

04 Street Level Floor Plan

Scale: 1:100

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2021/2372

- GENERAL LEGEND**
- COS Check On Site
 - DAR Dressed All Round
 - E... Existing (Where E shown at start of abbreviation it is existing)
 - FFL Finished Floor Level
 - FCL Finished Ceiling Level
 - G.L Ground Level
 - MI Mirror Image
 - SFL Structural Floor Level
 - SOS Soffit Of Slab
 - TBC To Be Confirmed
 - TBA To Be Advised

- WINDOWS AND DOORS**
- AW Awning Window
 - CD Concertina Door
 - CSD Cavity Sliding Door
 - CW Casement Window
 - D Door
 - DH Double Hung Window
 - FD Front Door
 - FG Fixed Glass
 - FP Fixed Panel
 - GA Glazed Assembly
 - MI Mirror Image
 - SD Swing Door
 - SDH Sashless Double Hung
 - SL Sliding Door
 - SW Sliding Window
 - W Window

- FINISHES LEGEND**
- AL Aluminium
 - AR Architrave
 - BQ Barbecue
 - BL Balustrade
 - BWK Brickwork
 - C Corice
 - CBF Concrete Broom Finish
 - CBG Colour Back Glass
 - CP Concrete Paver
 - CPT Carpet and Underlay
 - CR Cement Render
 - FC Cement Rendered Foambord
 - CS Concrete Slab
 - CST Concrete Steel Trowelled
 - CT Ceramic Tile
 - DD Downpipe
 - DPS Downpipe Spreader
 - DS Door Stop
 - EF Eaves Fascia
 - EG Eaves Gutter
 - EGF Eaves Gable Fascia
 - ES Eaves Soffit
 - F Fence
 - FC Fibre Cement
 - FCL Finished Ceiling Level
 - FFL Finished Floor Level
 - FR Floor Grate
 - FL Flue
 - FP Fixed Panel
 - FR Fire Place
 - FT Floor Tiles
 - G Gate
 - GC Gas Cock
 - GD Garage Door
 - GRD Grated Drain
 - GG Gutter Guard
 - GMT Glass Mosaic Tiles
 - GR Glazed Roof
 - HC Hose cock
 - HR Handrail
 - HWU Hot Water Unit
 - INS Insulation
 - M Metal
 - MC Metal Cladding
 - MFC Metal Fascia Capping
 - MR Membrane Roof
 - MRC Metal Roofing Colorbond
 - MS Mild Steel
 - OF Overflow Spitter
 - P Paint Finish
 - PB Plasterboard Painted
 - PBM Plasterboard Moisture Resistant Paint
 - PCRS Polycarbonate Roof Sheetting
 - PFN Pool Finish
 - PR Picture Rail
 - RB Roller Blind
 - RD Roller Door
 - RLC Rendered Lightweight Cladding
 - RT Roof Tile
 - RWH Rain Water Head
 - S Steel
 - SC Steel Column
 - SCE Steel Column External
 - SF Steel Frame
 - SK Skirting
 - SL Skylight
 - SP Set Plaster
 - SPR Spreader
 - SS Stainless Steel
 - SSL Structural Slab Level
 - ST Stone
 - STP Stone Paving
 - STS Stone Slab
 - T Timber
 - TB Timber Battens
 - TCC Timber Cladding
 - TD Timber Decking
 - TF Timber Floor
 - TFA Timber Fascia
 - TP Timber Post
 - TPP Timber Pergola
 - TS Timber Screen
 - TSH Timber Shingles
 - TSL Timber Sleeper Wall
 - TSS Timber Screen Sliding
 - TT Timber Tread
 - TV Television
 - VB Viliaboard
 - WB Weather Board
 - WRC Western Red Cedar
 - WT Wall Tile

- Legend for levels:
- RL +37.40 - Exist. Level
 - RL +37.40 - New Site Level
 - FFL +37.40 - Finished Floor Level

- LEGEND**
- Area of New or Altered Work
 - Existing Wall To Remain
 - Proposed New Brick Veneer Walls
 - Proposed New Lightweight Walls
 - Structure or Wall To Be Demolished

rev	date	revision notes	by
B	28/3/22	DA Re-Issue	PCA
A	26/10/21	DA Issue	PCA

Figured dimensions to be taken in preference to scaling. Contractor to verify all dimensions on job before commencing any work or making shop drawings

