

DA
NORTHERN BEACHES

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TOTAL FLOOR AREAS

MAIN DWELLING, GROUND FLOOR

ALFRESCO	7.49
GARAGE	20.95
LIVING	76.40
PATIO	10.51
STAIRS	4.60
	119.95 m²

MAIN DWELLING, FIRST FLOOR

BALCONY	8.12
LIVING	92.72
STAIR VOID	5.24
	106.08 m²
	226.03 m²

AS & NCC COMPLIANCE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.
- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
 - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
 - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
 - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
 - TERMITE MANAGEMENT IN ACCORDANCE WITH AS 3660 AND NCC 2022.
 - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
 - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
 - INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
 - EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
 - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
 - CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.8.
 - BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
 - SERVICES IN ACCORDANCE WITH NCC 2022.
 - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
 - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
 - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	CLASSIFICATION 3
BIODIVERSITY	NO
BUILDING ENVELOPE	NO
BUSHFIRE	NO
CLASSIFIED ROAD	NO
DESIGN WIND CLASSIFICATION	N2 (EXPOSED)
ESTATE/DEVELOPER GUIDELINES	NO
HERITAGE	NO
LANDSLIP HAZARD	NO
MINE SUBSIDENCE	NO
MINIMUM FLOOR LEVEL	4.100m AHD
NOISE ATTENUATION	NO
SALINE SOIL	NO
SITE CLASSIFICATION	TBC
SNOW LOAD	NO
WITHIN 1km CALM SALT WATER	846m
WITHIN 50km BREAKING SURF	0.85km
ZONING	R3 - MEDIUM DENSITY RESIDENTIAL

BUILDING CONTROLS & COMPLIANCE

CONTROL	REQUIRED	PROPOSED
SETBACKS		
FRONT	MIN. 3,000mm	4,413mm
ARTICULATION ZONE	MIN. 1,500mm	2,758mm
GARAGE TO BOUNDARY	MIN. 4,000mm	4,396mm
GARAGE TO BUILDING LINE	MIN. 1,000mm	1,000mm
SIDE A - GROUND FLOOR	MIN. 0mm	216mm
SIDE A - FIRST FLOOR	MIN. 1,500mm	1,615mm
SIDE B - GROUND FLOOR	MIN. 900mm	950mm
SIDE B - FIRST FLOOR	MIN. 900mm	1,100mm
REAR - GROUND FLOOR	MIN. 4,000mm	5,850mm
REAR - FIRST FLOOR	MIN. 6,000mm	6,000mm
BULK & SCALE		
SITE AREA	242.8m²	
SITE COVERAGE	N/A	41.99%
BUILDING HEIGHT	MAX. 8,500mm	7,554mm
LANDSCAPE		
LANDSCAPED AREA	MIN. 84.98m²	93.74m²
EARTHWORKS		
CUT DEPTH	MAX. 1,000mm	73mm
FILL DEPTH	MAX. 1,000mm	171mm
ACCESS & AMENITY		
PARKING SPACES	MIN. 1 SPACE	1 SPACE

BUILDING INFORMATION

GROUND FLOOR PITCHING HEIGHT(S)	2450mm, 2745mm
FIRST FLOOR PITCHING HEIGHT(S)	2595mm
FRAMES AND TRUSSES	STEEL
ROOF PITCH (U.N.O.)	22.5° / 20°
ELECTRICITY SUPPLY	REFER TO SCOPE OF WORKS
GAS SUPPLY	BOTTLED LPG
ROOF MATERIAL	SHEET METAL
ROOF COLOUR	MEDIUM
WALL MATERIAL	BRICK VENEER CLADDING
WALL COLOUR	N/A
SLAB CLASSIFICATION	TBC

INSULATION

ROOF	MIN. 80mm FOIL FACED BLANKET UNDER ROOFING
CEILING	R7.0 BATTS (INCL. GARAGE)
EXT. WALLS	R2.2 BATTS (INCL. GARAGE EXCLUDING THE FACADE WALL), WALL WRAP TO CLADDING
INT. WALLS	R2.2 BATTS (THROUGHOUT ALL INTERNAL WALLS)
FLOOR	R4.1 INSULATION BETWEEN FIRST FLOOR JOISTS

NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

SUSTAINABILITY

PRELIMINARY SUSTAINABILITY COMPLIANCE FOR YOUR HOME REQUIRES FURTHER ASSESSMENT TO DETERMINE COMPLIANCE CRITERIA. THIS ASSESSMENT WILL BE FINALISED UPON APPROVAL OF YOUR EXTERNAL COLOUR SELECTIONS TO DETERMINE IF VARIATIONS ARE REQUIRED TO THE PROPOSED DWELLING E.G. ADDITIONAL INSULATION, CHANGES IN WINDOW GLAZING / SIZE / ORIENTATION ETC. YOU WILL BE ADVISED OF ANY REQUIREMENTS OR ALTERNATIVES ONCE THE ASSESSMENT HAS BEEN COMPLETED.

BASIX AREAS

CONDITIONED AREA	142.60 m²
UNCONDITIONED AREA	13.34 m²

WATER RATINGS

SHOWER HEADS	3 STAR (> 7.5 BUT <= 9 L/MIN)
TOILET SUITES	4 STAR
KITCHEN TAPS	4 STAR
BATHROOM TAPS	5 STAR

WATER HARVESTING AND USAGE

TOTAL ROOF AREA	144.78 m²
MIN. WATER TANK CAPACITY	10060 L
MIN. ROOF AREA DIRECTED TO TANK(S)	144.78 m²
WATER TANK(S) CONNECTED TO	AT LEAST ONE OUTDOOR TAP ALL TOILETS WASHING MACHINE
GARDEN/LAWN AREA	100 m²

RECYCLED WATER

RETICULATED RECYCLED WATER	N/A
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ENERGY COMMITMENTS

HOT WATER SYSTEM	GAS CONTINUOUS FLOW 6 STAR
HEATING SYSTEM	1-PHASE REVERSE CYCLE AIR CONDITIONING COP 3.5 - 4.0
COOLING SYSTEM	1-PHASE REVERSE CYCLE AIR CONDITIONING EER 3.0 - 3.5
CEILING FANS	4 - REFER TO FLOOR PLAN FOR LOCATIONS

VENTILATION (EXHAUST FANS)

AT LEAST ONE BATHROOM:
DUCTED TO OUTSIDE AIR, INTERLOCKED TO LIGHT/10 MIN. RUN-ON TIMER
KITCHEN RANGEHOOD:
DUCTED TO OUTSIDE AIR, MANUAL SWITCH ON/OFF
NO MECHANICAL VENTILATION TO LAUNDRY

PRIMARY FLUORESCENT/LED LIGHTING (INCL. COVER)

N/A

NATURAL LIGHTING

NATURAL LIGHTING TO	KITCHEN 2 x BATHROOM(S)/TOILET(S)
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ALTERNATIVE ENERGY

PHOTOVOLTAIC SYSTEM	MIN. 6.60KW PEAK
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OTHER

GAS COOKTOP, ELECTRIC OVEN
FIXED OUTDOOR CLOTHESLINE BY OWNER
NO FIXED INDOOR CLOTHESLINE

LOCATION MAP



88B INSTRUMENT CHECKED
AND ACKNOWLEDGED
CLAUSE 2 APPLIED

EXPOSURE GRADE REQUIREMENTS

DUE TO PROXIMITY TO SALT WATER, TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA THE FOLLOWING SHALL BE PROVIDED:

- 32MPA CONCRETE TO THE CONCRETE SLAB IN LIEU OF STANDARD
- PROVIDE EXPOSURE GRADE MORTAR IN LIEU OF STANDARD.
- PROVIDE NON CORROSIVE BRICK TIES IN LIEU OF STANDARD
- PROVIDE SPARK ARRESTORS TO EXTERNAL BRICKWORK
- PROVIDE R4 RATING TO STRUCTURAL STEEL
- (STANDARD) COLORBOND STEEL ROOF WITH A 25 YEAR MANUFACTURERS WARRANTY
- (STANDARD) COLORBOND STEEL FASCIA AND GUTTER WITH 12 YEAR MANUFACTURERS WARRANTY
- UPGRADE YOUR ROOF VENTILATION SYSTEM TO MINIMISE THE INGRESS OF SALT LADEN AIR INTO THE ROOF SPACE AS REQUIRED

**SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

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PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

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	7 COLOURS APPLIED	ENG 09/07/2025	LOT / SECTION / DP: 15 / - / 271326	SHEET TITLE: COVER SHEET	SCALES: 1:100	
	8 AMENDED AS PER PCV008	ALW 05/09/2025	COUNCIL: NORTHERN BEACHES	SHEET No.: 1 / 22		
	9 AMENDED AS PER PCV009 - HYD.	SIO 23/10/2025				607463



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					SITE ANALYSIS	1:200	



REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND NO REPRESENTATION IS MADE AS TO THE AS-BUILT LOCATION OF STORMWATER ASSETS (INCLUDING SURFACE INLET PITS) OR THE TYPE OF SYSTEM USED (CHARGED OR GRAVITY FED). ALL STORMWATER DESIGN IS SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS OR CHANGES AT THE DISCRETION OF THE BUILDER. THE STORMWATER SYSTEM IS NOT SUITABLE FOR ANY OTHER USE. ALL SURFACE WATER DRAINAGE MUST BE MANAGED BY OWNER INCLUDING INSTALLATION OF ADDITIONAL DISCHARGE LINES AND INLETS AS REQUIRED. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

RETAINING WALLS BY OWNER UNLESS NOTED OTHERWISE IN THE SCOPE OF WORK AND/OR COLOUR SELECTIONS DOCUMENTATION.

PROPOSED TREES BY OWNER AFTER HANDOVER UNLESS NOTED OTHERWISE IN THE TENDER DOCUMENTATION.

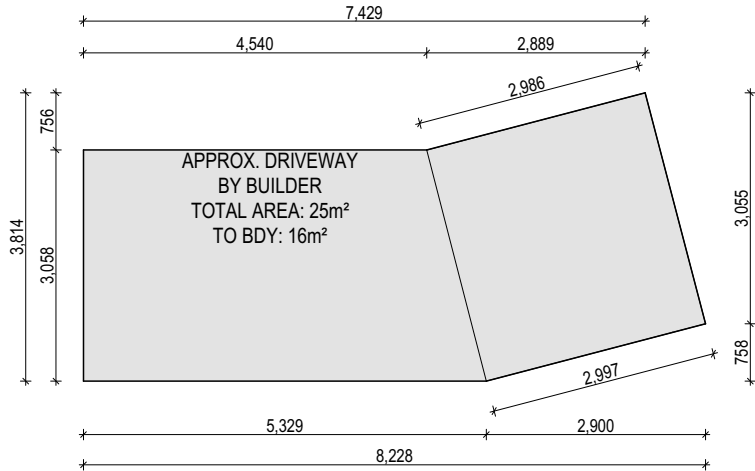
APPROX. CUT/FILL		
CUT	2.90m³	6.53t
FILL	2.62m³	5.90t
DIFFERENCE	0.28m³	0.63t
EVEN CUT & FILL		

+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS.
SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

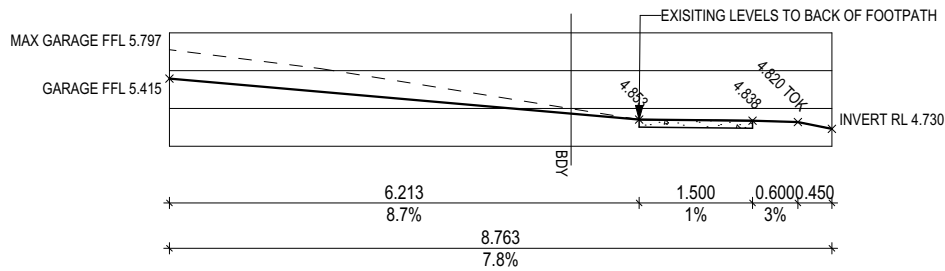
CLIENT TO REMOVE RUBBISH & DEBRIS, TREES, STUMPS INCLUDING ROOTS, MULCH & UNDERGROWTH AND SLASH/SCRAPE LONG GRASS FROM THE AREA . WHERE STUMPS HAVE BEEN REMOVED THE GROUND IS TO BE FILLED AND COMPACTED.

