



 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/0644

Notes
157 Plateau Road, Bilgola Plateau is zoned E4 Environmental Living
All plans to be read in conjunction with Basix Certificate.
157 Plateau Road, Bilgola Plateau is not considered a heritage item.

All plans to be read in conjunction with Basis certificate.

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

- a) additional insulation is not required where the area of new construction is less than 2m²
- b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in mm, the leading edge of the eave, pergola, verandah, balcony or awning must be no more than 500 mm

above the head of the window or glazed door and no more than 2400mm above the sill

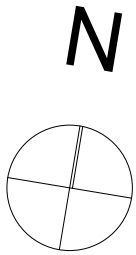
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed bar.

SITE INFORMATION	PROPOSED	COMPLIANCE
site Area	1177m ²	Yes
Housing density (dwelling/m ²)	186.769m ²	Yes
Max building height above natural GL	8.5m	Yes
Front setback	6.5m	Yes
Rear Setback	6.5m	Yes
Side boundary setbacks	1.0/2.5m - see floor plans	Yes
Building envelope	3.5m @ 45Deg	Yes
% of landscape open space (60%)	62%	Yes
Impervious area (m ²)	447.434	Yes
Maximum cutting into ground (m)	1.134m	Yes
Maximum depth of fill (m)	0	Yes
Number of car spaces provided	2	Yes

Plotted On: 16/5/20

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS ON SITE REPORT ANY DISCREPANCIES IN DOCUMENTATION TO ARCHITECT. THIS DRAWING IS FOR THE PURPOSES OF COUNCIL APPROVAL AND AS SUCH, IS NOT SUITABLE FOR CONSTRUCTION

NOTES: ALL DIMENSIONS TO BE CARRIED OUT IN ACCORDANCE WITH AS2801 -2001 - DEMOLITION OF STRUCTURES



MANGANO RESIDENCE

Nicole & Richard Mangano
157 Plateau Road
Bilgola Plateau, NSW
Tel 0403 799 018

THE ABOVE DIMENSION DOES NOT MEASURE THREE CENTIMETERS (3 cm) EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

BY	REVISIONS	DATE
CL	A	26.04.20
Date:	16/5/20	
Scale:	AS NOTED	
Drawn:	CL - 26/04/20	
Job:	MAN01LOV	
Stage	DA	

SITE / FLOOR PLAN / SURVEY & DETAILS

EXISTING FLOOR PLAN - GROUND FLOOR



northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/0644

basix

Basix Certificate Number : **A375770**

It plans to be read in conjunction with Basix certificate.

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m²

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in mm, the leading edge of the eave, pergola, verandah, balcony or awning must be no more than 500 mm

above the head of the window or glazed door and no more than 2400mm above the sill

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed bar.

DO NOT SCALE DRAWING.
VERIFY ALL
DIMENSIONS ON SITE
REPORT ANY
DISCREPANCIES IN
DOCUMENTATION TO
ARCHITECT.
THIS DRAWING IS FOR THE
PURPOSE OF COUNCIL
APPROVAL
AND AS SUCH, IS NOT
SUITABLE FOR
CONSTRUCTION



IF THE ABOVE DIMENSION DOES NOT MEASURE THREE CENTIMETERS (3 cm) EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

A.09

PROPOSED FLOOR PLANS



Window / door no.	Orientation	Area of glass inc. frame (m ²)	Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
D1	S	8.804	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D2	S	1.742	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Construction
 External wall: framed (weatherboard, fibro, metal clad)
 Roof: pitched roof with raked ceiling framed, R1.74 foil backed blanket 55mm
 Insulation to external walls R1.30 (or R1.70 including construction)
 Refer to engineers specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS01288-2047
 Waterproofing to BCA and AS3740
 New lighting to have minimum of 40% compact fluorescent lamps

Notes
 157 Plateau Road, Bilgola Plateau is zoned
 E4 Environmental Living
 All plans to be read in conjunction with Basis
 Certificate.
 157 Plateau Road, Bilgola Plateau is not considered
 a heritage item.

Basix

Basix Certificate Number : A357750

All plans to be read in conjunction with Basix certificate.

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m²

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

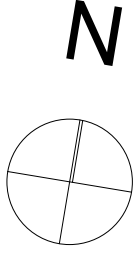
For projections described in mm, the leading edge of the eave, pergola, verandah, balcony or awning must be no more than 500 mm

above the head of the window or glazed door and no more than 2400mm above the sill

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed bar.