Copyright remains the property of Playoust Churcher Architects. Reproduction of the whole or part of this document constitutes an infringement of copyright. The information, ideas and concepts contained in this document are confidential.

project: **Wearne Residence** project # **19-778**

56 Attunga Road
Newport, NSW 2096
Lot 1, DP 124062
client

Claire & Tim Wearne

dwg

Proposed Mid & Upper Level Floor Plan

printed	drawn	cid	scale@A1
28/3/22	PCA	LP	1:100

DEVELOPMENT APPLICATION

stage **DA** drawing # **A105** revision **B**

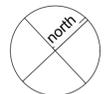
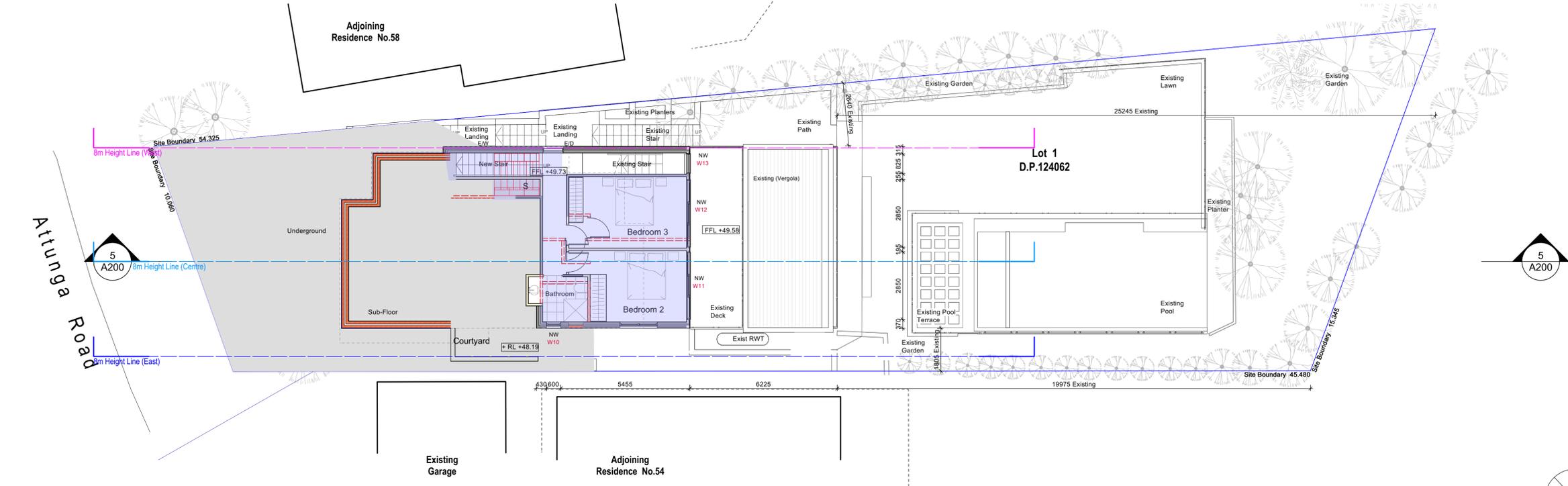
11 marian street
killara nsw 2071
T 02 9498 8811
F 02 9498 4970