IMPORTANT NOTE
ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.7.1.7(C) OF THE BCA

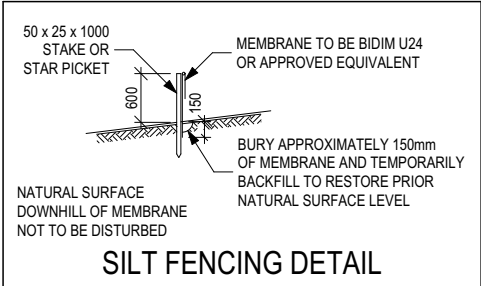
MINIMUM FINISHED FLOOR LEVEL 4.100m AHD



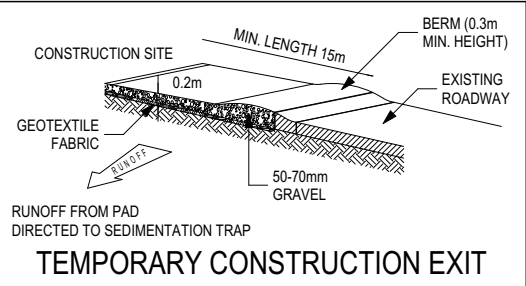
DRIVEWAY PLAN



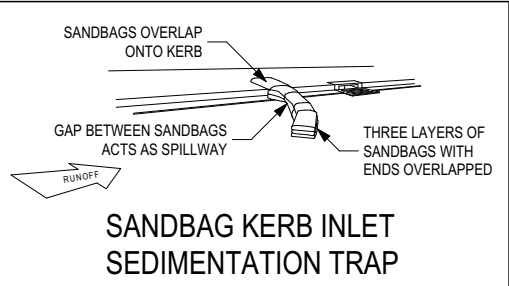
AS2890.1 DRIVEWAY PROFILE WITH NORTHERN BEACHES COUNCIL BEFORE BOUNDARY



SILT FENCING DETAIL



TEMPORARY CONSTRUCTION EXIT

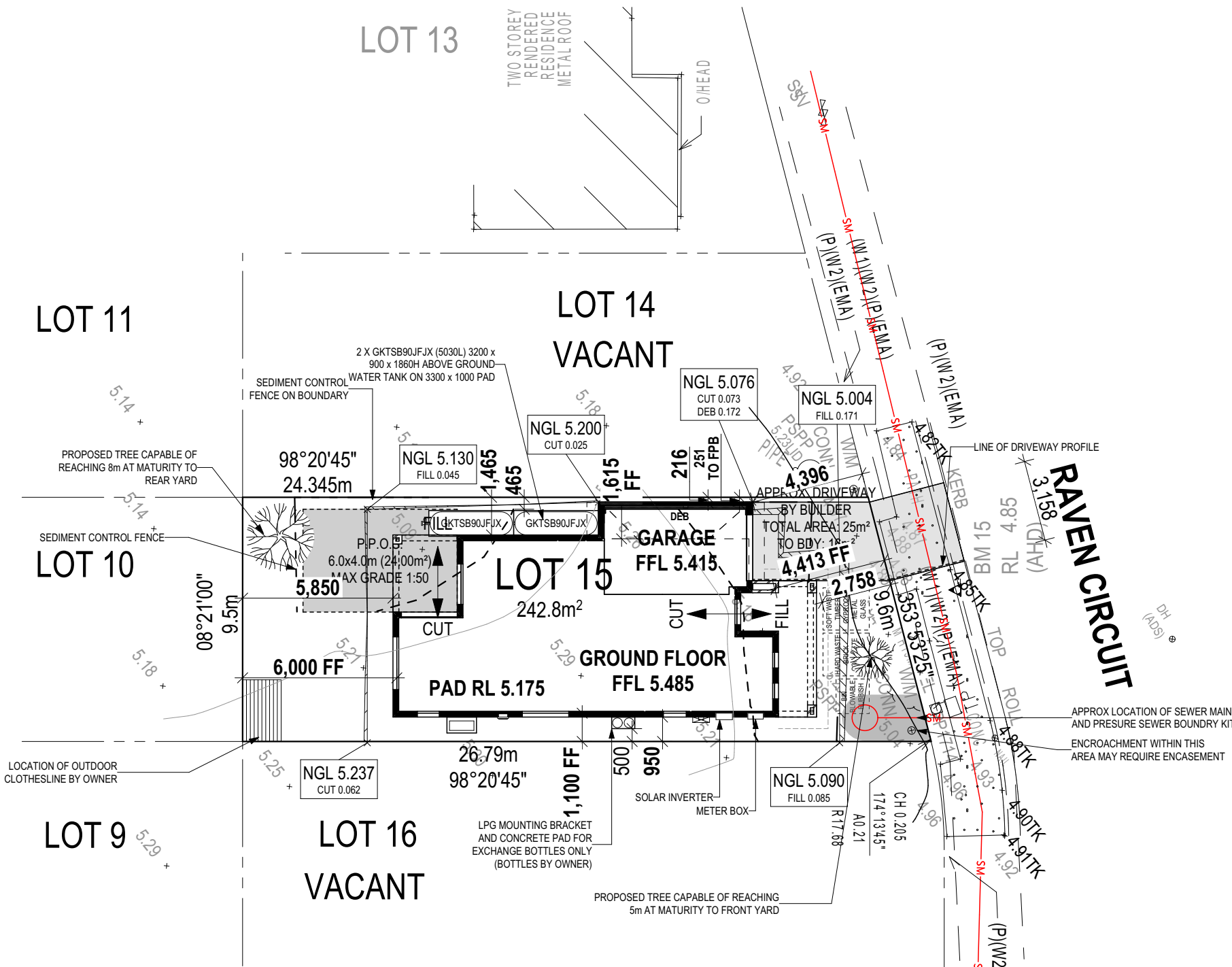


SANDBAG KERB INLET SEDIMENTATION TRAP

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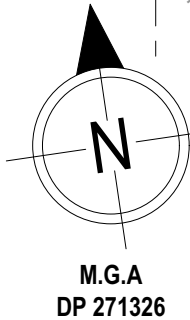
SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY

PLAN ACCEPTANCE BY OWNER

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STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND NO REPRESENTATION IS MADE AS TO THE AS-BUILT LOCATION OF STORMWATER ASSETS (INCLUDING SURFACE INLET PITS) OR THE TYPE OF SYSTEM USED (CHARGED OR GRAVITY FED). ALL STORMWATER DESIGN IS SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS OR CHANGES AT THE DISCRETION OF THE BUILDER. THE STORMWATER SYSTEM IS NOT SUITABLE FOR ANY OTHER USE. ALL SURFACE WATER DRAINAGE MUST BE MANAGED BY OWNER INCLUDING INSTALLATION OF ADDITIONAL DISCHARGE LINES AND INLETS AS REQUIRED. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

TO BE DIVERTED TO WATER TANK.
BALANCE TO STREET KERB.
COLLECTION AREA = 144.78m²





ALL STORMWATER OVERFLOW OTHER THAN THAT BEING DIRECTED TO WATER TANK(S) TO BE DIRECTED TO STREET KERB


WATER PUMP IN ACC. WITH LOCAL WATER
AUTHORITY REQUIREMENTS

TANK CAPACITY TO BE MAINTAINED AT
MINIMUM 10% CAPACITY










ALL RECY. WATER TO BE IN APPROVED
COLOUR CODED PIPEWORK (PURPLE)

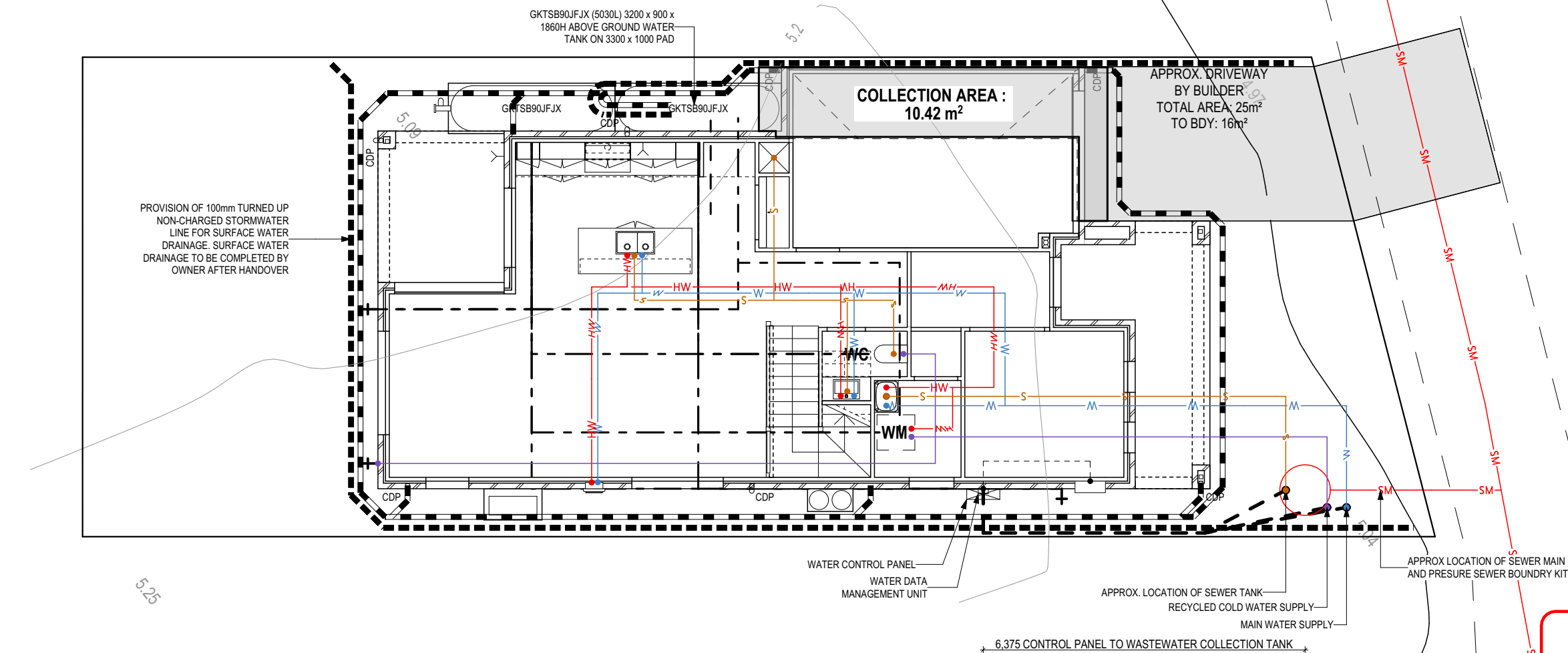
ALL DRAINAGE LINES ARE FOR ROOF
WATER / WATER TANK DRAINAGE ONLY

SDP	STANDARD DOWNPIPE
CDP	CHARGED DOWNPIPE
	RECYCLED COLD WATER LINE
	TANK COLD WATER LINE
	WATER LINE TO MAIN SUPPLY
	NON-CHARGED STORMWATER LINE

	CHARGED STORMWATER LINE
WM	WASHING MACHINE
WC	TOILET
+	YARD TAP

PLAN LEGEND

	HOUSE SEWER DRAINAGE IN ACCORDANCE WITH AS3500		WASTEWATER COLLECTION TANK
	POWER SUPPLY FROM POWER BOARD TERMINATE AT CONTROL PANEL 20amp CIRCUIT FOR PUMP CONTROL PANEL WITH TYPES CIRCUIT BREAK		DRINKING WATER (COLD POTABLE WATER)
	2 x 25mm HEAVY DUTY ELECTRICAL CONDUITS IN GROUND EACH WITH DRAW WIRE TERMINATED AT GROUND LEVEL ON WALL UNDER CONTROL PANEL LOCATION. CONNECT CONDUIT 1 TO PUMP UNITPOWER INLET GROMET & TERMINATE CONDUIT 2 ADJACENT		RECYCLED WATER LINE
			HOT POTABLE WATER
			HOT WATER SYSTEM



SCALE: 1:100

(EMA) EASEMENT FOR MAINTENANCE ACCESS (VARIABLE WIDTH ENTIRE LOT)
(P) POSITIVE COVENANT (DP 1282811)
(W1) EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE (DP 1282811)
(W2) EASEMENT FOR ACCESS AND DRAINAGE PURPOSES VARIABLE WIDTH (DP 1282811)

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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NOTE TO PLUMBER: ROOF WATER FROM COLLECTION AREAS

TO BE DIVERTED TO WATER TANK. BALANCE TO STREET KERB. COLLECTION AREA = 144.78m²

ALL STORMWATER OVERFLOW OTHER THAN THAT BEING DIRECTED TO WATER TANK(S) TO BE DIRECTED TO STREET KERB.

LEGEND

WATER PUMP IN ACC. WITH LOCAL WATER AUTHORITY REQUIREMENTS

TANK CAPACITY TO BE MAINTAINED AT MINIMUM 10% CAPACITY

ALL RECY. WATER TO BE IN APPROVED COLOUR CODED PIPEWORK (PURPLE)

