88B INSTRUMENT CHECKED

AND ACKNOWLEDGED

CLAUSE 2 APPLIED

DUE TO PROXIMITY TO SALT WATER, TO COMPLY WITH THE

BUILDING CODE OF AUSTRALIA THE FOLLOWING SHALL BE

32MPA CONCRETE TO THE CONCRETE SLAB IN LIEU OF

PROVIDE SPARK ARRESTORS TO EXTERNAL BRICKWORK

(STANDARD) COLORBOND STEEL ROOF WITH A 25 YEAR

(STANDARD) COLORBOND STEEL FASCIA AND GUTTER

UPGRADE YOUR ROOF VENTILATION SYSTEM TO MINIMISE

THE INGRESS OF SALT LADEN AIR INTO THE ROOF SPACE AS

PROVIDE EXPOSURE GRADE MORTAR IN LIEU OF

PROVIDE NON CORROSIVE BRICK TIES IN LIEU OF

PROVIDE R4 RATING TO STRUCTURAL STEEL

WITH 12 YEAR MANUFACTURERS WARRANTY

MANUFACTURERS WARRANTY

STANDARD

STANDARD

STANDARD

EXPOSURE GRADE REQUIREMENTS

AS & NCC COMPLIANCE

ı			
	SHE	ET INDEX	
ı	1	COVER SHEET	

2 CITE ANALYS

NORTHERN BEACHES

DA

	SITE ANALTOIS	
3	SITE PLAN	
4	WATER MANAGEMENT PLAN (GF)	
5	WATER MANAGEMENT PLAN (FF)	

- 6 GROUND FLOOR PLAN
 7 FIRST FLOOR PLAN
- 8 ROOF PLAN 9 WINDOW & DOOR SCHEDULES
- 10 ELEVATIONS / SECTION 11 ELEVATIONS 12 HOUSE EXTERIOR 3D VIEWS
- 13 KITCHEN DETAILS 14 BATHROOM DETAILS
- 15 ENSUITE DETAILS 16 POWDER ROOM DETAILS 17 LAUNDRY DETAILS
- 18 FLOOR COVERINGS (GF) 19 FLOOR COVERINGS (FF) 20 SLAB PLAN
- 21 DRAINAGE PLAN 22 SHADOW DIAGRAMS - JUNE 21

TOTAL FLOOR AREAS MAIN DWELLING, GROUND FLOOR

LOCATION MAP

Ι.,	,	
	ALFRESCO	7.49
	GARAGE	20.95
	LIVING	76.40
	PATIO	10.51
	STAIRS	4.60
		119.95 m
N	MAIN DWELLING, FIRST FLOO	R
	DAL CONIV	0.10

		119.951	
M	MAIN DWELLING, FIRST FLOOR		
	BALCONY	8.12	
	LIVING	92.72	
	STAIR VOID	5.24	
		106.08 r	
		226.03 r	
	-		

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND

APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS

- FOR ALL SLAB DETAILS. BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022. ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS
- INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
- TERMITE MANAGEMENT IN ACCORDANCE WITH AS 3660 AND NCC 2022 GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
- SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022. INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022
- HOUSING PROVISIONS PART 10.2. EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS
- WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX 1:50 GRADE (IF APPLICABLE). CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2022
- HOUSING PROVISIONS PART 10.8.
 BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
- SERVICES IN ACCORDANCE WITH NCC 2022. EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
- EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (I
- EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	CLASSIFICATION 3
BIODIVERSITY	NO
BUILDING ENVELOPE	NO
BUSHFIRE	NO
CLASSIFIED ROAD	NO
DESIGN WIND CLASSIFICATION	N2 (EXPOSED)
ESTATE/DEVELOPER GUIDELINES	NO
HERITAGE	NO
LANDSLIP HAZARD	NO
MINE SUBSIDENCE	NO
MINIMUM FLOOR LEVEL	4.100m AHD
NOISE ATTENUATION	NO
SALINE SOIL	NO
SITE CLASSIFICATION	TBC
SNOW LOAD	NO
WITHIN 1km CALM SALT WATER	846m
WITHIN 50km BREAKING SURF	0.85km
ZONING	R3 - MEDIUM DENSITY RESIDENTIAL

LOT 15

#15 RAVEN CIRCUIT

INSULATION

BUILDING CONTROLS & COMPLIANCE

CONTROL

SETBACKS

ARTICULATION ZONE

GARAGE TO BOUNDARY

GARAGE TO BUILDING LINE

SIDE A - GROUND FLOOR

SIDE A - FIRST FLOOR

SIDE B - FIRST FLOOR

REAR - FIRST FLOOR

BULK & SCALE

SITE AREA

CUT DEPTH

FILL DEPTH

SITE COVERAGE

BUILDING HEIGHT

LANDSCAPE

LANDSCAPED AREA

EARTHWORKS

PARKING SPACES

ACCESS & AMENITY

FRAMES AND TRUSSES

ROOF PITCH (U.N.O.)

ELECTRICITY SUPPLY

GAS SUPPLY

ROOF MATERIAL

ROOF COLOUR

WALL MATERIAL

WALL COLOUR

SLAB CLASSIFICATION

BUILDING INFORMATION

GROUND FLOOR PITCHING HEIGHT(S)

FIRST FLOOR PITCHING HEIGHT(S)

REAR - GROUND FLOOR

SIDE B - GROUND FLOOI

REQUIRED PROPOSED

4,413mm

4,396mm

1,000mm

216mm

1,615mm

950mm

1.100mm

5.850mm

41.99%

7,554mm

93.74m²

MIN. 3,000mm

MIN. 1,500mm

MIN. 4,000mm

MIN. 1,000mm

MIN. 1,500mm

MIN. 900mm

MIN. 900mm

242 8m

N/A

MIN. 4.000mm

MAX. 8.500mm

MIN. 84.98m²

MAX. 1,000mm

MAX. 1,000mm 73mm

MIN. 1 SPACE 1 SPACE

2450mm, 2745mm

REFER TO SCOPE OF WORKS

2595mm

22.5° / 20°

BOTTLED LPG

SHEET METAL

BRICK VENEER

MEDIUM

CLADDING

TBC

STEEL

MIN. 6.000mm 6.000mm

MIN. 0mm

ROOF	MIN. 80mm FOIL FACED BLANKET UNDER ROOFING
CEILING	R7.0 BATTS (INCL. GARAGE)
EXT. WALLS	R2.2 BATTS (INCL. GARAGE EXCLUDING THE FACADE WALL) WALL WRAP TO CLADDING
INT. WALLS	R2.2 BATTS (THROUGHOUT ALL INTERNAL WALLS)
FLOOR	R4 1 INSUITATION RETWEEN FIRST FLOOR JOISTS

NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER. BUT THEY HAVE BEEN INCLUDED N THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS SOLAR PANEL SPACING AND SITE DRAINAGE, PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS, SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

SUSTAINABILITY

PRELIMINARY SUSTAINABILITY COMPLIANCE FOR YOUR HOME REQUIRES FURTHER ASSESSMENT TO DETERMINE COMPLIANCE CRITERIA. THIS ASSESSMENT WILL BE FINALISED UPON APPROVAL OF YOUR EXTERNAL COLOUR SELECTIONS TO DETERMINE IF VARIATIONS ARE REQUIRED TO THE PROPOSED DWELLING E.G. ADDITIONAL INSULATION, CHANGES IN WINDOW GLAZING / SIZE / ORIENTATION ETC. YOU WILL BE ADVISED OF ANY REQUIREMENTS OR ALTERNATIVES ONCE THE ASSESSMENT HAS BEEN COMPLETED.

BASIX AREAS	
CONDITIONED AREA	142.60 m²
UNCONDITIONED AREA	13.34 m²
WATER RATINGS	

	WATER HARVESTING AND USA	GE
۲	BATHROOM TAPS	5 STAR
R	KITCHEN TAPS	4 STAR
	TOILET SUITES	4 STAR
3,	SHOWER HEADS	3 STAR (> 7.5 BUT <= 9 L/MII
	WATER RATINGS	
- 1	ON OUT DITIONED THE LET	10.01111

TOTAL ROOF FIREM	177.70111
MIN. WATER TANK CAPACITY	10060 L
MIN. ROOF AREA DIRECTED TO TANK(S)	144.78 m²
WATER TANK(S) CONNECTED TO	AT LEAST ONE OUTDOOR TAP ALL TOILETS WASHING MACHINE
GARDEN/LAWN AREA	100 m²

DECYCLED WATER

TOTAL ROOF AREA

ı	RECICLED WATER		
	RETICULATED RECYCLED WATER	N/A	

ENERGY COMMITMENTS			
HOT WATER SYSTEM	GAS CONTINUOUS FLOW		
	6 STAR		

HEATING SYSTEM 1-PHASE REVERSE CYCLE AIR CONDITIONING COP 3.5 - 4.0 COOLING SYSTEM 1-PHASE REVERSE CYCLE AIR CONDITIONING

VENTILATION (EXHAUST FANS)

AT LEAST ONE BATHROOM:

DUCTED TO OUTSIDE AIR, INTERLOCKED TO LIGHT/10 MIN. RUN-ON TIMER (ITCHEN RANGEHOOD:

4 - REFER TO FLOOR PLAN FOR LOCATIONS

DUCTED TO OUTSIDE AIR, MANUAL SWITCH ON/OFF NO MECHANICAL VENTILATION TO LAUNDRY

PRIMARY FLUORESCENT/LED LIGHTING (INCL. COVER)

NATURAL LIGHTING

NATURAL LIGHTING TO	KITCHEN	
	2 x BATHROOM(S)/TOILET	

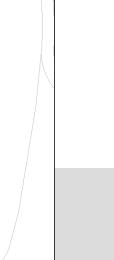
ALTERNATIVE ENERGY

PHOTOVOLTAIC SYSTEM MIN. 6.60KW PEAK

OTHER

GAS COOKTOP, ELECTRIC OVEN

FIXED OUTDOOR CLOTHESLINE BY OWNER NO FIXED INDOOR CLOTHESLINE



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(1 OCT 2023 + 7 STAR BASIX) WATERPROOFING & PLUMBING **CONDENSATION MANAGEMENT ENERGY EFFICIENCY**

SUBJECT TO NCC 2022

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED.

