

- LEGEND**
- NEW SOFT LANDSCAPING
 - EXISTING SOFT LANDSCAPING
 - NEW HARD PAVING
 - EXISTING HARD PAVING
 - NEW WATER FEATURE
 - EXISTING WATER FEATURE
 - NEW HARD SURFACE DRIVEWAY
 - EXISTING HARD SURFACE DRIVEWAY
 - NEW ENCLOSED BUILDING
 - EXISTING ENCLOSED BUILDING
 - AREA FOR TEMPORARY STOCK PILING OF DEMOLITION MATERIALS PRIOR TO REMOVAL FROM SITE. ALL MATERIALS TO BE STOCK PILED SEPARATELY FOR RECYCLING
 - POOL FENCE
- NB. TEMPORARY DOWNPIPE CONNECTIONS TO EXISTING STORMWATER DRAIN DURING ROOF REPLACEMENT

PITTWATER

SITE AREA	= 1902 m2	
PROPOSED SOFT LANDSCAPING	= 885.5m2	= 46.5%
EXISTING SOFT LANDSCAPING	= 947m2	= 50%
PROPOSED HARD PAVED LANDSCAPE	= 361.5m2	= 19%
EXISTING HARD PAVED LANDSCAPE	= 344.5m2	= 18%
PROPOSED WATER FEATURE AREA	= 85m2	= 4.5%
EXISTING WATER FEATURE AREA	= 83 m2	= 4.5%
PROPOSED HARD SURFACE DRIVEWAY	= 180m2	= 9.5%
EXISTING HARD SURFACE DRIVEWAY	= 172m2	= 9%
PROPOSED ENCLOSED BUILDING	= 390m2	= 20.5%
EXISTING ENCLOSED BUILDING	= 355.5m2	= 18.5%

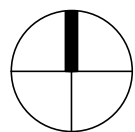
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3	10/03/21
2	26/02/21
1	25/11/20
Issue	Date

DA ADDITIONAL INFO
AMENDMENTS
DEVELOPMENT APPLICATION
Amendment

North Point



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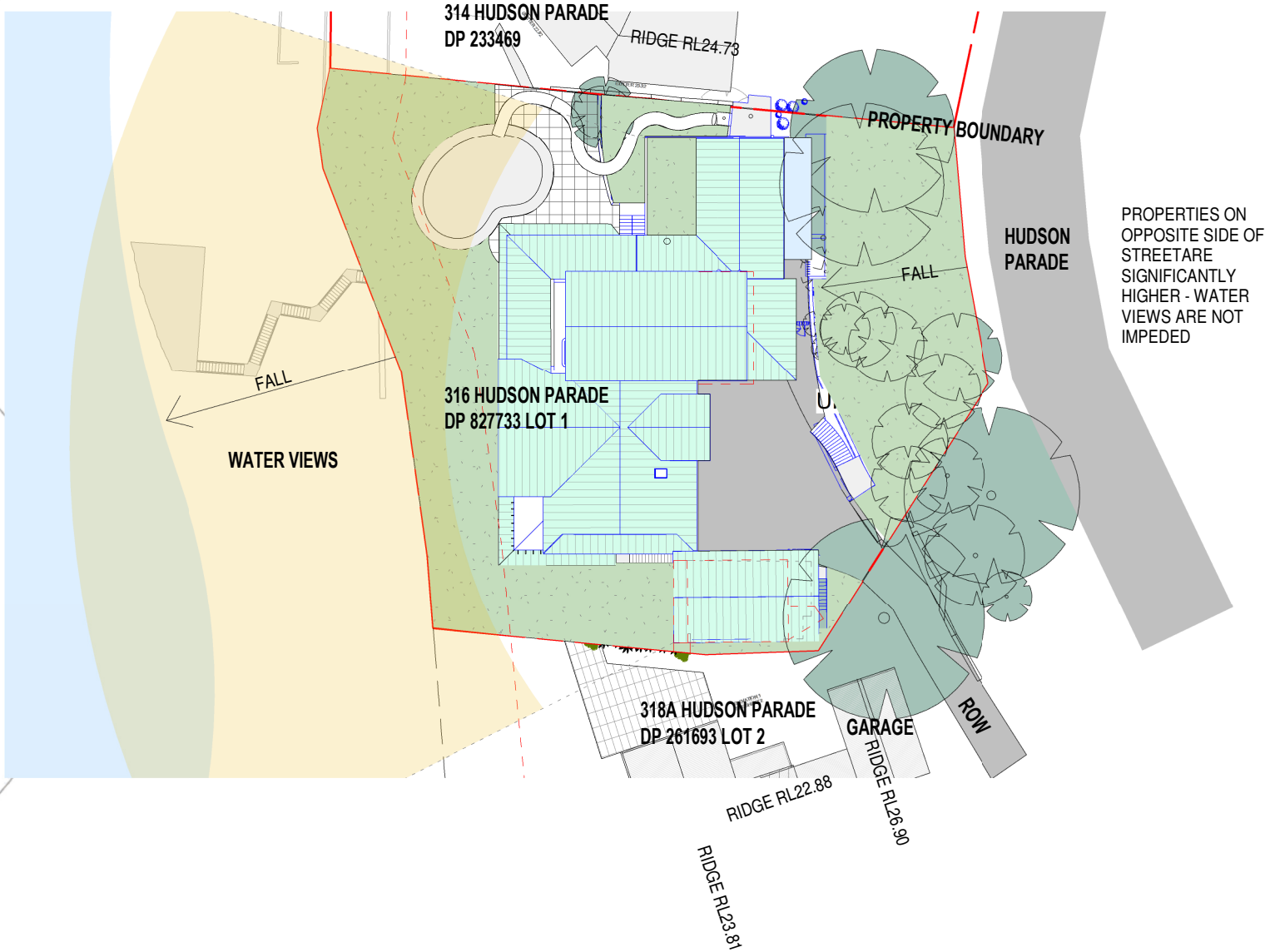
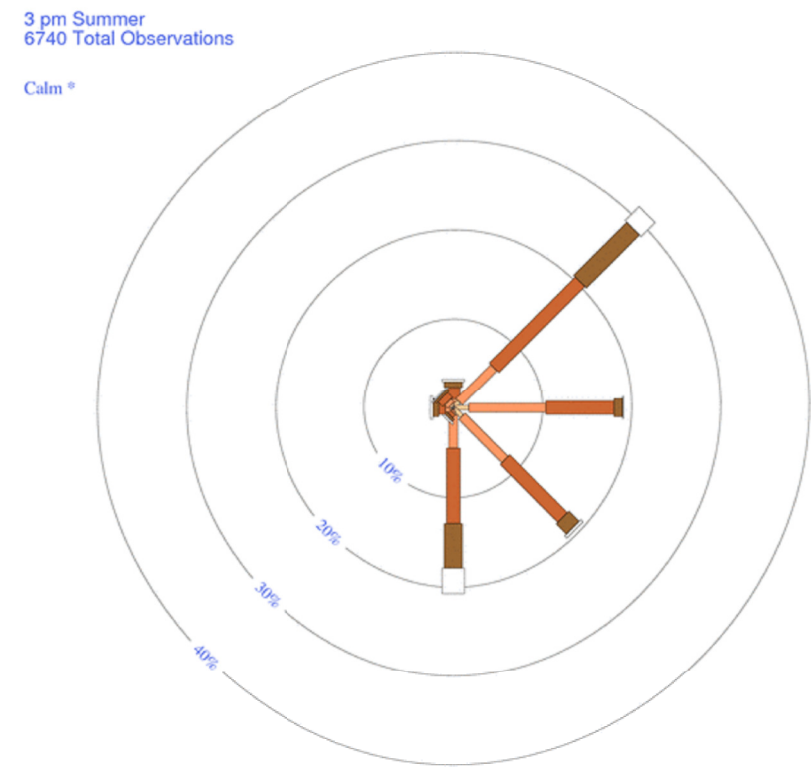
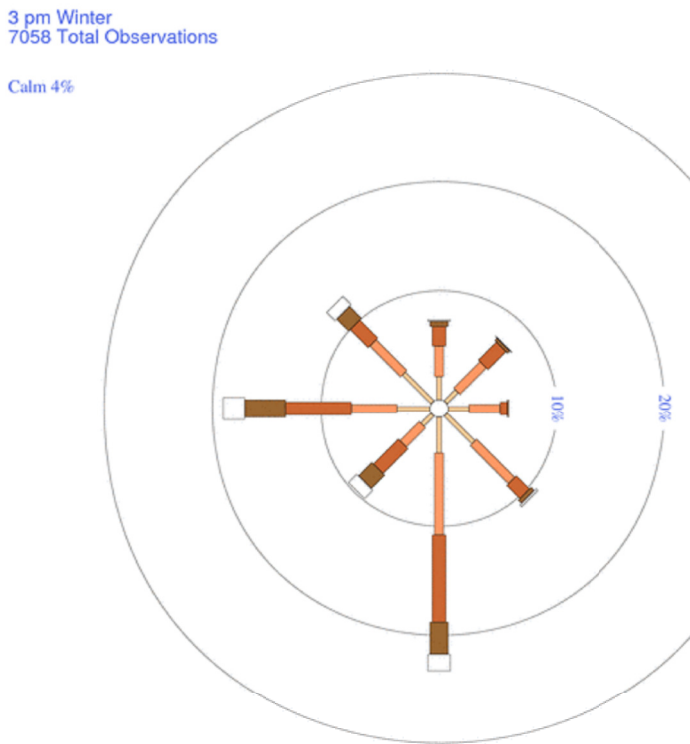
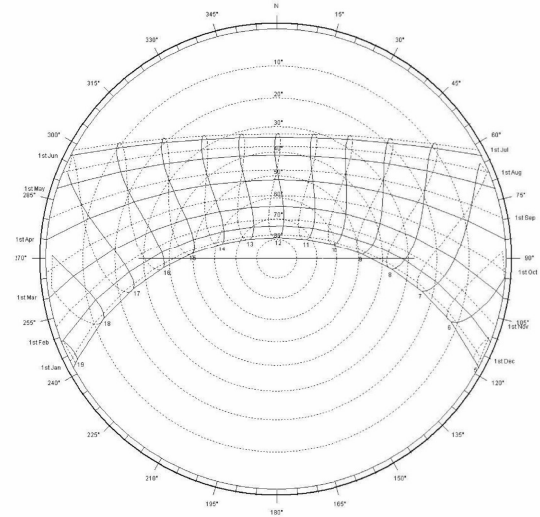
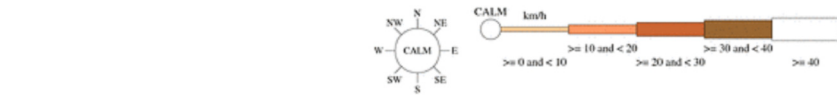
Project 316 Hudson Parade
Client TONY WALLS
Address 316 Hudson Parade
Lot 1 DP827733