ALL DRAINAGE LINES ARE FOR ROOF WATER / WATER TANK DRAINAGE ONLY

- SDP

CDP

WM

WC

+
- STANDARD DOWNPIPE

CHARGED DOWNPIPE

RECYCLED COLD WATER LINE

TANK COLD WATER LINE

WATER LINE TO MAIN SUPPLY

NON-CHARGED STORMWATER LINE

CHARGED STORMWATER LINE

WASHING MACHINE

TOILET

YARD TAP

PLAN LEGEND

- S

HOUSE SEWER DRAINAGE IN ACCORDANCE WITH AS3500
- SM

WASTEWATER COLLECTION TANK
- W

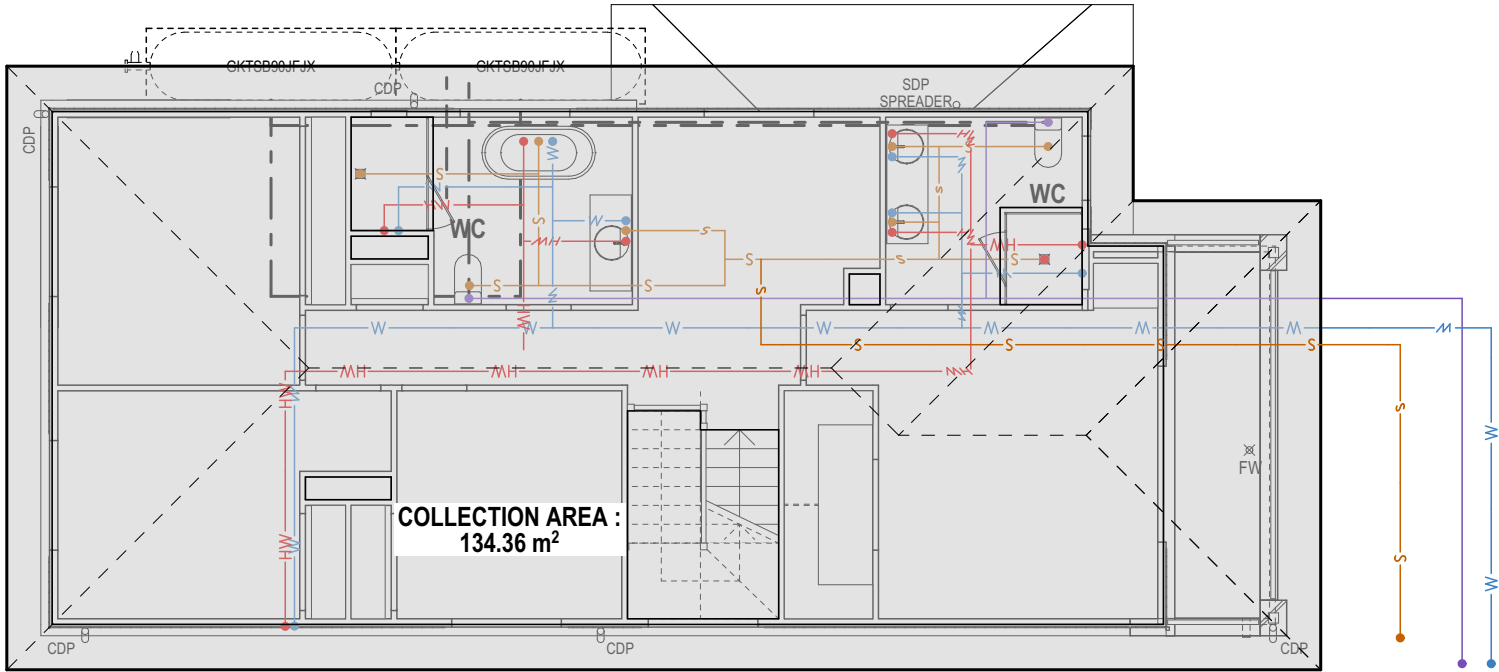
DRINKING WATER (COLD POTABLE WATER)
- W

20amp CIRCUIT FOR PUMP CONTROL PANEL WITH TYPES CIRCUIT BREAK
- W

2 x 25mm HEAVY DUTY ELECTRICAL CONDUITS IN GROUND EACH WITH DRAW WIRE TERMINATED AT GROUND LEVEL ON WALL UNDER CONTROL PANEL LOCATION. CONNECT CONDUIT 1 TO PUMP UNITPOWER INLET GROMET & TERMINATE CONDUIT 2 ADJACENT
- W

RECYCLED WATER LINE
- HW

HOT POTABLE WATER
- HOT WATER SYSTEM



WATER MANAGEMENT (FIRST FLOOR)
SCALE: 1:100

**SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

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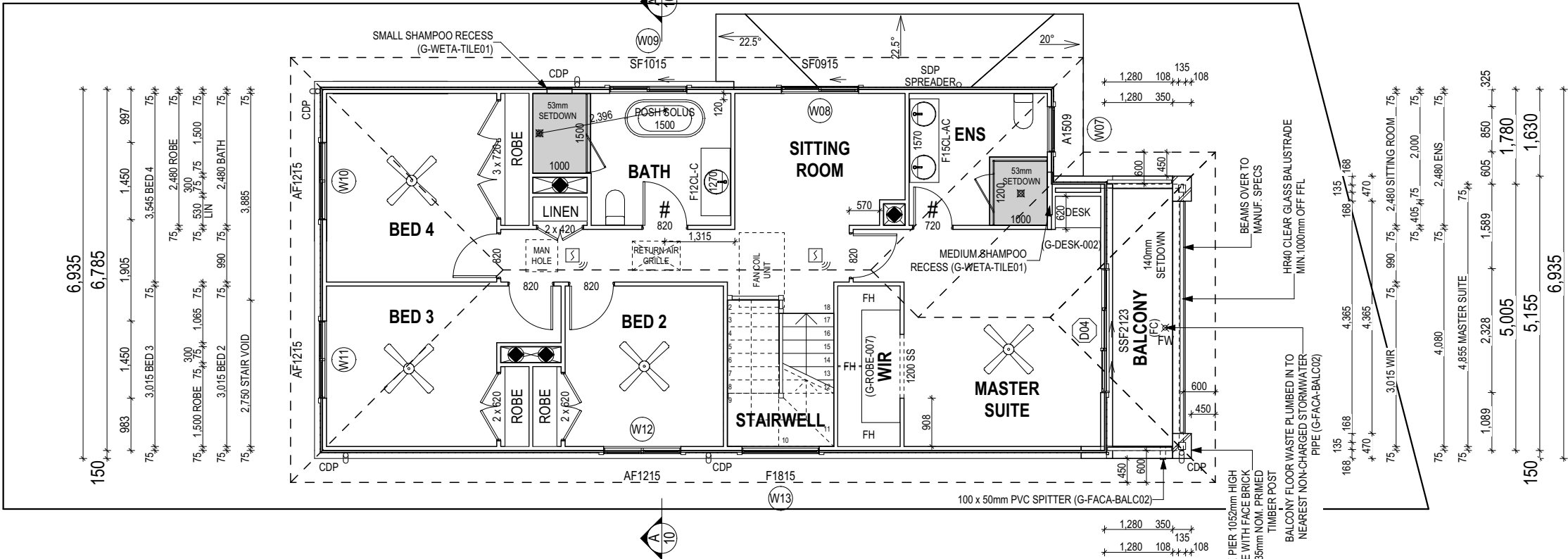
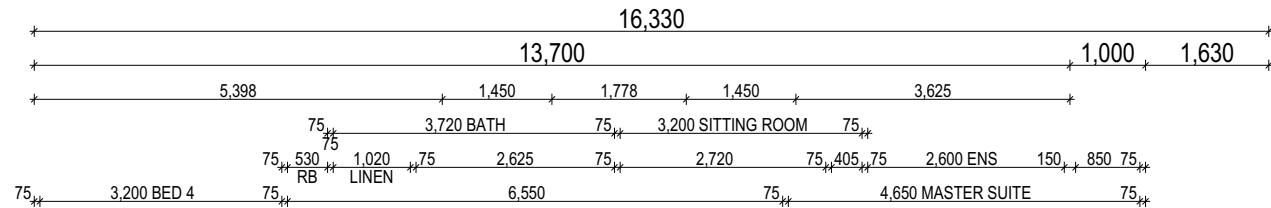

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






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	7 COLOURS APPLIED	ENG 09/07/2025	LOT / SECTION / DP: 15 / - / 271326	SHEET TITLE: WATER MANAGEMENT PLAN (FF)	SHEET No.: 5 / 22	
	8 AMENDED AS PER PCV008	ALW 05/09/2025	COUNCIL: NORTHERN BEACHES	SCALES: 1:100		
	9 AMENDED AS PER PCV009 - HYD.	SIO 23/10/2025				

UNLESS NOTED OTHERWISE
ALL ROOMS ARE REFERENCED
AS FOLLOWS:



HS / WS	HOB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	HEBEL
	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
SDP	STANDARD DOWNPIPE
CDP	CHARGED DOWNPIPE
	EXHAUST FAN
L.B.W	LOAD BEARING WALL
	THIS DOOR OPENS FIRST
	INTERCONNECTED SMOKE ALARM
# UC	LIFT OFF HINGE / UNDERCUT
	WATER POINT
WP	FRIDGE WATER POINT
	GAS BAYONET

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

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(1 OCT 2023 + 7 STAR BASIX)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY**

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	9	AMENDED AS PER PCV009 - HYD.	SIO 23/10/2025	15 / - / 271326	COUNCIL:	SCALES:	607463
				NORTHERN BEACHES	FIRST FLOOR PLAN	7 / 22	

N

M.G.A
DP 271326

LOCATION OF SOLAR PANELS

COLORBOND CORRUGATED /
CUSTOM ORB METAL ROOFING +
FOIL FACED BLANKET

COLORBOND CORRUGATED /
CUSTOM ORB METAL ROOFING +
FOIL FACED BLANKET

ROOF PLAN
SCALE: 1:100

SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY

PLAN ACCEPTANCE BY OWNER

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	© 2025	7	COLOURS APPLIED	ENG	09/07/2025	15 RAVEN CCT, WARRIEWOOD NSW 2102	VINCENT		F-MNWPLC20VNCTA	
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						COUNCIL:	NORTHERN BEACHES			

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EXTERIOR WINDOW & DOOR SCHEDULE <small>1,2 ASSUME LOOKING FROM OUTSIDE</small>													MANUFACTURER: BRADNAMS (NSW), DOWELL		
STOREY	ID	CODE¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE	ADDITIONAL INFORMATION²
WINDOW															
GROUND FLOOR	W01	A/F2406	AWNING	GUEST BED	2,360	610	5,940	1.44	ALUMINIUM	N/A	SNAP HEADER	E	1.08	CLEAR, DOUBLE GLAZED	BP 760
GROUND FLOOR	W02	A/F2406	AWNING	GUEST BED	2,360	610	5,940	1.44	ALUMINIUM	N/A	SNAP HEADER	E	1.08	CLEAR, DOUBLE GLAZED	BP 760
GROUND FLOOR	W03	F100-2416	FIXED	KITCHEN	2,360	1,570	7,860	3.71	ALUMINIUM	N/A	SNAP HEADER	W	3.43	CLEAR, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	W04	SFS/FFF2421	SLIDING	FAMILY / LIVING	2,360	2,050	8,820	4.84	ALUMINIUM	N/A	SNAP HEADER	W	4.16	CLEAR, DOUBLE GLAZED	BP 760, MP 513-1025/0
GROUND FLOOR	W05	SF/F1809	SLIDING	FAMILY / LIVING	1,800	850	5,300	1.53	ALUMINIUM	N/A	ANGLED	S	1.24	CLEAR, DOUBLE GLAZED	BP 600
GROUND FLOOR	W06	SF/FF1818	SLIDING	DINING	1,800	1,810	7,220	3.26	ALUMINIUM	N/A	ANGLED	S	2.79	CLEAR, DOUBLE GLAZED	BP 600, MP 905/0
FIRST FLOOR	W07	A1509	AWNING	ENS	1,457	850	4,614	1.24	ALUMINIUM	N/A	NONE	E	0.96	CLEAR, DOUBLE GLAZED, TOUGHENED	
FIRST FLOOR	W08	SF0915	SLIDING	SITTING ROOM	857	1,450	4,614	1.24	ALUMINIUM	N/A	NONE	N	1.05	CLEAR, DOUBLE GLAZED	
FIRST FLOOR	W09	SF1015	SLIDING	BATH	1,029	1,450	4,958	1.49	ALUMINIUM	N/A	NONE	N	1.28	SATINLITE, DOUBLE GLAZED, TOUGHENED	
FIRST FLOOR	W10	AF1215	AWNING	BED 4	1,200	1,450	5,300	1.74	ALUMINIUM	N/A	NONE	W	1.38	CLEAR, DOUBLE GLAZED	MP 725
FIRST FLOOR	W11	AF1215	AWNING	BED 3	1,200	1,450	5,300	1.74	ALUMINIUM	N/A	NONE	W	1.38	CLEAR, DOUBLE GLAZED	MP 725
FIRST FLOOR	W12	AF1215	AWNING	BED 2	1,200	1,450	5,300	1.74	ALUMINIUM	N/A	NONE	S	1.38	CLEAR, DOUBLE GLAZED	MP 725
FIRST FLOOR	W13	F1815	FIXED	STAIRWELL	1,800	1,450	6,500	2.61	ALUMINIUM	N/A	NONE	S	2.38	CLEAR, DOUBLE GLAZED, TOUGHENED	
								28.02					23.59		
DOOR															
GROUND FLOOR	D01	920	SWINGING	ENTRY	2,406	987	6,786	2.37	TIMBER	N/A	SNAP HEADER	E	---	DOOR(S): CLEAR - SIDELIGHT(S): N/A	LEAF SIZE: 2340 x 920mm
GROUND FLOOR	D02	FS2422	SLIDING	FAMILY / LIVING	2,400	2,170	9,140	5.21	ALUMINIUM	N/A	SNAP HEADER	N	4.64	CLEAR, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	D03	820	SWINGING	LDRY	2,406	887	6,586	2.13	TIMBER	N/A	SNAP HEADER	S	---	DOOR(S): CLEAR, TOUGHENED - SIDELIGHT(S): N/A	LEAF SIZE: 2340 x 820mm
FIRST FLOOR	D04	SSF2123	STACKER	MASTER SUITE	2,100	2,328	8,856	4.89	ALUMINIUM	N/A	SNAP HEADER	E	4.24	CLEAR, DOUBLE GLAZED, TOUGHENED	
								14.60					8.88		
								42.62					32.47		

INTERIOR WINDOW & DOOR SCHEDULE							
STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR							
GROUND FLOOR	1	1500 SS	SQUARE SET OPENING	2,455	1,500	N/A	
GROUND FLOOR	1	2 x 520	SWINGING	2,340	1,040	N/A	
GROUND FLOOR	1	2 x 720	SWINGING	2,340	1,440	N/A	
GROUND FLOOR	1	2040x720 UC	SWINGING	2,040	720	N/A	20mm UNDERCUT, LIFT-OFF HINGES
GROUND FLOOR	2	820	SWINGING	2,340	820	N/A	
GROUND FLOOR	1	990 SS	SQUARE SET OPENING	2,455	990	N/A	
FIRST FLOOR	1	1200 SS	SQUARE SET OPENING	2,455	1,200	N/A	
FIRST FLOOR	1	2 x 420	SWINGING	2,340	840	N/A	
FIRST FLOOR	2	2 x 620	SWINGING	2,340	1,240	N/A	
FIRST FLOOR	1	3 x 720	SWINGING	2,340	2,194	N/A	
FIRST FLOOR	1	720	SWINGING	2,340	720	N/A	LIFT-OFF HINGES
FIRST FLOOR	4	820	SWINGING	2,340	820	N/A	
FIRST FLOOR	1	820	SWINGING	2,340	820	N/A	LIFT-OFF HINGES


REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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PICTURE, TV RECESS AND SS WINDOW OPENINGS				
QTY	TYPE	HEIGHT	WIDTH	AREA (m²)

SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY

PLAN ACCEPTANCE BY OWNER	
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	9	AMENDED AS PER PCV009 - HYD.	SIO	23/10/2025	COUNCIL: NORTHERN BEACHES			

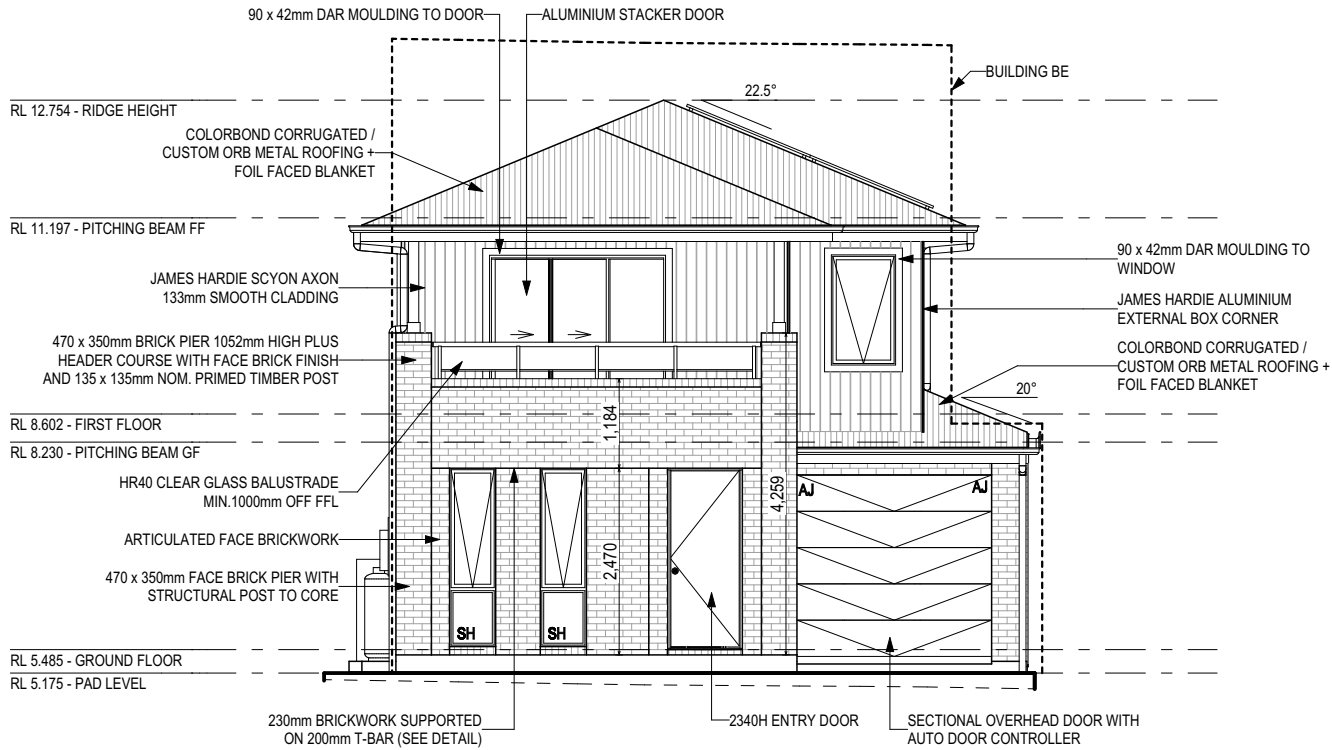
UPGRADE YOUR ROOF VENTILATION SYSTEM TO MINIMISE THE INGRESS OF HOT EMBERS INTO THE ROOF SPACE

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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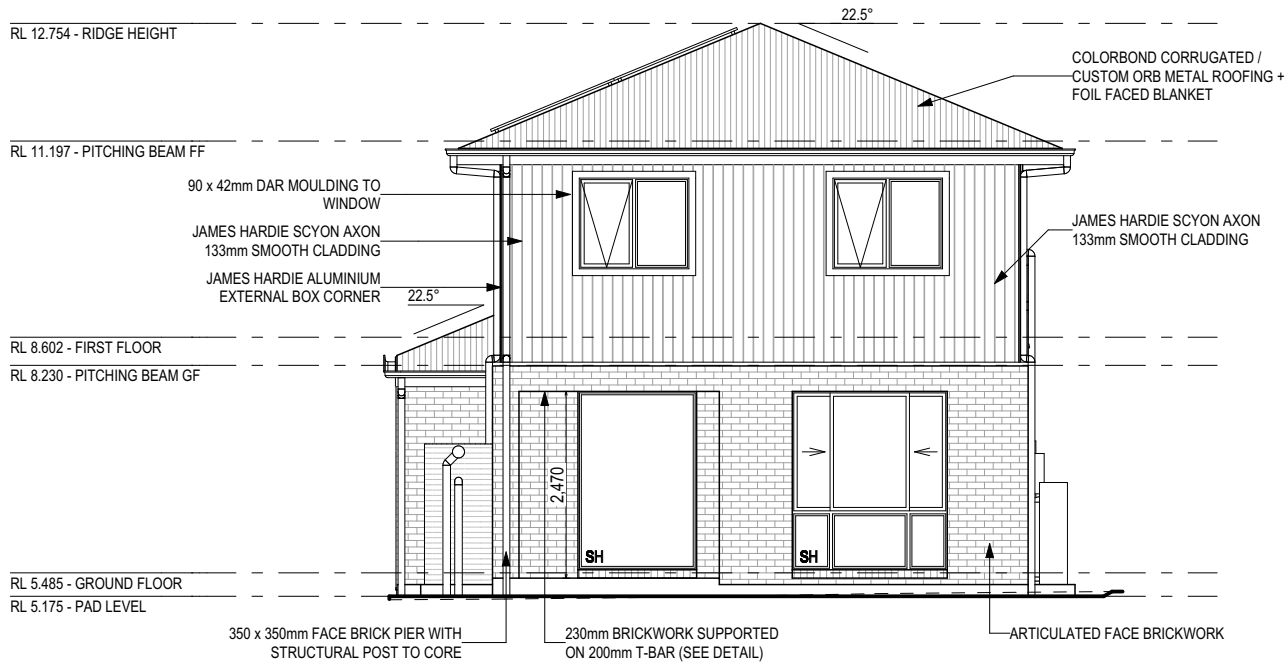
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SH = SNAP HEADER SILL

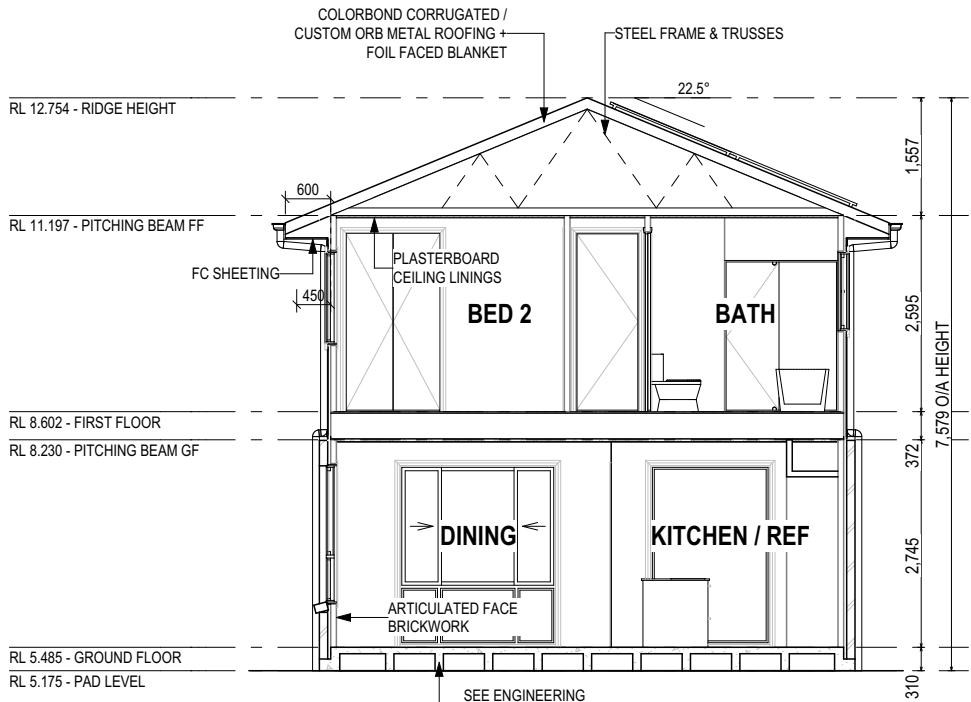
FIRST FLOOR WINDOW OPENINGS TO BE RESTRICTED AS REQUIRED BY NCC 2022



FRONT ELEVATION (EAST)
SCALE: 1:100



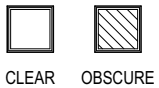
REAR ELEVATION (WEST)
SCALE: 1:100



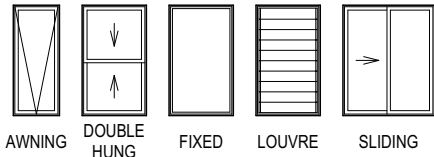
SECTION A-A
SCALE: 1:100

**SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

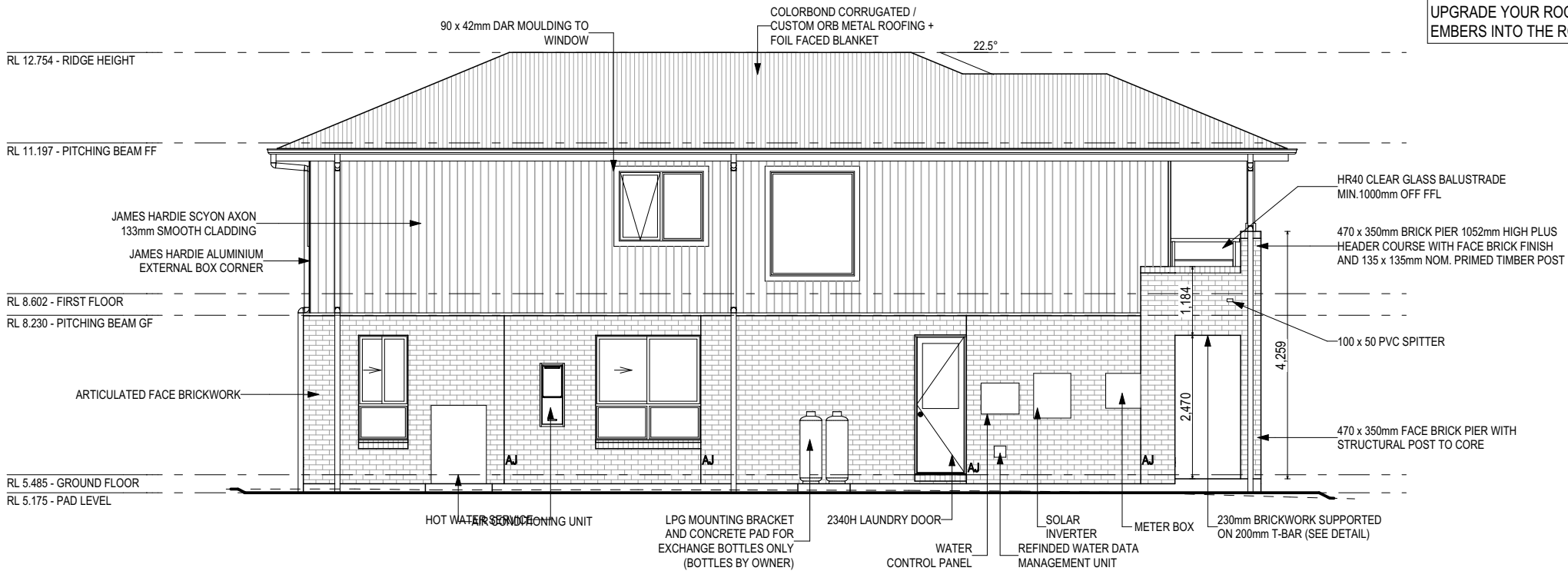
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	9	AMENDED AS PER PCV009 - HYD.		SIO	23/10/2025	15 / - / 271326		COUNCIL: NORTHERN BEACHES		ELEVATIONS / SECTION 10 / 22		1:100	
													607463



