



LOCATION PLAN - 25 ACACIA ROAD, SEAFORTH
LOT 10 / DP1112545

AERIAL PHOTO NTS

NORTHERN BEACHES COUNCIL

ZONE: R2 - LOW DENSITY RESIDENTIAL

DEEP SOIL: MIN. 35% OF OPEN SPACE (144sqm)

OPEN SPACE AREA: MIN.55% (363.2sqm)

FSR: TO REMAIN UNCHANGED

BUILDING HEIGHT: TO REMAIN UNCHANGED

RESIDENTIAL OPEN SPACE AREA: OS3

SITE AREA	660.4sqm	
EXISTING OPEN SPACE AREA	375.5sqm	56.9% → Complies
EXISTING LANDSCAPE AREA	216sqm	57.5% → Complies
PROPOSED OPEN SPACE AREA	404.5sqm	61.3% → Complies
PROPOSED LANDSCAPE AREA	220sqm	54.4% → Complies

DRAWING LIST

DA00	COVER SHEET	NTS
DA01	SITE ANALYSIS/ SITE PLAN	1:200
DA10	PROPOSED GROUND FLOOR PLAN	1:100
DA11	PROPOSED FIRST FLOOR PLAN	1:100
DA12	PROPOSED SITE PLAN	1:200
DA20	PROPOSED SECTIONS	1:100
DA30	PROPOSED ELEVATION & 3D VIEW	1:100
DA40	PROPOSED MATERIALS & FINISHES	1:100
DA50	SHADOW DIAGRAMS - JUNE	1:200
16966-21	SURVEY PLAN	1:100

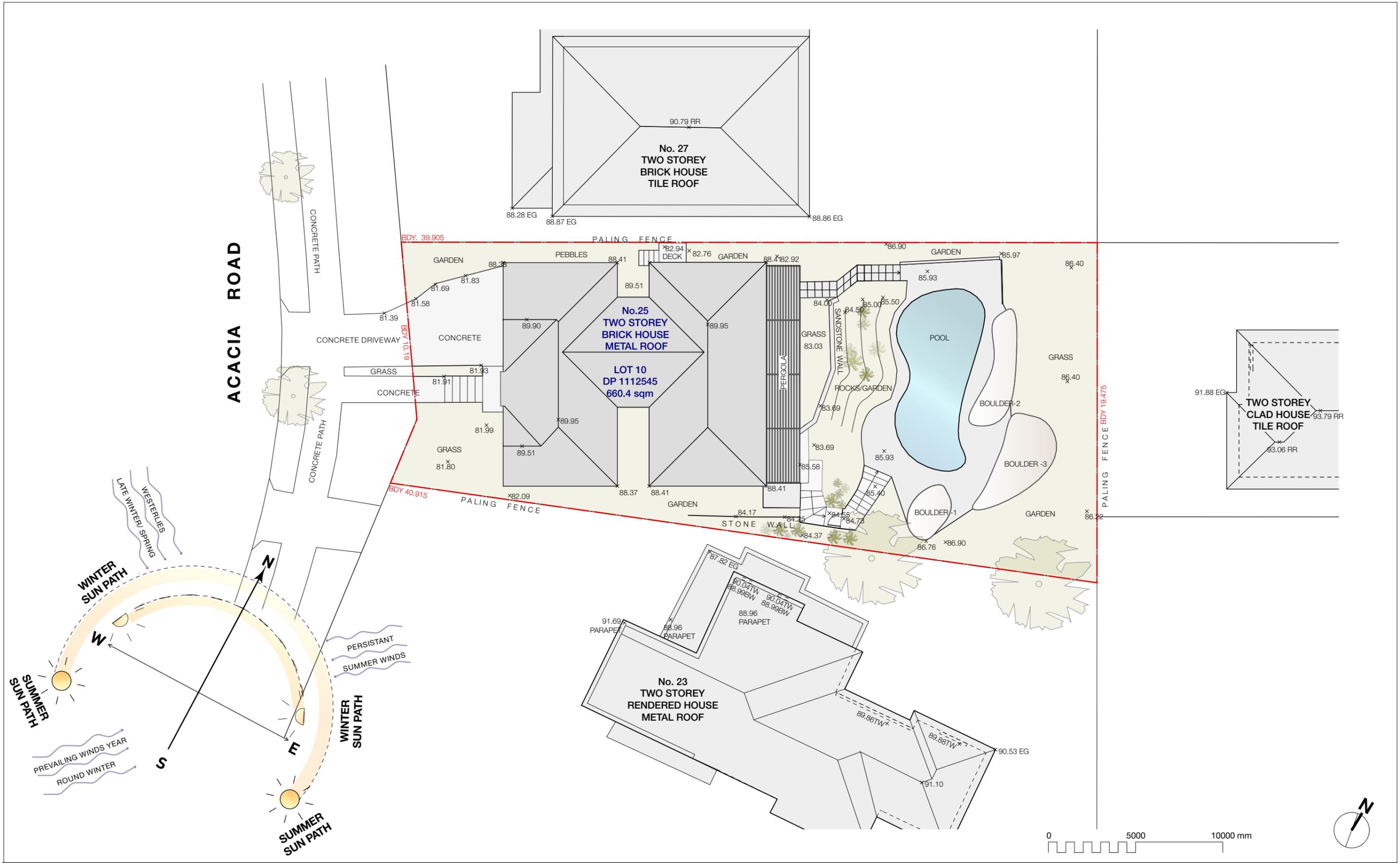
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REV.	DATE	COMMENT / AMENDMENT
A	08/06/21	preliminary
B	22/06/21	ISSUE FOR DA

