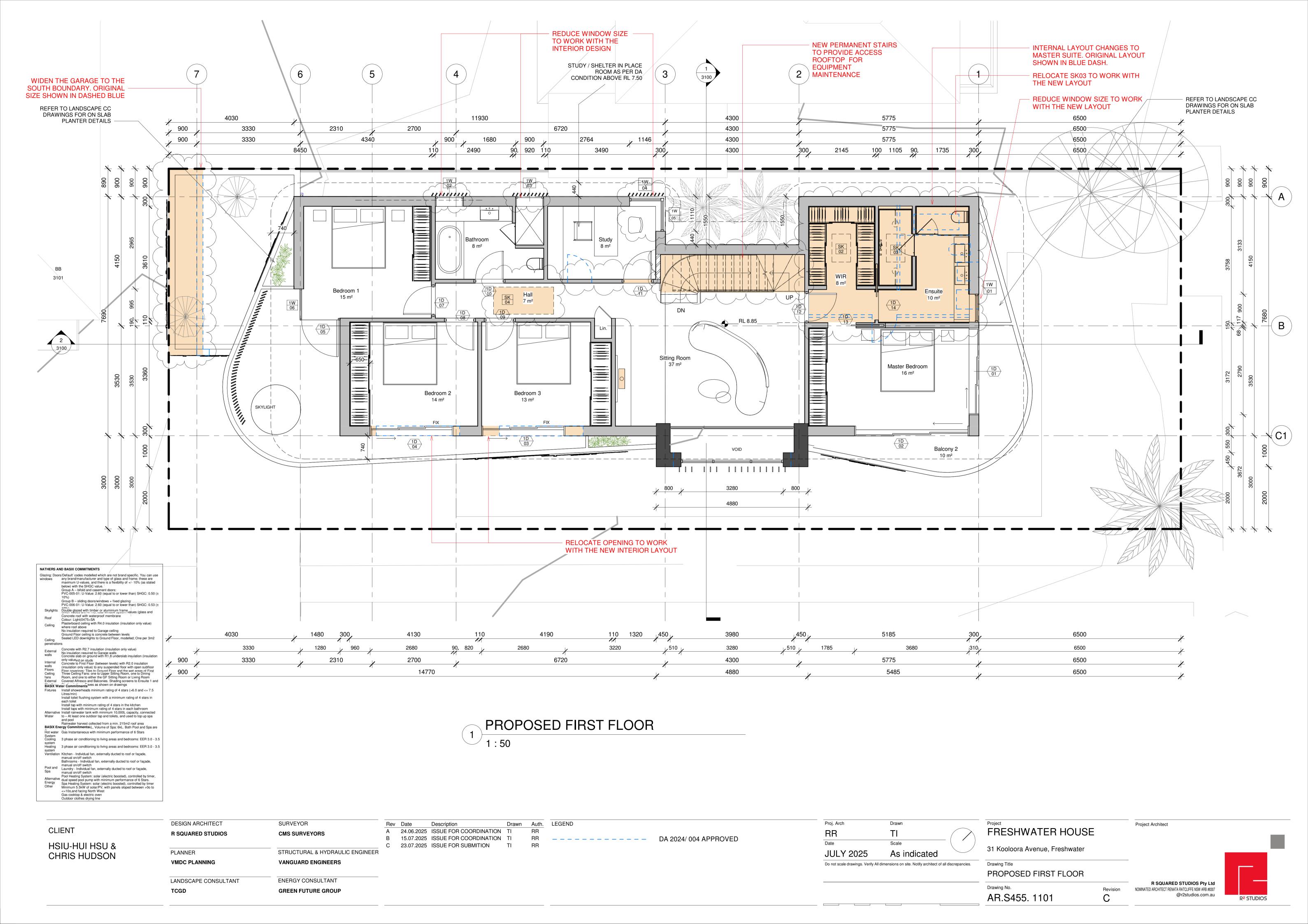
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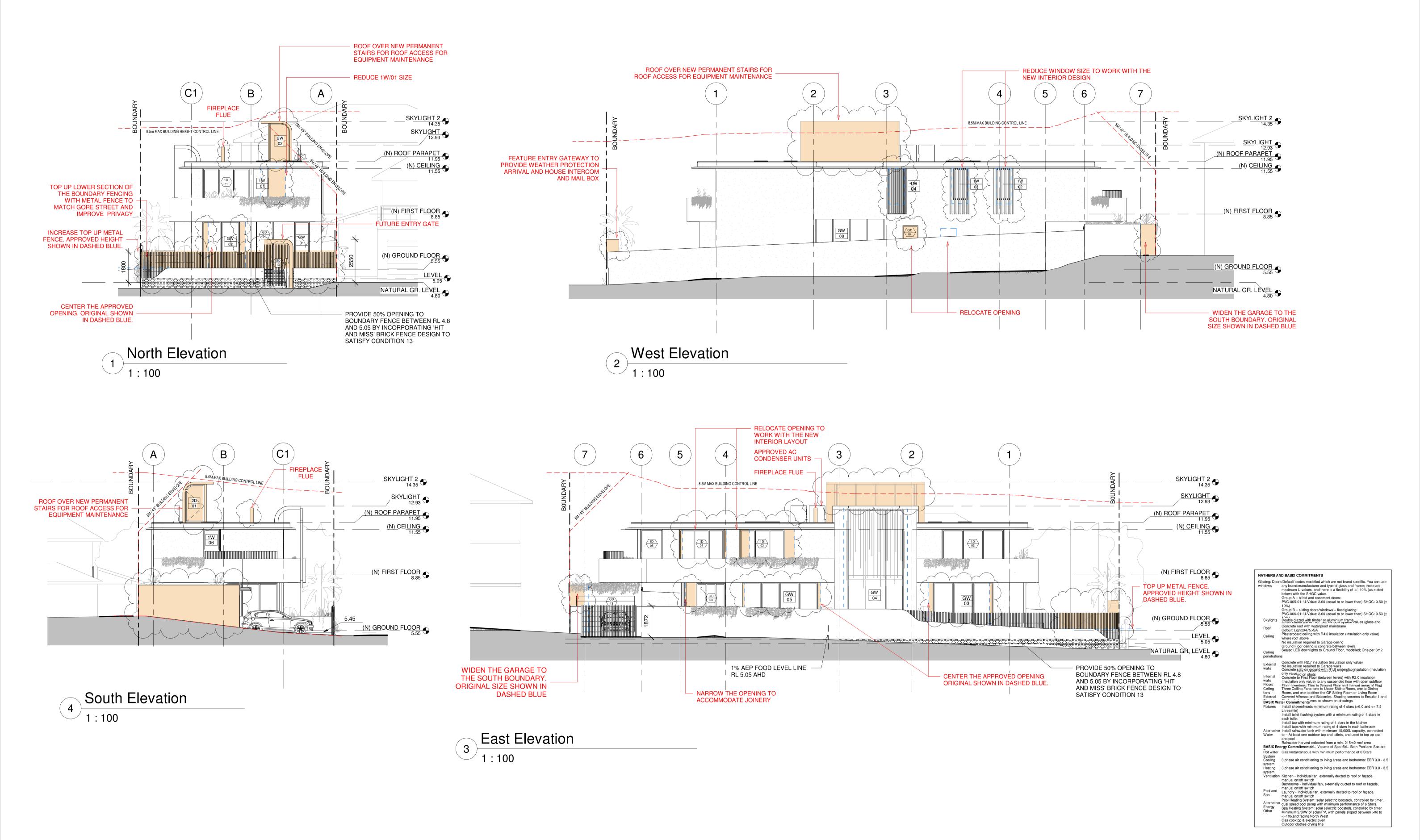
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\	FRESHWATER HOUSE	
)	31 Kooloora Avenue, Freshwater	
	Drawing Title	
	PERSPECTIVE VIEWS	
	Drawing No. AR.S455. 0001	Revision