SITE INFORMATION	PROPOSED	COMPLIANCE
site Area	1177m ²	Yes
Housing density (dwelling/m ²)	186.769m ²	Yes
Max building height above natural GL	8.5m	Yes
Front setback	6.5m	Yes
Rear Setback	6.5m	Yes
Side boundary setbacks	1.0/2.5m - see floor plans	Yes
Building envelope	3.5m @ 45Deg	Yes
% of landscape open space (60%)	62%	Yes
Impervious area (m ²)	447.434	Yes
Maximum cutting into ground (m)	1.134m	Yes
Maximum depth of fill (m)	0	Yes
Number of car spaces provided	2	Yes

DO NOT SCALE DRAWING.
VERIFY ALL
DIMENSIONS ON SITE
REPORT ANY
DISCREPANCIES IN
DOCUMENTATION TO
ARCHITECT.
THIS DRAWING IS FOR THE
PURPOSE OF COUNCIL
APPROVAL
AND AS SUCH, IS NOT
SUITABLE FOR
CONSTRUCTION



MANGANO RESIDENCE

Nicole & Richard Mangano
157 Plateau Road
Bilgola Plateau, NSW
Tel 0403 799 018

THE ABOVE DIMENSION DOES NOT MEASURE THREE CENTIMETERS (3 cm) EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, CHECKING ALL LABELED SCALES.

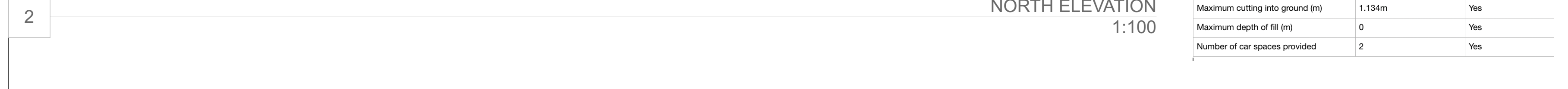
BY	REVISIONS	DATE
CL	A	26.04.20
Date:	16/5/20	
Scale:	AS NOTED	
Drawn:	CL - 26/04/20	
Job:	MAN01LOV	
Stage	DA	

A.09

Plotted On: 16/5/20

PROPOSED FLOOR PLANS (CONT)

 northern beaches council		Construction External wall: framed (weatherboard, fibro, metal clad) Roof: pitched roof with raked ceiling framed, R1.74 foil backed blanket 55mm
--	--	--



DO NOT SCALE DRAWING.
VERIFY ALL
DIMENSIONS ON SITE
REPORT ANY
DISCREPANCIES IN
DOCUMENTATION TO
ARCHITECT.
THIS DRAWING IS FOR THE
PURPOSE OF COUNCIL
APPROVAL
AND AS SUCH, IS NOT
SUITABLE FOR
CONSTRUCTION



C

NO.	REVISIONS	DATE
-----	-----------	------

ate:	16/5/20
------	---------

Calc.	AS NOTED
	CA - 2015-125

ph:	MAN01LOV
-----	----------

Stage	DA
-------	----

[illegible]

A-10

[illegible]

Plotted On: 16/5/20

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----

BUILDING ELEVATIONS



ALL DIMENSIONS TO BE CARRIED OUT IN ACCORDANCE WITH AS2801 - 2001 - DEMOLITION OF STRUCTURES

DIMENSIONS ON SITE REPORT ANY DISCREPANCIES IN DOCUMENTATION TO ARCHITECT

THIS DRAWING IS FOR THE PURPOSE OF COUNCIL APPROVAL

AND AS SUCH, IS NOT SUITABLE FOR CONSTRUCTION

DO NOT SCALE DRAWING.
VERIFY ALL
DIMENSIONS ON SITE
REPORT ANY
DISCREPANCIES IN
DOCUMENTATION TO
ARCHITECT.
THIS DRAWING IS FOR THE
PURPOSE OF COUNCIL
APPROVAL
AND AS SUCH, IS NOT
SUITABLE FOR
CONSTRUCTION