UPGRADE YOUR ROOF VENTILATION SYSTEM TO MINIMISE THE INGRESS OF HOT EMBERS INTO THE ROOF SPACE

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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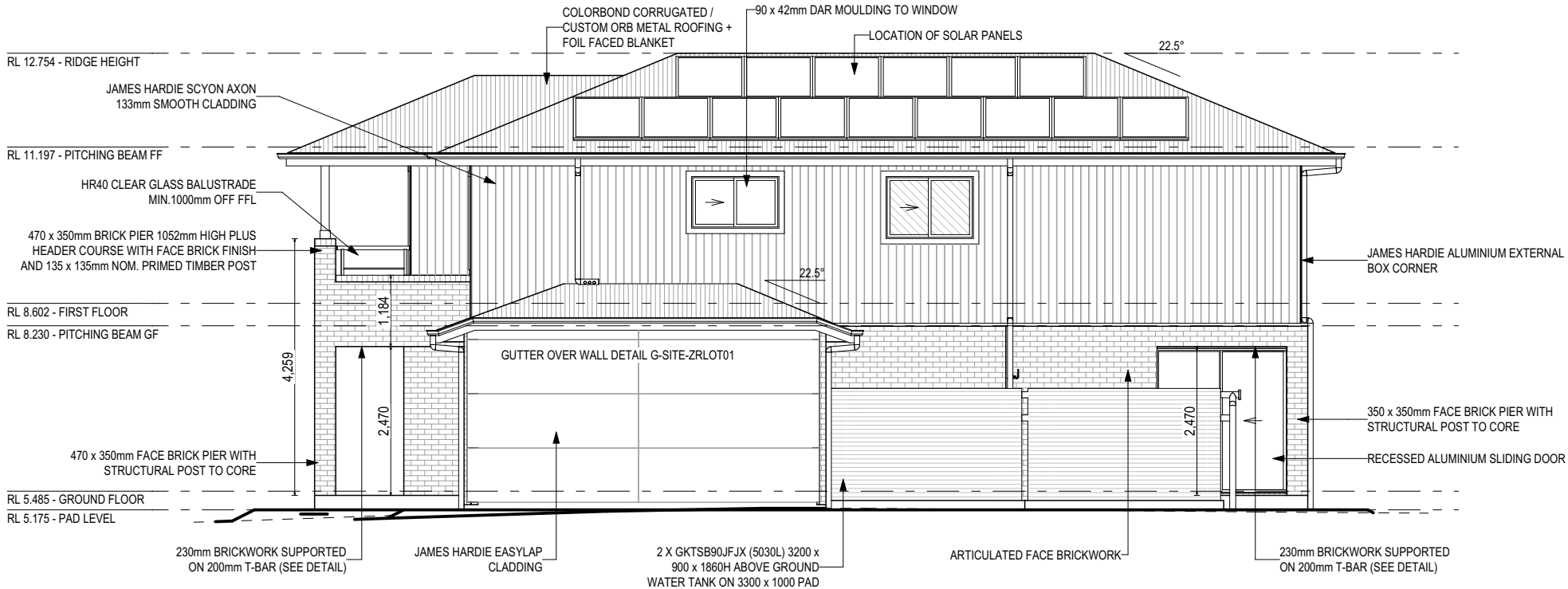
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SH = SNAP HEADER SILL

FIRST FLOOR WINDOW OPENINGS TO BE RESTRICTED AS REQUIRED BY NCC 2022

LEFT ELEVATION (SOUTH)

SCALE: 1:100

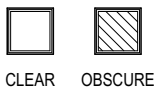


RIGHT ELEVATION (NORTH)

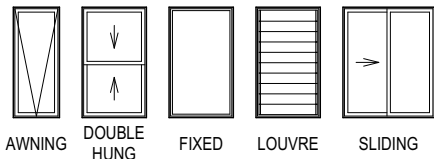
SCALE: 1:100

**SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY**

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

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SPECIFICATION: NOW COPYRIGHT: © 2025	REVISION		DRAWN		CLIENT: MR EDUARDO & MRS MICHELLE JUDKIEWICZ FICHMANN ADDRESS: 15 RAVEN CCT, WARRIEWOOD NSW 2102 LOT / SECTION / DP: 15 / - / 271326 COUNCIL: NORTHERN BEACHES	HOUSE DESIGN: PALENCIA TWO FACADE DESIGN: VINCENT SHEET TITLE: ELEVATIONS	HOUSE CODE: H-MNWPLC20DA FACADE CODE: F-MNWPLC20VNCTA SHEET No.: 11 / 22 SCALES: 1:100	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 607463
	5	DIMS ADDED TO SITE PLAN	ALW	16/06/2025				
	6	AMENDED AS PER PCV002	ALW	01/07/2025				
	7	COLOURS APPLIED	ENG	09/07/2025				
	8	AMENDED AS PER PCV008	ALW	05/09/2025				
	9	AMENDED AS PER PCV009 - HYD.	SIO	23/10/2025				



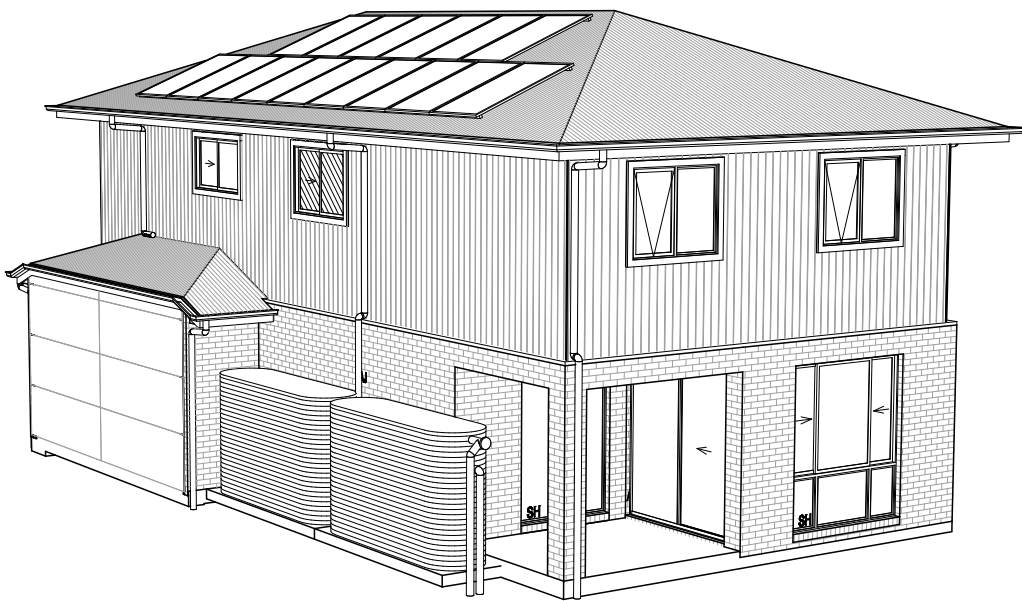
FRONT LEFT



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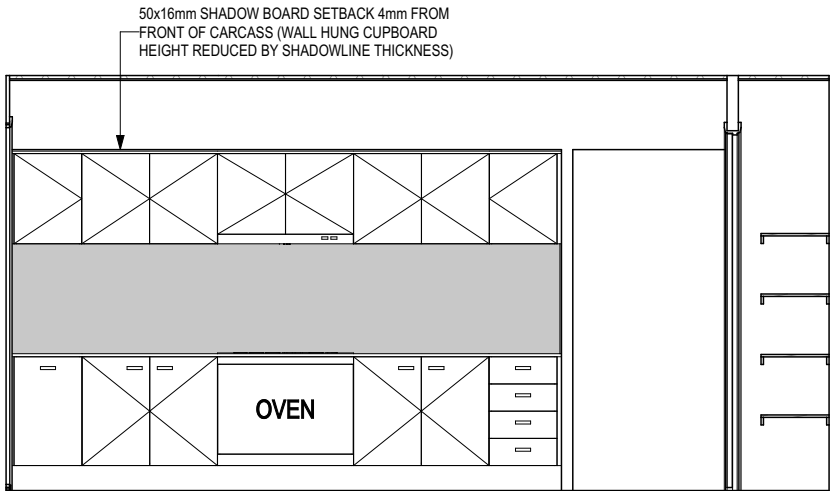
REAR LEFT



REAR RIGHT

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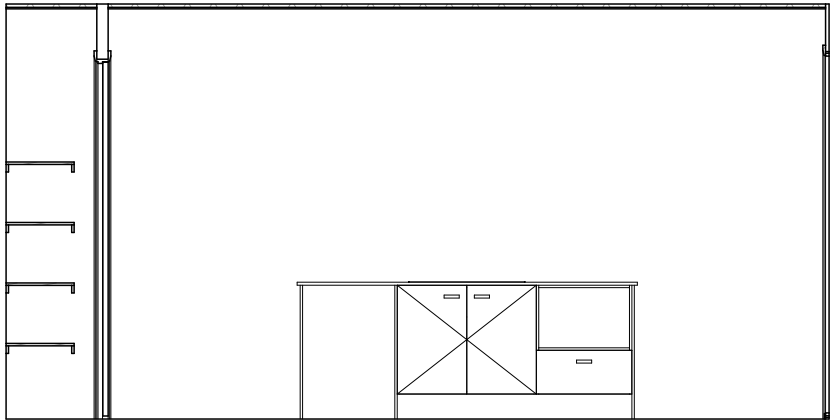
 mcdonald jones FIND YOURSELF AT HOME	SPECIFICATION:	REVISION		DRAWN		CLIENT:		HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 607463
	NOW	5	DIMS ADDED TO SITE PLAN	ALW	16/06/2025	MR EDUARDO & MRS MICHELLE JUDKIEWICZ FICHMANN		PALENCIA TWO		H-MNWPLC20DA	
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	© 2025	7	COLOURS APPLIED	ENG	09/07/2025	15 RAVEN CCT, WARRIEWOOD NSW 2102		VINCENT		F-MNWPLC20VNCTA	
		8	AMENDED AS PER PCV008	ALW	05/09/2025	LOT / SECTION / DP:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	
		9	AMENDED AS PER PCV009 - HYD.	SIO	23/10/2025	15 / - / 271326	NORTHERN BEACHES	HOUSE EXTERIOR 3D VIEWS	12 / 22		



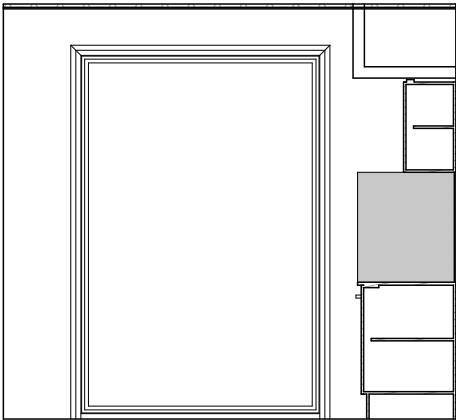
ELEVATION A
SCALE: 1:50



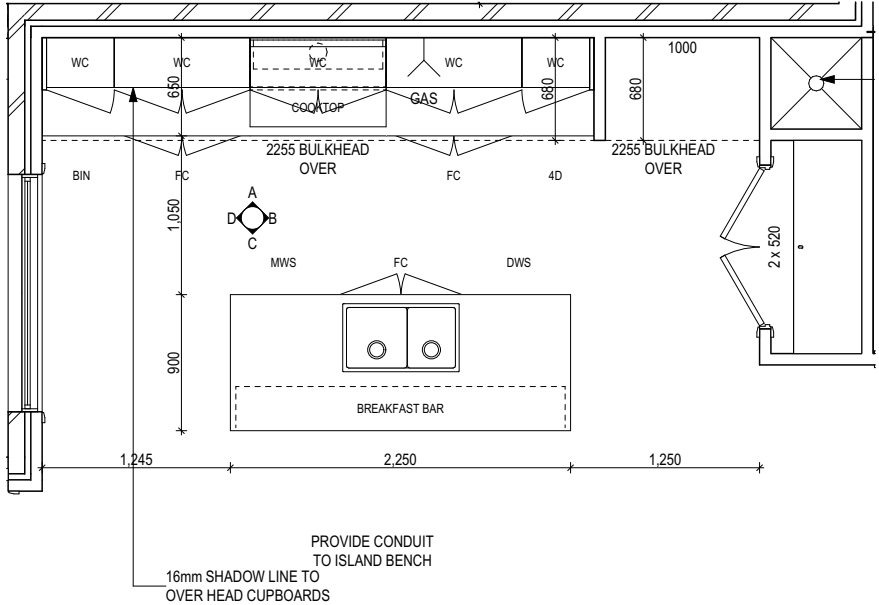
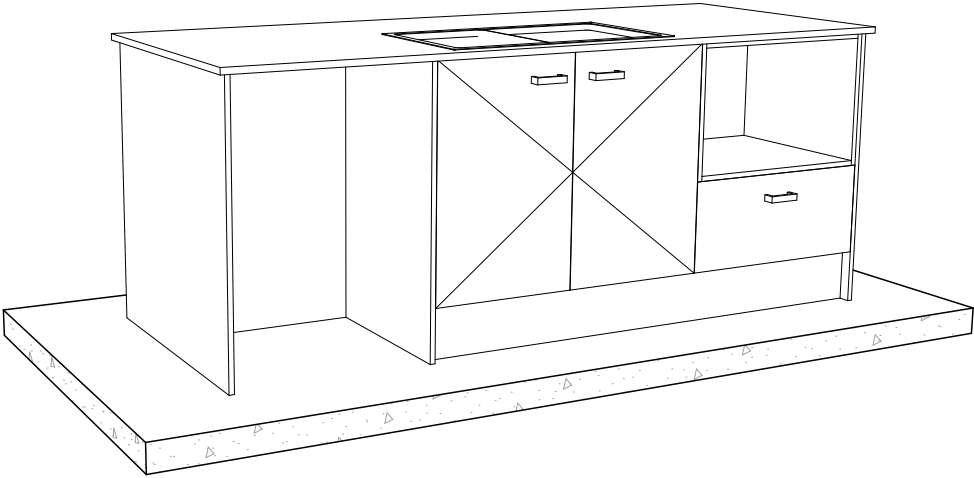
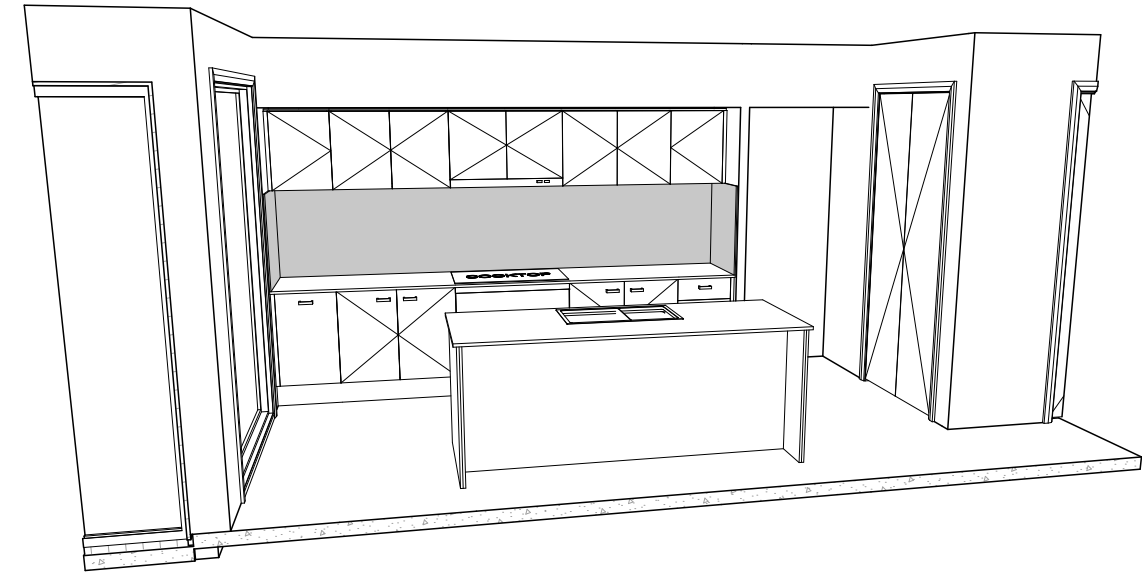
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



KITCHEN PLAN
SCALE: 1:50

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY. JOINER MAY ADJUST CABINETRY AS REQUIRED.