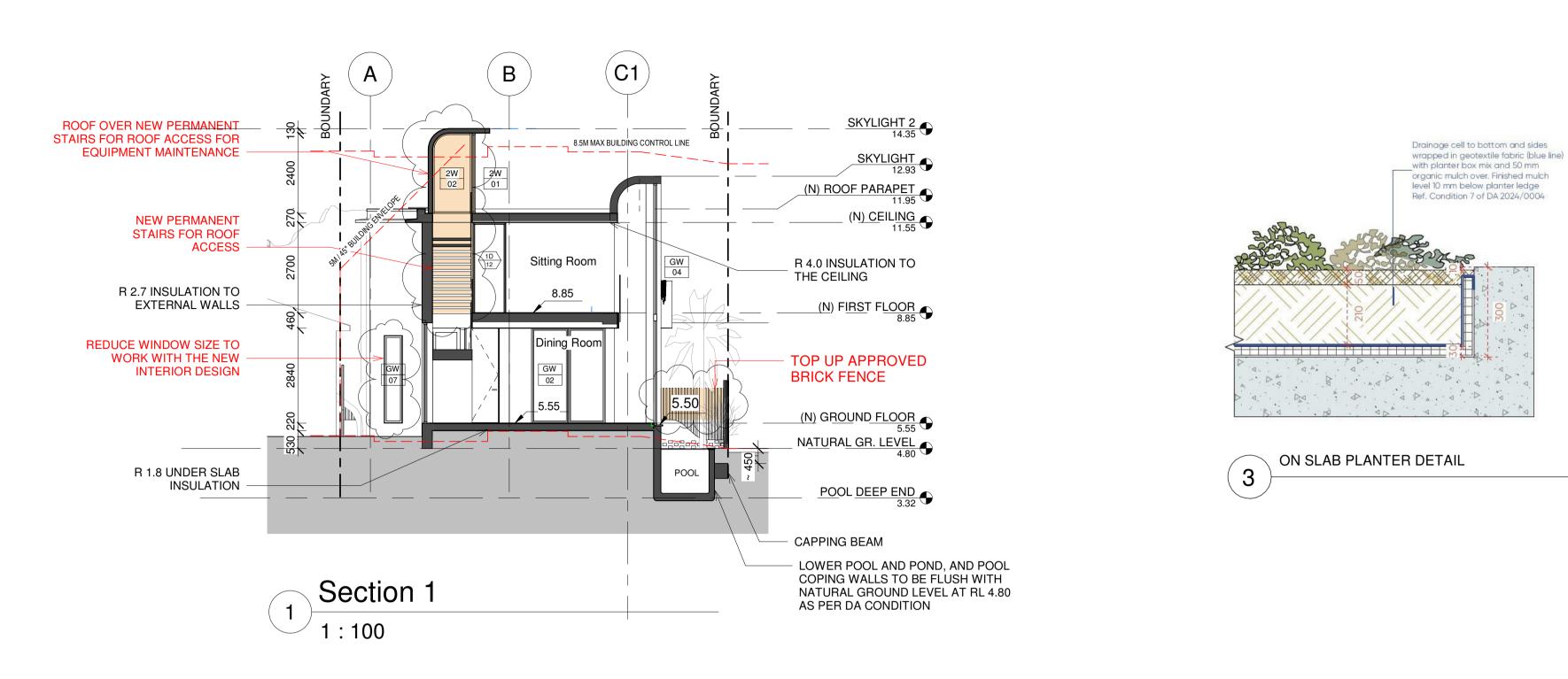
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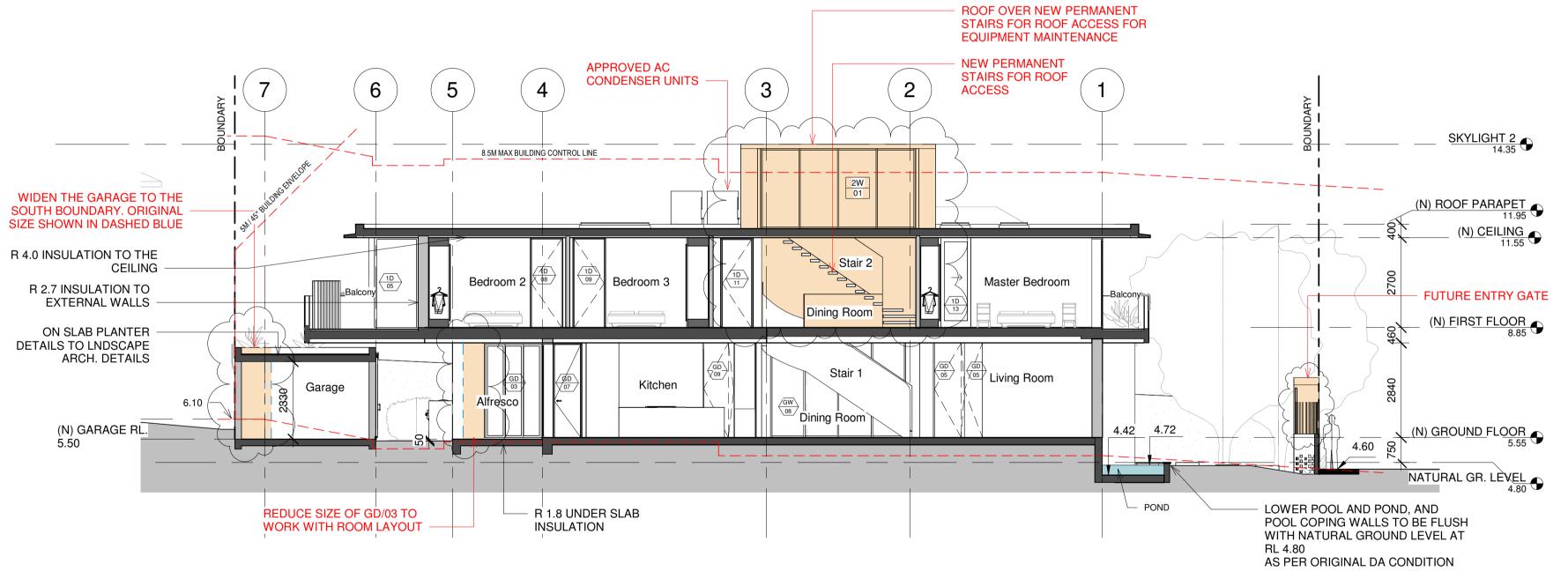
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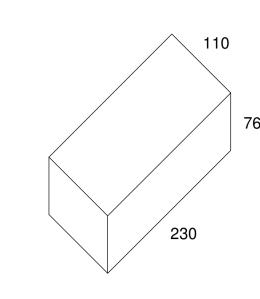
DESIGN ARCHITECT