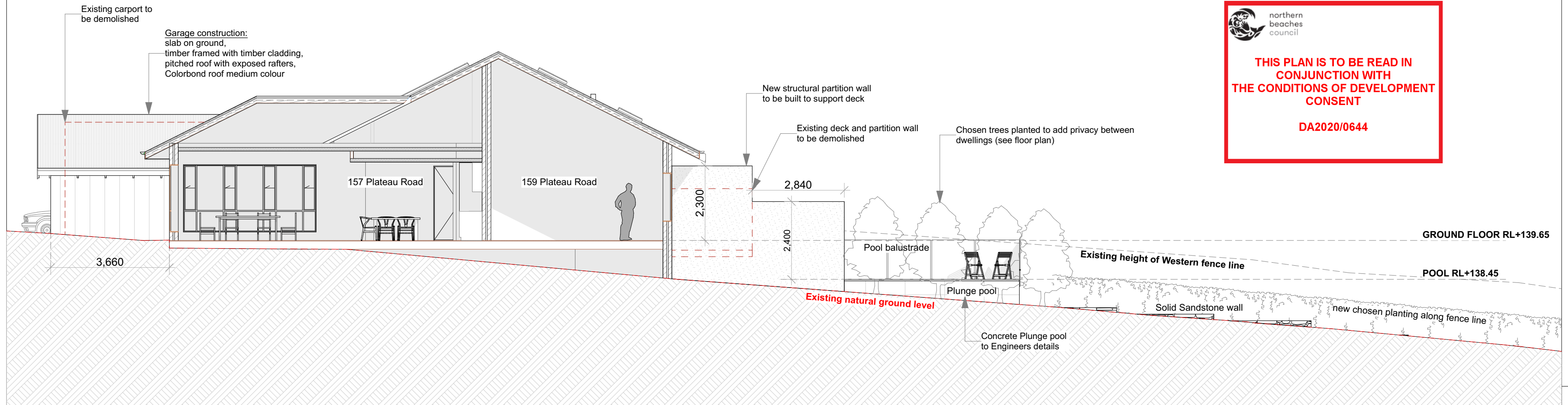
Nicole & Richard Mangano
157 Plateau Road
Bilgola Plateau, NSW
Tel 0403 799 018