GAS CONNECTION FOR COOKTOP TO BE LOCATED 700mm TO RIGHT HAND SIDE OF CENTRE OF COOKTOP

**SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)**

WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY

PLAN ACCEPTANCE BY OWNER

SIGNATURE:	DATE:

SIGNATURE:	DATE:

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NOW	5	DIMS ADDED TO SITE PLAN	ALW 16/06/2025	MR EDUARDO & MRS MICHELLE JUDKIEWICZ FICHMANN		PALENCIA TWO		H-MNWPLC20DA	
COPYRIGHT:	6	AMENDED AS PER PCV002	ALW 01/07/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:	
	7	COLOURS APPLIED	ENG 09/07/2025	15 RAVEN CCT, WARRIEWOOD NSW 2102		VINCENT		F-MNWPLC20VNCTA	
© 2025	8	AMENDED AS PER PCV008	ALW 05/09/2025	LOT / SECTION / DP:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	
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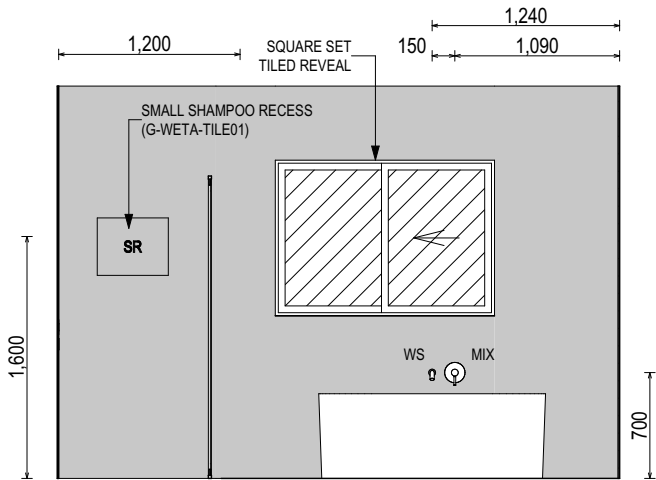
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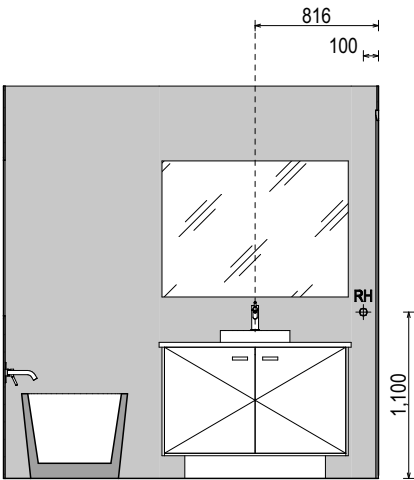
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LEGEND

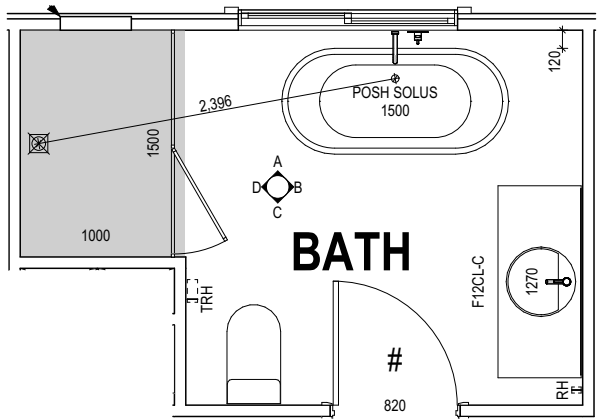
- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



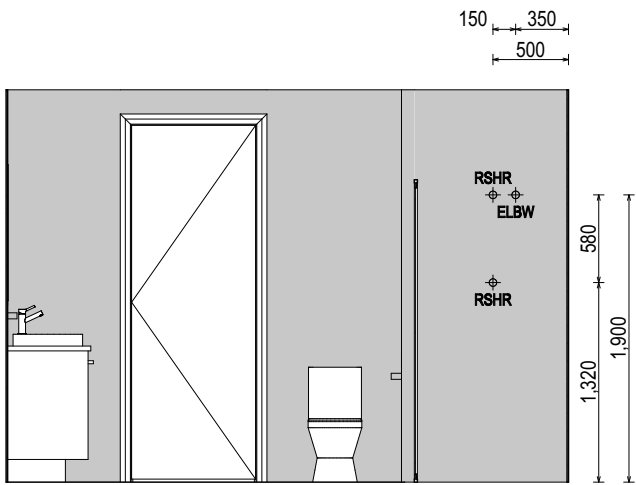
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SCALE: 1:50



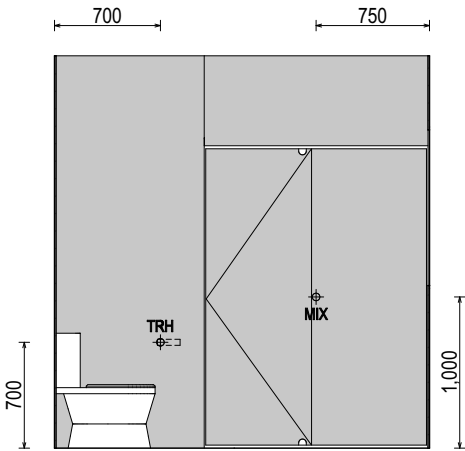
ELEVATION B
SCALE: 1:50



BATHROOM PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

**SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

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	6	AMENDED AS PER PCV002	ALW	01/07/2025					
	7	COLOURS APPLIED	ENG	09/07/2025					
	8	AMENDED AS PER PCV008	ALW	05/09/2025					
	9	AMENDED AS PER PCV009 - HYD.	SIO	23/10/2025					

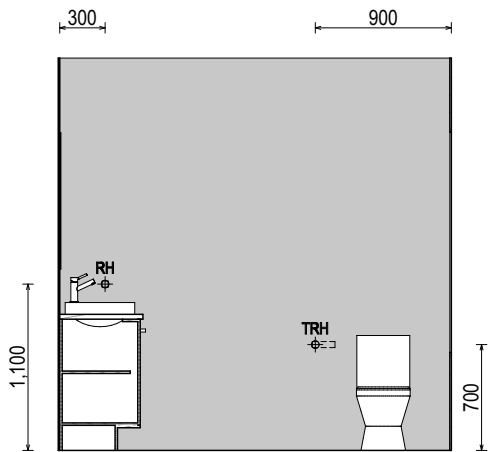
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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

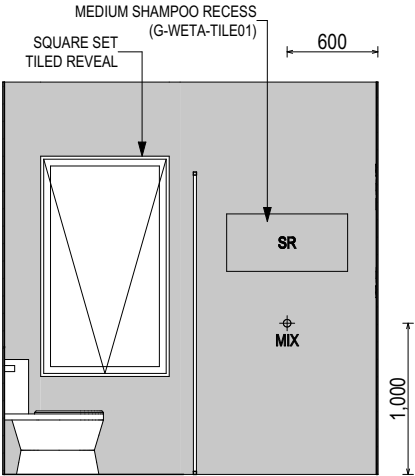
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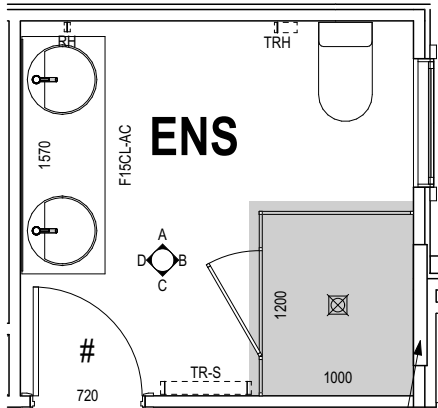
- | | |
|------|-------------------------|
| RSHR | RAIL SHOWER |
| ROSE | SHOWER ROSE |
| ELBW | SHOWER ELBOW CONNECTION |
| MIX | MIXER TAP |
| HT | HOT TAP |
| CT | COLD TAP |
| HS | HOB SPOUT |
| WS | WALL SPOUT |
| SC | STOP COCK |
| TRH | TOILET ROLL HOLDER |
| TR-S | TOWEL RAIL - SINGLE |
| TR-D | TOWEL RAIL - DOUBLE |
| TL | TOWEL LADDER |
| TH | TOWEL HOLDER |
| TR | TOWEL RACK |
| TMB | TUMBLER HOLDER |
| RNG | TOWEL RING |
| RH | ROBE HOOK |
| SHLF | SHELF |
| SR | SHAMPOO RECESS |
| SOAP | SOAP HOLDER |



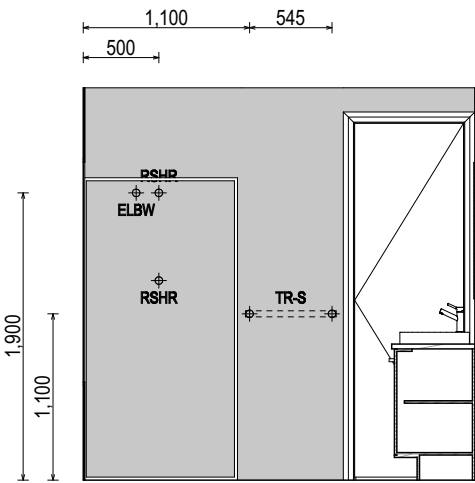
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SCALE: 1:50



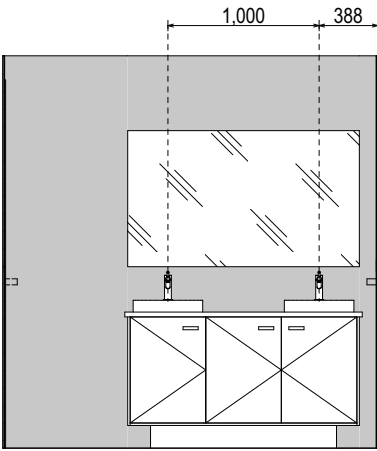
ELEVATION B
SCALE: 1:50



ENSUITE PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

**SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

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	8	AMENDED AS PER PCV008		ALW	05/09/2025	LOT / SECTION / DP:		SHEET TITLE:		SHEET No.:	SCALES:	
	9	AMENDED AS PER PCV009 - HYD.		SIO	23/10/2025	15 / - / 271326		NORTHERN BEACHES		15 / 22	1:50	
												607463

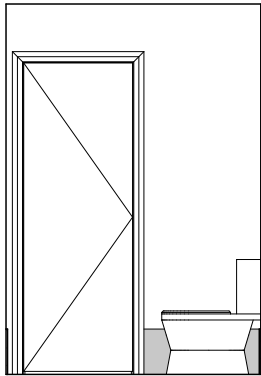
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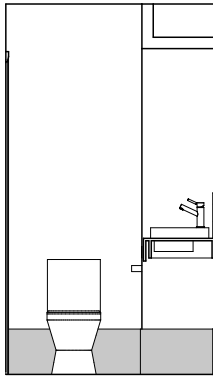
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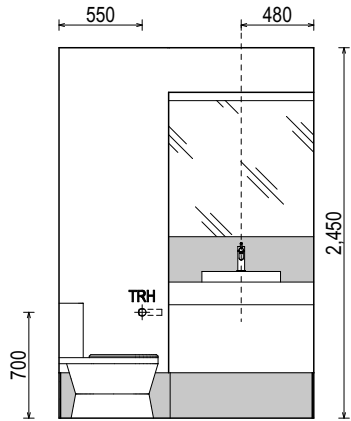
- | | |
|------|-------------------------|
| RSHR | RAIL SHOWER |
| ROSE | SHOWER ROSE |
| ELBW | SHOWER ELBOW CONNECTION |
| MIX | MIXER TAP |
| HT | HOT TAP |
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| TR-D | TOWEL RAIL - DOUBLE |
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| TH | TOWEL HOLDER |
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| RNG | TOWEL RING |
| RH | ROBE HOOK |
| SHLF | SHELF |
| SR | SHAMPOO RECESS |
| SOAP | SOAP HOLDER |