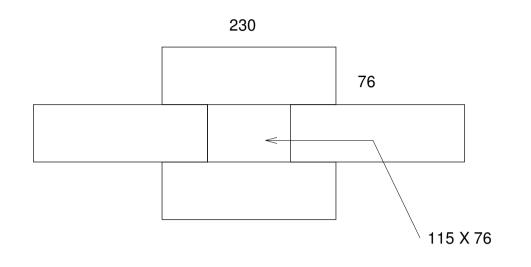
SURVEYOR

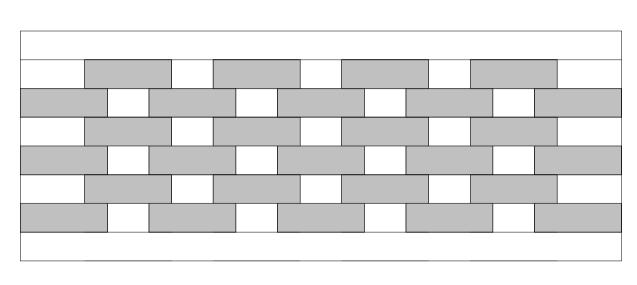




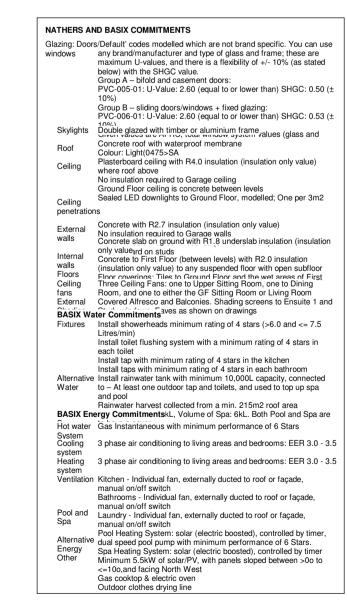




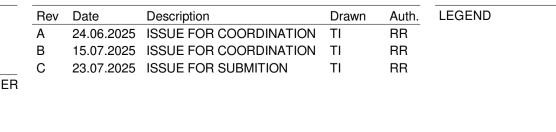


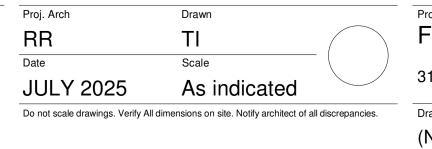


HIT & MISS BRICKWORK DETAIL FOR FENCES TO MEET DA CONDITION









Project FRESHWATER HOUSE
31 Kooloora Avenue, Freshwater
Drawing Title (N) SECTIONS

Drawing No.