PROJECT STAGE: DEVELOPMENT APPLICATION (DA)		DRAWING TITLE: COVER PAGE	
PROJECT NO:	21-06	DATE:	22/6/21
PROJECT NAME:	New Covered Deck to Existing Dwelling	DRAWN:	ID
PROJECT ADDRESS:	25 Acacia Rd. Seaforth NSW	CHECKED:	IK
CLIENT:	M. Hildebrand	SCALE:	NTS
		SHEET:	ISO A3
		REV:	B
		FILE NAME:	DA 210712 25 Acacia Road .vwx
		DRAWING NO:	DA00



REV.	DATE	COMMENT / AMENDMENT
A	08/06/21	PRELIMINARY- FOR CLIENTS REVIEW
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PROJECT STAGE:
DEVELOPMENT APPLICATION (DA)

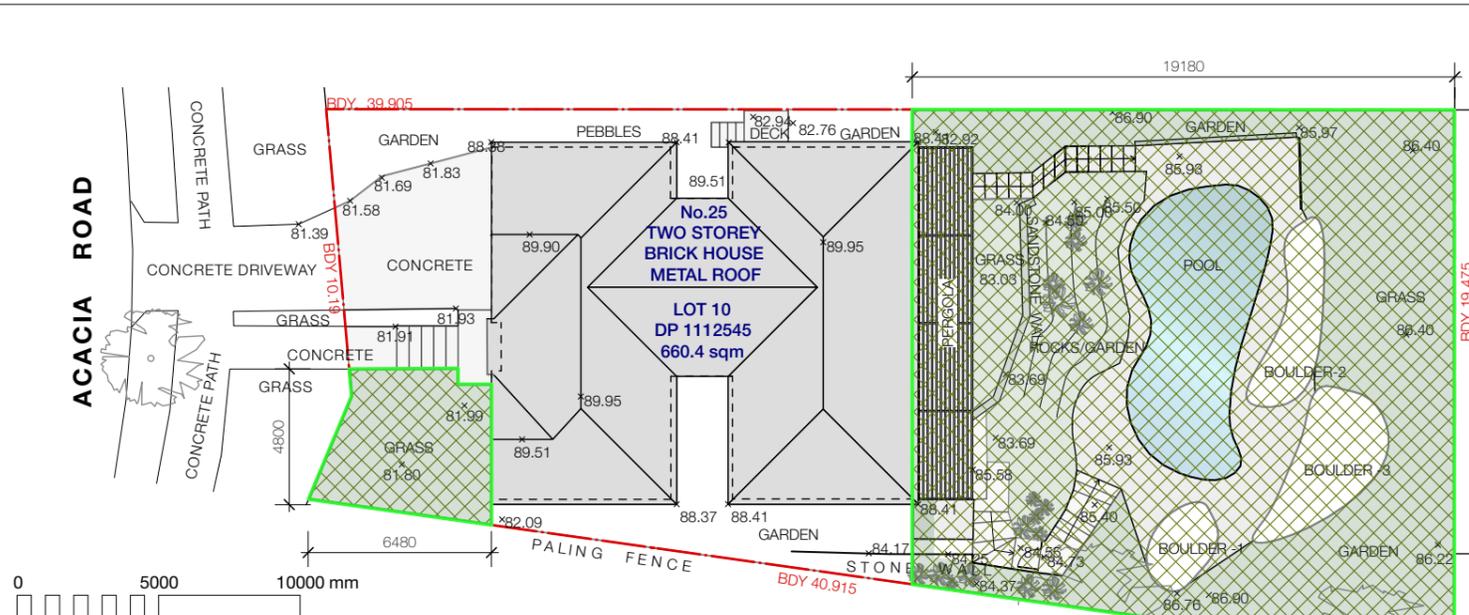
PROJECT NO: 21-06
 PROJECT NAME: New Covered Deck to Existing Dwelling
 PROJECT ADDRESS: 25 Acacia Rd. Seaforth NSW
 CLIENT: M. Hildebrand

