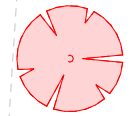


DEMOLITION TO BE CARRIED OUT IN ACCORDANCE
WITH AS1601 DEMOLITION OF STRUCTURES AND WITH
SAFework NSW CODE OF PRACTICE



STRUCTURES TO BE DEMOLISHED



TREES TO BE DEMOLISHED

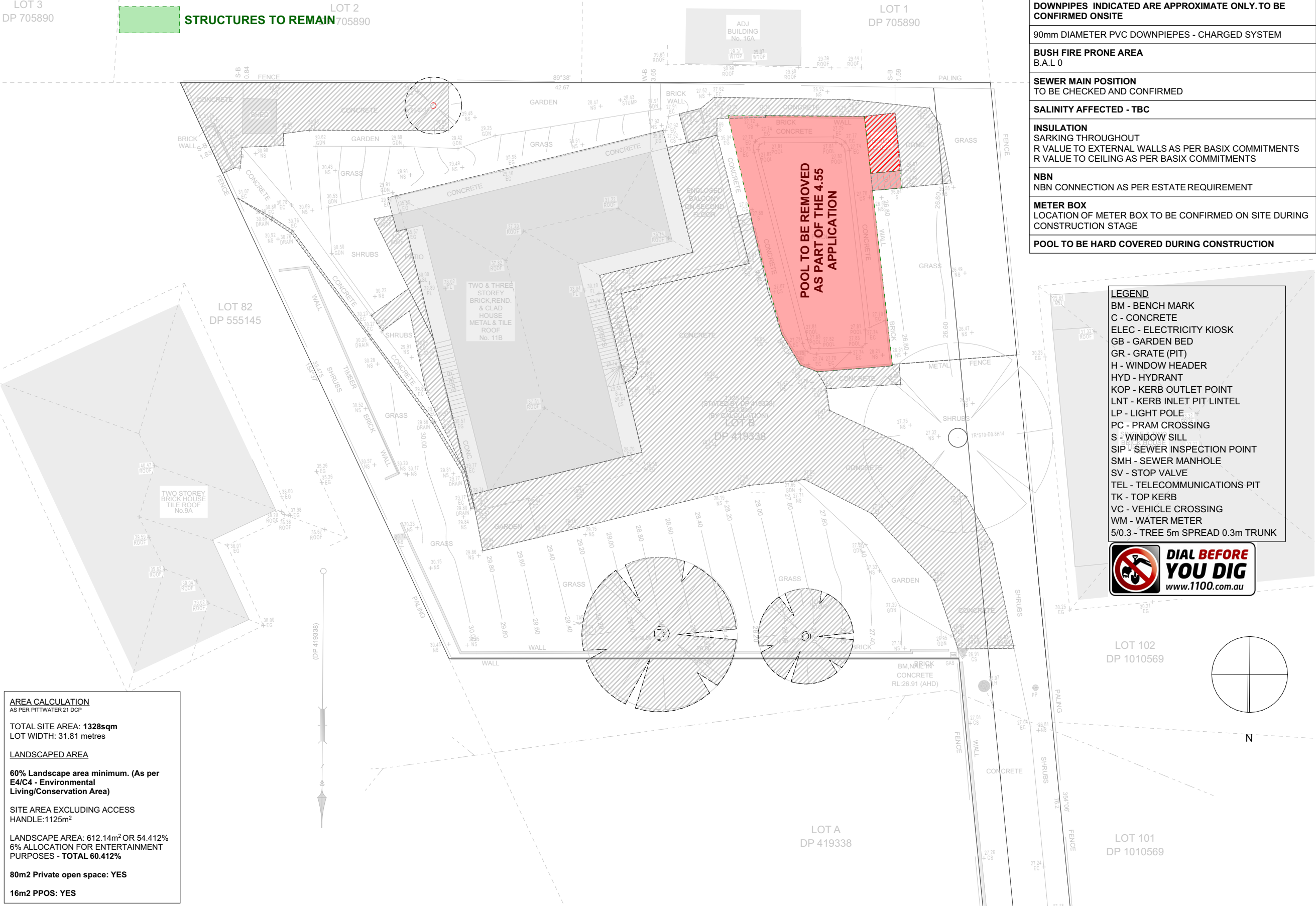


STRUCTURES TO REMAIN

LOT 3
DP 705890

LOT 2
DP 705890

LOT 1
DP 705890



AREA CALCULATION
AS PER PITTWATER 21 DCP

TOTAL SITE AREA: 1328sqm
LOT WIDTH: 31.81 metres

LANDSCAPED AREA

60% Landscape area minimum. (As per
E4/C4 - Environmental
Living/Conservation Area)

SITE AREA EXCLUDING ACCESS
HANDLE: 1125m²

LANDSCAPE AREA: 612.14m² OR 54.412%
6% ALLOCATION FOR ENTERTAINMENT
PURPOSES - TOTAL 60.412%

80m2 Private open space: YES

16m2 PPOS: YES

FOR CONSTRUCTION

Approval PLANS

NOT TO BE USED FOR CONSTRUCTION PURPOSES

SITE SOIL CLASSIFICATION

- M CLASS ASSUMED TO BE CHECKED AND CONFIRMED

NATURAL GAS IS AVAILABLE TO SITE

TBC

OVERHEAD POWERLINE PROTECTION

WORKS TO BE PERFORMED BY LOCAL SUPPLY AUTHORITY

SURFACE PICKUPS TO BE PROVIDED WHERE REQUIRED. TO BE
CONFIRMED ON SITE BY PLUMBER

POSITION OF STORMWATER DRAINAGE LINES AND
DOWNPIPES INDICATED ARE APPROXIMATE ONLY. TO BE
CONFIRMED ONSITE

90mm DIAMETER PVC DOWNPIEPES - CHARGED SYSTEM

BUSH FIRE PRONE AREA

B.A.L 0

SEWER MAIN POSITION

TO BE CHECKED AND CONFIRMED