IF THE ABOVE DIMENSION DOES NOT MEASURE THREE CENTIMETERS (3 cm) EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

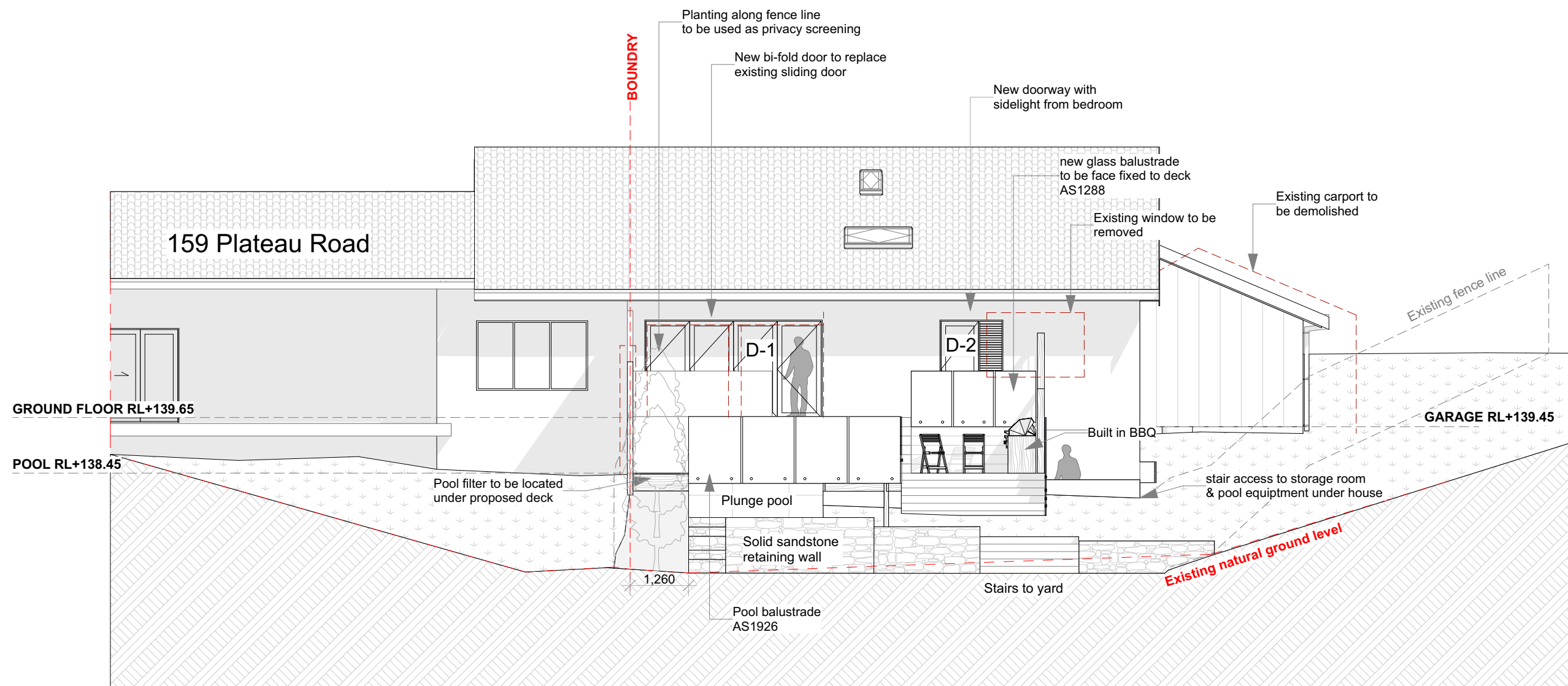
--	--

Plotted On: 16/5/20

BUILDING ELEVATIONS (CONT)



WEST ELEVATION
1:100



SOUTH ELEVATION
1:100

Construction
 External wall: framed (weatherboard, fibro, metal clad)
 Roof: pitched roof with raked ceiling framed, R1.74 foil backed blanket 55mm
 Insulation to external walls R1.30 (or R1.70 including construction)
 Refer to engineers specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS01288-2047
 Waterproofing to BCA and AS3740
 New lighting to have minimum of 40% compact fluorescent lamps

Notes
157 Plateau Road, Bilgola Plateau is zoned E4 Environmental Living
All plans to be read in conjunction with Basix Certificate.
157 Plateau Road, Bilgola Plateau is not considered a heritage item.

Basis

Basix Certificate Number : A375770

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

- a) additional insulation is not required where the area of new construction is less than 2m²
- b) insulation specified is not required for parts of altered construction where insulation already exists.