DRAWING TITLE:
SITE ANALYSIS/ SITE PLAN

DATE: 22/6/21
 DRAWN: ID
 CHECKED: IK
 FILE NAME: DA 210622 25 Acacia Road .vwx

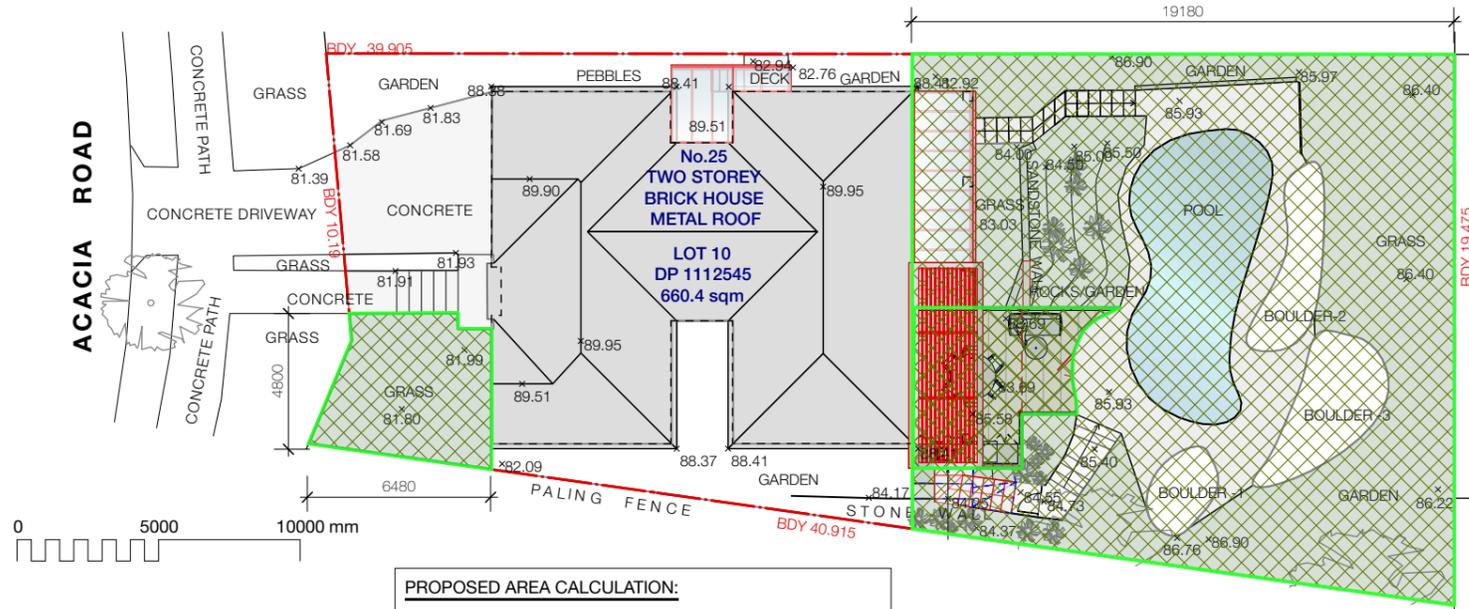
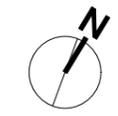
SCALE: 1:200
 SHEET: ISO A3
 REV: **B**

DRAWING NO:
DA01



EXISTING AREA CALCULATION:

375.5sqm		OPEN SPACE (MIN 3M IN ANY DIRECTION)
216.0sqm		LANDSCAPED PART OF OPEN SPACE



PROPOSED AREA CALCULATION:

404.5sqm		OPEN SPACE (MIN 3M IN ANY DIRECTION)
220.0sqm		LANDSCAPED PART OF OPEN SPACE

NORTHERN BEACHES COUNCIL

OPEN SPACE AREA: 'OS3'

OPEN SPACE AREA: MIN.55% (363.2sqm)

LANDSCAPING: MIN. 35% OF OPEN SPACE (144sqm)

SITE AREA	660.4sqm	
EXISTING OPEN SPACE AREA	375.5sqm	56.9% -> Complies
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MANLY DCP:

4.1.5.1 Minimum Residential Total Open Space Requirements

See also Dictionary meaning of Total Open Space in this plan. See also paragraph 4.1.5.3 Principal Private Open Space.

Numeric Controls
a) Open Space must be provided on site in accordance with Figure 34 - Numeric Requirements for Total Open Space, Landscaped Area and Open Space Above Ground.

The minimum total open space requirement is determined as a percentage of the site area in Figure 34 and applies to residential accommodation and other permissible development in the LEP Zones R1, R2, R3, E3 & E4 and residential development in any other zone excluding shop top housing in LEP Zone B1 Neighbourhood Centre (see paragraph 4.2.8.3) and Zone B2 Local Centre.

Figure 34 - Numeric Requirements for Total Open Space, Landscaped Area and Open Space Above Ground

Residential Open Space Areas at DCP Schedule 1 - Map B	Total Open Space (minimum percentage of site area)	Landscaped Area (minimum percentage of Total Open Space)	Above Ground (maximum of Total Open Space)
Area OS1	at least 45% of site area	at least 25% of open space	-In relation to dwelling houses: no more than 25% of Total Open Space.
Area OS2	at least 50% of site area	at least 30% of open space	
Area OS3	at least 55% of site area	at least 35% of open space	-In relation to all other land uses permitted in the Zone: no more than 40% of Total Open Space.
Area OS4	at least 60% of site area	at least 40% of open space	

Note: to be read in conjunction with Schedule 1 - Map B and relevant Dictionary meanings.