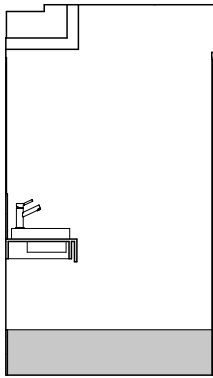
ELEVATION A
SCALE: 1:50



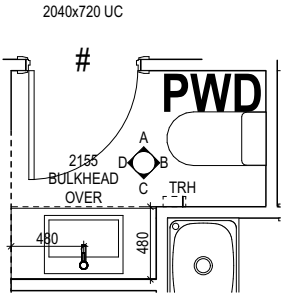
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



POWDER ROOM PLAN
SCALE: 1:50

**SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY

PLAN ACCEPTANCE BY OWNER

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	9	AMENDED AS PER PCV009 - HYD.	SIO	23/10/2025	15 / - / 271326	NORTHERN BEACHES	POWDER ROOM DETAILS	16 / 22	1:50	
									607463	

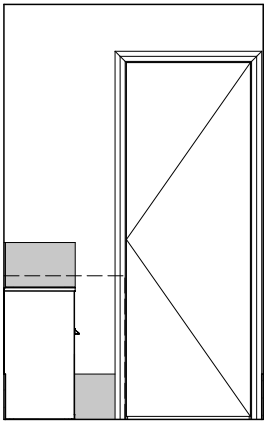
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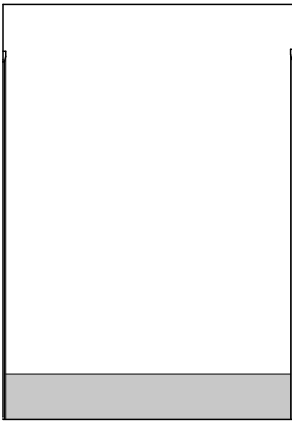
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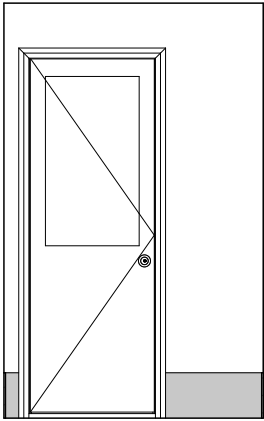
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|------|-------------------------|
| RSHR | RAIL SHOWER |
| ROSE | SHOWER ROSE |
| ELBW | SHOWER ELBOW CONNECTION |
| MIX | MIXER TAP |
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| TH | TOWEL HOLDER |
| TR | TOWEL RACK |
| TMB | TUMBLER HOLDER |
| RNG | TOWEL RING |
| RH | ROBE HOOK |
| SHLF | SHELF |
| SR | SHAMPOO RECESS |
| SOAP | SOAP HOLDER |



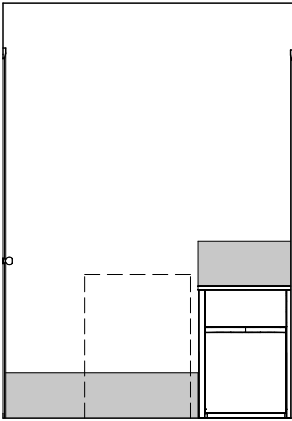
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SCALE: 1:50



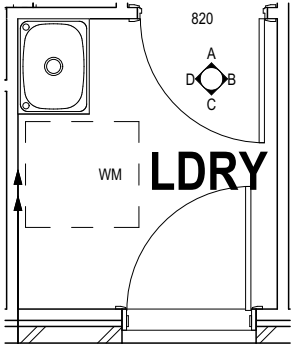
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



LAUNDRY PLAN
SCALE: 1:50

MAYBE LOCATION FOR FUTURE DRYER
PROVIDE ADDITIONAL WALL
FRAME FOR WALL HUNG
DRYER (D-FRAM-ELEC006)

**SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

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NOW	5	DIMS ADDED TO SITE PLAN		ALW	16/06/2025	MR EDUARDO & MRS MICHELLE JUDKIEWICZ FICHMANN		PALENCIA TWO		H-MNWPLC20DA		
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	8	AMENDED AS PER PCV008		ALW	05/09/2025	LOT / SECTION / DP:		SHEET TITLE:		SHEET No.:		
	9	AMENDED AS PER PCV009 - HYD.		SIO	23/10/2025	15 / - / 271326		NORTHERN BEACHES		17 / 22		607463
								SCALES:		1:50		

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

NO COVERING

RAW CONCRETE
(COVERING BY OWNER)

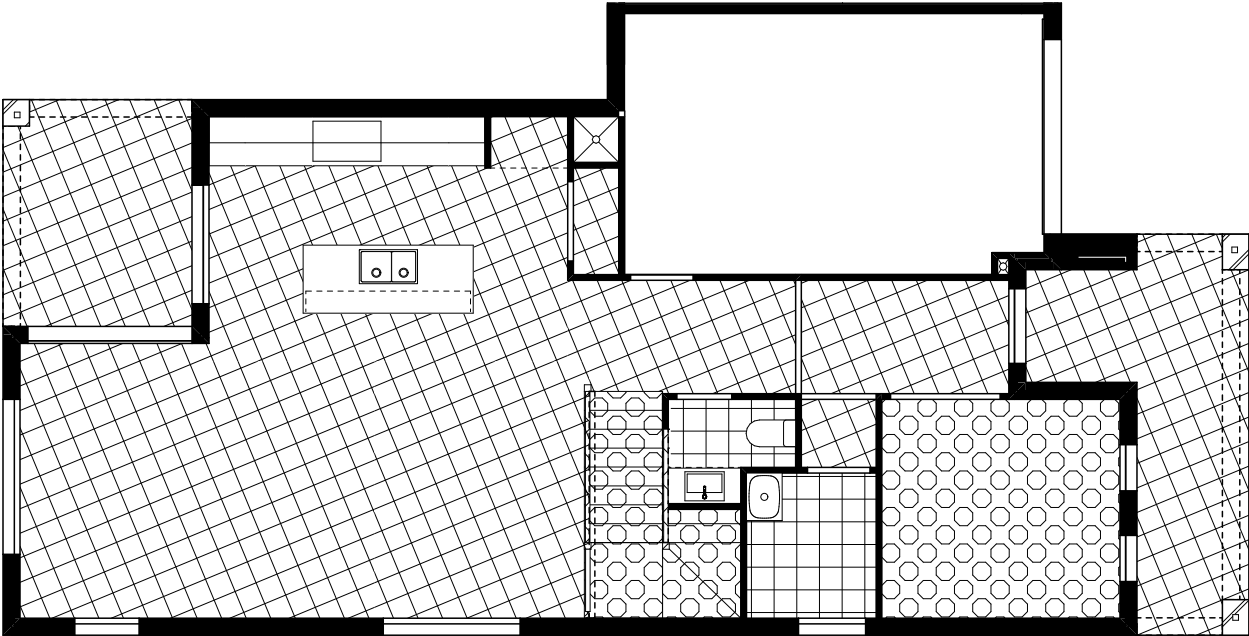
CARPET (BY BUILDER)

TIMBER/LAMINATE (BY OWNER)

TILE (STANDARD WET AREAS)

TILE (UPGRADED AREAS)
(BY BUILDER)

VINYL



FLOOR COVERINGS (GROUND FLOOR)
SCALE: 1:100

SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY


PLAN ACCEPTANCE BY OWNER

SIGNATURE:	DATE:

SIGNATURE:	DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	

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<div> mcdonald jones FIND YOURSELF AT HOME</div>	SPECIFICATION:		REVISION		DRAWN		CLIENT:		HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 607463
	NOW	5	DIMS ADDED TO SITE PLAN		ALW	16/06/2025	MR EDUARDO & MRS MICHELLE JUDKIEWICZ FICHMANN		PALENCIA TWO		H-MNWPLC20DA	
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		8	AMENDED AS PER PCV008		ALW	05/09/2025	LOT / SECTION / DP:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	
		9	AMENDED AS PER PCV009 - HYD.		SIO	23/10/2025	15 / - / 271326	NORTHERN BEACHES	FLOOR COVERINGS (GF)	18 / 22	1:100	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
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FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

NO COVERING

RAW CONCRETE
(COVERING BY OWNER)

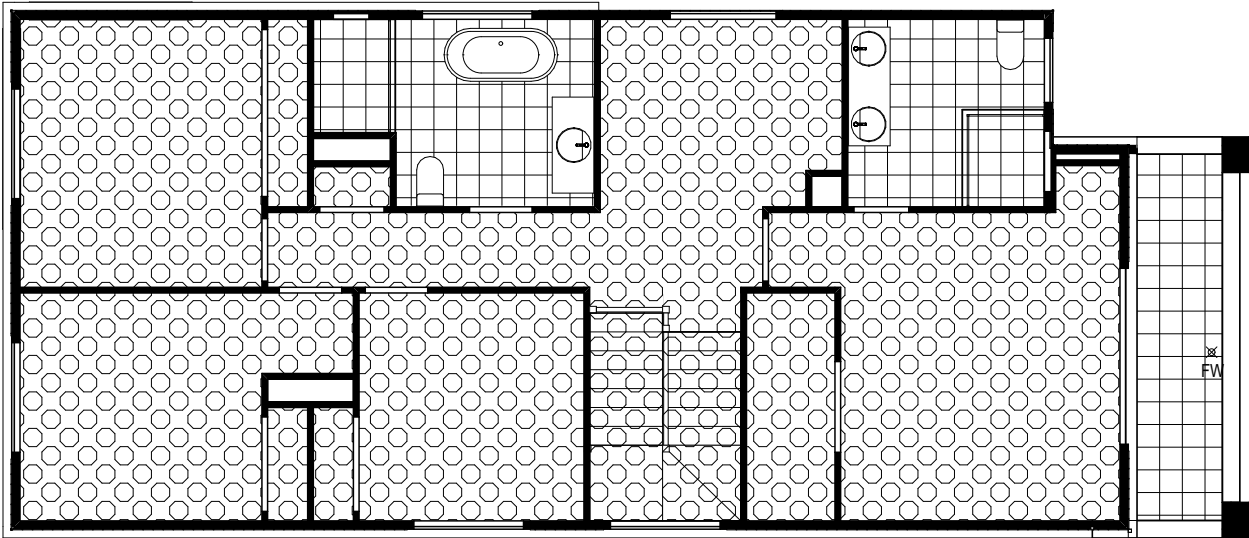
CARPET (BY BUILDER)

TIMBER/LAMINATE (BY OWNER)

TILE (STANDARD WET AREAS)

TILE (UPGRADED AREAS)
(BY BUILDER)

VINYL



FLOOR COVERINGS (FIRST FLOOR)
SCALE: 1:100

SUBJECT TO NCC 2022
(1 OCT 2023 + 7 STAR BASIX)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
ENERGY EFFICIENCY


PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

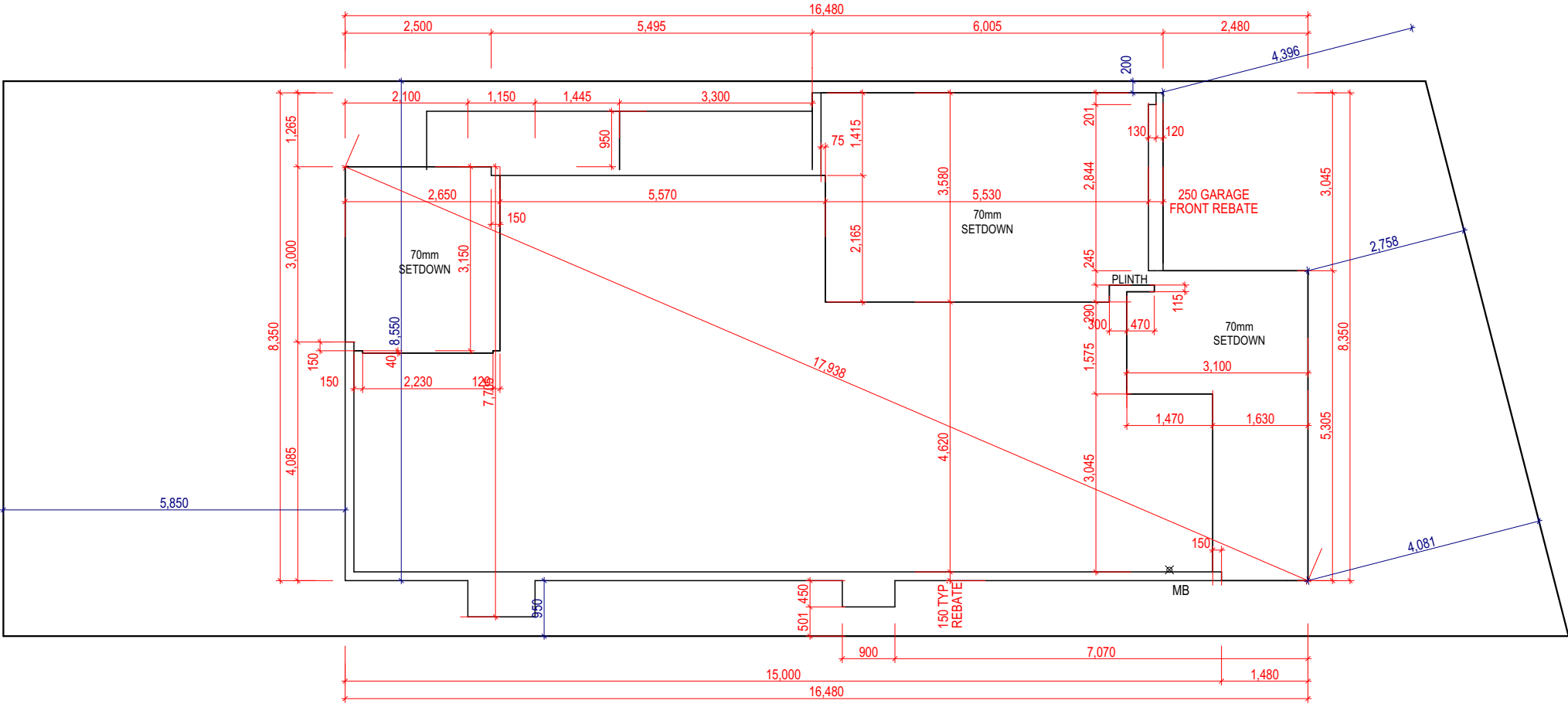
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	NOW	5	DIMS ADDED TO SITE PLAN		ALW	16/06/2025	MR EDUARDO & MRS MICHELLE JUDKIEWICZ FICHMANN		PALENCIA TWO		H-MNWPLC20DA	
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		8	AMENDED AS PER PCV008		ALW	05/09/2025	LOT / SECTION / DP:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	
		9	AMENDED AS PER PCV009 - HYD.		SIO	23/10/2025	15 / - / 271326	NORTHERN BEACHES	FLOOR COVERINGS (FF)	19 / 22	1:100	


ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



SLAB PLAN
SCALE: 1:100

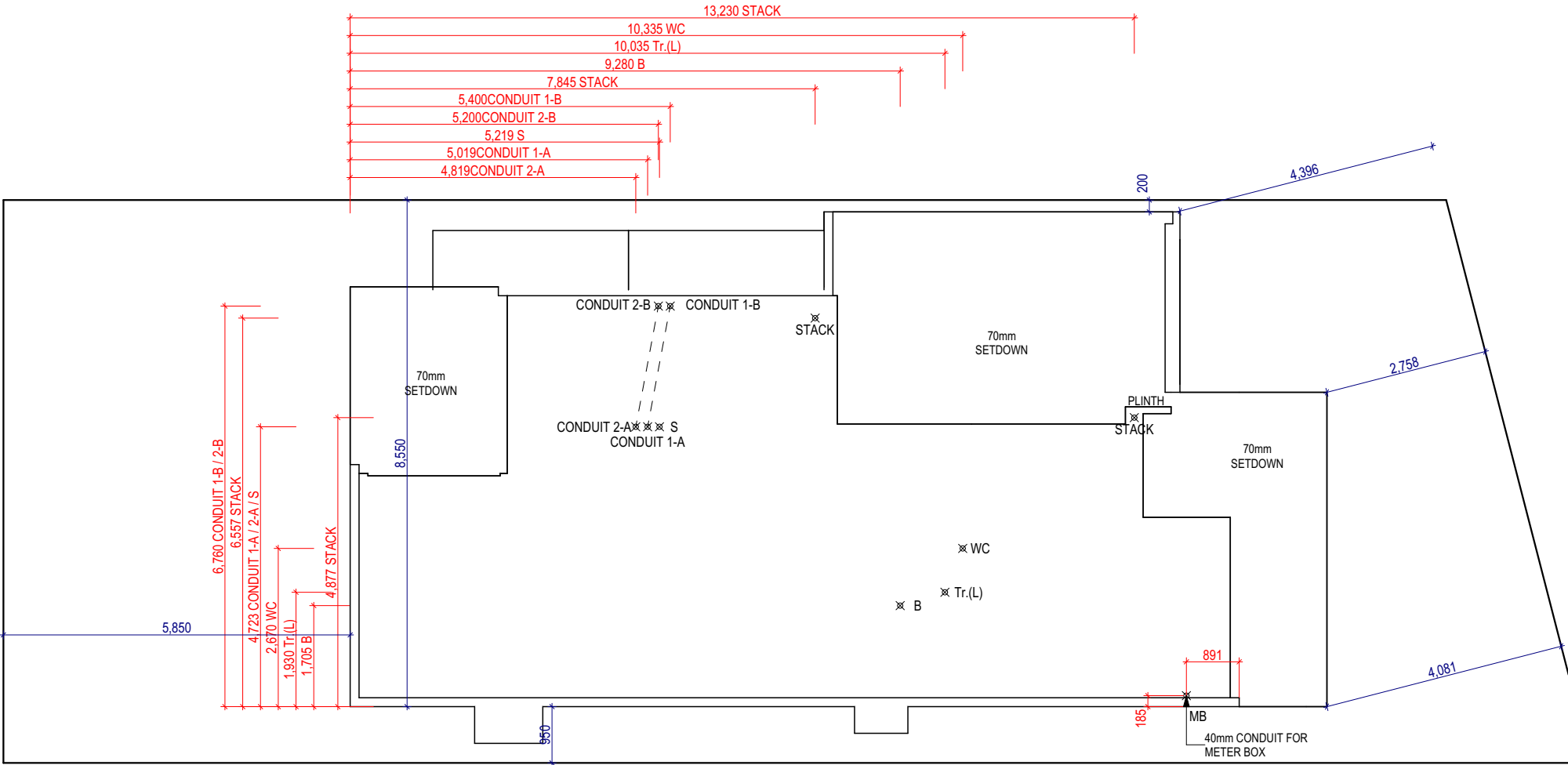
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CONDENSATION MANAGEMENT
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<div></div> <div>mcdonald jones</div> <div>FIND YOURSELF AT HOME</div>	SPECIFICATION:		REVISION		DRAWN		CLIENT:		HOUSE DESIGN:		HOUSE CODE:		DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.		
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		8	AMENDED AS PER PCV008		ALW	05/09/2025	LOT / SECTION / DP:		SHEET TITLE:		SHEET No.:	SCALES:			
		9	AMENDED AS PER PCV009 - HYD.		SIO	23/10/2025	15 / - / 271326		NORTHERN BEACHES		SLAB PLAN		20 / 22	1:100	607463

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ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



DRAINAGE PLAN
SCALE: 1:100

LEGEND

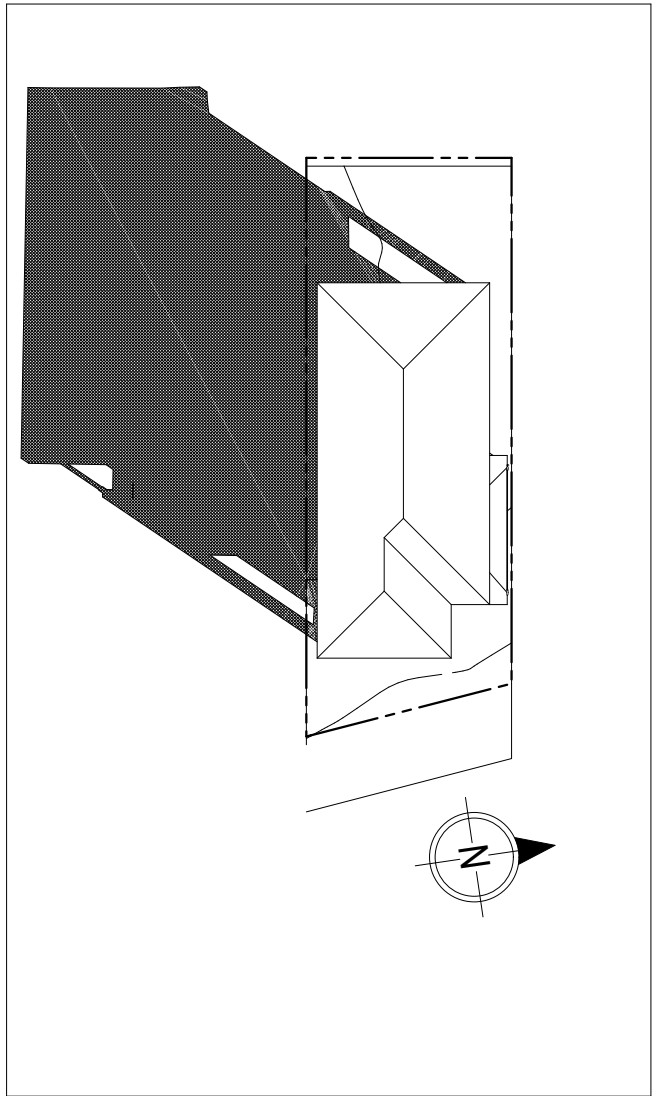
- B BASIN
- Bth BATH WASTE
- FW FLOOR WASTE GULLY
- Shr SHOWER
- S SINK (KITCHEN)
- Tr.(L) TROUGH (LAUNDRY)
- WC WATER CLOSET

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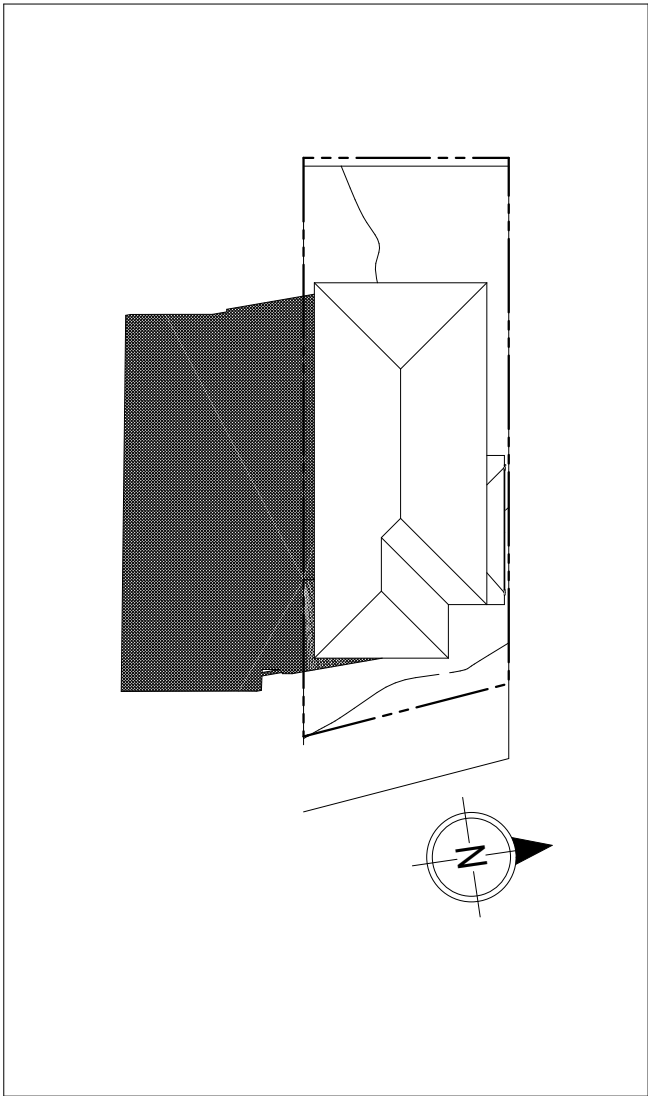
SUBJECT TO NCC 2022
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CONDENSATION MANAGEMENT
ENERGY EFFICIENCY



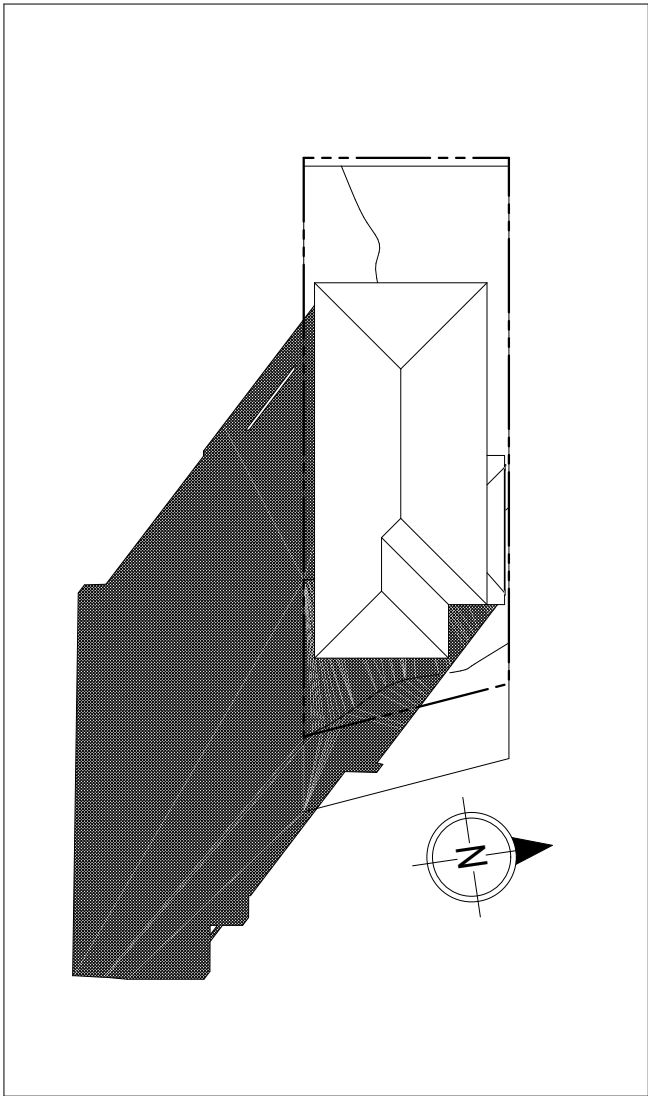
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	8	AMENDED AS PER PCV008	ALW 05/09/2025	LOT / SECTION / DP:	COUNCIL:	SHEET TITLE:		SHEET No.:	SCALES:	
	9	AMENDED AS PER PCV009 - HYD.	SIO 23/10/2025	15 / - / 271326	NORTHERN BEACHES	DRAINAGE PLAN		21 / 22	1:100	607463



JUNE 21 - 0900



JUNE 21 - 1200



JUNE 21 - 1500

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	9	AMENDED AS PER PCV009 - HYD.	SIO 23/10/2025	15 / - / 271326	NORTHERN BEACHES	SHADOW DIAGRAMS - JUNE 21		22 / 22	1:350	
										607463