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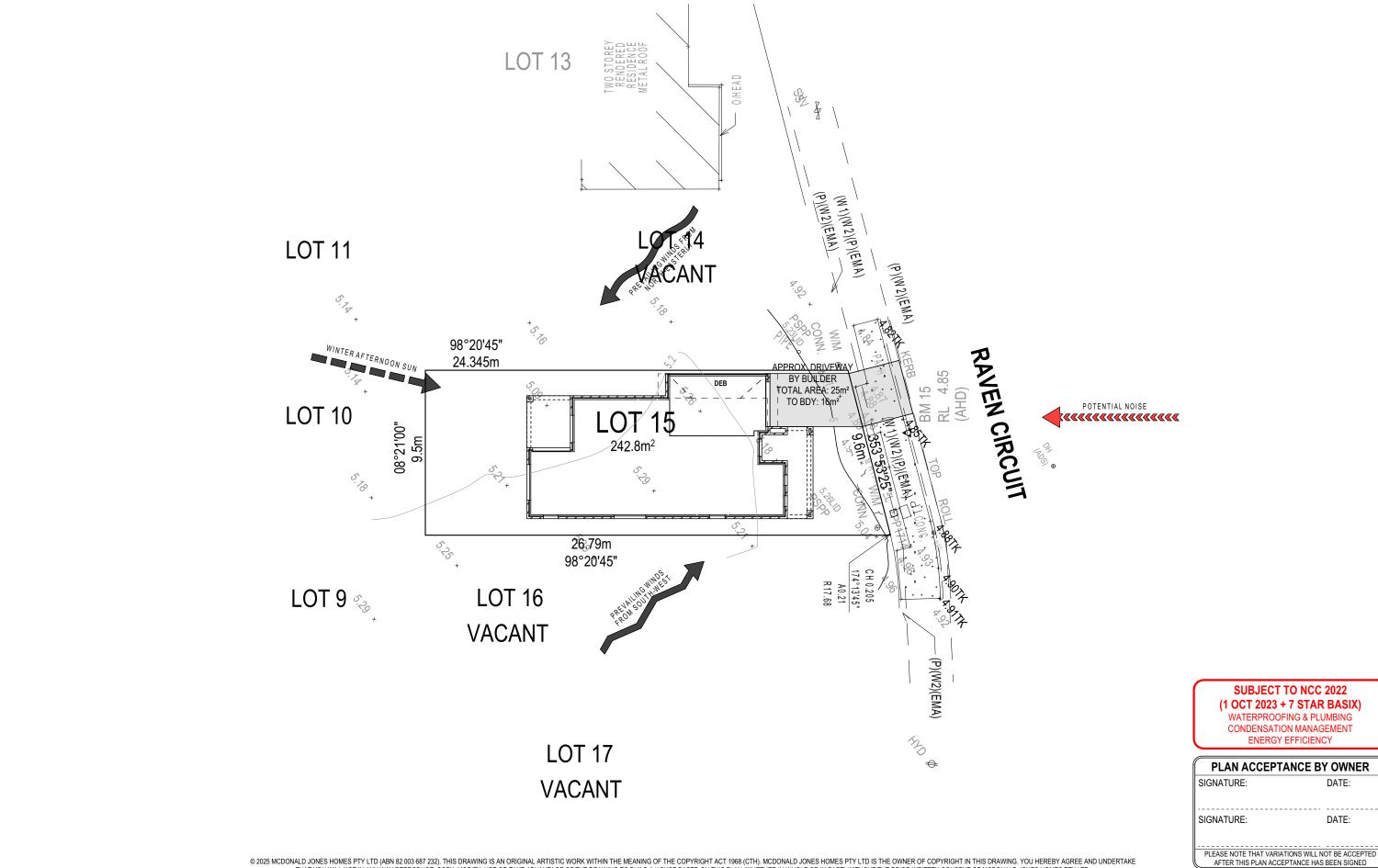
MACPHERSON STREET

SPECIFICATION:		REVISION		RAWN	CLIENT:		
NOW	5	DIMS ADDED TO SITE PLAN	ED TO SITE PLAN ALW 16/06/2025 MR ED		MR EDUARDO & MRS MICHELLE JUDKIEWICZ FICHMAN		
COPYRIGHT:	6	AMENDED AS PER PCV002	ALW	01/07/2025	ADDRESS:		
© 2025	7	COLOURS APPLIED	ENG	09/07/2025	15 RAVEN CCT, WARRIE	WOOD NSW 2102	
	8	AMENDED AS PER PCV008				COUNCIL:	
	9	AMENDED AS PER PCV009 - HYD.	SIO	23/10/2025	15 / - / 271326	NORTHERN BEACHES	

HOUSE DESIGN:		HOUSE CODE:
PALENCIA TWO		H-MNWPLC20DA
FACADE DESIGN:		FACADE CODE:
VINCENT		F-MNWPLC20VNCTA
SHEET TITLE:	SHEET No.:	SCALES:
COVER SHEET	1 / 22	1:100

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY, CHEC AND VERIFY DIMENSIONS AND I EVELS PRIOR TO THE TO THE DRAFTING OFFICE.

607463



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	SPECIFICATION:		REVISION			CLIENT:		HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK
	NOW	5	DIMS ADDED TO SITE PLAN	ALW	16/06/2025	MR EDUARDO & MRS MI	CHELLE JUDKIEWICZ FICHMANN	PALENCIA TWO		H-MNWPLC20DA	AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE
- 1	I	6	AMENDED AS PER PCV002	- 1	01/07/2025			FACADE DESIGN:			COMMENCEMENT OF ANY WORK. ALL
	© 2025	7	COLOURS APPLIED	ENG	09/07/2025	15 RAVEN CCT, WARRIE	WOOD NSW 2102	VINCENT		F-MNWPLC20VNCTA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
		8		- 1			COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	607/62
		9	AMENDED AS PER PCV009 - HYD.	SIO	23/10/2025	15 / - / 271326	NORTHERN BEACHES	SITE ANALYSIS	2 / 22	1:200	607463

+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS. ALL BUILDING INFORMATION REGARDING SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS SUSTAINABILITY REQUIREMENTS CLIENT TO REMOVE RUBBISH & DEBRIS, TREES, STUMPS INCLUDING ROOTS, MULCH SITE CLASSIFICATION & UNDERGROWTH AND SLASH/SCRAPE LONG GRASS FROM THE AREA. WHERE STUMPS HAVE BEEN REMOVED THE GROUND IS TO BE FILLED AND COMPACTED. GENERAL BUILDING INFORMATION STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND NO REPRESENTATION IS MADE IMPORTANT NOTE AS TO THE AS-BUILT LOCATION OF STORMWATER ASSETS (INCLUDING ANY PART OF THE FASCIA, GUTTERING OR SURFACE INLET PITS) OR THE TYPE OF **DOWNPIPE THAT IS WITHIN 450mm OF ANY** SYSTEM USED (CHARGED OR GRAVITY **BOUNDARY IS TO BE NON-COMBUSTIBLE IN** FED). ALL STORMWATER DESIGN IS SUBJECT TO CONTRACTORS ACCORDANCE WITH THE REQUIREMENTS OF PART RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS OR 3.7.1.7(C) OF THE BCA CHANGES AT THE DISCRETION OF THE BUILDER. THE STORMWATER SYSTEM IS MINIMUM FINISHED FLOOR NOT SUITABLE FOR ANY OTHER USE. AL SURFACE WATER DRAINAGE MUST BE LEVEL 4.100m AHD MANAGED BY OWNER INCLUDING INSTALLATION OF ADDITIONAL DISCHARG LINES AND INLETS AS REQUIRED. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS RETAINING WALLS BY OWNER UNLESS NOTED OTHERWISE IN THE SCOPE OF WORK AND/OR COLOUR SELECTIONS DOCUMENTATION. APPROX. DRIVEWAY HANDOVER UNLESS NOTED OTHERWISH BY BUILDER IN THE TENDER DOCUMENTATION. TOTAL AREA: 25m² TO BDY: 16m² APPROX. CUT/FILL 2 90m³ 2.62m3 5.90t DIFFERENCE 0.28m³ 0.63t **EVEN CUT & FILL** 2,900 8,228 **DRIVEWAY PLAN** LOCATION OF OUTDOOR CLOTHESLINE BY OWNER EXISITING LEVELS TO BACK OF FOOTPATH MAX GARAGE FFL 5.797 GARAGE FFL 5.415 ×,052, ` 0.6000.450 AS2890.1 DRIVEWAY PROFILE WITH NORTHERN BEACHES COUNCIL BEFORE BOUNDRY 50 x 25 x 1000 STAKE OR SANDBAGS OVERLAP MEMBRANE TO BE BIDIM U24 ONTO KERB CONSTRUCTION SITE OR APPROVED EQUIVALENT STAR PICKET **GEOTEXTILE** GAP BETWEEN SANDBAGS BURY APPROXIMATELY 150mm OF MEMBRANE AND TEMPORARILY ACTS AS SPILLWAY NATURAL SURFACE GRAVEL NATURAL SURFACE LEVEL RUNOFF FROM PAD NOT TO BE DISTURBED DIRECTED TO SEDIMENTATION TRAF SILT FENCING DETAIL TEMPORARY CONSTRUCTION EXIT

LOT 13 (P)(W2)(EMA) - AMAHAMAHAMA) **LOT 14 LOT 11** (P)(N2)(EMA) **VACANT** 900 x 1860H ABOVE GROUND-SEDIMENT CONTROL WATER TANK ON 3300 x 1000 PAD NGL 5.076 NGL 5.004 FENCE ON BOUNDARY DEB 0.172 FILL 0.171 NGL 5.200 CUT 0.025 LINE OF DRIVEWAY PROFILE PROPOSED TREE CAPABLE OF NGL 5.130 FILL 0.045 98°20'45' REACHING 8m AT MATURITY TO-4.396 REAR YARD 24.345m 15 4.85 GKTSB90JFJX TOTAL AREA: 25n GARAGE SEDIMENT CONTROL FENCE-DBDY: FF 6.0x4.0m (24,00m²) 5,850 AX GRADE 1:50 **LOT 10** FFL 5.415 08°21'00" 9.5m 242.8m² CUT GROUND FLOOR 6,000 FF FFL 5.485 **PAD RL 5.175** APPROX LOCATION OF SEWER MAIN AND PRESURE SEWER BOUNDRY KIT ENCROACHMENT WITHIN THIS 26.79m 500 AREA MAY REQUIRE ENCASEMENT NGL 5.237 CUT 0.062 20'45" 2 LPG MOUNTING BRACKET AND CONCRETE PAD FOR 98°20'45" NGL 5.090 SOLAR INVERTER-FILL 0.085 METER BOX-LOT 9 🔩 **LOT 16** EXCHANGE BOTTLES ONLY (BOTTLES BY OWNER) **VACANT** PROPOSED TREE CAPABLE OF REACHING 5m AT MATURITY TO FRONT YARD (P)(W2)(EMA) **SUBJECT TO NCC 2022** (1 OCT 2023 + 7 STAR BASIX) WATERPROOFING & PLUMBING **CONDENSATION MANAGEMENT ENERGY EFFICIENCY** PLAN ACCEPTANCE BY OWNER THREE LAYERS OF SIGNATURE: DATE: SANDBAGS WITH ENDS OVERLAPPED (EMA) EASEMENT FOR MAINTENANCE ACCESS (VARIABLE WIDTH ENTIRE LOT) SIGNATURE: DATE: SANDBAG KERB INLET (P) POSITIVE COVENANT (DP 1282811) M.G.A (W1) EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE (DP 1282811) SEDIMENTATION TRAP DP 271326 (W2) EASEMENT FOR ACCESS AND DRAINAGE PURPOSES VARIABLE WIDTH (DP 1282811) PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED © 2025 MCDONALD JONES HOMES PTY LTD (ABN 82 003 687 232). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). MCDONALD JONES HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHÉTHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF MCDONALD JONES HOMES PTY LTD. DO NOT SCALE DRAWINGS, US

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SPECIFICATION IGURED DIMENSIONS ONLY, CHEC ALW 16/06/2025 MR EDUARDO & MRS MICHELLE JUDKIEWICZ FICHMANN NOW PALENCIA TWO H-MNWPLC20DA 5 DIMS ADDED TO SITE PLAN AND VERIFY DIMENSIONS AND I EVELS PRIOR TO THE FACADE DESIGN: COPYRIGHT FACADE CODE: 6 AMENDED AS PER PCV002 DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. © 2025 ENG 09/07/2025 15 RAVEN CCT, WARRIEWOOD NSW 2102 VINCENT F-MNWPLC20VNCTA COLOURS APPLIED ALW 05/09/2025 LOT / SECTION / DP: SHEET TITLE: SHEET No.: SCALES 8 AMENDED AS PER PCV008 607463 SIO 23/10/2025 15 / - / 271326 NORTHERN BEACHES SITE PLAN 3 / 22 1:200 9 AMENDED AS PER PCV009 - HYD

SUSTAINABILITY REQUIREMENTS SITE CLASSIFICATION GENERAL BUILDING INFORMATION STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND NO REPRESENTATION IS MADE AS TO THE AS-BUILT LOCATION OF STORMWATER ASSETS (INCLUDING SURFACE INLET PITS) OR THE TYPE OF SYSTEM USED (CHARGED OR GRAVITY FED). ALL STORMWATER DESIGN IS SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS OR CHANGES AT THE DISCRETION OF THE BUILDER. THE STORMWATER SYSTEM IS NOT SUITABLE FOR ANY OTHER USE. ALL SURFACE WATER DRAINAGE MUST BE MANAGED BY OWNER INCLUDING INSTALLATION OF ADDITIONAL DISCHARGE LINES AND INLETS AS REQUIRED. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS

NOTE TO PLUMBER: ROOF WATER FROM COLLECTION AREAS

ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

TO BE DIVERTED TO WATER TANK BALANCE TO STREET KERB COLLECTION AREA = 144.78m

ALL STORMWATER OVERFLOW OTHER THAN THAT BEING DIRECTED TO WATER
TANK(S) TO BE DIRECTED TO STREET

LEGEND

WATER PUMP IN ACC. WITH LOCAL WATER AUTHORITY REQUIREMENTS TANK CAPACITY TO BE MAINTAINED AT

ALL RECY. WATER TO BE IN APPROVED COLOUR CODED PIPEWORK (PURPLE) ALL DRAINAGE LINES ARE FOR ROOF WATER / WATER TANK DRAINAGE ONLY

MINIMUM 10% CAPACITY

STANDARD DOWNPIPE CHARGED DOWNPIPE RECYCLED COLD WATER LINE

TANK COLD WATER LINE WATER LINE TO

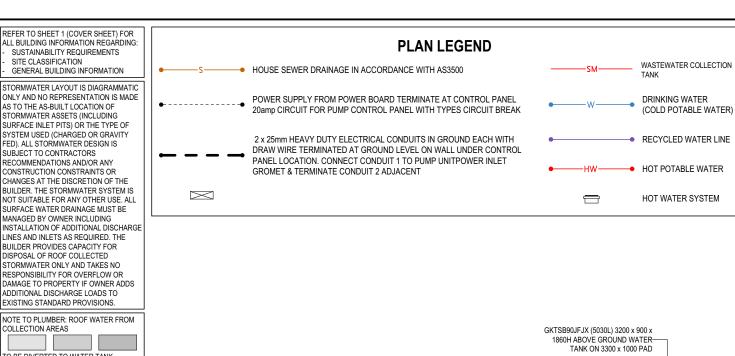
NON-CHARGED STORMWATER LINE CHARGED

STORMWATER LINE

WC

WASHING MACHINE TOILET

YARD TAP

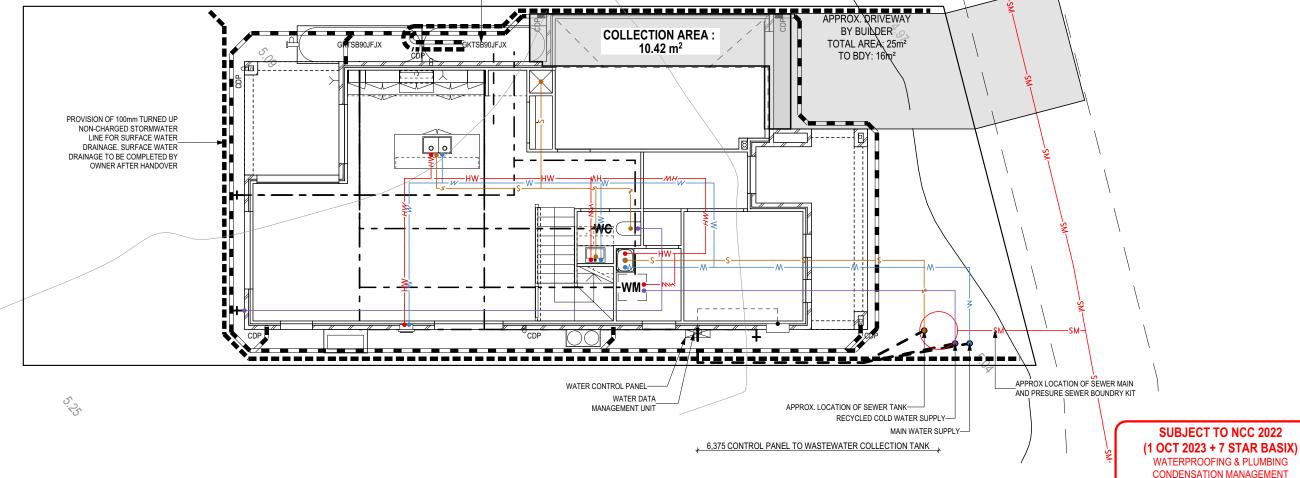


(EMA) EASEMENT FOR MAINTENANCE ACCESS (VARIABLE WIDTH ENTIRE LOT)

(W2) EASEMENT FOR ACCESS AND DRAINAGE PURPOSES VARIABLE WIDTH (DP 1282811)

(W1) EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE (DP 1282811)

(P) POSITIVE COVENANT (DP 1282811)



WATER MANAGEMENT (GROUND FLOOR)

SCALE: 1:100

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(P)(N2)(EMA)

(N1)(N2)(P)(EMA)

(P)(N2)(EMA)

ENERGY EFFICIENCY

PLAN ACCEPTANCE BY OWNER

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED

AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

DATE:

DATE:

SIGNATURE:

SIGNATURE:



			.,			ASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE					ш.
SPECIFICATION:		REVISION	D	RAWN	CLIENT:		HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, USE	1
NOW	5	DIMS ADDED TO SITE PLAN	ALW	16/06/2025	MR EDUARDO & MRS I	MICHELLE JUDKIEWICZ FICHMANN	PALENCIA TWO		H-MNWPLC20DA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND	.038
COPYRIGHT:	6	AMENDED AS PER PCV002	ALW	01/07/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:	LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL	
© 2025	7	COLOURS APPLIED	ENG	09/07/2025	15 RAVEN CCT, WARR	IEWOOD NSW 2102	VINCENT		F-MNWPLC20VNCTA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	/ersion
	8	AMENDED AS PER PCV008	ALW	05/09/2025	LOT / SECTION / DP:	COUNCIL:	SHEET TITLE:	SHEET No.	: SCALES:	007400	ate \
	9	AMENDED AS PER PCV009 - HYD.	SIO	23/10/2025	15 / - / 271326	NORTHERN BEACHES	WATER MANAGEMENT PLAN (GF)	4 / 22	1:100	607463	Templ

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING SUSTAINABILITY REQUIREMENTS SITE CLASSIFICATION GENERAL BUILDING INFORMATION

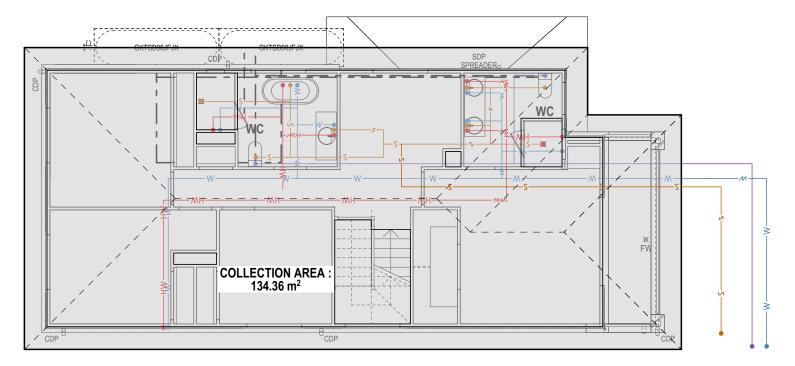
STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND NO REPRESENTATION IS MADE AS TO THE AS-BUILT LOCATION OF STORMWATER ASSETS (INCLUDING SURFACE INLET PITS) OR THE TYPE OF SYSTEM USED (CHARGED OR GRAVITY FED). ALL STORMWATER DESIGN IS SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS OR CHANGES AT THE DISCRETION OF THE BUILDER. THE STORMWATER SYSTEM IS NOT SUITABLE FOR ANY OTHER USE. ALL SURFACE WATER DRAINAGE MUST BE MANAGED BY OWNER INCLUDING INSTALLATION OF ADDITIONAL DISCHARGE LINES AND INLETS AS REQUIRED. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

NOTE TO PLUMBER: ROOF WATER FROM COLLECTION AREAS

TO BE DIVERTED TO WATER TANK. BALANCE TO STREET KERB COLLECTION AREA = 144.78m²

ALL STORMWATER OVERFLOW OTHER THAN THAT BEING DIRECTED TO WATER TANK(S) TO BE DIRECTED TO STREET KERB.

PLAN LEGEND WASTEWATER COLLECTION HOUSE SEWER DRAINAGE IN ACCORDANCE WITH AS3500 POWER SUPPLY FROM POWER BOARD TERMINATE AT CONTROL PANEL DRINKING WATER 20amp CIRCUIT FOR PUMP CONTROL PANEL WITH TYPES CIRCUIT BREAK (COLD POTABLE WATER) 2 x 25mm HEAVY DUTY ELECTRICAL CONDUITS IN GROUND EACH WITH RECYCLED WATER LINE DRAW WIRE TERMINATED AT GROUND LEVEL ON WALL UNDER CONTROL PANEL LOCATION. CONNECT CONDUIT 1 TO PUMP UNITPOWER INLET HOT POTABLE WATER **GROMET & TERMINATE CONDUIT 2 ADJACENT** > <HOT WATER SYSTEM



WATER MANAGEMENT (FIRST FLOOR) SCALE: 1:100

PALENCIA TWO

WATER MANAGEMENT PLAN (FF)

FACADE DESIGN:

VINCENT

SHEET TITLE:

LEGEND

WATER PUMP IN ACC. WITH LOCAL WATER AUTHORITY REQUIREMENTS TANK CAPACITY TO BE MAINTAINED AT

MINIMUM 10% CAPACITY ALL RECY. WATER TO BE IN APPROVED COLOUR CODED PIPEWORK (PURPLE)

ALL DRAINAGE LINES ARE FOR ROOF WATER / WATER TANK DRAINAGE ONLY STANDARD DOWNPIPE CHARGED DOWNPIPE

RECYCLED COLD WATER LINE

TANK COLD WATER LINE WATER LINE TO

NON-CHARGED STORMWATER LINE CHARGED STORMWATER LINE

WASHING MACHINE WC TOILET YARD TAP

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NORTHERN BEACHES

ALW 16/06/2025 MR EDUARDO & MRS MICHELLE JUDKIEWICZ FICHMANN

ENG 09/07/2025 15 RAVEN CCT, WARRIEWOOD NSW 2102

ALW 01/07/2025 ADDRESS:

ALW 05/09/2025 LOT / SECTION / DP:

SIO 23/10/2025 15 / - / 271326

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED HOUSE CODE DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY, CHEC H-MNWPLC20DA AND VERIFY DIMENSIONS AND I EVELS PRIOR TO THE FACADE CODE: COMMENCEMENT OF ANY WORK. AL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. F-MNWPLC20VNCTA 607463

SUBJECT TO NCC 2022

(1 OCT 2023 + 7 STAR BASIX) WATERPROOFING & PLUMBING

CONDENSATION MANAGEMENT **ENERGY EFFICIENCY**

PLAN ACCEPTANCE BY OWNER

DATE:

DATE:

SIGNATURE:

SIGNATURE:

SHEET No.: SCALES:

1:100

5/22

mcdonald jones
FIND YOURSELF AT HOME

SPECIFICATION:

5 DIMS ADDED TO SITE PLAN

6 AMENDED AS PER PCV002

8 AMENDED AS PER PCV008

9 AMENDED AS PER PCV009 - HYD.

COLOURS APPLIED

NOW

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SUSTAINABILITY REQUIREMENTS SITE CLASSIFICATION GENERAL BUILDING INFORMATION

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL EXTERIOR STEPS AND LANDINGS BY CUSTOMER UNLESS NOTED OTHERWISE

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2455 ABOVE FFL UNLESS NOTED

ALL GROUND FLOOR INTERNAL DOORS TO BE 2340 HIGH UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS, PLEASE NOTE MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

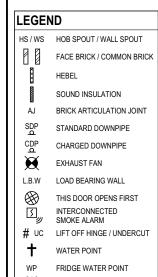
FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