SALINITY AFFECTED - TBC

INSULATION

R VALUE TO EXTERNAL WALLS AS PER BASIX COMMITMENTS
R VALUE TO CEILING AS PER BASIX COMMITMENTS

NBN

NBN CONNECTION AS PER ESTATE REQUIREMENT

METER BOX

LOCATION OF METER BOX TO BE CONFIRMED ON SITE DURING
CONSTRUCTION STAGE

POOL TO BE HARD COVERED DURING CONSTRUCTION

LEGEND

BM - BENCH MARK
C - CONCRETE
ELEC - ELECTRICITY KIOSK
GB - GARDEN BED
GR - GRATE (PIT)
H - WINDOW HEADER
HYD - HYDRANT
KOP - KERB OUTLET POINT
LNT - KERB INLET PIT LINTEL
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TK - TOP KERB
VC - VEHICLE CROSSING
WM - WATER METER
5/0.3 - TREE 5m SPREAD 0.3m TRUNK



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G	APPROVAL PLAN	FA	10.03.2023
H	CONSTRUCTION PLAN - ISSUE 1 PREPARED	MB	12.01.2024
I	4.55 - POOL PLANS	FA	30.04.2024



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S4.55 - POOL APPROVAL

JOB NUMBER FJ255

Pool Demolition Plan

CLIENT Mr Eddie Grobler

LOCATION

11B Hill Street Warriewood

NSW 2102

DP B-/DP419338

LGA Northern Beaches COUNCIL

SHEET NO: APPROVAL- 1

SCALE: 1:200, 1:194.166 @ A3

DATE PRINTED

Thursday, 9 May 2024



BDAA Accreditation
No.6617

ACCREDITED DESIGNER FA
BUILDING DESIGNER

LEGEND

BM - BENCH MARK

C - CONCRETE

ELEC - ELECTRICITY KIOSK

GB - GARDEN BED

GR - GRATE (PIT)