Design Stage
Title
DEVELOPMENT APPLICATION
SITE COVER / WASTE MANAGEMENT

Job No 346-02
Drawn gv
Checked MFB
Scale As indicated
Drawing no. DA 2.01
Issue 3

10/03/2021 3:52:34 PM





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3	10/03/21	DA ADDITIONAL INFO
2	27/11/20	DA
1	25/11/20	DEVELOPMENT APPLICATION
Issue	Date	Amendment

North Point

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Project 316 Hudson Parade
Client TONY WALLS
Address 316 Hudson Parade
Lot 1 DP827733

Design Stage DEVELOPMENT APPLICATION
Title SITE ANALYSIS

Job No 346-02
Drawn gv
Checked mfb
Scale 1 : 500

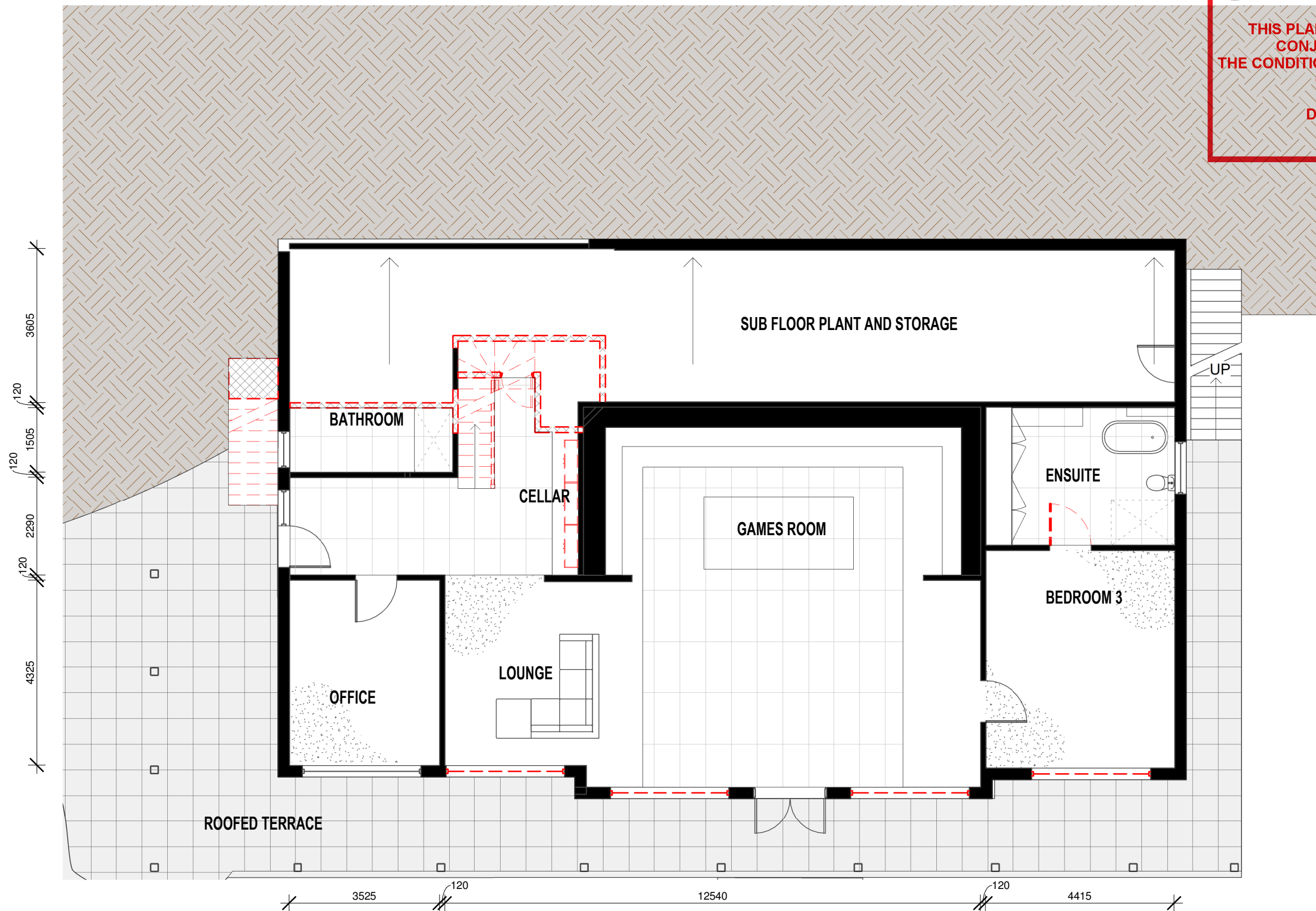
Drawing no. DA 2.02
Issue 3



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1591



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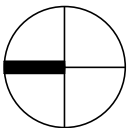
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1	25/11/20	DEVELOPMENT APPLICATION
Issue	Date	Amendment