PROVIDE EXPOSURE GRADE BRICKS AND MORTAR TO ALL EXTERIOR WALLS

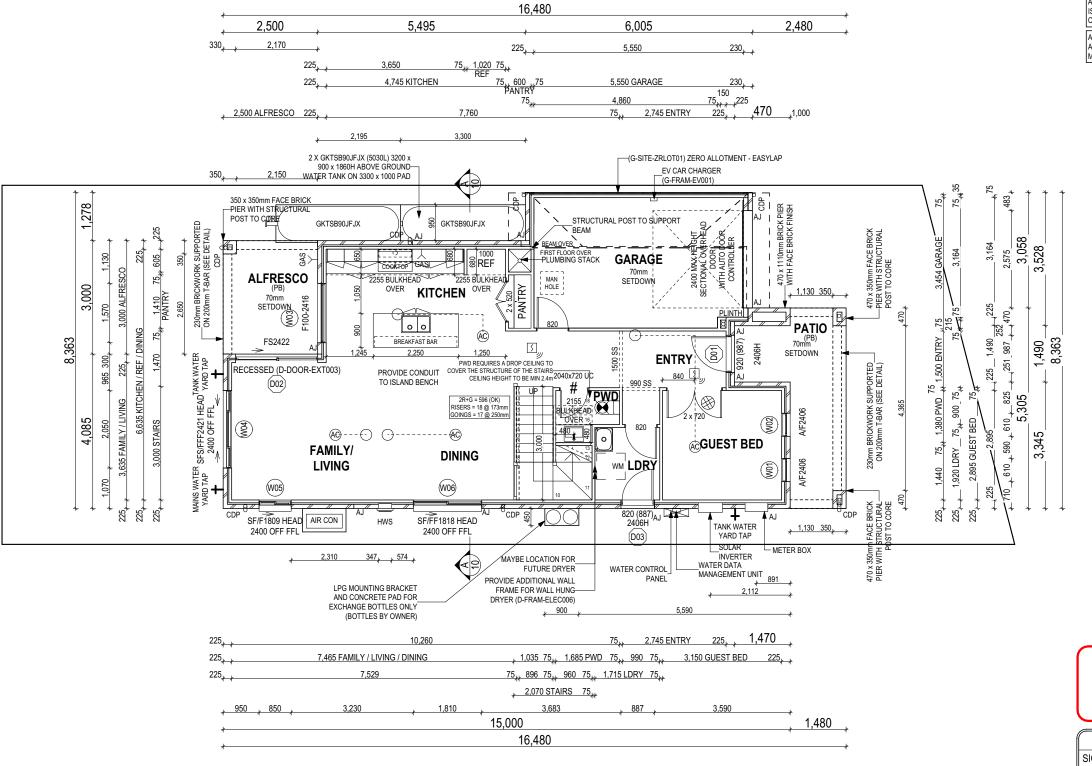
ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC 2022 REQUIREMENTS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:





GAS BAYONET



ALL DIMENSIONS ARE FRAME DIMENSIONS

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mcdonald jones FIND YOURSELF AT HOME

	THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODI	IFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A H	OUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT T	THE PRIOR WRITTEN CONSENT OF MCDONALD JONES HOMES PTY LTD.				를
SPECIFICATION:	REVISION	DRAWN CLIENT:		HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, USE	Į.
NOW	5 DIMS ADDED TO SITE PLAN	ALW 16/06/2025 MR EDUARDO & N	IRS MICHELLE JUDKIEWICZ FICHMANN	PALENCIA TWO		H-MNWPLC20DA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND	.038
COPYRIGHT:	6 AMENDED AS PER PCV002	ALW 01/07/2025 ADDRESS:		FACADE DESIGN:		FACADE CODE:	LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL	n: 24
© 2025	7 COLOURS APPLIED	ENG 09/07/2025 15 RAVEN CCT, W	'ARRIEWOOD NSW 2102	VINCENT		F-MNWPLC20VNCTA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	/ersic
	8 AMENDED AS PER PCV008	ALW 05/09/2025 LOT / SECTION / DP:	COUNCIL:	SHEET TITLE:	SHEET No.:		607462	late \
	9 AMENDED AS PER PCV009 - HYD.	SIO 23/10/2025 15 / - / 271326	NORTHERN BEACHES	GROUND FLOOR PLAN	6 / 22	1:100	607463	emb

PROVIDE AND INSTALL SINGLE PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

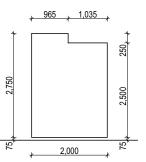
> **SUBJECT TO NCC 2022** (1 OCT 2023 + 7 STAR BASIX) WATERPROOFING & PLUMBING **CONDENSATION MANAGEMENT ENERGY EFFICIENCY**

PLAN ACCEPTAN	CE BY OWNER	e selle
SIGNATURE:	DATE:	Draffing Joh
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PLEASE NOTE THAT VARIATION AFTER THIS PLAN ACCEPTA		o Locatio

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



STAIR VOID DETAIL

ALL FIRST FLOOR INTERNAL DOORS TO BE 2040 HIGH UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

REFER TO SHEET 1 (COVER SHEET) FOR

ALL BUILDING INFORMATION REGARDING

SUSTAINABILITY REQUIREMENTS

GENERAL BUILDING INFORMATION

CUSTOMER UNLESS NOTED OTHERWISE

ALL FIRST FLOOR BULKHEAD AND SQUARE

SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER

SITE CLASSIFICATION

NCC 2022 REQUIREMENTS FIRE RESISTANT PLASTERBOARD TO BE

INSTALLED BEHIND COOKTOP ALL EXTERIOR STEPS AND LANDINGS BY

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

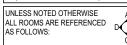
PROVIDE EXPOSURE GRADE BRICKS AND MORTAR TO ALL EXTERIOR WALLS

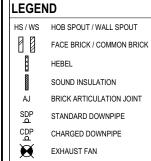
ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC 2022 REQUIREMENTS

FIRST FLOOR WINDOW OPENINGS TO BE RESTRICTED AS REQUIRED BY THE NCC

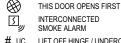
PROVIDE FLOOR WASTE AND OVERFLOW SPITTERS TO UPPER FLOOR TANKED BALCONIES WHERE APPLICABLE AS PER: G-FACA-BALC02 (PFC/BRICKWORK) G-FRAM-BALC001 (LIGHTWEIGHT CLADDING)

UNLESS NOTED OTHERWISE





LOAD BEARING WALL

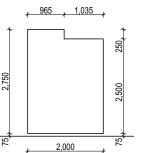


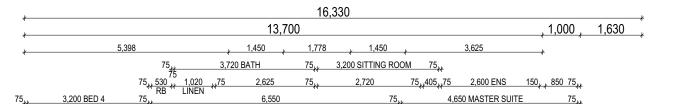
SMOKE ALARM LIFT OFF HINGE / UNDERCUT

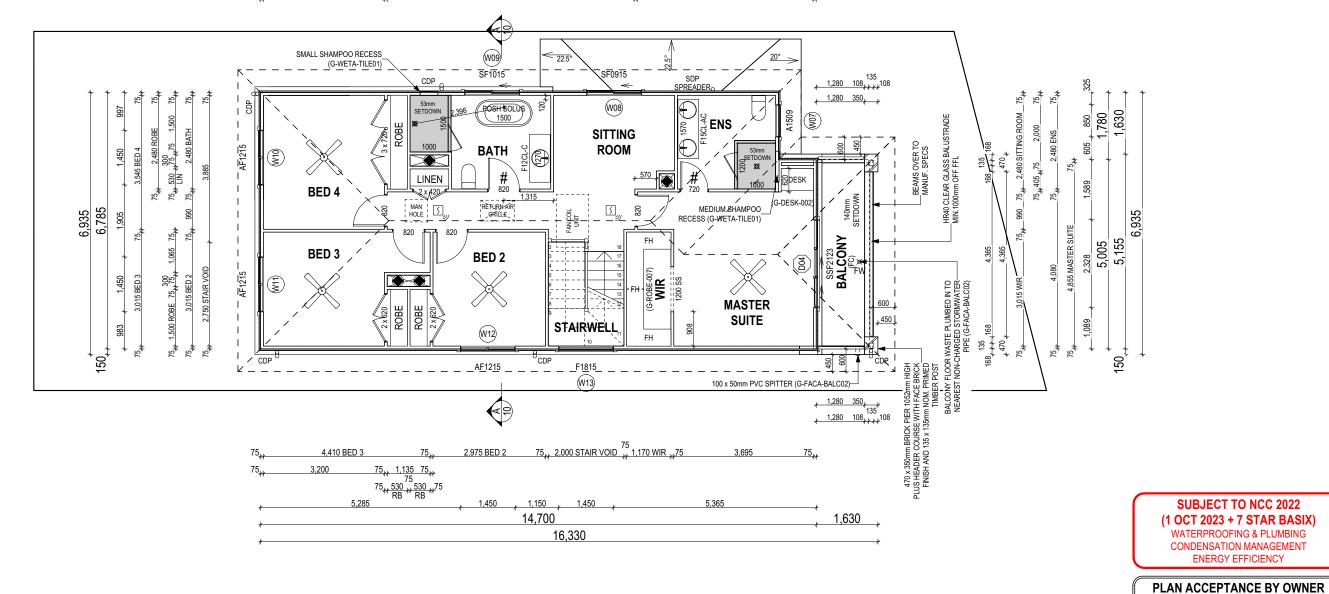
WATER POINT

WP FRIDGE WATER POINT

GAS BAYONET







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ICATION:	REVISION	DRA			HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK	1
1	5 DIMS ADDED TO SITE PLAN	ALW 16	.6/06/2025 MR EDUARDO & MRS MI	ICHELLE JUDKIEWICZ FICHMANN	PALENCIA TWO		H-MNWPLC20DA	AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE	.038
IGHT:	6 AMENDED AS PER PCV002	ALW 01	01/07/2025 ADDRESS:		FACADE DESIGN:		FACADE CODE:	COMMENCEMENT OF ANY WORK. ALL	n: 24
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	- - - - - - - - - -			COUNCIL:	SHEET TITLE:	SHEET No.:		607/62	late \
	9 AMENDED AS PER PCV009 - HYD.	SIO 2?	23/10/2025 15 / - / 271326	NORTHERN BEACHES	FIRST FLOOR PLAN	7 / 22	1:100	607463	Temp

DATE:

DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED

AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

SIGNATURE:

SIGNATURE:

ROOF PLAN SCALE: 1:100

> SUBJECT TO NCC 2022 (1 OCT 2023 + 7 STAR BASIX) WATERPROOFING & PLUMBING CONDENSATION MANAGEMENT ENERGY EFFICIENCY

PLAN ACCEPTA	NCE BY OWNER
SIGNATURE:	DATE:
SIGNATURE:	DATE:
PLEASE NOTE THAT VARIATION	ONS WILL NOT BE ACCEPTED
AFTED THIS DLAN ASSED	TANCE HAS DEEN SIGNED

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@ 2020 WO						BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE			AFTER THIS PLAN ACCEPT	TANCE HAS BEEN SIGNED
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		REVISION		5.0						FIGURED DIMENSIONS ONLY. CHE
NOW	5	DIMS ADDED TO SITE PLAN	ALW	16/06/2025	MR EDUARDO & MRS	MICHELLE JUDKIEWICZ FICHMANN	PALENCIA TWO		H-MNWPLC20DA	AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE
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	8	AMENDED AS PER PCV008	ALW	05/09/2025	LOT / SECTION / DP:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	607462
	9	AMENDED AS PER PCV009 - HYD.	SIO	23/10/2025	15 / - / 271326	NORTHERN BEACHES	ROOF PLAN	8 / 22	1:100	607463

TOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
OR			•				
GROUND FLOOR	1	1500 SS	SQUARE SET OPENING	2,455	1,500	N/A	
GROUND FLOOR	1	2 x 520	SWINGING	2,340	1,040	N/A	
GROUND FLOOR	1	2 x 720	SWINGING	2,340	1,440	N/A	
GROUND FLOOR	1	2040x720 UC	SWINGING	2,040	720	N/A	20mm UNDERCUT, LIFT-OFF HINGES
GROUND FLOOR	2	820	SWINGING	2,340	820	N/A	
GROUND FLOOR	1	990 SS	SQUARE SET OPENING	2,455	990	N/A	
FIRST FLOOR	1	1200 SS	SQUARE SET OPENING	2,455	1,200	N/A	
FIRST FLOOR	1	2 x 420	SWINGING	2,340	840	N/A	
FIRST FLOOR	2	2 x 620	SWINGING	2,340	1,240	N/A	
FIRST FLOOR	1	3 x 720	SWINGING	2,340	2,194	N/A	
FIRST FLOOR	1	720	SWINGING	2,340	720	N/A	LIFT-OFF HINGES
FIRST FLOOR	4	820	SWINGING	2,340	820	N/A	
FIRST FLOOR	1	820	SWINGING	2,340	820	N/A	LIFT-OFF HINGES