AR.S455. 3100

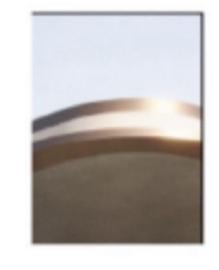


R² STUDIOS

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1. ROOF



2. ROOF TRIM



3. WALLS



4. WINDOWS



5. BALCONY



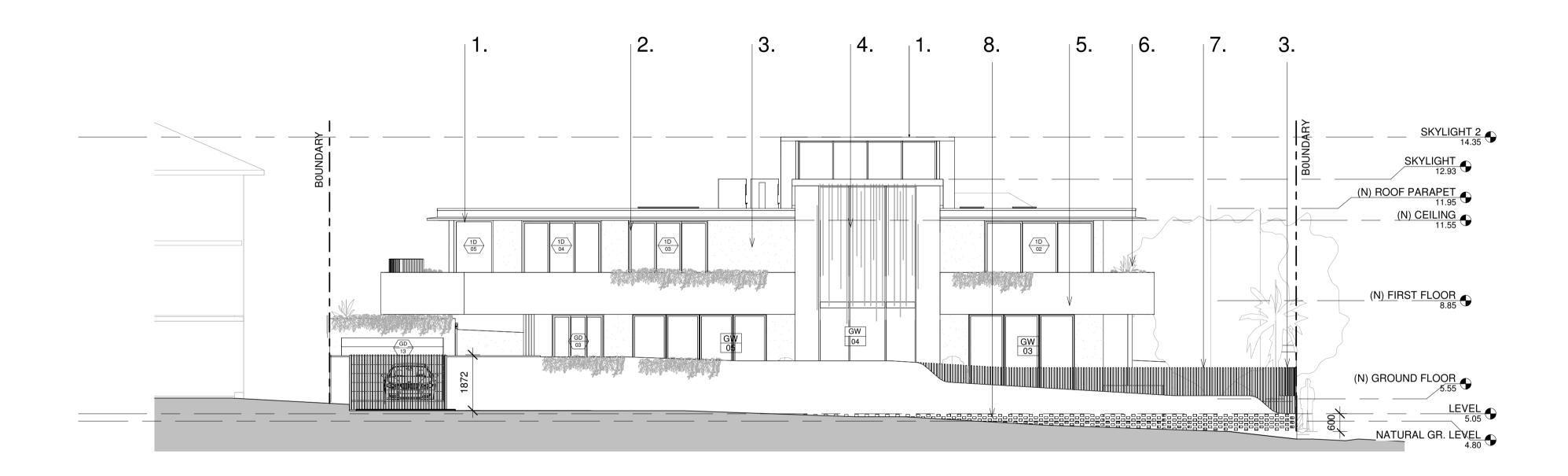
6. BLADE WALL



7. FENCE



8. HIT AND MISS BRICKWORK



External Finishes

Glazing: Doors/Default' codes modelled which are not brand specific. You can use windows any brand/manufacturer and type of glass and frame; these are maximum U-values, and there is a flexibility of +/- 10% (as stated below) with the SHGC value.

Group A – bifold and casement doors:

PVC-005-01: U-Value: 2.60 (equal to or lower than) SHGC: 0.50 (± 10%) 10%) Group B – sliding doors/windows + fixed glazing: PVC-006-01: U-Value: 2.60 (equal to or lower than) SHGC: 0.53 (± Skylights Double glazed with timber or aluminium frame Roof Concrete roof with waterproof membrane
Colour: Light(0475>SA
Plasterboard ceiling with R4.0 insulation (insulation only value)
where roof above
No insulation required to Garage ceiling
Ground Floor ceiling is concrete between levels
Sealed LED downlights to Ground Floor, modelled; One per 3m2 Ceiling Se penetrations External walls

Internal walls

Internal walls

Floors

Ceiling fans

External

BASIX Water Commitments avers as shown on drawings

Instruction on the commitments avers as shown on drawings

Install showerheads minimum rating of 4 stars (>6.0 and <= 7.5)

Concrete with R2.7 insulation (insulation only value) to Garage walls

Concrete slab on ground with R1.8 underslab insulation (insulation only value) to any suspended floor with open subfloor Floor coverings: Tiles to Ground Floor and the wet areas of First
Three Ceiling Fans: one to Upper Sitting Room, one to Dining

Covered Alfresco and Balconies. Shading screens to Ensuite 1 and

BASIX Water Commitments avers as shown on drawings

Install showerheads minimum rating of 4 stars (>6.0 and <= 7.5 Fixtures Install showerheads minimum rating of 4 stars (>6.0 and <= 7.5 Litres/min)
Install toilet flushing system with a minimum rating of 4 stars in each bridge. each toilet
Install tap with minimum rating of 4 stars in the kitchen
Install taps with minimum rating of 4 stars in each bathroom
Alternative Install rainwater tank with minimum 10,000L capacity, connected
Water to – At least one outdoor tap and toilets, and used to top up spa and pool
Rainwater harvest collected from a min. 215m2 roof area

BASIX Energy CommitmentskL, Volume of Spa: 6kL. Both Pool and Spa are Hot water Gas Instantaneous with minimum performance of 6 Stars System
Cooling 3 phase air conditioning to living areas and bedrooms: EER 3.0 - 3.5
system
Heating 3 phase air conditioning to living areas and bedrooms: EER 3.0 - 3.5
system
Ventilation
Kitchen - Individual fan, externally ducted to roof or façade, Ventilation

Kitchen - Individual fan, externally ducted to roof or façade, manual on/off switch
Bathrooms - Individual fan, externally ducted to roof or façade, manual on/off switch
Laundry - Individual fan, externally ducted to roof or façade, manual on/off switch
Pool Heating System: solar (electric boosted), controlled by timer, dual speed pool pump with minimum performance of 6 Stars.

Spa Heating System: solar (electric boosted), controlled by timer Minimum 5.5kW of solar/PV, with panels sloped between >00 to <=100,and facing North West
Gas cooktop & electric oven
Outdoor clothes drying line

Project Architect

NATHERS AND BASIX COMMITMENTS

CLIENT HSIU-HUI HSU & CHRIS HUDSON **DESIGN ARCHITECT** SURVEYOR R SQUARED STUDIOS **CMS SURVEYORS** STRUCTURAL & HYDRAULIC ENGINEER PLANNER VMDC PLANNING **VANGUARD ENGINEERS ENERGY CONSULTANT** LANDSCAPE CONSULTANT

GREEN FUTURE GROUP

Drawn Auth. LEGEND Rev Date Description A 24.06.2025 ISSUE FOR COORDINATION TI RR B 15.07.2025 ISSUE FOR COORDINATION TI RR 23.07.2025 ISSUE FOR SUBMITION RR TI

Proj. Arch Drawn Date Scale JULY 2025 As indicated Do not scale drawings. Verify All dimensions on site. Notify architect of all discrepancies.