North Point





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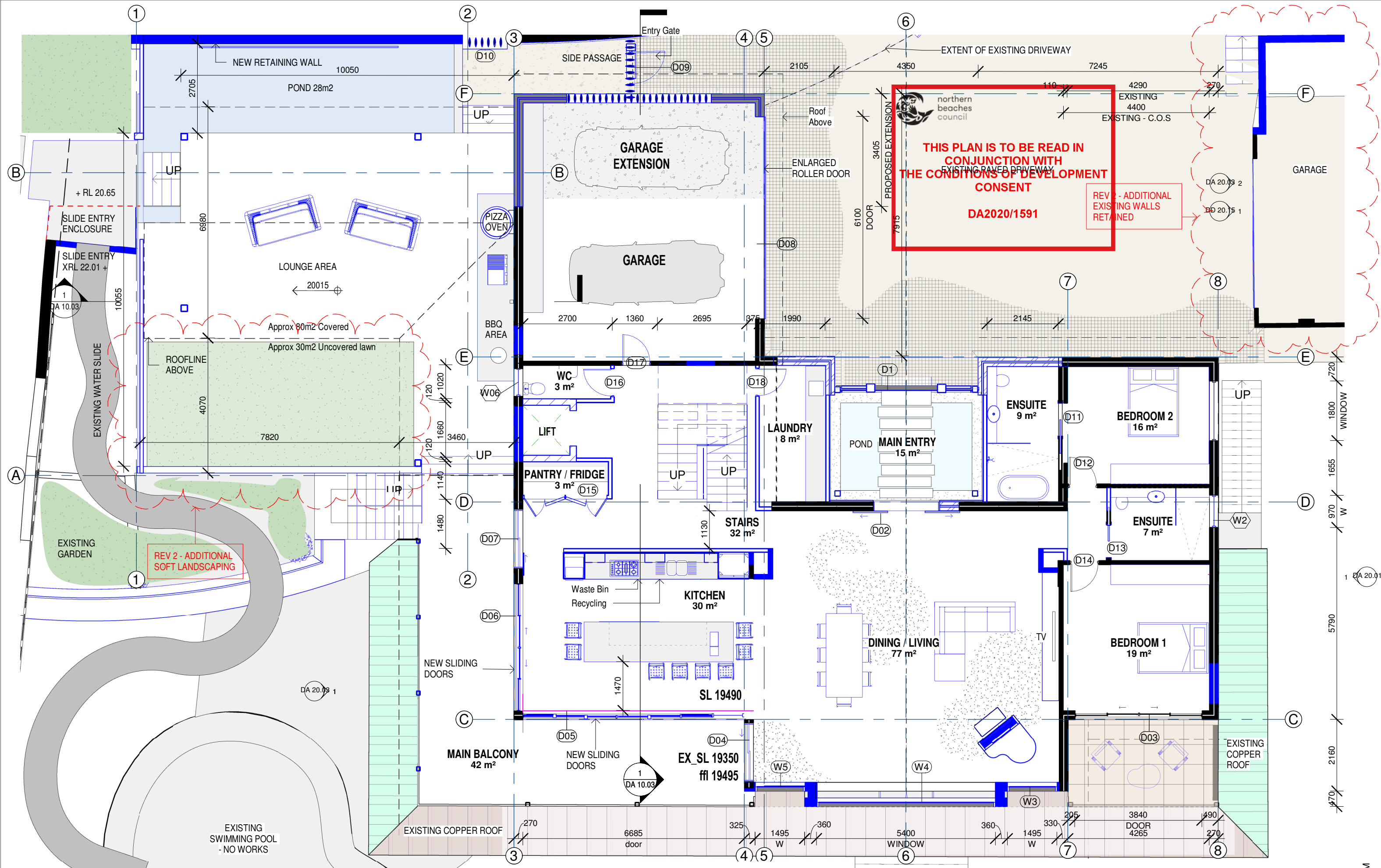
mark@bja.net.au

www.bja.net.au

Project	316 Hudson Parade
Client	TONY WALLS
Address	316 Hudson Parade Lot 1 DP827733

Design Stage	DEVELOPMENT APPLICATION
Title	EXISTING / DEMOLITION - LOWER GROUND

Job No	346-02	Drawing no.
Drawn	GV	DA 10.01
Checked	MB	Issue
Scale	1 : 100	1



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2	10/03/21	DA ADDITIONAL INFO
1	25/11/20	DEVELOPMENT APPLICATION
Issue	Date	Amendment

North Point

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BYRON BAY NSW AUSTRALIA
Nominated Architects
D Jacobson #4259 & M Baxter #4831

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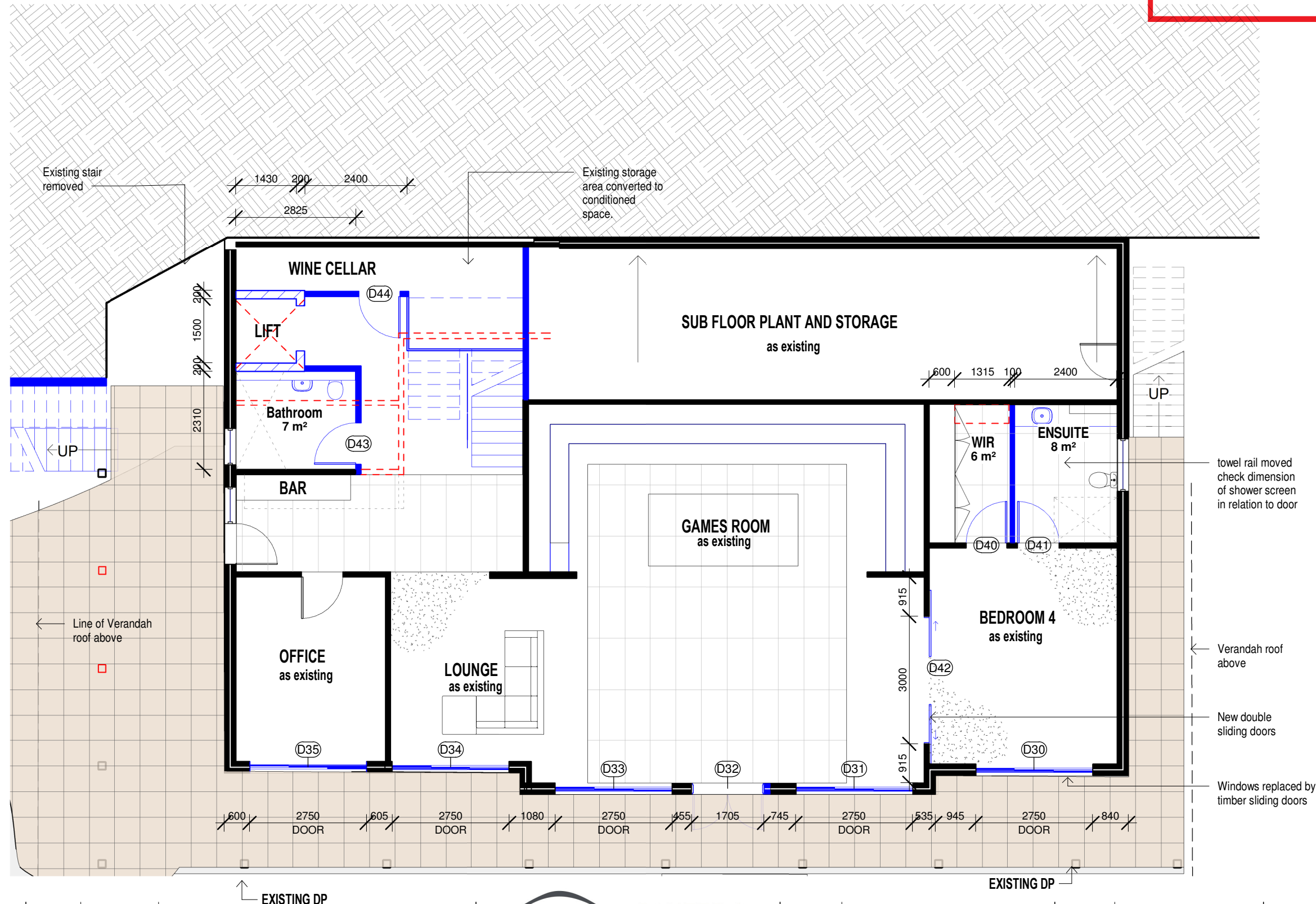
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Project 316 Hudson Parade
Client TONY WALLS
Address 316 Hudson Parade
Lot 1 DP827733