AREA FRAME

(m²) TYPE

1.44 ALUMINIUM N/A

1.44 ALUMINIUM N/A

3.71 ALUMINIUM N/A

4.84 ALUMINIUM N/A

1.53 ALUMINIUM N/A

3.26 ALUMINIUM N/A

1.24 ALUMINIUM N/A

1.24 ALUMINIUM N/A

1.49 ALUMINIUM N/A

1.74 ALUMINIUM N/A

1.74 ALUMINIUM N/A

1.74 ALUMINIUM N/A

2.61 ALUMINIUM N/A

5.21 ALUMINIUM N/A

4.89 ALUMINIUM N/A

N/A

N/A

28.02

14.60

42.62

2.37 TIMBER

2.13 TIMBER

BAL

RATING

SILL TYPE

SNAP HEADER

SNAP HEADER

SNAP HEADER

SNAP HEADER

ANGLED

ANGLED

NONE

NONE

NONE

NONE

NONE

NONE

NONE

SNAP HEADER

SNAP HEADER

SNAP HEADER

SNAP HEADER

GLAZING

23.59

8.88

32.47

AREA (m²)

GLAZING TYPE

1.08 CLEAR, DOUBLE GLAZED

1.08 CLEAR, DOUBLE GLAZED

4.16 CLEAR, DOUBLE GLAZED

1.24 CLEAR, DOUBLE GLAZED

2.79 CLEAR, DOUBLE GLAZED

1.05 CLEAR, DOUBLE GLAZED

1.38 CLEAR, DOUBLE GLAZED

1.38 CLEAR, DOUBLE GLAZED

1.38 CLEAR, DOUBLE GLAZED

3.43 CLEAR, DOUBLE GLAZED, TOUGHENED

0.96 CLEAR, DOUBLE GLAZED, TOUGHENED

1.28 SATINLITE, DOUBLE GLAZED, TOUGHENED

2.38 CLEAR, DOUBLE GLAZED, TOUGHENED

--- DOOR(S): CLEAR - SIDELIGHT(S): N/A

4.64 CLEAR, DOUBLE GLAZED, TOUGHENED

4.24 CLEAR, DOUBLE GLAZED, TOUGHENED

--- DOOR(S): CLEAR, TOUGHENED - SIDELIGHT(S): N/A

BP 760

BP 760

BP 600

MP 725

MP 725

MP 725

BP 760, MP 513-1025/0

LEAF SIZE: 2340 x 920mm

LEAF SIZE: 2340 x 820mm

BP 600, MP 905/0

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PICTURE, TV RECESS AND SS WINDOW OPENINGS QTY TYPE | HEIGHT | WIDTH | AREA (m²)

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING: SUSTAINABILITY REQUIREMENTS GENERAL BUILDING INFORMATION

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EXTERIOR WINDOW & DOOR SCHEDULE 1.2 ASSUME LOOKING FROM OUTSIDE

TYPE

AWNING

AWNING

FIXED

SLIDING

SLIDING

SLIDING

AWNING

SLIDING

SLIDING

AWNING

AWNING

AWNING

SWINGING

SWINGING

STACKER

SLIDING

FIXED

ROOM

GUEST BED

GUEST BED

FAMILY / LIVING

FAMILY / LIVING

SITTING ROOM

KITCHEN

DINING

ENS

BATH

BED 4

BED 3

BED 2

FNTRY

LDRY

FAMILY / LIVING

MASTER SUITE

STAIRWELL

HEIGHT

2.360

2.360

2,360

2,360

1,800

1,800

1,457

857

1,029

1,200

1,200

1,200

1,800

2.406

2.400

2,406

2,100

WIDTH PERIMETER

5.940

5.940

7,860

8,820

5,300

4,614

4,614

4,958

5,300

5,300

5.300

6,500

6.786

9.140

6,586

8,856

610

610

1,570

2,050

850

1,810

1,450

1,450

1,450

1,450

1,450

1,450

987

2,170

887

2,328

ID CODE1

W06 SF/FF1818

W07 A1509

W08 SF0915

W09 SF1015

W10 AF1215

W11 AF1215

W12 AF1215

W13 F1815

D02 FS2422

D04 SSF2123

D03 820

GROUND FLOOR W01 A/F2406

GROUND FLOOR W02 A/F2406

GROUND FLOOR W03 F100-2416

GROUND FLOOR W05 SF/F1809

GROUND FLOOR | W04 | SFS/FFF2421

STOREY

GROUND FLOOR

FIRST FLOOR

GROUND FLOOR

GROUND FLOOR

FIRST FLOOR

GROUND FLOOR D01 920

DOOR

WINDOW

						ASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRICE				AI TER TIIIS FEAR ACCEP	TANCE HAS BEEN SIGNED
SPECIFICATION:		REVISION		DRAWN	CLIENT:			HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, US
NOW	5	DIMS ADDED TO SITE PLAN	ALW	16/06/2025	MR EDUARDO & MRS N	MICHELLE JUDKIEWICZ FICHMANN		PALENCIA TWO		H-MNWPLC20DA	FIGURED DIMENSIONS ONLY. CH AND VERIFY DIMENSIONS AN
COPYRIGHT:	6	AMENDED AS PER PCV002			ADDRESS:			FACADE DESIGN:		FACADE CODE:	LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK
© 2025	7	COLOURS APPLIED	ENG	09/07/2025	15 RAVEN CCT, WARRI	IEWOOD NSW 2102		VINCENT		F-MNWPLC20VNCTA	DISCREPANCIES TO BE REPOR' TO THE DRAFTING OFFICE.
	8	AMENDED AS PER PCV008		1	LOT / SECTION / DP:	COUNCIL:		SHEET TITLE:	SHEET No.:	SCALES:	607462
	9	AMENDED AS PER PCV009 - HYD.	SIO	23/10/2025	15 / - / 271326	NORTHERN BEACHES		WINDOW & DOOR SCHEDULES	9 / 22		607463

WATERPROOFING & PLUMBING CONDENSATION MANAGEMENT **ENERGY EFFICIENCY** PLAN ACCEPTANCE BY OWNER SIGNATURE: DATE: DATE:

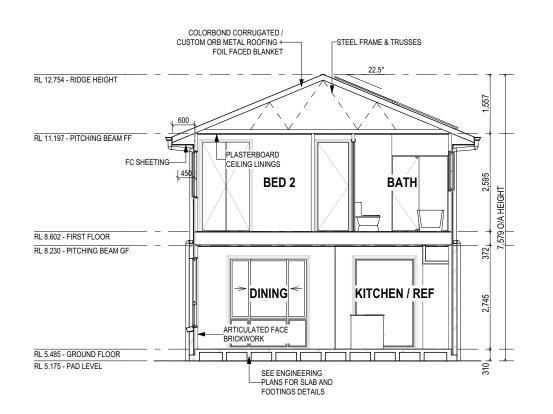
SUBJECT TO NCC 2022 (1 OCT 2023 + 7 STAR BASIX)

SIGNATURE: PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED

GS, USE LY. CHECK NS AND 'HE WORK. AL EPORTED FICE.

FIRST FLOOR WINDOW OPENINGS TO BE RESTRICTED AS REQUIRED BY NCC 2022

BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND



SECTION A-A

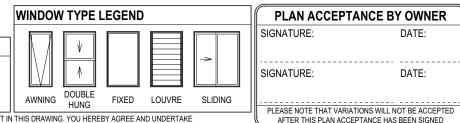
SCALE: 1:100

UPGRADE YOUR ROOF VENTILATION SYSTEM TO MINIMISE THE INGRESS OF HOT

EMBERS INTO THE ROOF SPACE

SUBJECT TO NCC 2022 (1 OCT 2023 + 7 STAR BASIX)

WATERPROOFING & PLUMBING **CONDENSATION MANAGEMENT ENERGY EFFICIENCY**



HOUSE CODE

FACADE CODE:

SCALES:

1:100

H-MNWPLC20DA

F-MNWPLC20VNCTA

CLEAR OBSCURE © 2025 MCDONALD JONES HOMES PTY LTD (ABN 82 003 687 232). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). MCDONALD JONES HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE

GLASS TYPE LEGEND



90 x 42mm DAR MOULDING TO DOOR-

230mm BRICKWORK SUPPORTED_ ON 200mm T-BAR (SEE DETAIL)

90 x 42mm DAR MOULDING TO

JAMES HARDIE SCYON AXON

133mm SMOOTH CLADDING

JAMES HARDIE ALUMINIUM

350 x 350mm FACE BRICK PIER WITH

COLORBOND CORRUGATED / CUSTOM ORB METAL ROOFING +-

JAMES HARDIE SCYON AXON 133mm SMOOTH CLADDING

HR40 CLEAR GLASS BALUSTRADE_ MIN.1000mm OFF FFL

ARTICULATED FACE BRICKWORK

470 x 350mm FACE BRICK PIER WITH

470 x 350mm BRICK PIER 1052mm HIGH PLUS HEADER COURSE WITH FACE BRICK FINISH-

AND 135 x 135mm NOM. PRIMED TIMBER POST

FOIL FACED BLANKET

RL 12.754 - RIDGE HEIGHT

RL 11.197 - PITCHING BEAM FF

RL 8.602 - FIRST FLOOR RL 8.230 - PITCHING BEAM GF

RL 5.485 - GROUND FLOOR RL 5.175 - PAD LEVEL

RL 12.754 - RIDGE HEIGHT

RL 11.197 - PITCHING BEAM FF

RL 8.602 - FIRST FLOOR

RL 8.230 - PITCHING BEAM GF

RL 5.485 - GROUND FLOOR

RL 5.175 - PAD LEVEL

-ALUMINIUM STACKER DOOR

SECTIONAL OVERHEAD DOOR WITH AUTO DOOR CONTROLLER

-2340H ENTRY DOOR

FRONT ELEVATION (EAST)

SCALE: 1:100

230mm BRICKWORK SUPPORTED

ON 200mm T-BAR (SEE DETAIL)