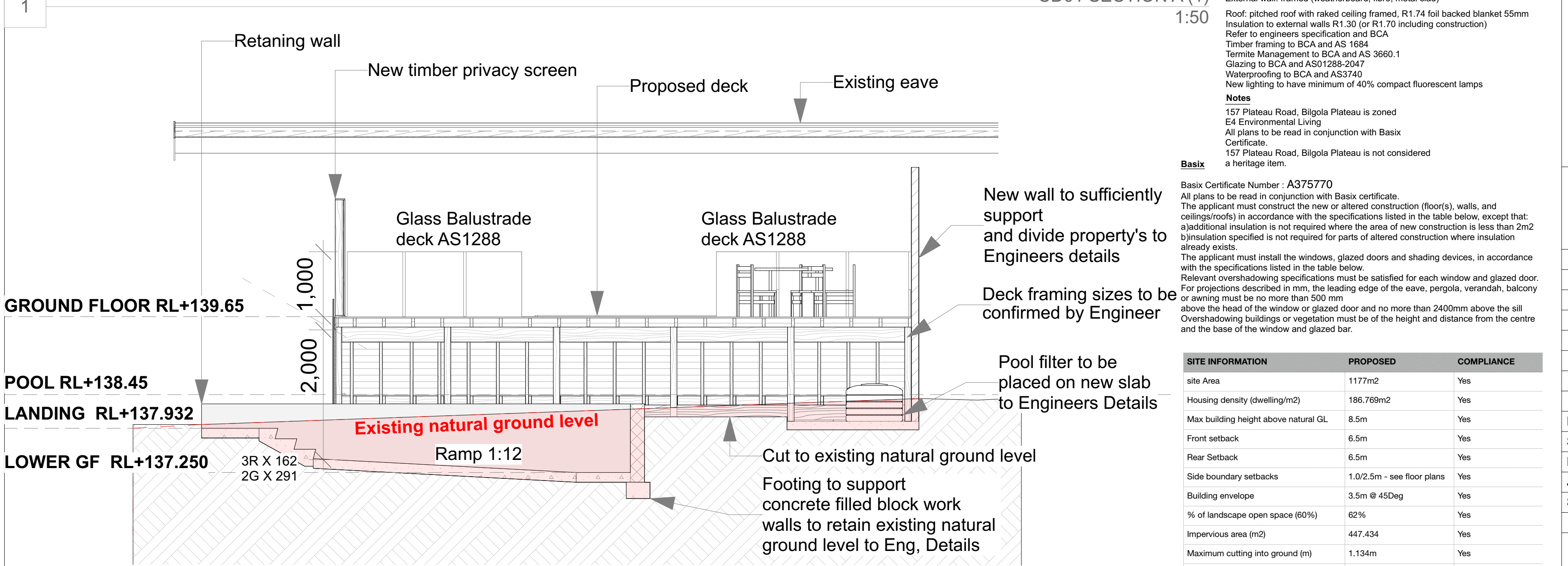
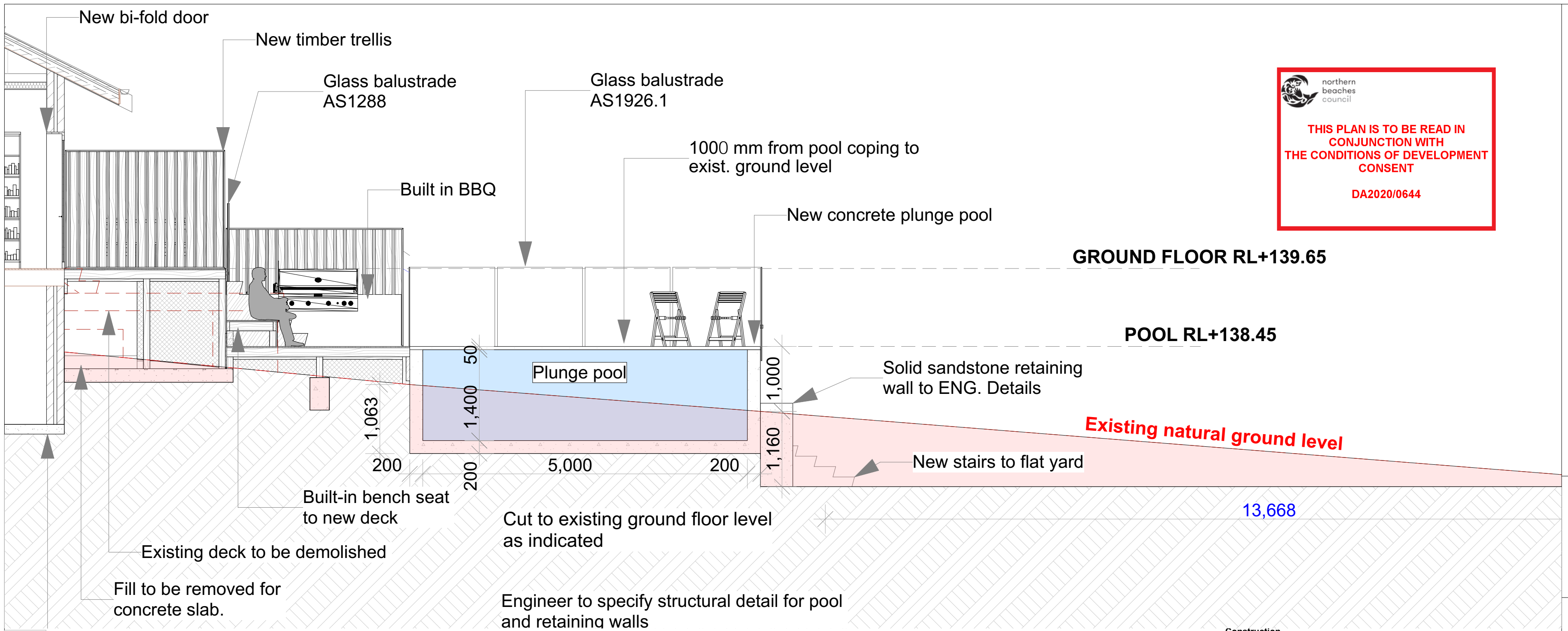
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in mm, the leading edge of the eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed bar.