Design Stage
Title
DEVELOPMENT APPLICATION
PROPOSED FLOOR PLAN - LEVEL 1

Job No 346-02
Drawn GV
Checked MFB
Scale 1 : 100

Drawing no. DA 10.03
Issue 2



LEGEND

EXISTING WALLS

NEW WALLS

* EXISTING EXTERNAL WALLS
GENERALLY DOUBLE SKIN BRICK

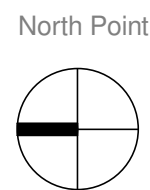
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1
Issue

25/11/20
Date

DEVELOPMENT APPLICATION
Amendment



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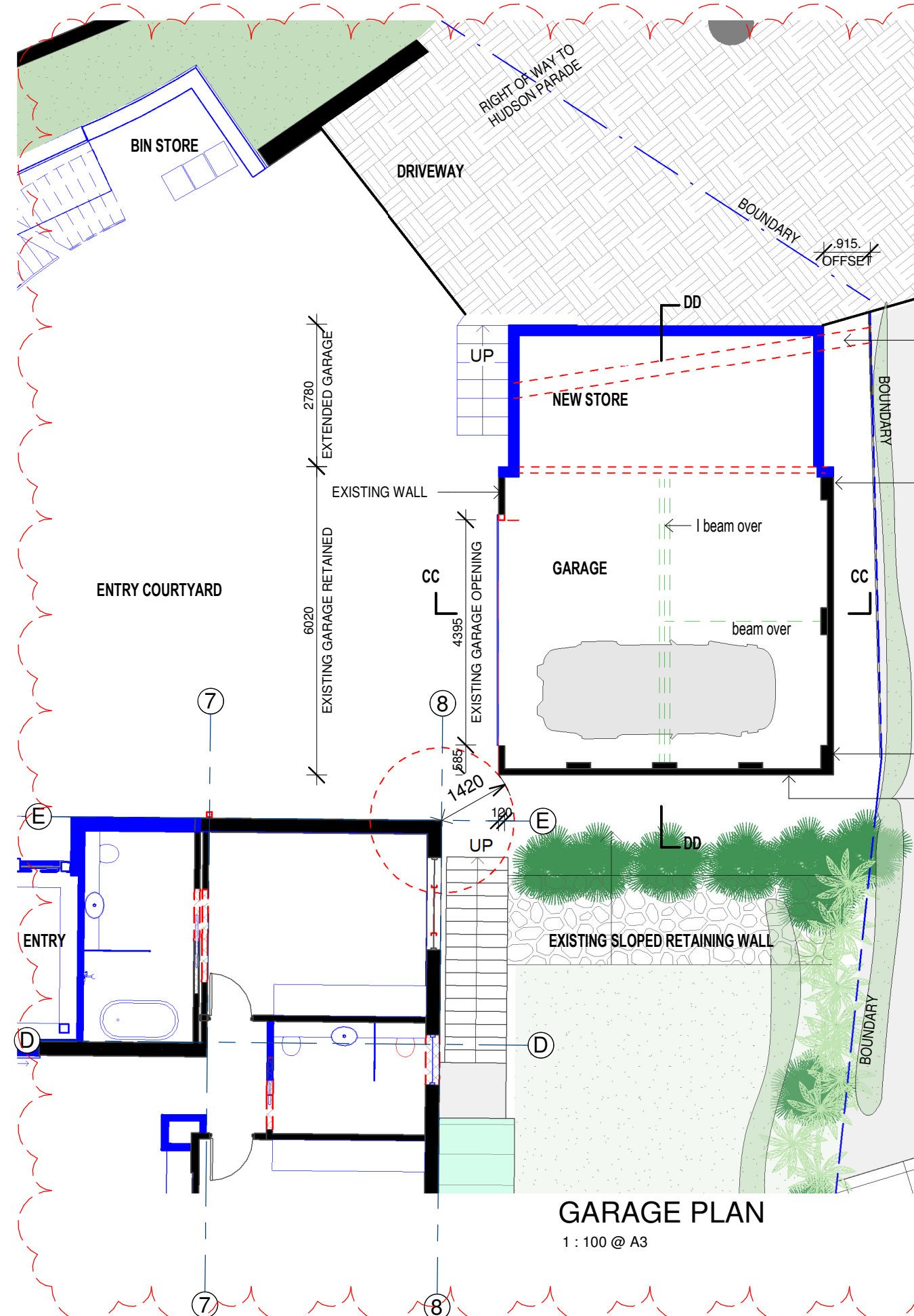
Project 316 Hudson Parade
Client TONY WALLS
Address 316 Hudson Parade
Lot 1 DP827733