REAR ELEVATION (WEST) SCALE: 1:100

90 x 42mm DAR MOULDING TO

JAMES HARDIE ALUMINIUM EXTERNAL BOX CORNER

COLORBOND CORRUGATED / CUSTOM ORB METAL ROOFING +

FOIL FACED BLANKET

COLORBOND CORRUGATED /
-CUSTOM ORB METAL ROOFING +

JAMES HARDIE SCYON AXON

133mm SMOOTH CLADDING

-ARTICULATED FACE BRICKWORK

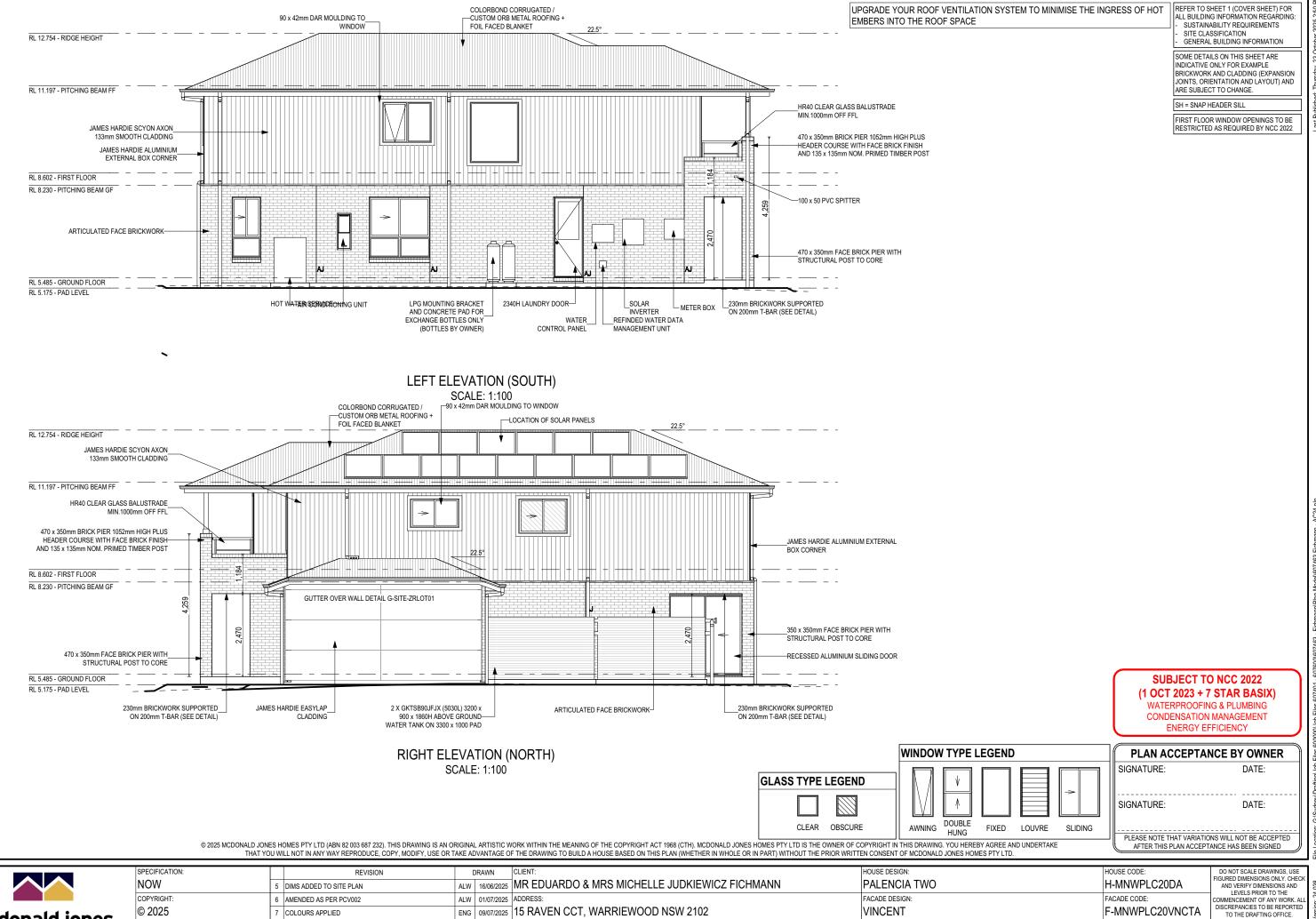
FOIL FACED BLANKET

THAT YO	U WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR T	TAKE AD	VANTAGE OF	THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITT	EN CONSENT OF MCDONALD JONES HOMES PTY LTD.		
SPECIFICATION:	REVISION	П	DRAWN	CLIENT:	HOUSE DESIGN:		
NOW		l		MR EDUARDO & MRS MICHELLE JUDKIEWICZ FICHMANN	PALENCIA TWO		
COPYRIGHT:	6 AMENDED AS PER PCV002	ALW	01/07/2025	ADDRESS:	FACADE DESIGN:		İ
© 2025	7 COLOURS APPLIED	ENG	09/07/2025	15 RAVEN CCT, WARRIEWOOD NSW 2102	VINCENT		
	8 AMENDED AS PER PCV008	ALW	05/09/2025	LOT / SECTION / DP: COUNCIL:		SHEET No.:	
	9 AMENDED AS PER PCV009 - HYD.	SIO	23/10/2025	15 / - / 271326 NORTHERN BEACHES	ELEVATIONS / SECTION	10 / 22	

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY, CHEC AND VERIFY DIMENSIONS AND COMMENCEMENT OF ANY WORK. AL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

I EVELS PRIOR TO THE

607463



NORTHERN BEACHES

ALW 05/09/2025 LOT / SECTION / DP:

SIO 23/10/2025 15 / - / 271326

8 AMENDED AS PER PCV008

9 AMENDED AS PER PCV009 - HYD.

SHEET TITLE:

ELEVATIONS

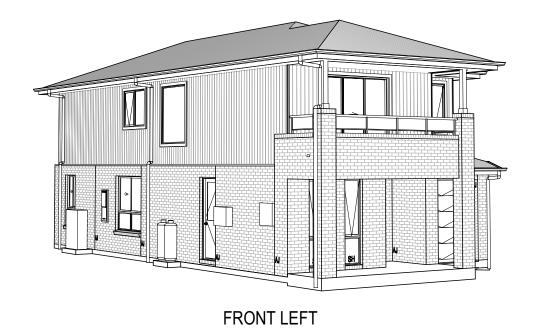
mcdonald jones

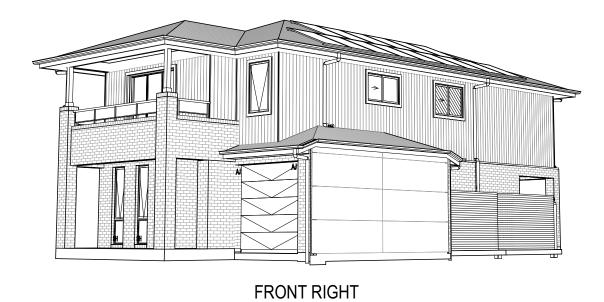
FIND YOURSELF AT HOME

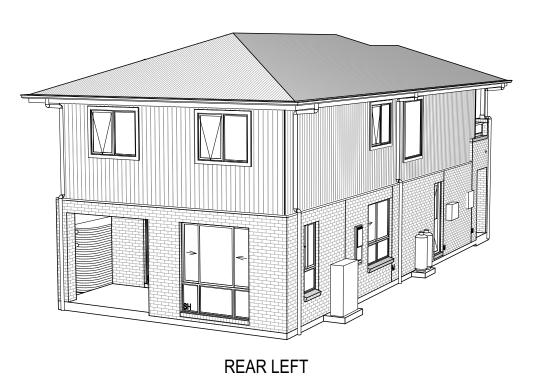
607463

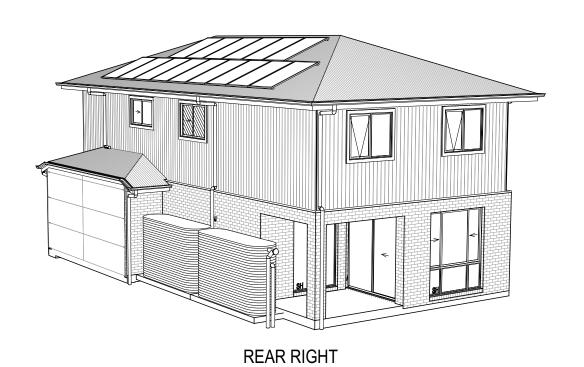
SHEET No.: SCALES:

11 / 22 | 1:100











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SPECIFICATION:	REVISION		DRAWN	CLIENT:		HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, USE	1
WOW	5 DIMS ADDED TO SITE PLAN	ALW	16/06/2025	MR EDUARDO & MRS M	ICHELLE JUDKIEWICZ FICHMANN	PALENCIA TWO		H-MNWPLC20DA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE	S
COPYRIGHT:	6 AMENDED AS PER PCV002		01/07/2025			FACADE DESIGN:		FACADE CODE:	COMMENCEMENT OF ANY WORK. ALL	
9 2025	7 COLOURS APPLIED	ENG	09/07/2025	15 RAVEN CCT, WARRIE	EWOOD NSW 2102	VINCENT		F-MNWPLC20VNCTA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	
	8 AMENDED AS PER PCV008				COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	607463	1
	9 AMENDED AS PER PCV009 - HYD.	SIO	23/10/2025	15 / - / 271326	NORTHERN BEACHES	HOUSE EXTERIOR 3D VIEWS	12 / 22		007403	١,

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

DATE:

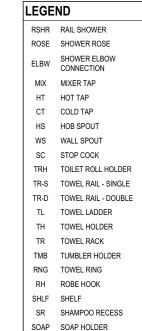
SIGNATURE:

ALL DIMENSIONS ARE FRAME DIMENSIONS

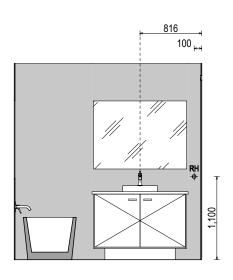


ENS	IONS T	THAT YOU V	WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, L	JSE OR TAKE ADVANTAGE OF	OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHÉTHER IN WHOLE OR IN PART) WITHOUT THE F	PRIOR WRITTEN CONSENT OF MCDONALD JONES HOMES PTY LTD.		74 TER THIOT BUT AGGETT	THIS PLENT GIGHES	e H
	PECIFICATION:		REVISION	DRAWN	CLIENT:	HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK]
1	NOM.	5	DIMS ADDED TO SITE PLAN	ALW 16/06/2025	MR EDUARDO & MRS MICHELLE JUDKIEWICZ FICHMANN	PALENCIA TWO		H-MNWPLC20DA	AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE	1.038
- 1	OPYRIGHT:	6	AMENDED AS PER PCV002	ALW 01/07/2025		FACADE DESIGN:		FACADE CODE:	COMMENCEMENT OF ANY WORK. ALL	
0	2025	7	COLOURS APPLIED	ENG 09/07/2025	15 RAVEN CCT, WARRIEWOOD NSW 2102	VINCENT		F-MNWPLC20VNCTA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	/ersic
		8	AMENDED AS PER PCV008		LOT / SECTION / DP: COUNCIL:	SHEET TITLE:	SHEET No.:		607/62	late
		9	AMENDED AS PER PCV009 - HYD.	SIO 23/10/2025	15 / - / 271326 NORTHERN BEACHES	KITCHEN DETAILS	13 / 22	1:50	607463	emp

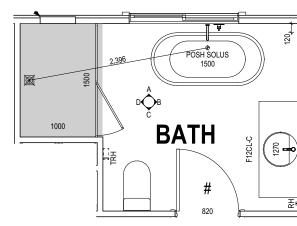
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY



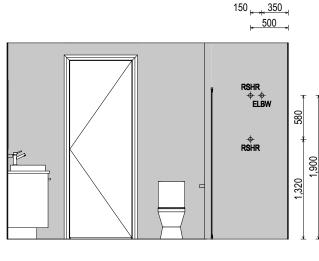




ELEVATION B SCALE: 1:50



BATHROOM PLAN SCALE: 1:50



1,240

1,090

1,200

SR

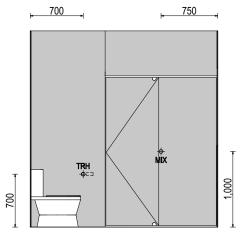
_SMALL SHAMPOO RECESS (G-WETA-TILE01)

SQUARE SET

ELEVATION A

SCALE: 1:50

ELEVATION C SCALE: 1:50



ELEVATION D SCALE: 1:50

SUBJECT TO NCC 2022 (1 OCT 2023 + 7 STAR BASIX) WATERPROOFING & PLUMBING

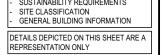
CONDENSATION MANAGEMENT ENERGY EFFICIENCY

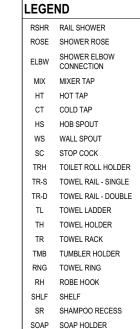
PLAN ACCEPTA	NCE BY OWNER
SIGNATURE:	DATE:
SIGNATURE:	DATE:
	IONS WILL NOT BE ACCEPTED