H - WINDOW HEADER

HYD - HYDRANT

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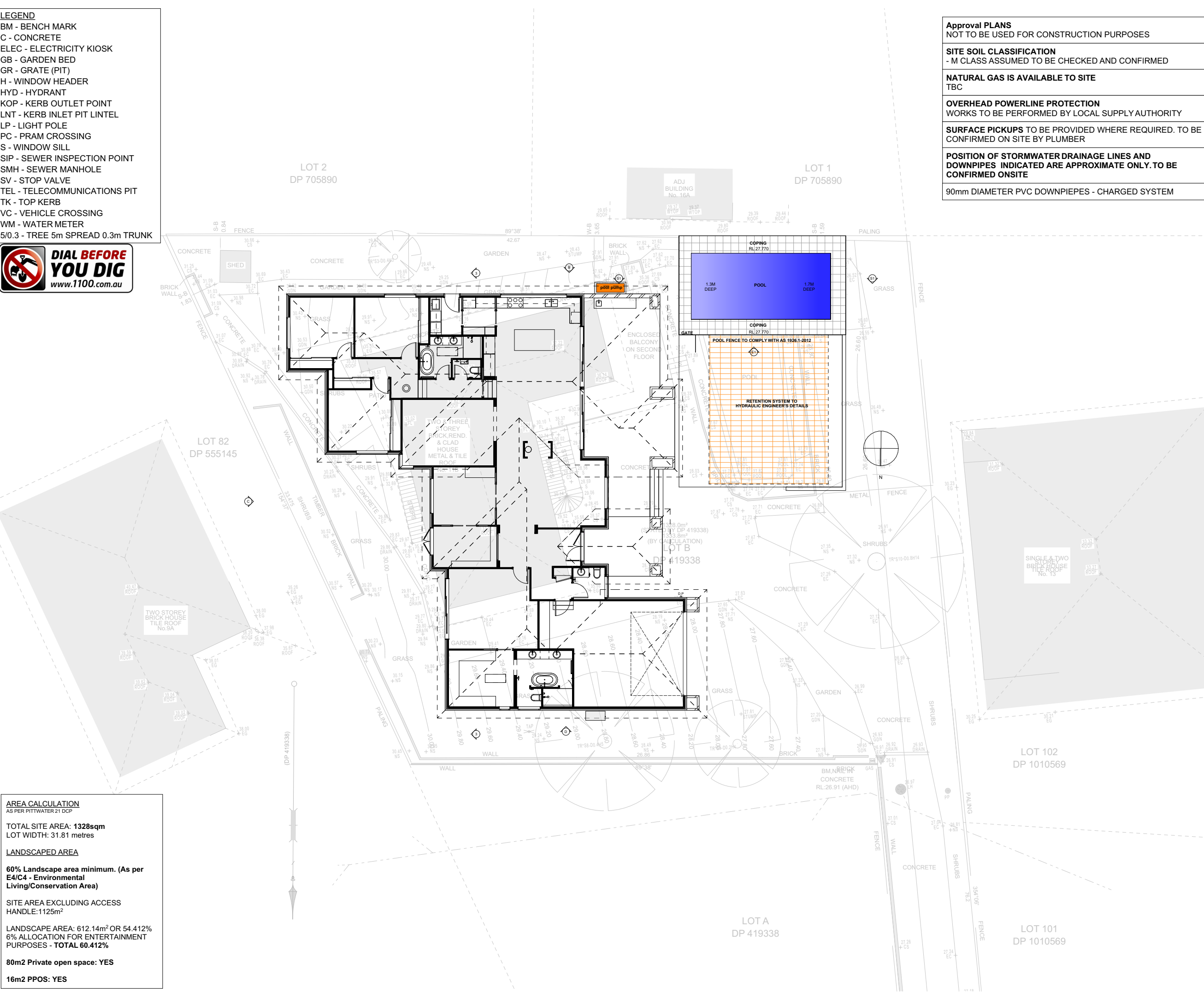
TEL - TELECOMMUNICATIONS PIT