Design Stage
Title

DEVELOPMENT APPLICATION
Proposed Lower ground Floor

Job No 346-02
Drawn gv
Checked MFB
Scale 1 : 100

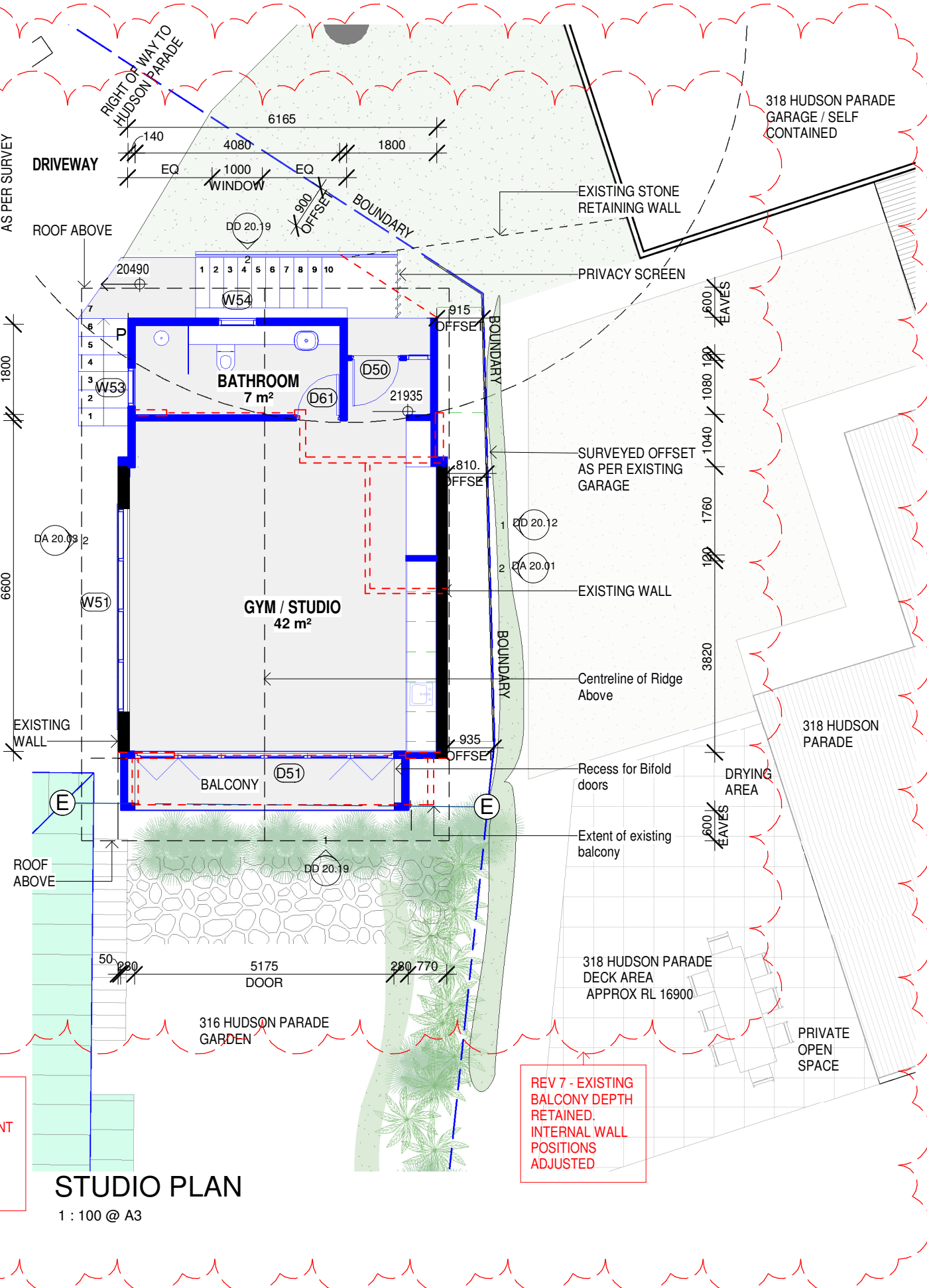
Drawing no.
DA 10.04
Issue
1



GARAGE PLAN
1 : 100 @ A3

REV 7 - BATHROOM
AMENDED. WINDOW
LOCATIONS
CHANGED TO SUIT

REV 4 - ADDITIONAL EXISTING
WALLS RETAINED, HEIGHT
REDUCED, GARAGE FOOTPRINT
REDUCED, ADDITIONAL
INFORMATION PROVIDED IN
RELATION TO NEIGHBOURS
LANDSCAPE



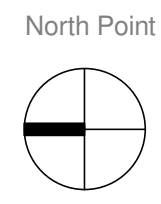
STUDIO PLAN
1 : 100 @ A3

REV 7 - EXISTING
BALCONY DEPTH
RETAINED.
INTERNAL WALL
POSITIONS
ADJUSTED

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7	13/09/21
6	13/9/21
5	20/05/21
4	10/03/21
Issue	Date

DA REVIEW ADDITIONAL INFO
CLIENT SKETCH PLAN
SECTION 8.2 REVIEW
DA ADDITIONAL INFO
Amendment

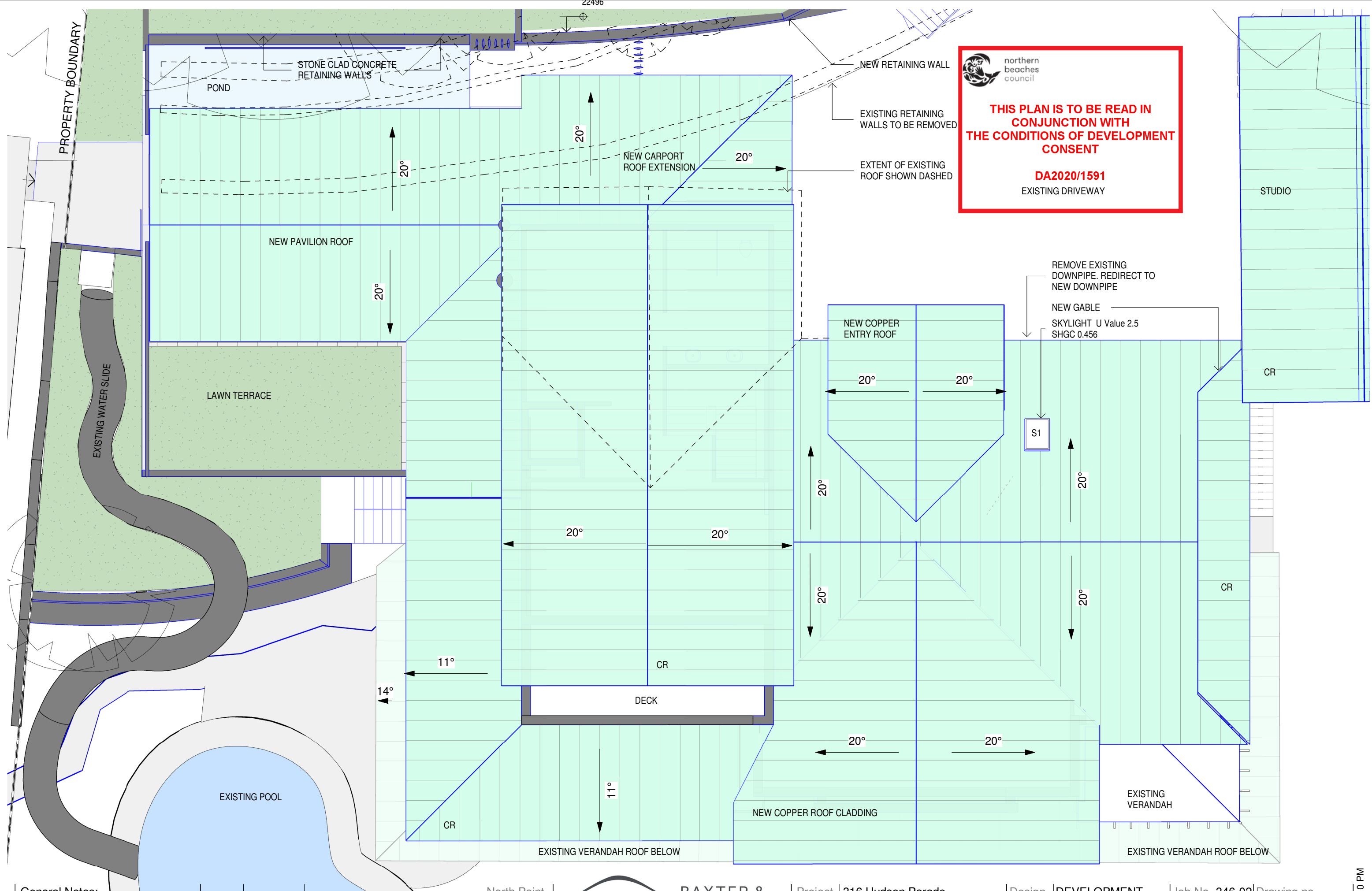


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Client	TONY WALLS
Address	316 Hudson Parade Lot 1 DP827733