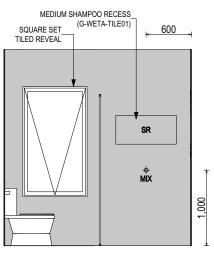
ALL DIMENSIONS ARE FRAME DIMENSIONS



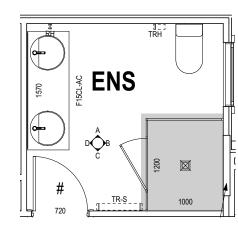
IEN	SIONS						ASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT TH				AFTER THIS PLAN ACCEPT	TANCE HAS BEEN SIGNED
		_				OUTSUT.		LIQUISE RESIGNA			LIQUIS CODE	
	SPECIFICATION:		REVISION		DRAWN	CLIENT:		HOUSE DESIGN:			HOUSE CODE:	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHEC
	NOW	5	DIMS ADDED TO SITE PLAN	А	W 16/06/2025	$_{5}$ MR EDUARDO & MRS M	MICHELLE JUDKIEWICZ FICHMANN	PALENCIA TWO			H-MNWPLC20DA	AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE
	COPYRIGHT:	6	AMENDED AS PER PCV002	A	W 01/07/2025	5 ADDRESS:		FACADE DESIGN:			FACADE CODE:	COMMENCEMENT OF ANY WORK. A
	© 2025	7	COLOURS APPLIED	E	NG 09/07/2025	5 15 RAVEN CCT, WARRI	EWOOD NSW 2102	VINCENT			F-MNWPLC20VNCTA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
		8	AMENDED AS PER PCV008	I	1	5 LOT / SECTION / DP:	COUNCIL:	SHEET TITLE:		IEET No.:	SCALES:	607462
		9	AMENDED AS PER PCV009 - HYD.	5	IO 23/10/2025	5 15 / - / 271326	NORTHERN BEACHES	BATHROOM DETAILS	14	4 / 22	1:50	607463



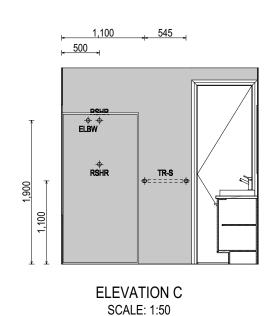




ELEVATION B SCALE: 1:50



ENSUITE PLAN SCALE: 1:50

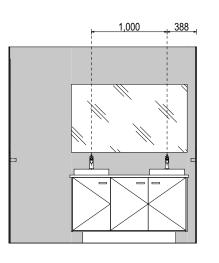


ELEVATION A

SCALE: 1:50

300

900



ELEVATION D SCALE: 1:50

SUBJECT TO NCC 2022 (1 OCT 2023 + 7 STAR BASIX) WATERPROOFING & PLUMBING

CONDENSATION MANAGEMENT **ENERGY EFFICIENCY**

PLAN ACCEPTA	ANCE BY OWNER
SIGNATURE:	DATE:
SIGNATURE:	DATE:
	TIONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCE	PTANCE HAS BEEN SIGNED

ALL DIMENSIONS ARE FRAME DIMENSION



IEN	SIONS					SED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRI			AFTER THIS PLAN ACCEP	TANCE HAS BEEN SIGNED
	SPECIFICATION:	REVISION		DRAWN	CLIENT:		HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, USE
	NOW	5 DIMS ADDED TO SITE PLAN	ALW	/ 16/06/2025	MR EDUARDO & MRS MI	ICHELLE JUDKIEWICZ FICHMANN	PALENCIA TWO		H-MNWPLC20DA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE
	COPYRIGHT:	6 AMENDED AS PER PCV002		/ 01/07/2025			FACADE DESIGN:		FACADE CODE:	COMMENCEMENT OF ANY WORK. AL
	© 2025	7 COLOURS APPLIED	ENG	09/07/2025	15 RAVEN CCT, WARRIE	EWOOD NSW 2102	VINCENT		F-MNWPLC20VNCTA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
		8 AMENDED AS PER PCV008		1		COUNCIL:	SHEET TITLE:	SHEET No.:		607463
		9 AMENDED AS PER PCV009 - HYD.	SIO	23/10/2025	15 / - / 271326	NORTHERN BEACHES	ENSUITE DETAILS	15 / 22	1:50	007403

SITE CLASSIFICATION

LEGEND

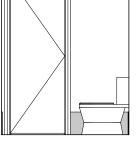
RSHR RAIL SHOWER ROSE SHOWER ROSE ELBW SHOWER ELBOW CONNECTION MIX MIXER TAP HT HOT TAP CT COLD TAP HS HOB SPOUT WS WALL SPOUT SC STOP COCK TRH TOILET ROLL HOLDER TR-S TOWEL RAIL - SINGLE TR-D TOWEL RAIL - DOUBLE TL TOWEL LADDER TH TOWEL HOLDER TR TOWEL RACK TMB TUMBLER HOLDER RNG TOWEL RING

RH ROBE HOOK

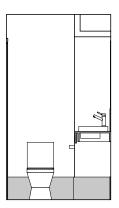
SR SHAMPOO RECESS SOAP SOAP HOLDER

SHLF SHELF



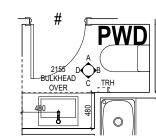


ELEVATION A SCALE: 1:50

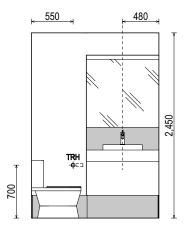


ELEVATION B SCALE: 1:50

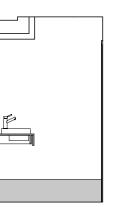




POWDER ROOM PLAN SCALE: 1:50



ELEVATION C SCALE: 1:50



ELEVATION D SCALE: 1:50

SUBJECT TO NCC 2022 (1 OCT 2023 + 7 STAR BASIX)

WATERPROOFING & PLUMBING **CONDENSATION MANAGEMENT ENERGY EFFICIENCY**

PLAN ACCEPTA	NCE BY OWNER
SIGNATURE:	DATE:
SIGNATURE:	DATE:
PI FASE NOTE THAT VARIAT	IONS WILL NOT BE ACCEPTED
	PTANCE HAS BEEN SIGNED

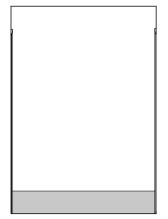
ALL DIMENSIONS ARE FRAME DIMENSIONS



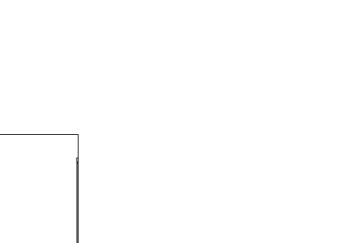
 OTOTIO ITALITO	UW	LL NOT IN AINT WAT REPRODUCE, COPT, MODIFT, USE OR I	ANE AL	VANTAGE	OF THE DRAWING TO BUILD A HOUSE BAS	SED ON THIS FLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRIT	TEN CONSI	SENT OF MICDONALD JOINES HOMES FIT LTD.			
SPECIFICATION:		REVISION		RAWN	CLIENT:		HOUSE D	DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, USE
NOW	5	DIMS ADDED TO SITE PLAN	ALW	16/06/2025	MR EDUARDO & MRS MI	IICHELLE JUDKIEWICZ FICHMANN	PALE	ENCIA TWO		H-MNWPLC20DA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE
COPYRIGHT:	6	AMENDED AS PER PCV002	ALW	01/07/2025	ADDRESS:			E DESIGN:			COMMENCEMENT OF ANY WORK. ALL
© 2025	7	COLOURS APPLIED	ENG	09/07/2025	15 RAVEN CCT, WARRIE	EWOOD NSW 2102	VINC	CENT		F-MNWPLC20VNCTA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	8	AMENDED AS PER PCV008	ALW	05/09/2025		COUNCIL:	SHEET T		SHEET No.:	SCALES:	607462
	9	AMENDED AS PER PCV009 - HYD.	SIO	23/10/2025	15 / - / 271326	NORTHERN BEACHES	POWI	/DER ROOM DETAILS	16 / 22	1:50	607463



SCALE: 1:50



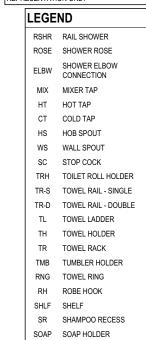
ELEVATION B

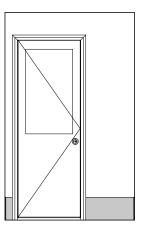


LAUNDRY PLAN SCALE: 1:50 -MAYBE LOCATION FOR FUTURE DRYER PROVIDE ADDITIONAL WALL FRAME FOR WALL HUNG DRYER (D-FRAM-ELEC006)

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING: SUSTAINABILITY REQUIREMENTS SITE CLASSIFICATION GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

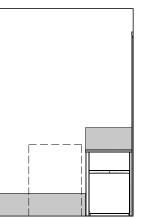




ELEVATION A

SCALE: 1:50

ELEVATION C SCALE: 1:50



ELEVATION D SCALE: 1:50

SUBJECT TO NCC 2022 (1 OCT 2023 + 7 STAR BASIX) WATERPROOFING & PLUMBING

CONDENSATION MANAGEMENT ENERGY EFFICIENCY

PLAN ACCEPTANCE BY OWNER SIGNATURE: DATE: SIGNATURE: DATE:	
SIGNATURE:	DATE:
SIGNATURE:	DATE:
PLEASE NOTE THAT VARIA	TIONS WILL NOT BE ACCEPTED

ALL DIMENSIONS ARE FRAME DIMENSION



IENSIONS						SED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT TH			AFTER THIS PLAN ACCEPT	ANCE HAS BEEN SIGNED
SPECIFIC	ATION:	REVISION		DRAWN	CLIENT:		HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, USE
NOW		5 DIMS ADDED TO SITE PLAN	ALW	16/06/2025	MR EDUARDO & MRS MI	ICHELLE JUDKIEWICZ FICHMANN	PALENCIA TWO		H-MNWPLC20DA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND
COPYRIG	HT:	6 AMENDED AS PER PCV002	ALW	01/07/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:	LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL
© 202	5	7 COLOURS APPLIED	ENG	09/07/2025	15 RAVEN CCT, WARRIE	EWOOD NSW 2102	VINCENT		F-MNWPLC20VNCTA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
		8 AMENDED AS PER PCV008			LOT / SECTION / DP:	COUNCIL:	SHEET TITLE:		: SCALES:	607463
		9 AMENDED AS PER PCV009 - HYD.	SIO	23/10/2025	15 / - / 271326	NORTHERN BEACHES	LAUNDRY DETAILS	17 / 22	1:50	007403

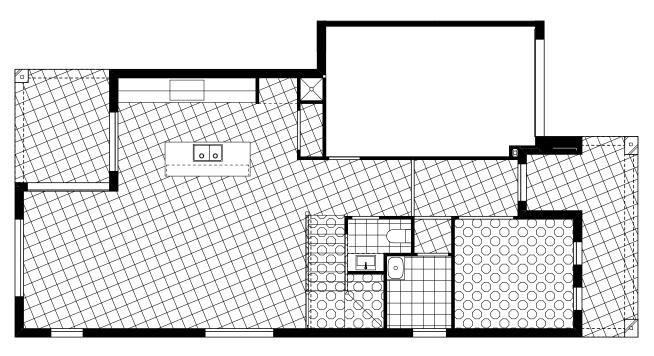
FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

NO COVERING RAW CONCRETE (COVERING BY OWNER) CARPET (BY BUILDER)

TIMBER/LAMINATE (BY OWNER)

TILE (STANDARD WET AREAS)
TILE (UPGRADED AREAS)
(BY BUILDER)
VINYL



FLOOR COVERINGS (GROUND FLOOR) SCALE: 1:100

SUBJECT TO NCC 2022 (1 OCT 2023 + 7 STAR BASIX) WATERPROOFING & PLUMBING

CONDENSATION MANAGEMENT ENERGY EFFICIENCY

PLAN ACCEPTA	NCE BY OWNER
SIGNATURE:	DATE:
SIGNATURE:	DATE:
	ONS WILL NOT BE ACCEPTED



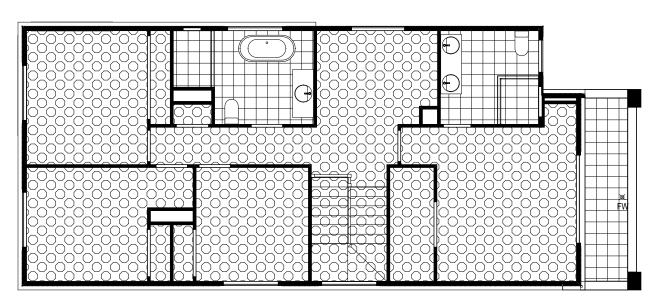
				F THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRIT			AFTER THIS PLAN ACCEPT	ANCE HAS BEEN SIGNED
				Augus				I
IFICATION:	REVISION	- 1	DRAWN	CLIENT:	HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, USE
W	5 DIMS ADDED TO SITE PLAN	ALW	16/06/2025	MR EDUARDO & MRS MICHELLE JUDKIEWICZ FICHMANN	PALENCIA TWO		H-MNWPLC20DA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE
RIGHT:	6 AMENDED AS PER PCV002	ALW	01/07/2025	ADDRESS:	FACADE DESIGN:			COMMENCEMENT OF ANY WORK. ALL
025	7 COLOURS APPLIED	ENG	09/07/2025	15 RAVEN CCT, WARRIEWOOD NSW 2102	VINCENT		F-MNWPLC20VNCTA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	8 AMENDED AS PER PCV008	ALW	05/09/2025	LOT / SECTION / DP: COUNCIL:	SHEET TITLE: SH	HEET No.:	SCALES:	607460
	9 AMENDED AS PER PCV009 - HYD.	SIO	23/10/2025	15 / - / 271326 NORTHERN BEACHES	FLOOR COVERINGS (GF)	8 / 22	1:100	607463