PLAYOUST CHURCHER ARCHITECTS

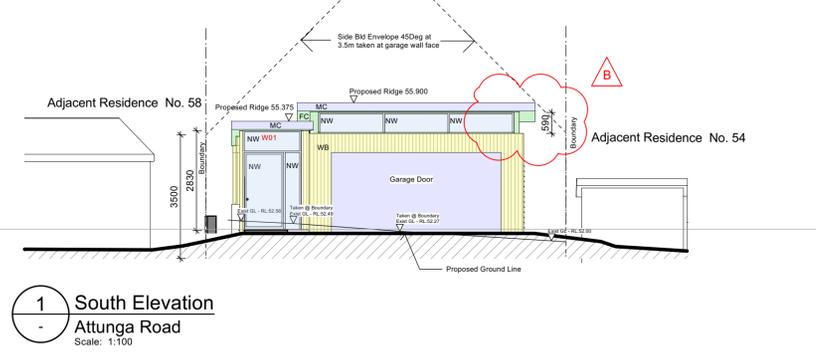
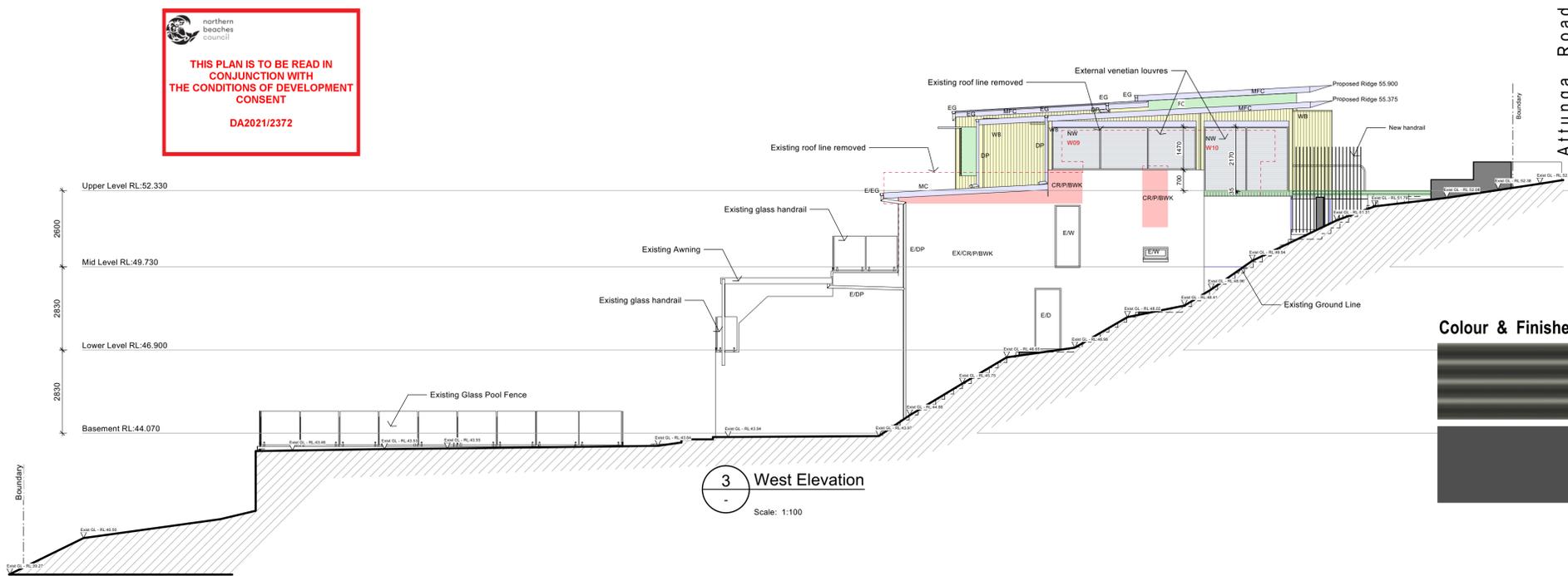
John J Playoust & Co Pty Limited ACN 008 503 188 & Brett Churcher Architects Pty Ltd
A.C.N. 033 751 611 trading as Playoust Churcher Architects