Design Stage	DEVELOPMENT APPLICATION
Title	PROPOSED PLAN - GARAGE / STUDIO

Job No	346-02	Drawing no.	DA 10.05
Drawn	gv		Issue
Checked	mfb		
Scale	1 : 100	7	



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2	10/03/21	DA ADDITIONAL INFO
1	25/11/20	DEVELOPMENT APPLICATION
Issue	Date	Amendment

North Point

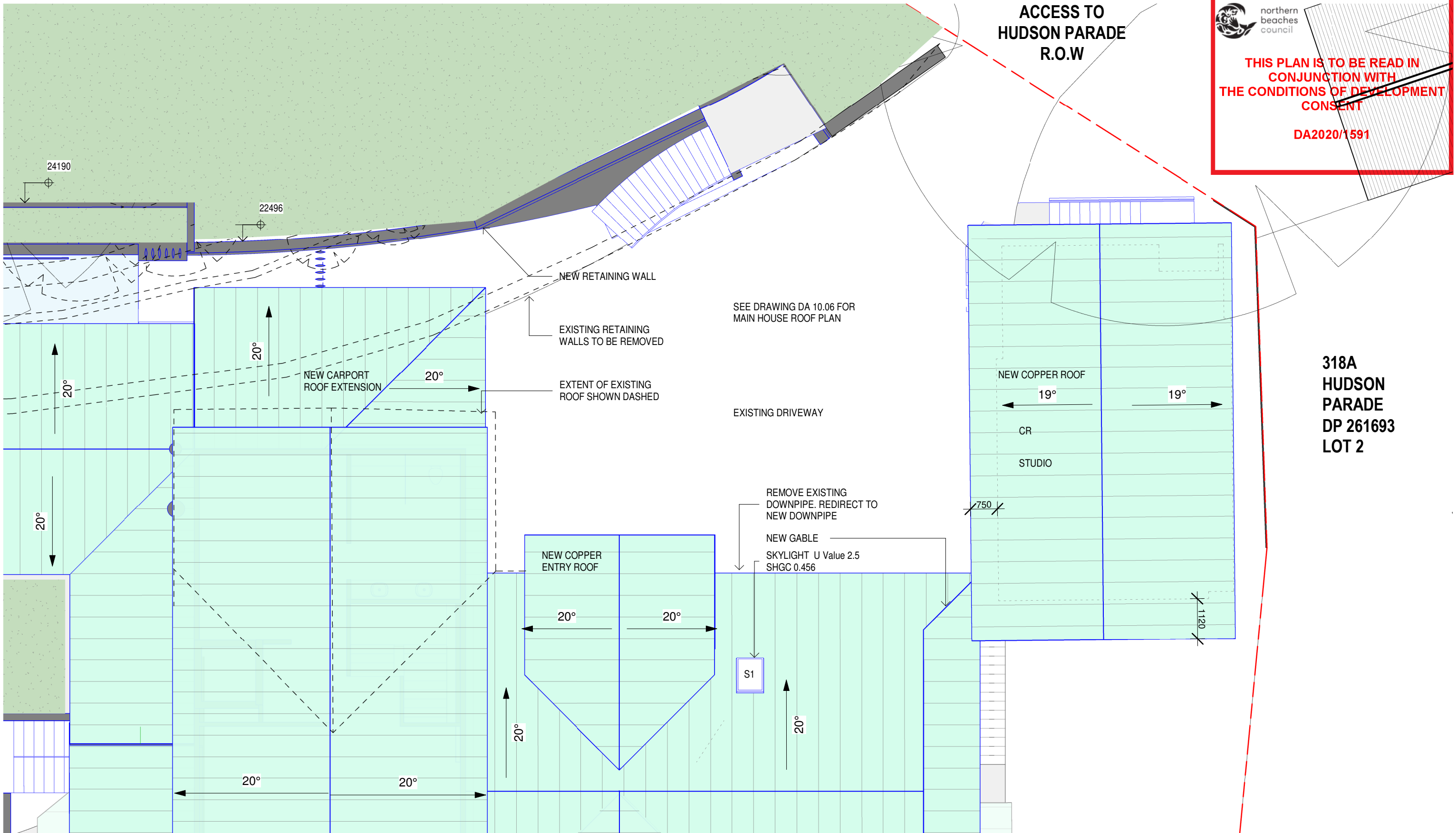
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Project 316 Hudson Parade
Client TONY WALLS
Address 316 Hudson Parade
Lot 1 DP827733

Design Stage	DEVELOPMENT APPLICATION	Job No 346-02	Drawing no.
Title	ROOF PLAN - HOUSE AND PAVILION	Drawn GV	DA 10.06
		Checked MFB	Issue
		Scale 1 : 100	2

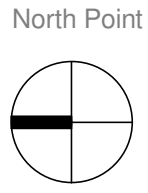


Proposed Roof - Studio

1 : 100 @ A3

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1	27/11/20	DA
Issue	Date	Amendment