COVERINGS LEGEND

NO COVERING RAW CONCRETE (COVERING BY OWNER) CARPET (BY BUILDER)

TIMBER/LAMINATE (BY OWNER)

TILE (STANDARD WET AREAS)
TILE (UPGRADED AREAS)
(BY BUILDER)
VINYL



FLOOR COVERINGS (FIRST FLOOR) SCALE: 1:100

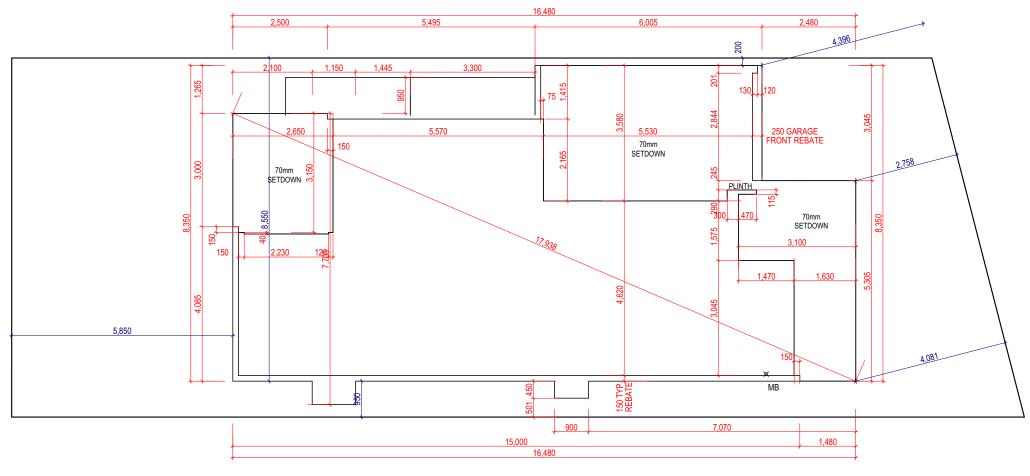
> **SUBJECT TO NCC 2022** (1 OCT 2023 + 7 STAR BASIX)

WATERPROOFING & PLUMBING CONDENSATION MANAGEMENT **ENERGY EFFICIENCY**

PLAN ACCEPTANCE BY OWNER SIGNATURE: DATE: SIGNATURE: DATE: PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED



© 2023 N						BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THI				AFTER THIS PLAN ACCEPT	ANCE HAS BEEN SIGNED
SPECIFICATION:		REVISION		DRAWN	CLIENT:		ŀ	HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, USE
NOW	5	DIMS ADDED TO SITE PLAN	ALW	16/06/2025	MR EDUARDO & MRS	MICHELLE JUDKIEWICZ FICHMANN	F	PALENCIA TWO		H-MNWPLC20DA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND
COPYRIGHT:	6	AMENDED AS PER PCV002	I	01/07/2025				FACADE DESIGN:		FACADE CODE:	LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL
© 2025	7	COLOURS APPLIED	ENG	09/07/2025	15 RAVEN CCT, WARF	RIEWOOD NSW 2102	\	VINCENT		F-MNWPLC20VNCTA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	8	AMENDED AS PER PCV008			LOT / SECTION / DP:	COUNCIL:	-	SHEET TITLE:	SHEET No.:		607462
	9	AMENDED AS PER PCV009 - HYD.	SIO	23/10/2025	15 / - / 271326	NORTHERN BEACHES	F	FLOOR COVERINGS (FF)	19 / 22	1:100	607463



SLAB PLAN SCALE: 1:100

> WATERPROOFING & PLUMBING CONDENSATION MANAGEMENT ENERGY EFFICIENCY

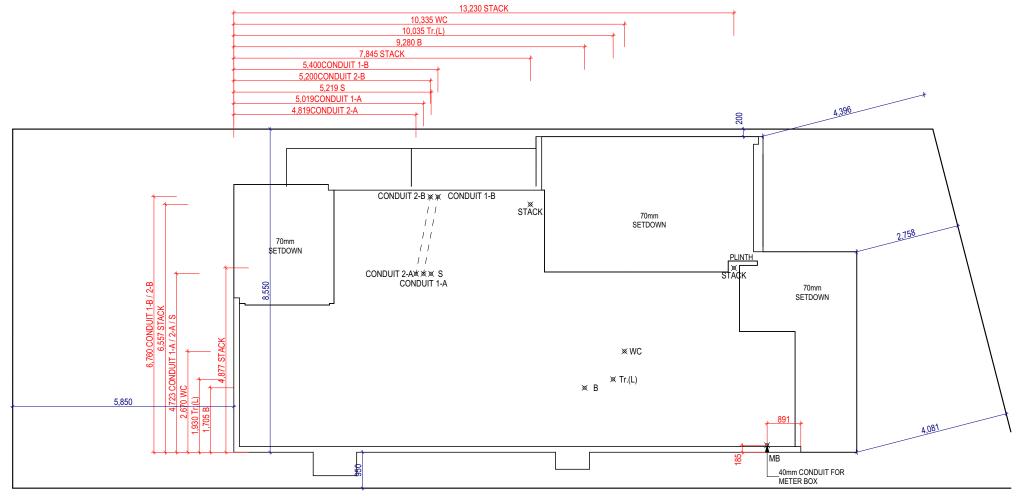
SUBJECT TO NCC 2022 (1 OCT 2023 + 7 STAR BASIX)



SPECIFICATION:	REVISION	DRAWN	CLIENT:		HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, USE
NOW	5 DIMS ADDED TO SITE PLAN	ALW 16/06/2025	MR EDUARDO & MR	S MICHELLE JUDKIEWICZ FICHMANN	PALENCIA TWO		H-MNWPLC20DA	FIGURED DIMENSIONS ONLY. CHEC AND VERIFY DIMENSIONS AND
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© 2025	7 COLOURS APPLIED	ENG 09/07/2025	15 RAVEN CCT, WAF	RRIEWOOD NSW 2102	VINCENT		F-MNWPLC20VNCTA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	8 AMENDED AS PER PCV008	ALW 05/09/2025	LOT / SECTION / DP:	COUNCIL:	SHEET TITLE:	SHEET No.	SCALES:	607469
	9 AMENDED AS PER PCV009 - HYD.	SIO 23/10/2025	15 / - / 271326	NORTHERN BEACHES	SLAB PLAN	20 / 22	1:100	607463

SUBJECT TO NCC 2022

(1 OCT 2023 + 7 STAR BASIX)



DRAINAGE PLAN SCALE: 1:100

LEGEND

BASIN

Bth BATH WASTE

FLOOR WASTE GULLY

Shr SHOWER

S

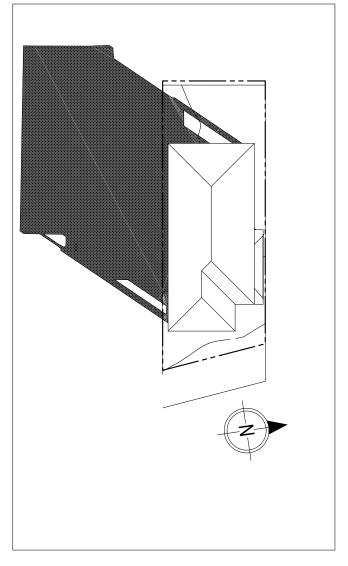
SINK (KITCHEN)

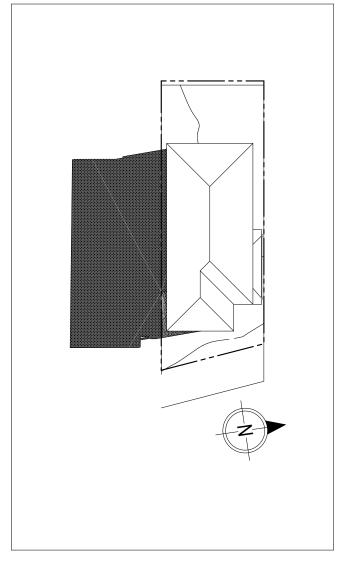
TROUGH (LAUNDRY) Tr.(L)

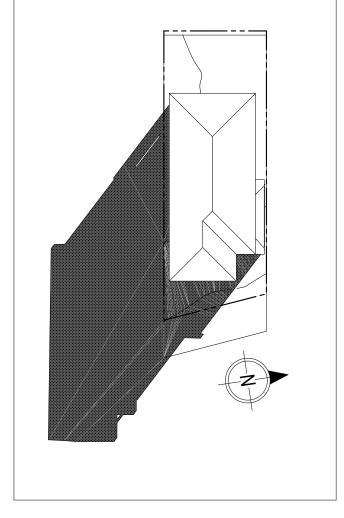
WC WATER CLOSET



				ORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). MCDONALD JONES HOMES PTY LTD IS THE OWNEF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR V			WATERPROOFIN CONDENSATION ENERGY EF	IG & PLUMBING ' MANAGEMENT	File Location: G:\Svdn
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WOV	5 DIMS ADDED TO SITE PLAN	ALW	16/06/2025	MR EDUARDO & MRS MICHELLE JUDKIEWICZ FICHMANN	PALENCIA TWO		H-MNWPLC20DA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND	038
OPYRIGHT:	6 AMENDED AS PER PCV002	ALW	01/07/2025	ADDRESS:	FACADE DESIGN:		FACADE CODE:	LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL	n: 24
9 2025	7 COLOURS APPLIED	ENG	09/07/2025	15 RAVEN CCT, WARRIEWOOD NSW 2102	VINCENT		F-MNWPLC20VNCTA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	/ersio
	8 AMENDED AS PER PCV008			LOT / SECTION / DP: COUNCIL:		SHEET No.:	SCALES:	607462	ate \
	9 AMENDED AS PER PCV009 - HYD.	SIO	23/10/2025	15 / - / 271326 NORTHERN BEACHES	DRAINAGE PLAN	21 / 22	1:100	607463	Temp







JUNE 21 - 0900 JUNE 21 - 1200 JUNE 21 - 1500



		L NOT IN ANY WAY REPRODUCE, COPY, MODIF				ISE BASED ON THIS PLAN (WHÉTHER IN WHOLE OR IN PART) WITHOU				
SPECIFICATION: NOW	5 [REVISION DIMS ADDED TO SITE PLAN	A	DRAWN LW 16/06/202	CLIENT: 5 MR EDUARDO & MR	RS MICHELLE JUDKIEWICZ FICHMANN	HOUSE DESIGN: PALENCIA TWO		HOUSE CODE: H-MNWPLC20DA	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND
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© 2025	7 (COLOURS APPLIED	E	NG 09/07/202	5 15 RAVEN CCT, WA	RRIEWOOD NSW 2102	VINCENT		F-MNWPLC20VNCTA	TO THE DRAFTING OFFICE.
	8 /	AMENDED AS PER PCV008	А	LW 05/09/202	5 LOT / SECTION / DP:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	007400
	9 /	AMENDED AS PER PCV009 - HYD.	5	SIO 23/10/202	15 / - / 271326	NORTHERN BEACHES	SHADOW DIAGRAMS - JUNE 21	22 / 22	1:350	607463