03 Mid Level Floor Plan

Scale: 1:100

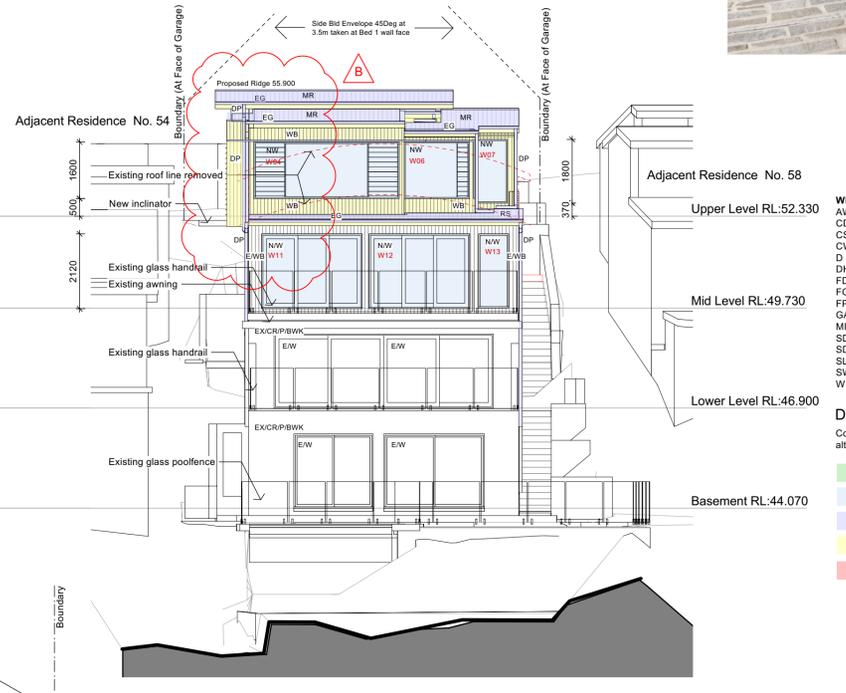
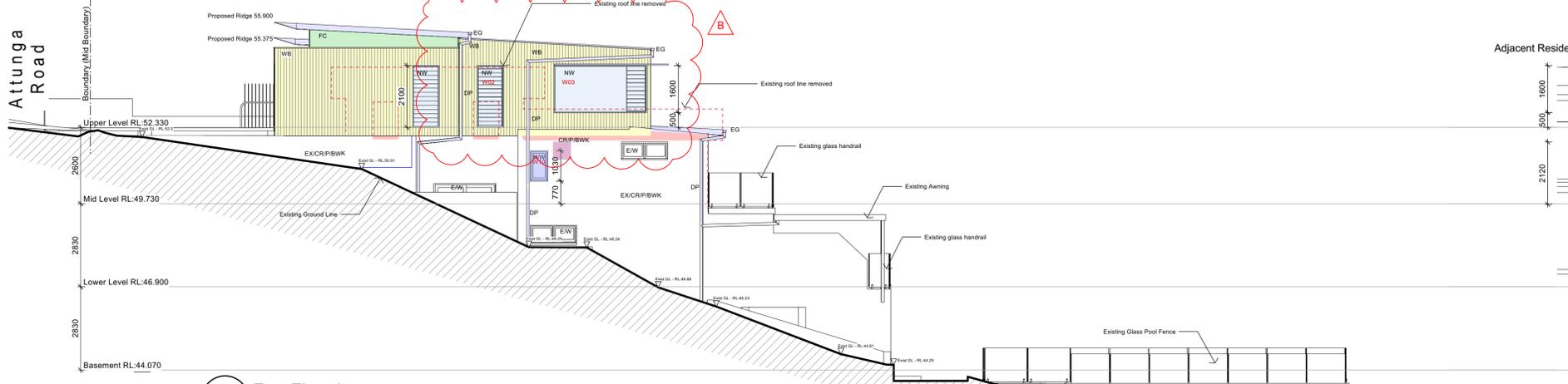


THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2021/2372



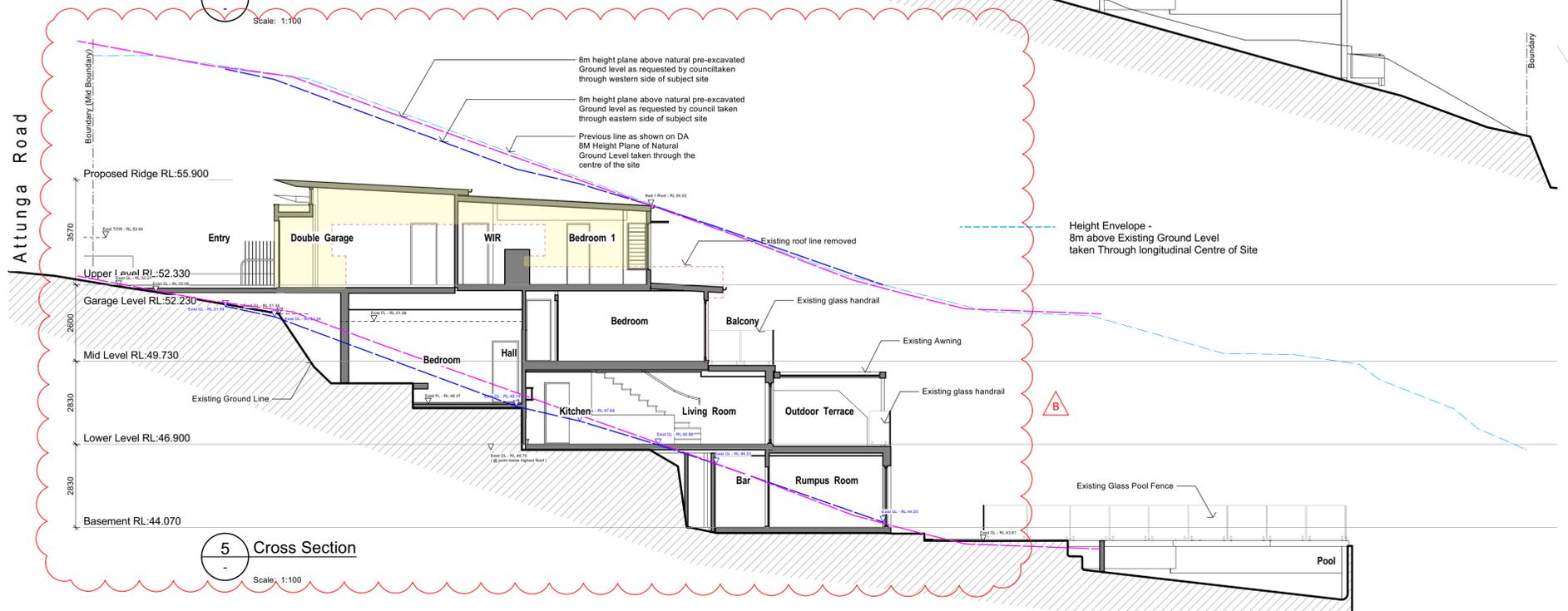
Colour & Finishes Legend

- Metal Roof (MR & MC)**
Colorbond 'Monument'
- Timber Clad Walls (WB)**
Vertical timber weatherboard cladding
- Painted Rendered Walls (CR)**
New cement rendered walls to be painted to match existing 'Darker Grey'
- Gutters(EG) and Downpipes(DP)**
Colorbond 'Monument'
- Painted Brick Walls (BWK)**
New brick walls to be painted to match existing 'Grey'
- Window & Door Frames**
Aluminium frame. Powdercoat Finish: Colorbond 'Monument'
- Stone Driveway (ST)**
Stone Driveway



- WINDOWS AND DOORS**
- AW Awning Window
 - CD Concealed Door
 - CSD Cavity Sliding Door
 - CW Casement Window
 - D Door
 - DH Double Hung Window
 - FD Front Door
 - FG Fixed Glass
 - FP Fixed Panel
 - GA Glazed Assembly
 - MI Mirror Image
 - SD Swing Door
 - SDH Sashless Double Hung
 - SL Sliding Door
 - SW Sliding Window
 - W Window

- DA Colour Legend**
- Coloured areas indicate new or altered work as a generally
- Lightweight material
 - Glass
 - Metal Roof Sheeting (Colorbond)
 - Timber
 - Brick