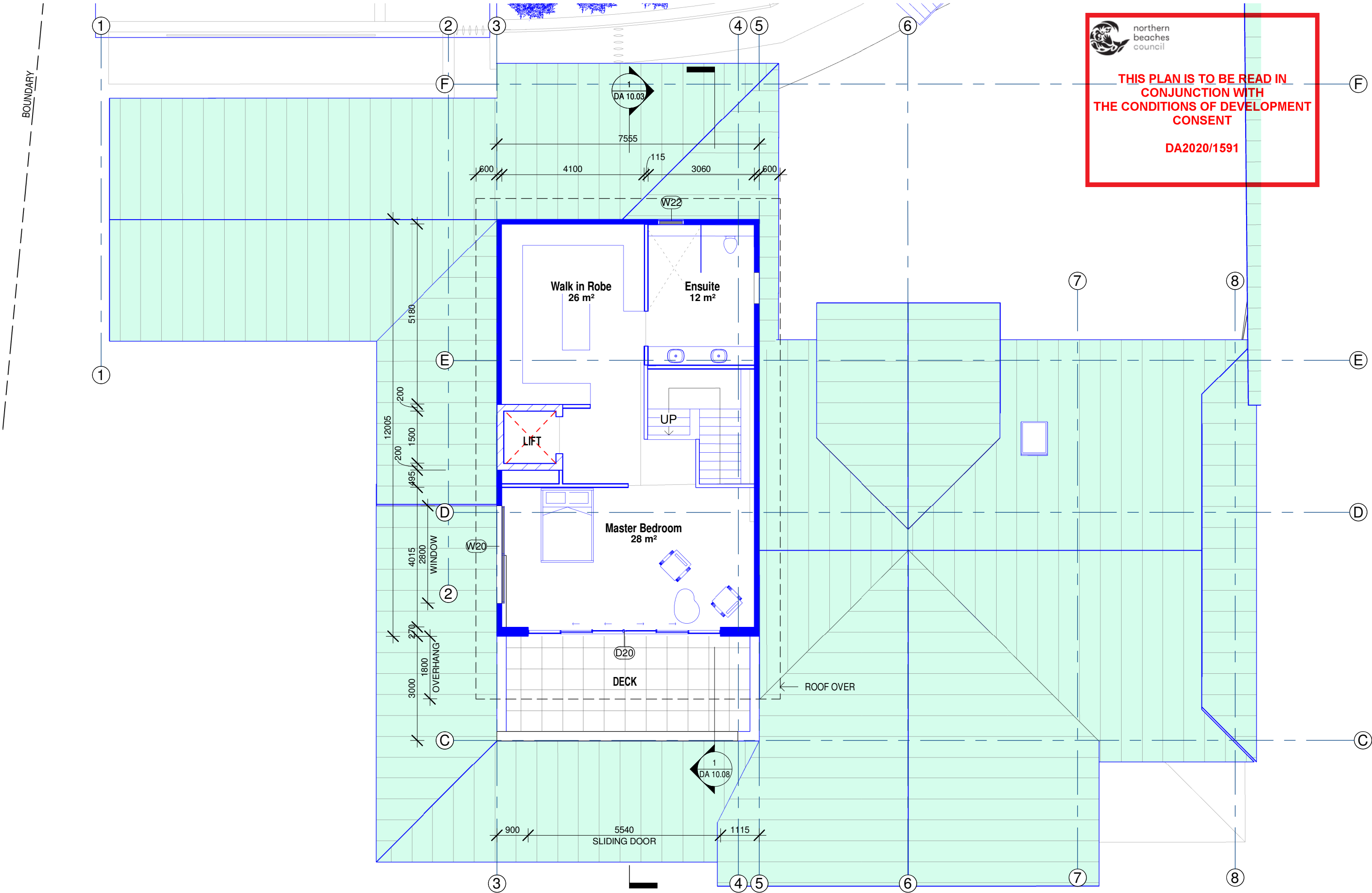
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Project 316 Hudson Parade
Client TONY WALLS
Address 316 Hudson Parade
Lot 1 DP827733

Design Stage	DEVELOPMENT APPLICATION	Job No 346-02	Drawing no.
Title	ROOF PLAN - STUDIO	Drawn GV	DA 10.07
		Checked Is	Issue
		Scale 1 : 100	1

10/03/2021 3:53:15 PM

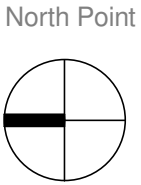


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Issue

25/11/20
Date

DEVELOPMENT APPLICATION
Amendment

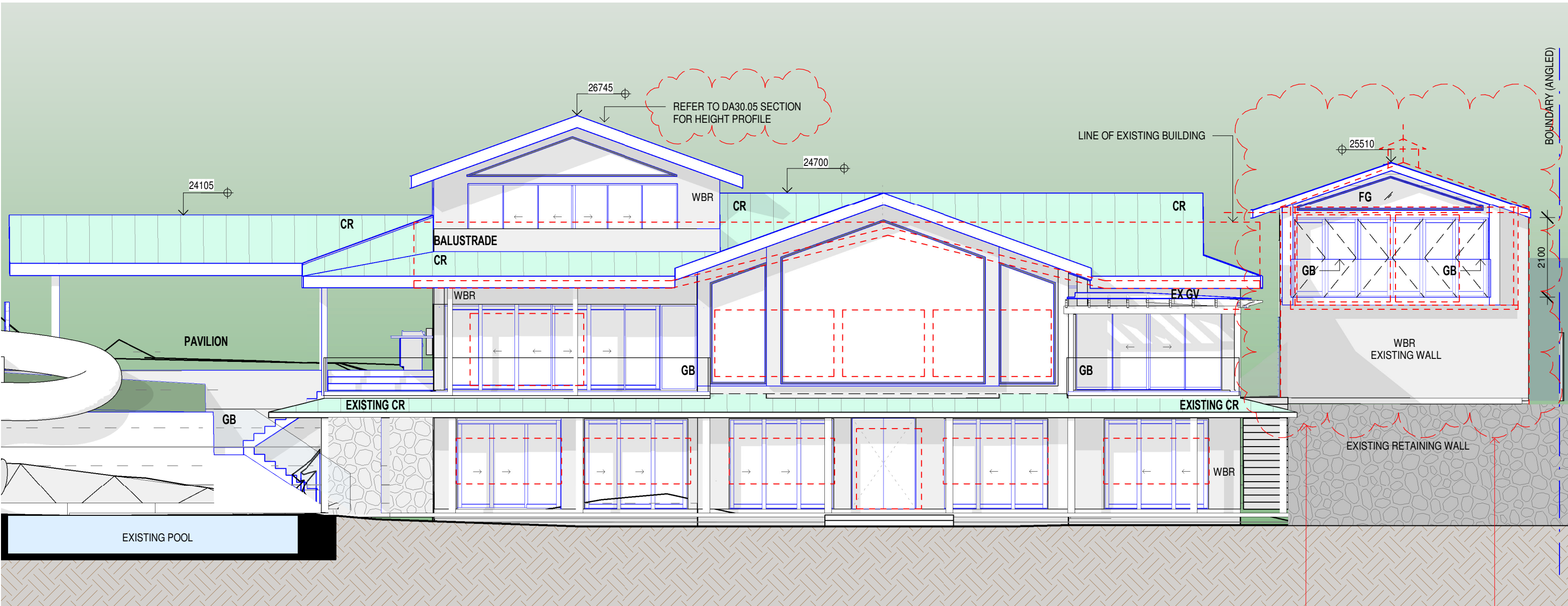


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Project 316 Hudson Parade
Client TONY WALLS
Address 316 Hudson Parade
Lot 1 DP827733

Design Stage DEVELOPMENT APPLICATION
Title MASTER BEDROOM LEVEL

Job No 346-02
Drawn GV
Checked MFB
Scale 1 : 100
Drawing no. DA 10.08
Issue 1



ELEVATION - WEST - 1 TO 100

1 : 100 @ A3

REV 4 - HEIGHT REDUCED TO MATCH EXISTING. EXISTING WALL OF GARAGE RETAINED

REV 7 - GLAZING WALL RECESSED TO CREATE BALCONY. SIDE OF BALCONY RECESSED FROM SIDE BOUNDARY

LEGEND:

- EX CR - EXISTING COPPER ROOF
- CR - COPPER ROOF
- WBR - BRICK PAINTED WHITE
- WB - WHITE WEATHER BOARDS
- EX CG - EXISTING COPPER GUTTER
- CG - COPPER GUTTER
- EX GV - EXISTING GLASS VERANDAH
- GB - GLASS BALUSTRADE

NOTES:

- CHECK ALL DIMENSIONS ON SITE
- WINDOWS AND DOORS ARE TIMBER FRAMED, SINGLE CLEAR GLAZING GENERALLY

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7	13/09/21	DA REVIEW ADDITIONAL INFO
6	-	-
5	13/9/21	CLIENT SKETCH PLAN
4	10/03/21	DA ADDITIONAL INFO
Issue	Date	Amendment