TK - TOP KERB

VC - VEHICLE CROSSING

WM - WATER METER

5/0.3 - TREE 5m SPREAD 0.3m TRUNK



AREA CALCULATION

AS PER PIT/WATER 21 DCP

TOTAL SITE AREA: 1328sqm

LOT WIDTH: 31.81 metres

LANDSCAPED AREA

60% Landscape area minimum. (As per E4/C4 - Environmental Living/Conservation Area)

SITE AREA EXCLUDING ACCESS HANDLE: 1125m²

LANDSCAPE AREA: 612.14m² OR 54.412%

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16m2 PPOS: YES

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- M CLASS ASSUMED TO BE CHECKED AND CONFIRMED	
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TBC	
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POSITION OF STORMWATER DRAINAGE LINES AND DOWNPIPES INDICATED ARE APPROXIMATE ONLY. TO BE CONFIRMED ONSITE	
90mm DIAMETER PVC DOWNPIEPES - CHARGED SYSTEM	

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H	CONSTRUCTION PLAN - ISSUE 1 PREPARED	MB	12.01.2024
I	4.55 - POOL PLANS	FA	30.04.2024



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S4.55 - POOL APPROVAL

JOB NUMBER FJ255

Site Plan

CLIENT Mr Eddie Grobler

LOCATION

11B Hill Street Warriewood

NSW 2102

DP B-/DP419338

LGA Northern Beaches COUNCIL

SHEET NO: APPROVAL- 2

SCALE: 1:200, 1:194.166 @ A3

DATE PRINTED

Thursday, 9 May 2024

BDAA Accreditation
No.6617

ACCREDITED DESIGNER FA
BUILDING DESIGNER

Pool Plan

Scale 1:100

POOL FENCE TO COMPLY WITH AS 1926.1-2012

POOL TO ENGINEERS DETAILS

MAX CUT 800mm

NATURAL GROUND LINE

GATE

DISTANCE TO ALFRESCO PIER 1,096

Dimensions: 1,200, 1,800, 250, 350, 1,300, 1,200

DISTANCE TO ALFRESCO PIER

1,096

GATE

1,200

BOUNDARY FENCE TO BE 1.8M FROM COPING FFL

POOL FENCE TO COMPLY WITH AS 1926.1-2012

TOP FENCE RL 29.570

TOP FENCE RL 28.970

COPING FL 27.770

NGL 26.660

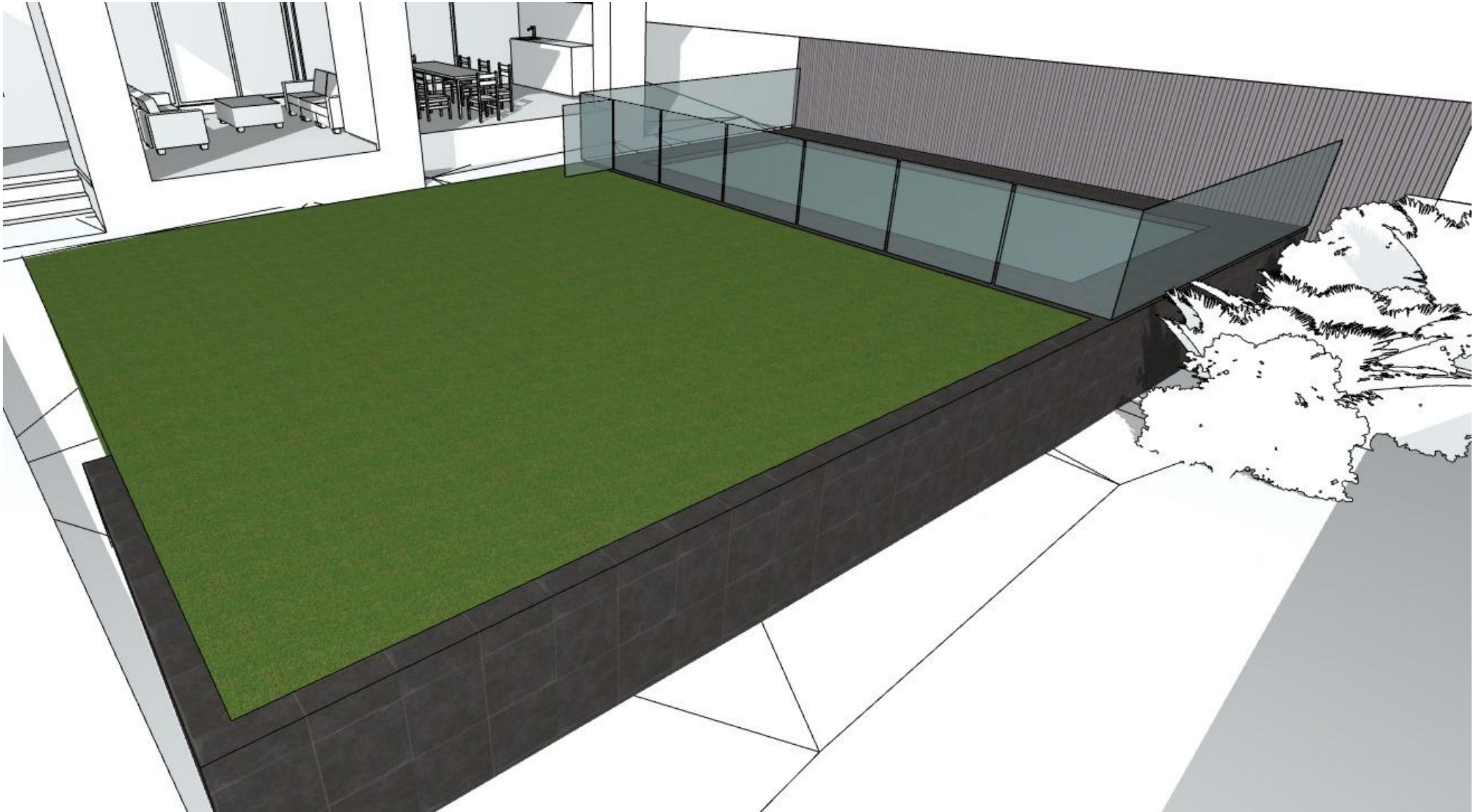
NATURAL GROUND LINE RL 26.660

1,110

1,200

600

ACCREDITED DESIGNER FA
BUILDING DESIGNER



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S4.55 - POOL APPROVAL

JOB NUMBER FJ255

Pool Perspective

CLIENT Mr Eddie Grobler

LOCATION

11B Hill Street Warriewood

NSW 2102

DP B/-/DP419338

LGA Northern Beaches COUNCIL

SHEET NO: APPROVAL- 4