FRESHWATER HOUSE

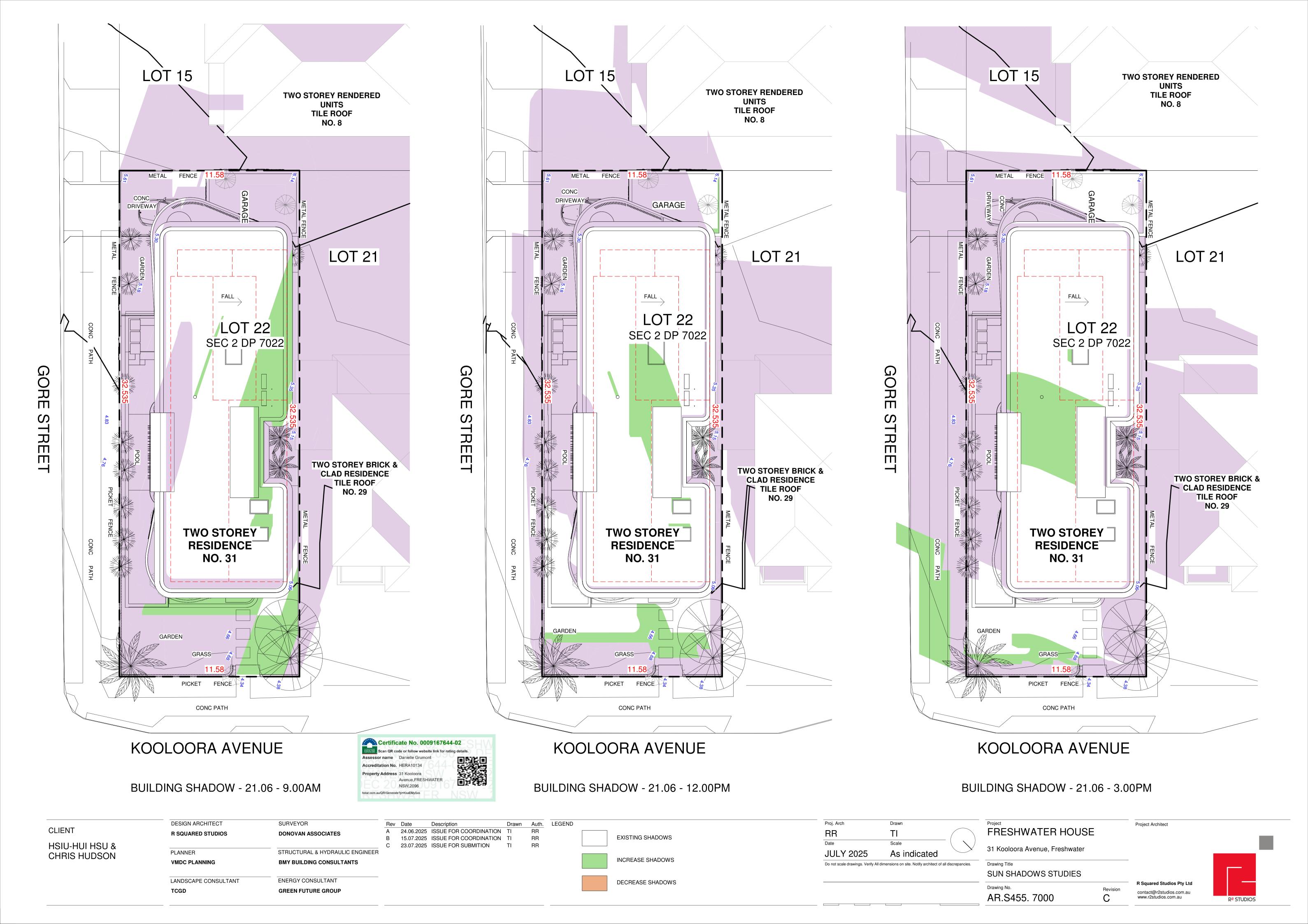
31 Kooloora