- GENERAL LEGEND**
- COS Check On Site
 - DAR Dressed All Round
 - E/L Existing (Where E shown at start of abbreviation it is existing)
 - FFL Finished Floor Level
 - FCL Finished Ceiling Level
 - G.L Ground Level
 - MI Mirror Image
 - SFL Structural Floor Level
 - SOS Soffit Of Slab
 - TBC To Be Confirmed
 - TBA To Be Advised
- FINISHES LEGEND**
- AL Aluminium
 - AR Architrave
 - BBO Barbeque
 - BL Balustrade
 - BWK Brickwork
 - C Cornice
 - CBF Concrete Broom Finish
 - CBG Colour Back Glass
 - CH Chimney
 - CP Concrete Paver
 - CPT Carpet and Underlay
 - CR Cement Render
 - CRFB Cement Rendered Foambord
 - CS Concrete Slab
 - CST Concrete Steel Trowelled
 - CT Ceramic Tile
 - DP Downpipe
 - DPS Downpipe Spreader
 - DS Door Stop
 - EF Eaves Fascia
 - EG Eaves Gutter
 - EGF Eaves Gable Fascia
 - ES Eaves Soffit
 - F Fence
 - FC Fibre Cement
 - FCL Finished Ceiling Level
 - FFL Finished Floor Level
 - FGR Floor Grate
 - FL Flue
 - FP Fixed Panel
 - FPL Fine Place
 - FT Floor Tiles
 - G Gate
 - GD Garage Door
 - GRD Grated Drain
 - GG Gutter Guard
 - GR Glazed Roof
 - HR Handrail
 - HWU Hot Water Unit
 - INS Insulation
 - M Metal
 - MC Metal Cladding
 - MFC Metal Fascia Capping
 - MR Metal Roof
 - MS Mild Steel
 - OF Overflow Spitter
- FINISHES LEGEND (continued)**
- P Paint Finish
 - PB Plasterboard Painted
 - PBM Plasterboard Moisture Resistant Paint
 - PCRS Polycarbonate Roof Sheeting
 - PFN Pool Finish
 - PR Picture Rail
 - RB Roller Blind
 - RD Roller Door
 - RL Rendered Lightweight Cladding
 - RS Roof Sheet
 - RT Roof Tile
 - RWH Rain Water Head
 - S Steel
 - SC Steel Column
 - SCE Steel Column External
 - SF Steel Frame
 - SK Skirting
 - SL Skylight
 - SP Steel Post
 - SPR Spreader
 - SS Stainless Steel
 - SSL Structural Slab Level
 - ST Stone
 - STC Stone Capping
 - STP Stone Paving
 - STS Stone Slab
 - TB Timber
 - TB Timber Battens
 - TC Timber Cladding
 - TD Timber Decking
 - TF Timber Floor
 - TFA Timber Fascia
 - TP Timber Post
 - TPP Timber Pergola
 - TS Timber Screen
 - TSH Timber Shingles
 - TSLS Timber Sleeper Wall
 - TSS Timber Screen Sliding
 - TT Timber Tread
 - TV Television
 - VB Vela-board
 - WB Weather Board
 - WRC Western Red Cedar
 - WT Wall Tile

B 28/3/22 DA Re-Issue PCA
 A 26/10/21 DA Issue PCA
 rev date revision notes by
 Figured dimensions to be taken in preference to scaling. Contractor to verify all dimensions on job before commencing any work or making shop drawings
 Copyright remains the property of Playoust Churcher Architects. Reproduction of the whole or part of this document constitutes an infringement of copyright. The information, ideas and concepts contained in this document are confidential

Wearne Residence
 56 Attunga Road
 Newport, NSW 2096
 Lot 1, DP 124062
 client

Claire & Tim Wearne
 Proposed Elevations
 printed: 28/3/22 drawn: PCA cad: LP scale: A1