Minimum dimensions and areas for Total Open Space

Total Open Space (see Dictionary meanings including landscape area, open space above ground and principal private open space) must adhere to the following minimum specifications:

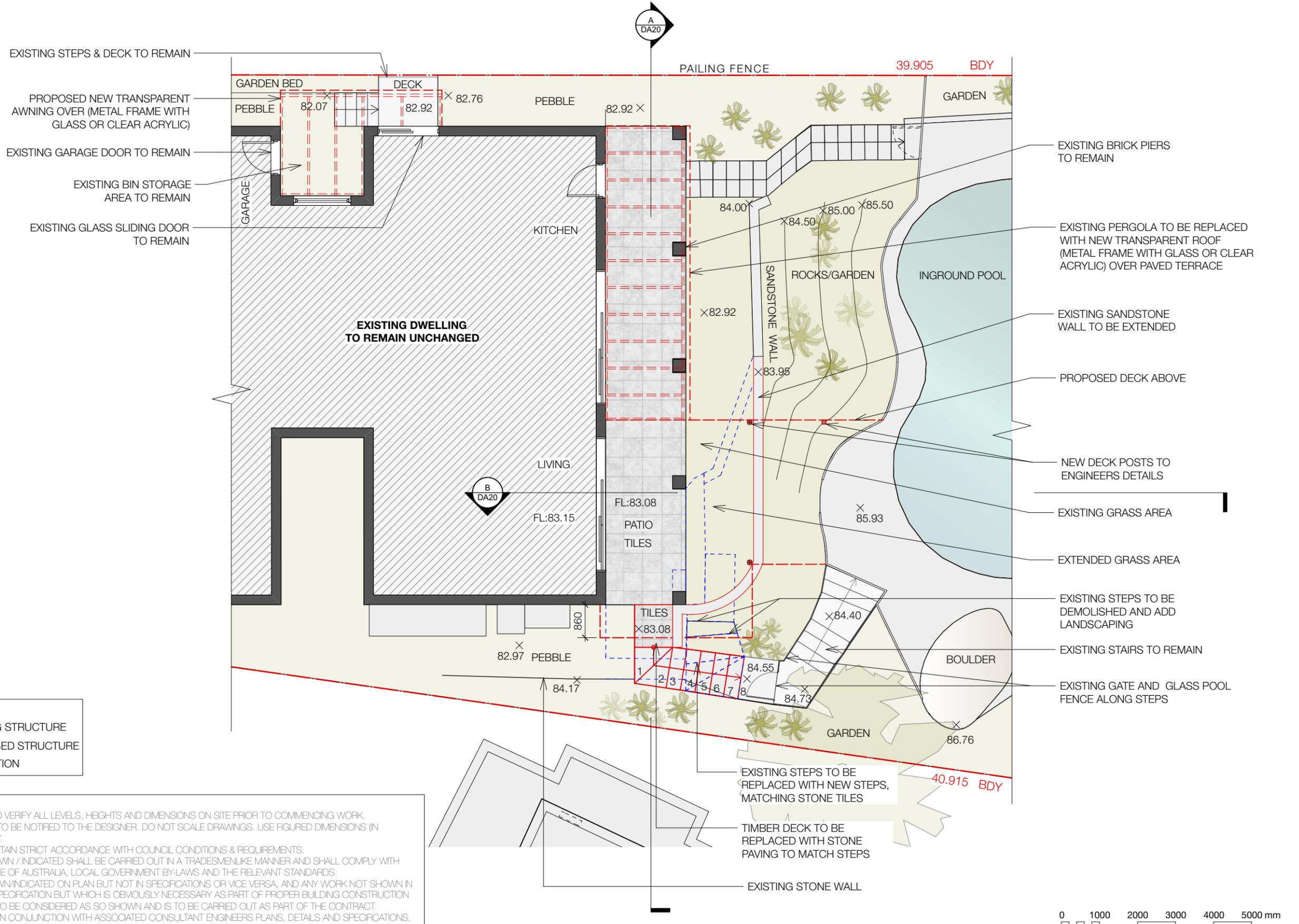
- i) horizontal dimension of at least 3m in any direction; and
- ii) a minimum unbroken area of 12sqm.
- iii) A variation to the minimum specifications in i) and ii) above may only be considered for Above Ground Open Space where it can be demonstrated that lesser dimensions or areas will better serve to minimise amenity impacts on neighbours. A lesser area of above ground open space may be included or calculated under the minimum requirements in the circumstances of the case. In all other cases open space that does not comply with the minimum specification is not included or calculated under the minimum requirements for total open space.

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PROJECT STAGE:
DEVELOPMENT APPLICATION (DA)
 PROJECT NO: 21-06
 PROJECT NAME: New Covered Deck to Existing Dwelling
 PROJECT ADDRESS: 25 Acacia Rd. Seaforth NSW
 CLIENT: M. Hildebrand

DRAWING TITLE:
CALCULATION PAGE
 DATE: 22/6/21
 DRAWN: ID
 CHECKED: IK
 FILE NAME: DA 210622 25 Acacia Road .vwx
 SCALE: NTS
 SHEET: ISO A3
 REV: B
 DRAWING NO: DA02