SCALE: 1:167.377 @ A3

DATE PRINTED

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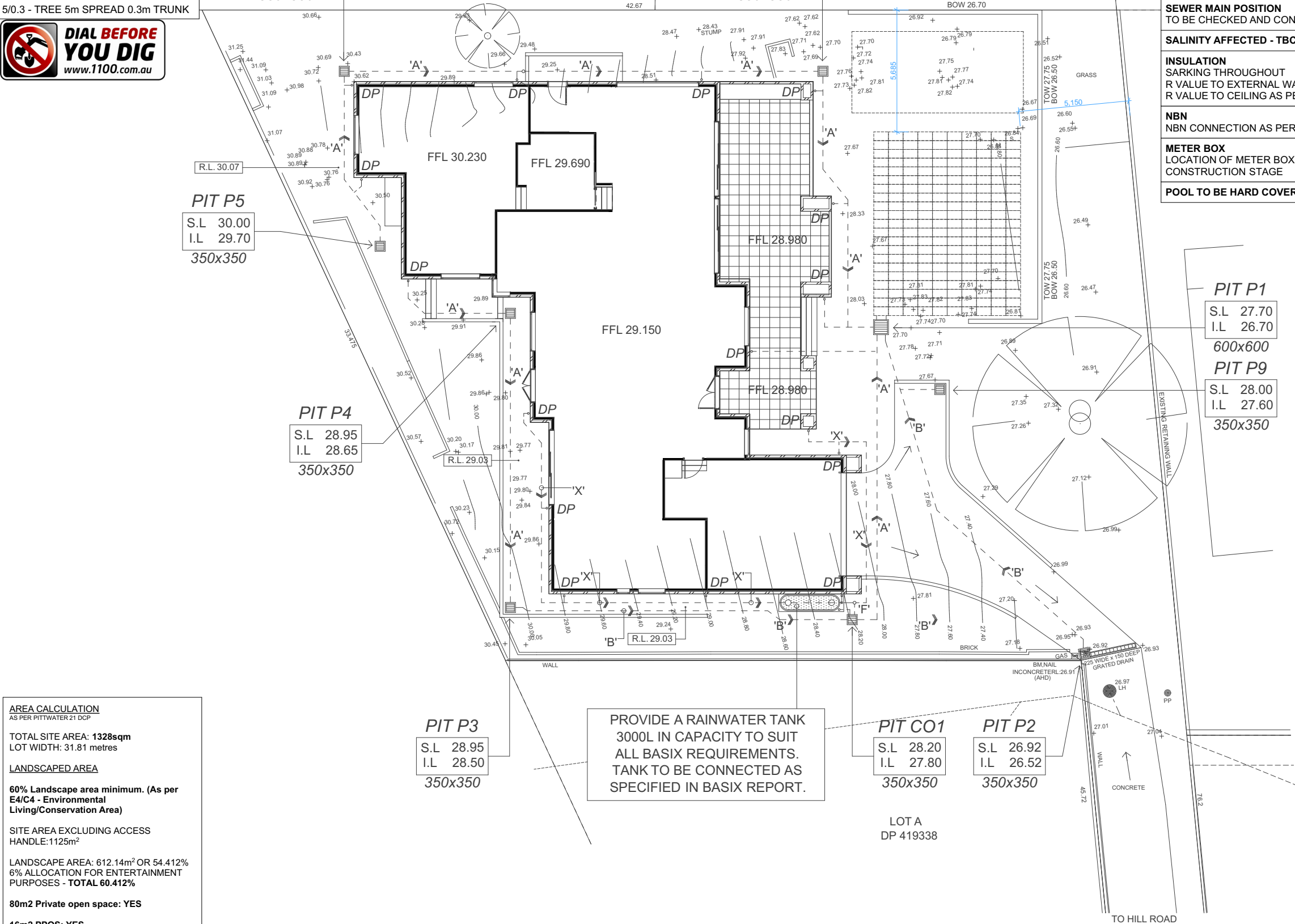


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LEGEND

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AREA CALCULATION

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BUSH FIRE PRONE AREA

B.A.L 0

SEWER MAIN POSITION

TO BE CHECKED AND CONFIRMED

SALINITY AFFECTED - TBC

INSULATION

SARKING THROUGHOUT

R VALUE TO EXTERNAL WALLS AS PER BASIX COMMITMENTS

R VALUE TO CEILING AS PER BASIX COMMITMENTS

NBN

NBN CONNECTION AS PER ESTATE REQUIREMENT

METER BOX

LOCATION OF METER BOX TO BE CONFIRMED ON SITE DURING
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POOL TO BE HARD COVERED DURING CONSTRUCTION

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S4.55 - POOL APPROVAL

JOB NUMBER FJ255

Hydraulics

CLIENT Mr Eddie Grobler

LOCATION

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NSW 2102

DP B-/DP419338

LGA Northern Beaches COUNCIL

SHEET NO: APPROVAL- 5

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