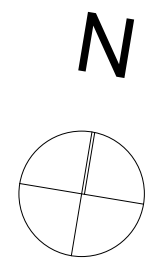
SITE INFORMATION	PROPOSED	COMPLIANCE
site Area	1177m ²	Yes
Housing density (dwelling/m ²)	186.769m ²	Yes
Max building height above natural GL	8.5m	Yes
Front setback	6.5m	Yes
Rear Setback	6.5m	Yes
Side boundary setbacks	1.0/2.5m - see floor plans	Yes
Building envelope	3.5m @ 45Deg	Yes
% of landscape open space (60%)	62%	Yes
Impervious area (m ²)	447,434	Yes
Maximum cutting into ground (m)	1.134m	Yes
Maximum depth of fill (m)	0	Yes
Number of car spaces provided	2	Yes



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0644

NOTES:
DO NOT SCALE DRAWING.
VERIFY ALL DIMENSIONS ON SITE
REPORT ANY DISCREPANCIES IN DOCUMENTATION TO ARCHITECT
THIS DRAWING IS FOR THE PURPOSE OF COUNCIL APPROVAL ONLY AND SUCH IS NOT SUITABLE FOR CONSTRUCTION



Construction
External wall: framed (weatherboard, fibro, metal clad)
Roof: pitched roof with raked ceiling framed, R1.74 foil backed blanket 55mm
Insulation to external walls R1.30 (or R1.70 including construction)
Refer to engineers specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS3740
New lighting to have minimum of 40% compact fluorescent lamps

Notes
157 Plateau Road, Bilgola Plateau is zoned E4 Environmental Living
All plans to be read in conjunction with Basix Certificate.
157 Plateau Road, Bilgola Plateau is not considered a heritage item.

Basix
Basix Certificate Number : A375770
All plans to be read in conjunction with Basix certificate.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in mm, the leading edge of the eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400mm above the sill. Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed bar.

SITE INFORMATION	PROPOSED	COMPLIANCE
site Area	1177m2	Yes
Housing density (dwelling/m2)	186.769m2	Yes
Max building height above natural GL	8.5m	Yes
Front setback	6.5m	Yes
Rear Setback	6.5m	Yes
Side boundary setbacks	1.0/2.5m - see floor plans	Yes
Building envelope	3.5m @ 45Deg	Yes
% of landscape open space (60%)	62%	Yes
Impervious area (m2)	447.434	Yes
Maximum cutting into ground (m)	1.134m	Yes
Maximum depth of fill (m)	0	Yes
Number of car spaces provided	2	Yes

MANGANO RESIDENCE

Nicole & Richard Mangano
157 Plateau Road
Bilgola Plateau, NSW
Tel 0403 799 018

IF THE ABOVE DIMENSION DOES NOT MEASURE THREE CENTIMETERS (3 cm) EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

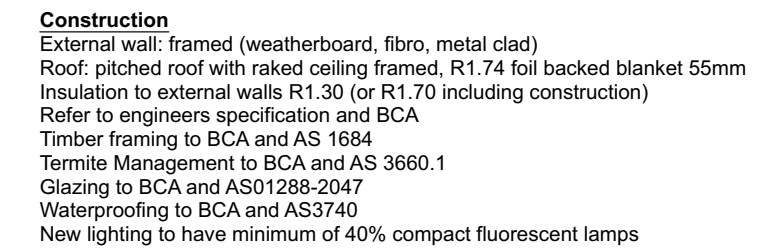
BY	REVISIONS	DATE
CL	A	26.04.20

Date: 16/5/20
Scale: AS NOTED
Drawn: CL - 26/04/20
Job: MAN01LOV
Stage: DA

A.12

Plotted On: 16/5/20

BUILDING SECTIONS



DO NOT SCALE DRAWING.

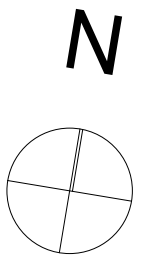
VERIFY ALL
DIMENSIONS ON SITE
REPORT ANY
DISCREPANCIES IN
DOCUMENTATION TO
ARCHITECT.

THIS DRAWING IS FOR THE
PURPOSE OF COUNCIL
APPROVAL
AND AS SUCH, IS NOT
SUITABLE FOR
CONSTRUCTION

NOTES:

ALL DIMENSIONS TO BE
CARRIED OUT IN
ACCORDANCE WITH
AS2601 - 2001 -
DEMOLITION OF
STRUCTURES

**LOVEETT
DESIGNS**



Nicole & Richard Mangano
157 Plateau Road
Bilgola Plateau, NSW
Tel 0403 799 018

A.13

Plotted On: 16/5/20

BUILDING SECTIONS (CONT)