LEGEND

- EXISTING STRUCTURE
- PROPOSED STRUCTURE
- DEMOLITION

GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL LEVELS, HEIGHTS AND DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.
- DISCREPANCIES TO BE NOTIFIED TO THE DESIGNER. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS (IN MILLIMETERS) ONLY.
- BUILDER TO MAINTAIN STRICT ACCORDANCE WITH COUNCIL CONDITIONS & REQUIREMENTS.
- ALL WORKS SHOWN / INDICATED SHALL BE CARRIED OUT IN A TRADESMENLIKE MANNER AND SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA, LOCAL GOVERNMENT BY-LAWS AND THE RELEVANT STANDARDS.
- ANY WORK SHOWN/INDICATED ON PLAN BUT NOT IN SPECIFICATIONS OR VICE VERSA, AND ANY WORK NOT SHOWN IN EITHER PLAN OR SPECIFICATION BUT WHICH IS OBVIOUSLY NECESSARY AS PART OF PROPER BUILDING CONSTRUCTION AND/OR FINISH IS TO BE CONSIDERED AS SO SHOWN AND IS TO BE CARRIED OUT AS PART OF THE CONTRACT.
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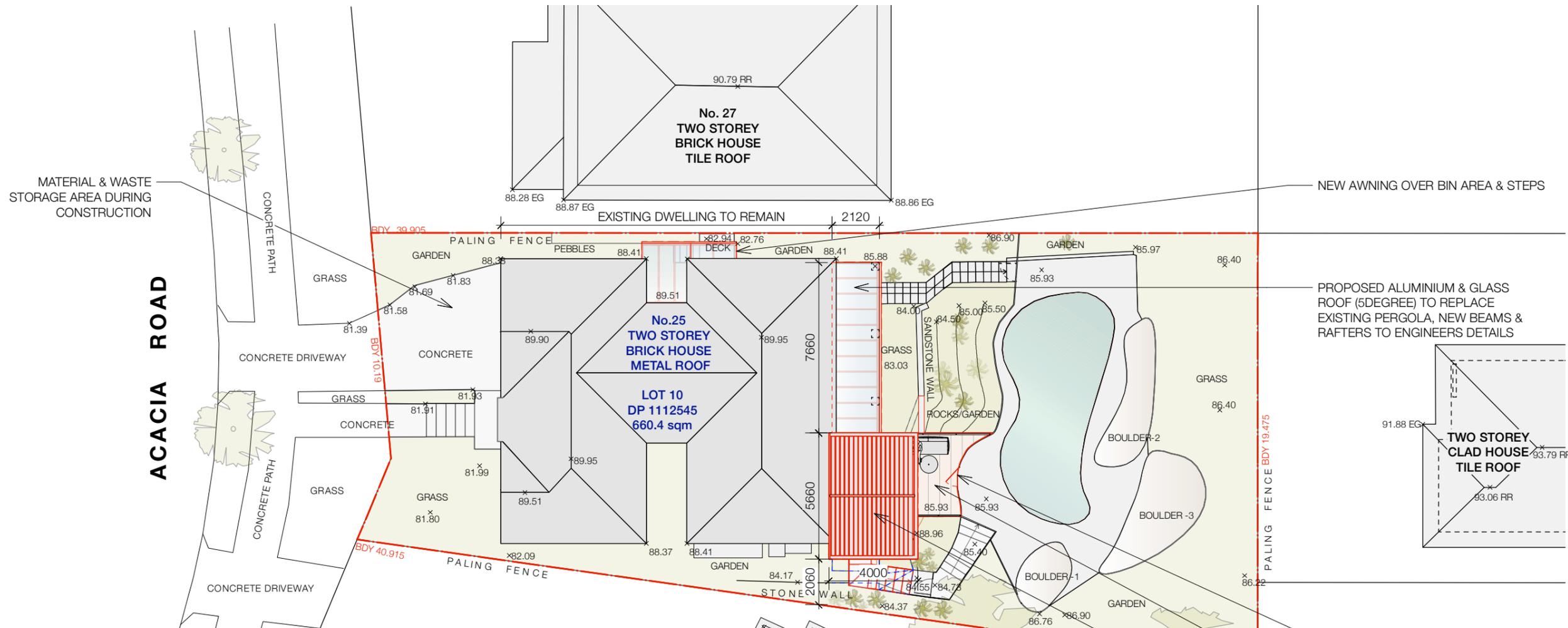
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PROJECT STAGE: DEVELOPMENT APPLICATION (DA)		DRAWING TITLE: PROPOSED GROUND FLOOR PLAN	
PROJECT NO:	21-06	DATE:	22/6/21
PROJECT NAME:	New Covered Deck to Existing Dwelling	DRAWN:	ID
PROJECT ADDRESS:	25 Acacia Rd. Seaforth NSW	CHECKED:	IK
CLIENT:	M. Hildebrand	SCALE:	1:100
		SHEET:	ISO A3
		REV:	C
		FILE NAME:	DA 210622 25 Acacia Road .vwx
		DRAWING NO:	DA10



GENERAL SITE NOTES:

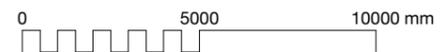
1. FOOTPATH MAINTENANCE: THE FOOTPATH AREA SHALL BE MAINTAINED IN A NEAT CONDITION DURING THE COURSE OF THE WORKS.
2. TEMPORARY FENCE: THE CONTRACTOR SHALL MAKE THE SITE SECURE FROM ENTRY BY UNAUTHORIZED PERSONS DURING THE CONSTRUCTION WORKS.
3. WORKING HOURS: THE CONTRACTOR WILL COMPLY WITH REQUIREMENT OF THE DEVELOPMENT CONSENT. ALL DEMOLITION AND CONSTRUCTION WORK SHALL BE RESTRICTED TO BETWEEN THE HOURS NOTED IN THE DEVELOPMENT CONSENT. NO WORK IS TO BE CARRIED OUT ON SUNDAYS OR PUBLIC HOLIDAYS.
4. WASTE MANAGEMENT PLAN: THE CONTRACTOR WILL PREPARE AND IMPLEMENT A WASTE MANAGEMENT PLAN COMPLYING WITH STATUTORY REQUIREMENT AND THE CONSENT CONDITIONS FOR THE PROJECT AS NOTIFIED BY SYDNEY CITY COUNCIL.
5. REMOVAL OF RUBBISH: THE CONTRACTOR SHALL AT ALL TIMES KEEP THE SITE AND THE SURROUNDING AREA CLEAN AND TIDY, AND UPON THE COMPLETION OF THE WORKS THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND MATERIALS FROM THE SITE AND BUILDINGS.
6. TRANSPORT: ENSURE THAT MATERIALS ARE CONVEYED TO AND FROM THE SITE IN A MANNER THAT WILL PREVENT DROPPING OF MATERIALS ON THE STREET. ENSURE THAT THE WHEELS, TRACKS AND BODY SURFACES OF ALL VEHICLES AND PLANT LEAVING THE SITE ARE FREE OF MUD OR LOOSE MATERIALS AND THAT LOADS ARE COVERED AS REQUIRED BY ENVIRONMENTAL REQUIREMENTS.
7. WORK NEAR TREES: PROTECTION: PROTECT FROM DAMAGE TREES WHICH ARE REQUIRED TO BE RETAINED. WORK UNDER TREES: DO NOT REMOVE TOPSOIL FROM OR ADD TOPSOIL TO THE AREA WITHIN THE DRIPLINE OF THE TREES. HARMFUL MATERIALS: KEEP THE AREA WITHIN THE DRIPLINE FREE OF CONSTRUCTION MATERIAL AND DEBRIS.

GENERAL NOTES:

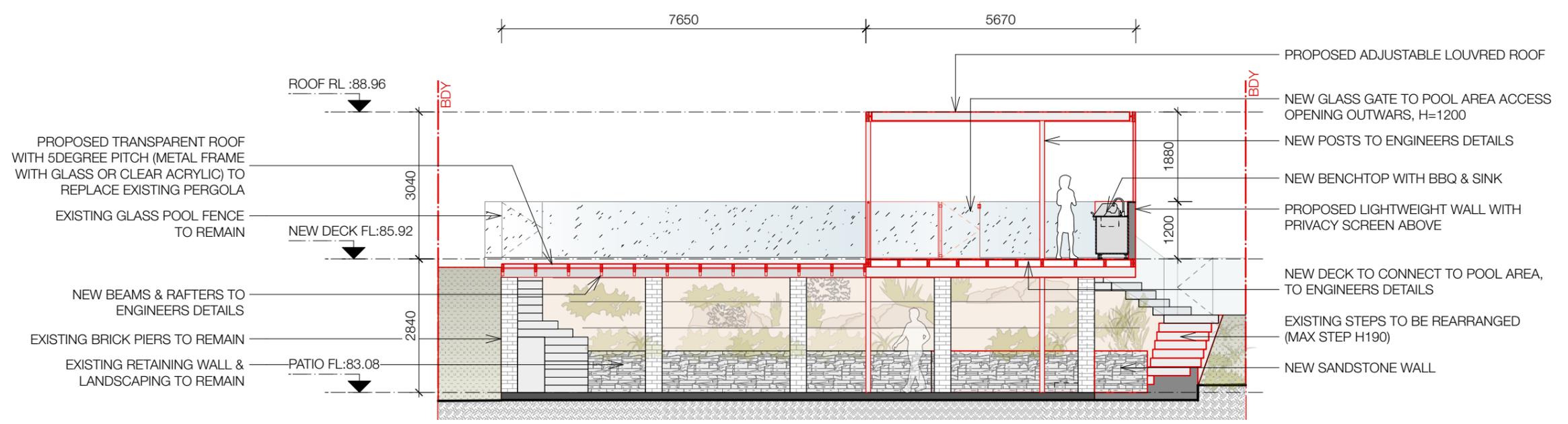
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LEGEND

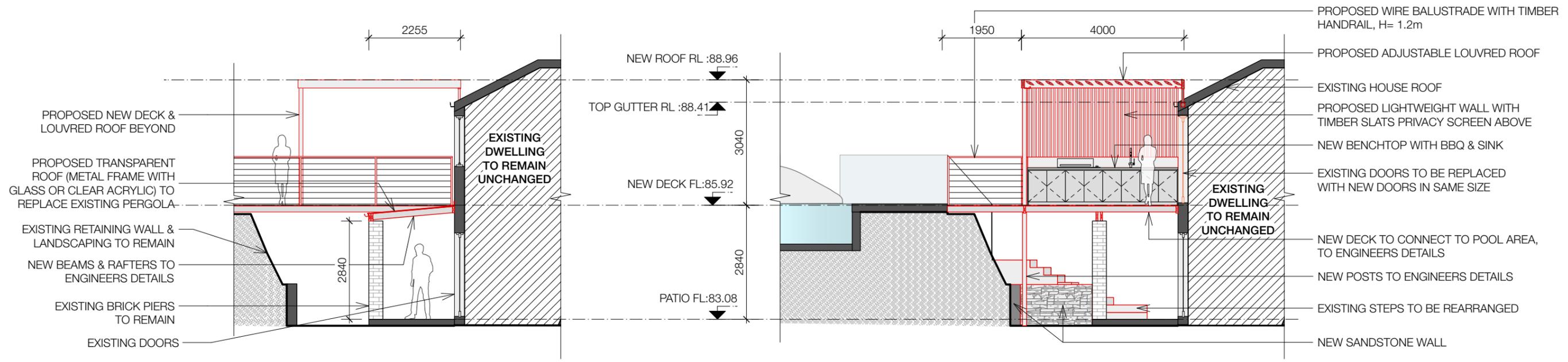
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1- SECTION A