Avenue, Freshwater

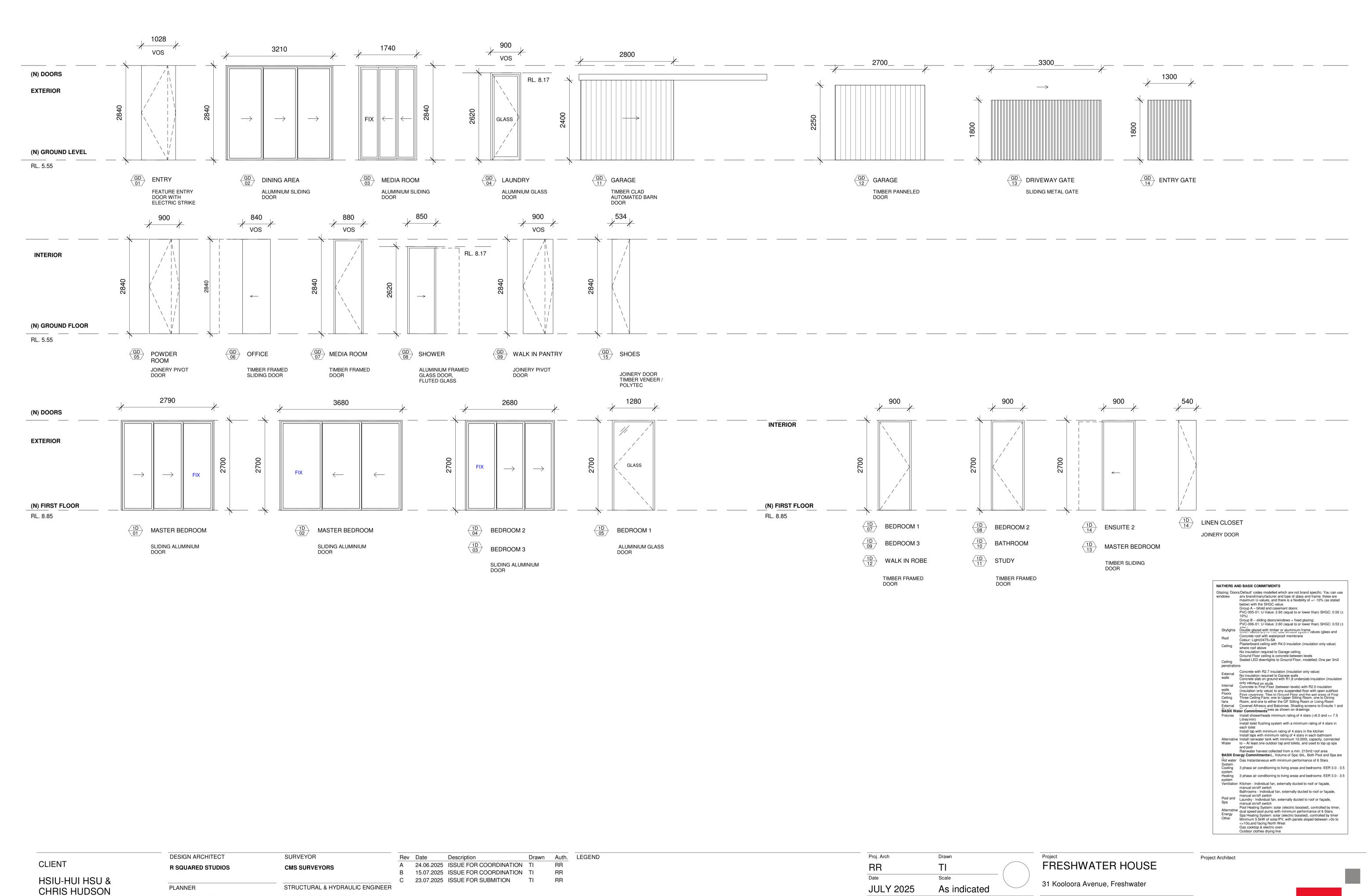
Drawing No.