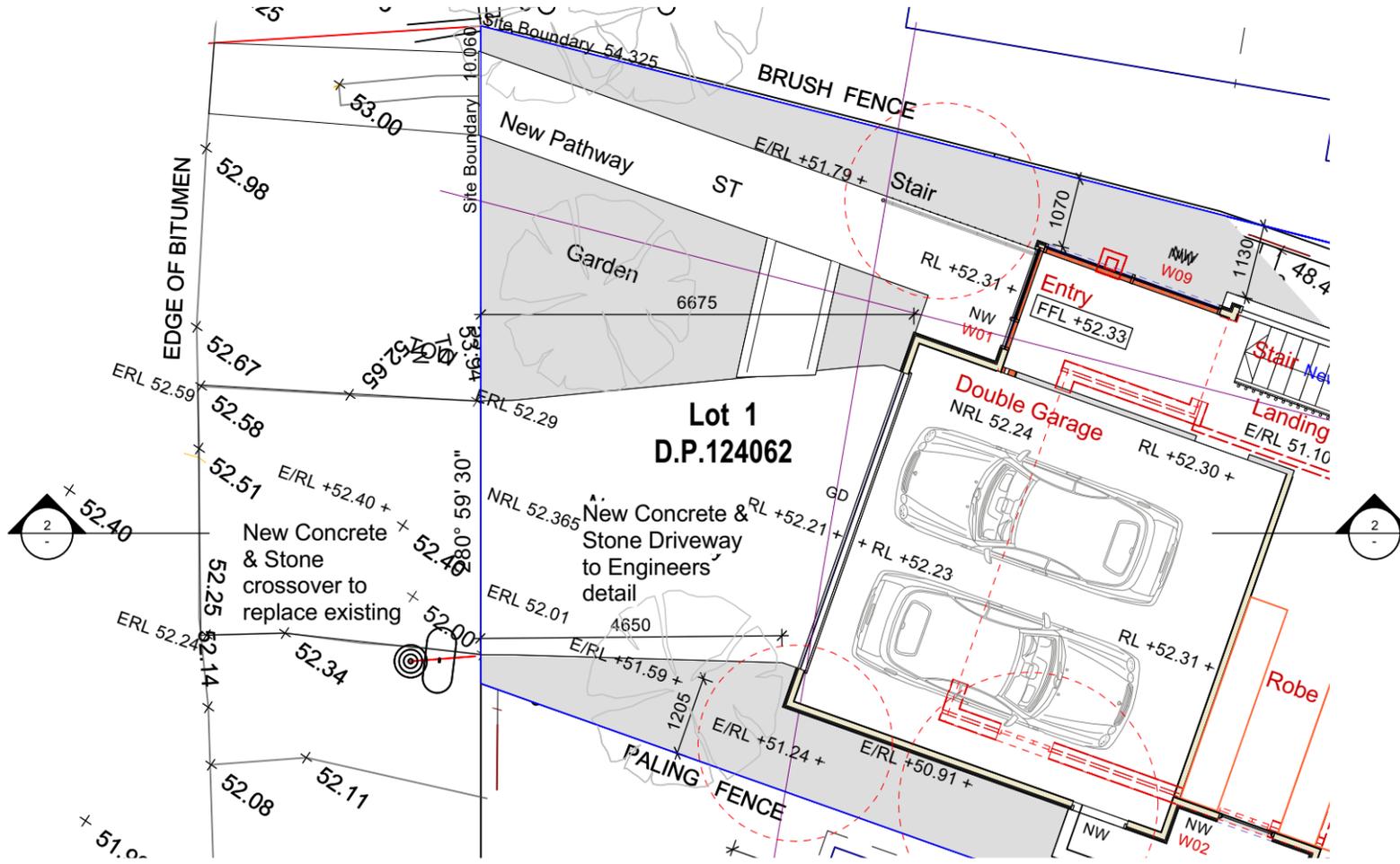
DEVELOPMENT APPLICATION
 stage: DA drawing #: A200 revision: B
 11 marian street
 killara nsw 2071
 T 02 9498 9811
 F 02 9498 4970
 info@playoustchurcher.com.au
 www.playoustchurcher.com.au
 PLAYOUST CHURCHER ARCHITECTS
 John J Playoust & Co Pty Limited ACN 008 503 188 & Brett Churcher Architects Pty Ltd
 A C N 033 751 611 trading as Playoust Churcher Architects



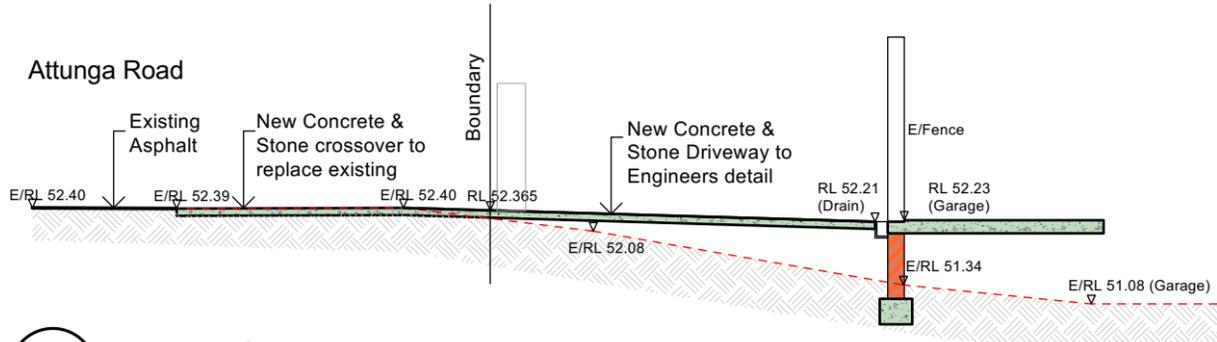
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/2372

Attunga Road



02 Driveway Plan
Scale: 1:100



01 Driveway Section
Scale: 1:100