3- SECTION C

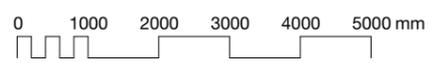
2- SECTION B

GENERAL NOTES:

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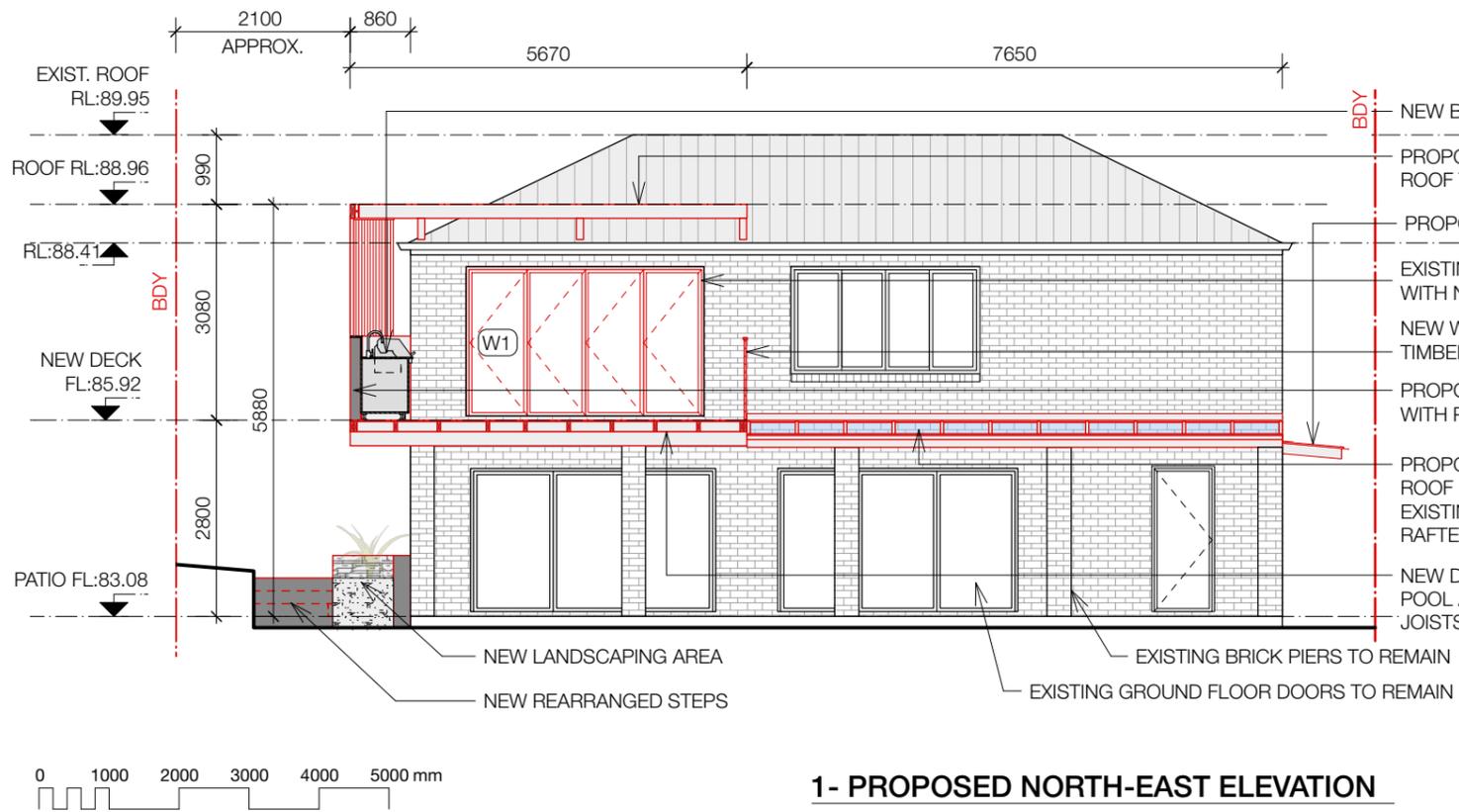
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	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>COMMENT / AMENDMENT</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>08/06/21</td> <td>PRELIMINARY- FOR CLIENTS REVIEW</td> </tr> <tr> <td>B</td> <td>11/06/21</td> <td>FOR REVIEW BY CLIENT & CONSULTANT</td> </tr> <tr> <td>C</td> <td>22/06/21</td> <td>ISSUE FOR DA</td> </tr> </tbody> </table>	REV.	DATE	COMMENT / AMENDMENT	A	08/06/21	PRELIMINARY- FOR CLIENTS REVIEW	B	11/06/21	FOR REVIEW BY CLIENT & CONSULTANT	C	22/06/21	ISSUE FOR DA	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>PROJECT NO:</td> <td>21-06</td> <td>DATE:</td> <td>22/6/21</td> <td>SCALE:</td> <td>1:100</td> <td>DRAWING NO.:</td> <td rowspan="5" style="text-align: center; vertical-align: middle;">DA20</td> </tr> <tr> <td>PROJECT NAME:</td> <td>New Covered Deck to Existing Dwelling</td> <td>DRAWN:</td> <td>ID</td> <td>SHEET:</td> <td>ISO A3</td> </tr> <tr> <td>PROJECT ADDRESS:</td> <td>25 Acacia Rd. Seaforth NSW</td> <td>CHECKED:</td> <td>IK</td> <td>REV:</td> <td>C</td> </tr> <tr> <td>CLIENT:</td> <td>M. Hildebrand</td> <td>FILE NAME:</td> <td colspan="3">DA 210622 25 Acacia Road .vwx</td> </tr> <tr> <td colspan="7"></td> </tr> </table>	PROJECT NO:	21-06	DATE:	22/6/21	SCALE:	1:100	DRAWING NO.:	DA20	PROJECT NAME:	New Covered Deck to Existing Dwelling	DRAWN:	ID	SHEET:	ISO A3	PROJECT ADDRESS:	25 Acacia Rd. Seaforth NSW	CHECKED:	IK	REV:	C	CLIENT:	M. Hildebrand	FILE NAME:	DA 210622 25 Acacia Road .vwx								
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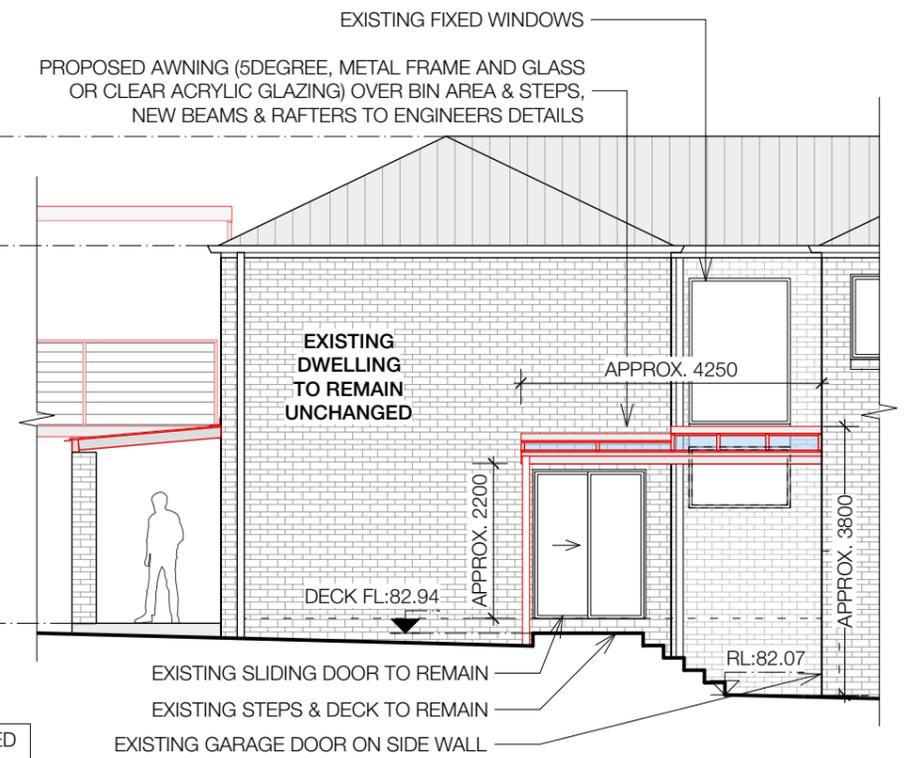