AR.S455. 4000

EXTERNAL FINISHES R SQUARED STUDIOS Pty Ltd NOMINATED ARCHITECT RENATA RATCLIFFE NSW ARB #8307 Revision







VMDC PLANNING

TCGD

LANDSCAPE CONSULTANT

VANGUARD ENGINEERS

ENERGY CONSULTANT

GREEN FUTURE GROUP

R SQUARED STUDIOS Pty Ltd

NOMINATED ARCHITECT RENATA RATCLIFFE NSW ARB #8307

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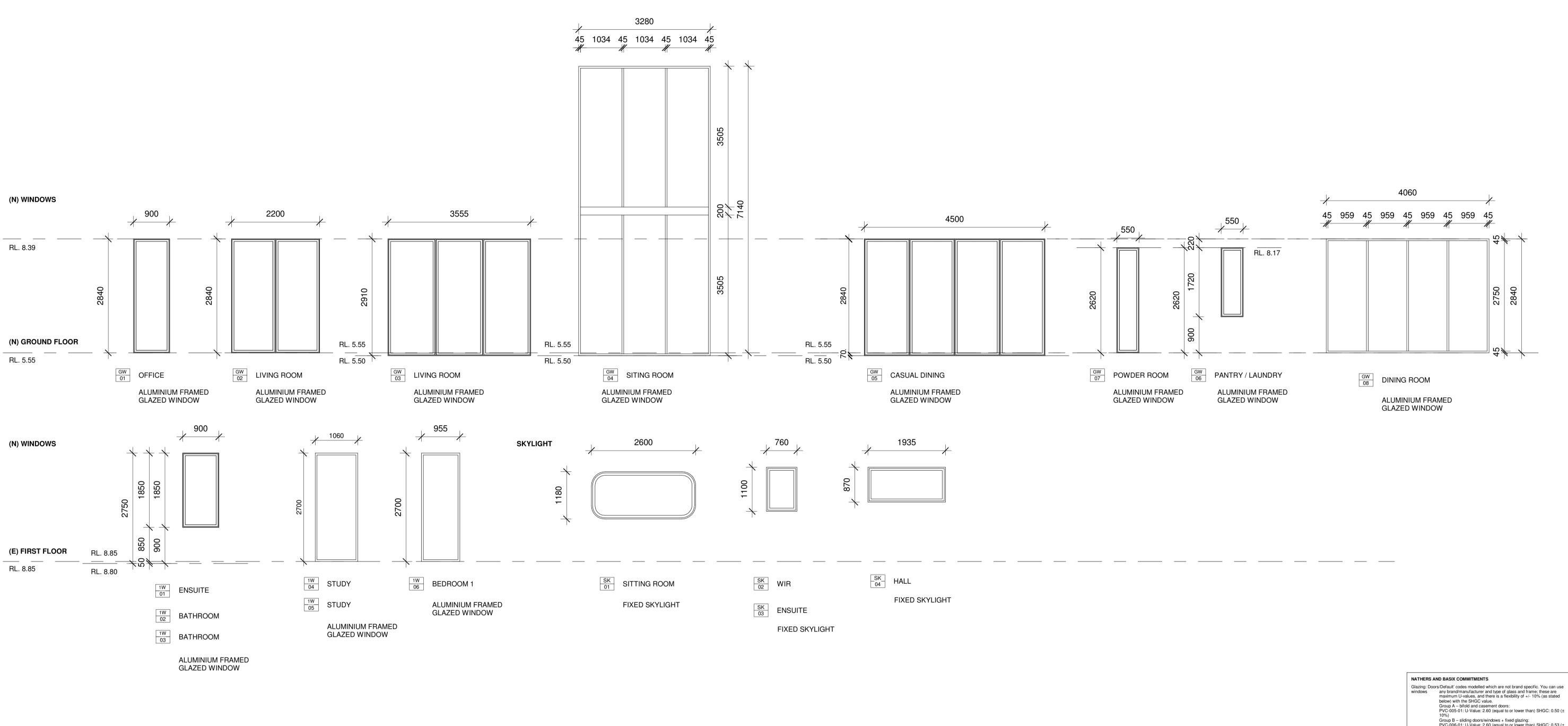
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DOOR SCHEDULE

AR.S455. 3200

Drawing No.



maximum U-values, and there is a flexibility of +/- 10% (as stated below) with the SHGC value.

Group A – bifold and casement doors:
PVC-005-01: U-Value: 2.60 (equal to or lower than) SHGC: 0.50 (± 10%)
Group B – sliding doors/windows + fixed glazing:
PVC-006-01: U-Value: 2.60 (equal to or lower than) SHGC: 0.53 (± 10%)
Skylights

Concrete roof with waterproof membrane
Colour: Light(0475-SA
Plasterboard ceiling with R4.0 insulation (insulation only value) where roof above
No insulation required to Garage ceiling
Ground Floor ceiling is concrete between levels
Sealed LED downlights to Ground Floor, modelled; One per 3m2
penetrations

External
Walls
Concrete with R2.7 insulation (insulation only value)
No insulation required to Garage walls
Concrete slab on ground with R1.3 underslab insulation (insulation only value) and only value to Garage walls
Concrete to First Floor (between levels) with R2.0 insulation (insulation only value) to any suspended floor with open subfloor floor reoverines: Tiles to Ground Floor and the wat areas of First Three Ceiling Fans: one to Upper Sitting Room, one to Dining
Room, and one to either the GF Sitting Room or Living Room
Covered Alfresco and Balconies. Shading screens to Ensuite 1 and
External

BASIX Water Commitments

Install showerheads minimum rating of 4 stars in each toilet
Install tap with minimum rating of 4 stars in each bathroom
Alternative
Install tap with minimum rating of 4 stars in each bathroom
Alternative

Alternative

Alternative

Alternative

Heating
System
Cooling
System
Ventilation

Floor services and conditioning to living areas and bedrooms: EER 3.0 - 3.5
System
Cooling
System
Ventilation - Individual fan, externally ducted to roof or façade,
manual on/off switch
Bathrooms - Individual fan, externally ducted to roof or façade,
manual on/off switch
Bathrooms - Individual fan, externally ducted to roof or façade,
manual on/off switch
System: Solar electric boosted), controlled by timer,
dual speed pool pump with minimum performance of 6 Stars.
Sya hatarian S

CLIENT
HSIU-HUI HSU &
CHRIS HUDSON

DESIGN ARCHITECT
R SQUARED STUDIOS

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Date Scale

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Drawn

Proj. Arch

FRESHWATER HOUSE
31 Kooloora Avenue, Freshwater

AR.S455. 3201

31 Kooloora Avenue, Freshwater

Drawing Title

WINDOW SCHEDULE

Drawing No.



Project Architect

Revision