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1- PROPOSED NORTH-EAST ELEVATION

W1: ALUMINIUM FRAMED GLAZED DOOR WITH MIN U-VALUE 7.63 AND SHGC 0.75, IN ACCORDANCE WITH BASIX CERTIFICATE



2- PROPOSED NORTH-WEST ELEVATION



3- NORTH VIEW
N.T.S.

LEGEND

	EXISTING STRUCTURE
	PROPOSED STRUCTURE
	DEMOLITION

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DRAWING TITLE:
PROPOSED ELEVATION & 3D VIEW
 DATE: 22/6/21
 DRAWN: ID
 CHECKED: IK
 FILE NAME: DA 210622 25 Acacia Road .vwx
 SCALE: 1:100
 SHEET: ISO A3
 REV: C
 DRAWING NO: **DA30**

ADJUSTABLE LOUVRE ROOF



COLOUR: 'SURFMIST' COLORBOND

PRIVACY SCREEN



TIMBER, PAINT FINISH: WHITE

TERRACE & SIDE AWNING



ALUMINIUM FRAME WITH GLASS OR CLEAR ACRYLIC GLAZING PANELS
FRAME COLOUR: 'SURFMIST' COLORBOND

BALUSTRADE



WIRE BALUSTRADE WITH TIMBER HANDRAIL

TIMBER DECKING



HARDWOOD TIMBER DECKING

STEEL STRUCTURE



POWDER COATED
COLOUR: 'SURFMIST'

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