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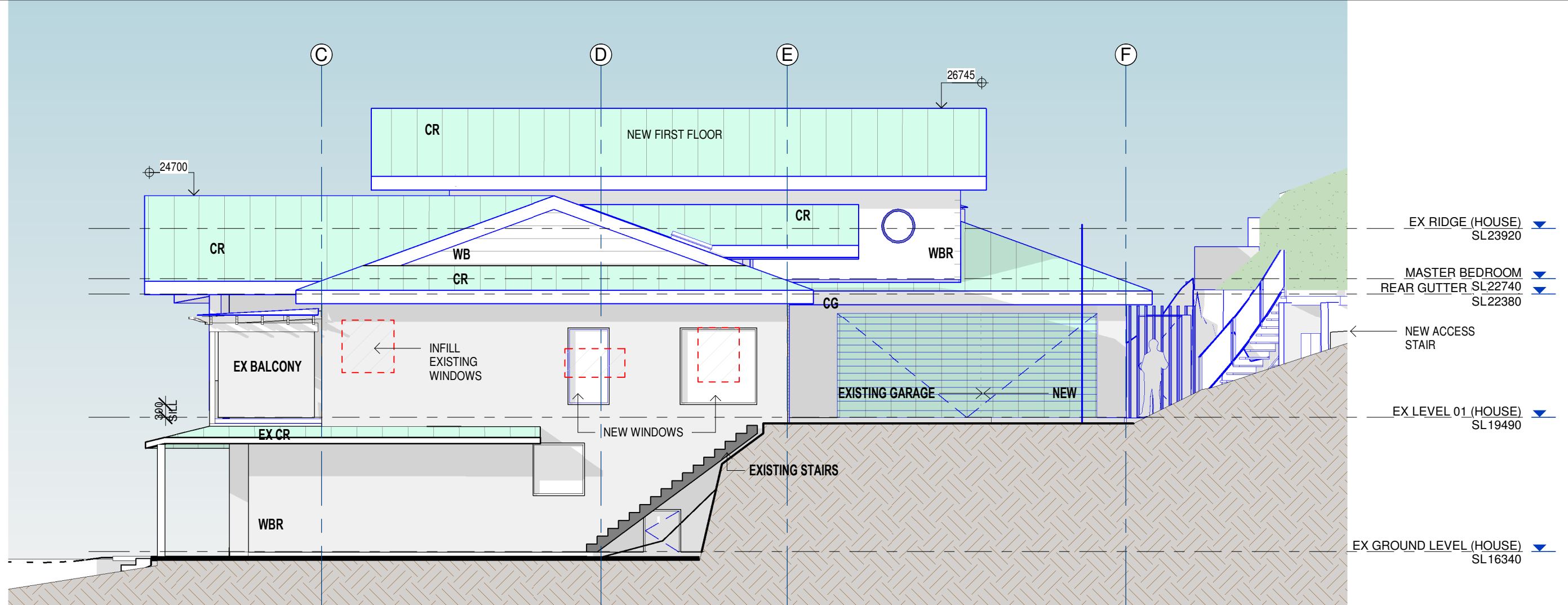
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Project 316 Hudson Parade
Client TONY WALLS
Address 316 Hudson Parade
Lot 1 DP827733

Design Stage DEVELOPMENT APPLICATION
Title ELEVATION WEST

Job No 346-02
Drawn GV
Checked LS
Scale As indicated
Drawing no. DA 20.00
Issue 7

13/09/2021 5:03:44 PM



Proposed Southern Elevation House

1 : 100 @ A3

REV 4 - HEIGHT REDUCED
TO MATCH EXISTING.
EXISTING WALLS RETAINED

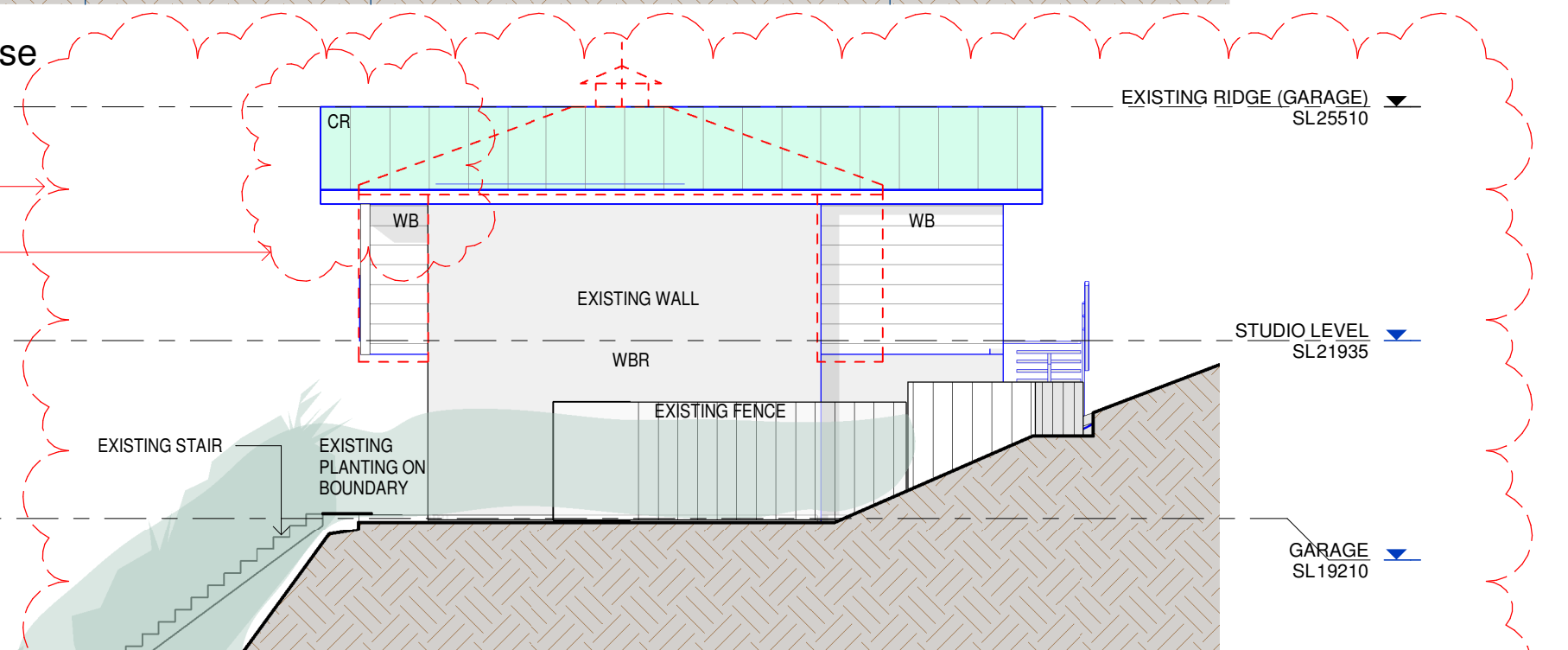
REV 7 - EAVES REDUCED

LEGEND:

EX CR - EXISTING COPPER ROOF
CR - COPPER ROOF
WBR - BRICK PAINTED WHITE
WB - WHITE WEATHER BOARDS
EX CG - EXISTING COPPER GUTTER
CG - COPPER GUTTER
EX GV - EXISTING GLASS VERANDAH
GB - GLASS BALUSTRADE

NOTES:

- CHECK ALL DIMENSIONS ON SITE
- WINDOWS AND DOORS ARE TIMBER FRAMED,
SINGLE CLEAR GLAZING GENERALLY



Proposed Southern Elevation - Studio

1 : 100 @ A3

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7	13/09/21	DA REVIEW ADDITIONAL INFO
6	-	-
5	-	-
4	10/03/21	DA ADDITIONAL INFO
Issue	Date	Amendment



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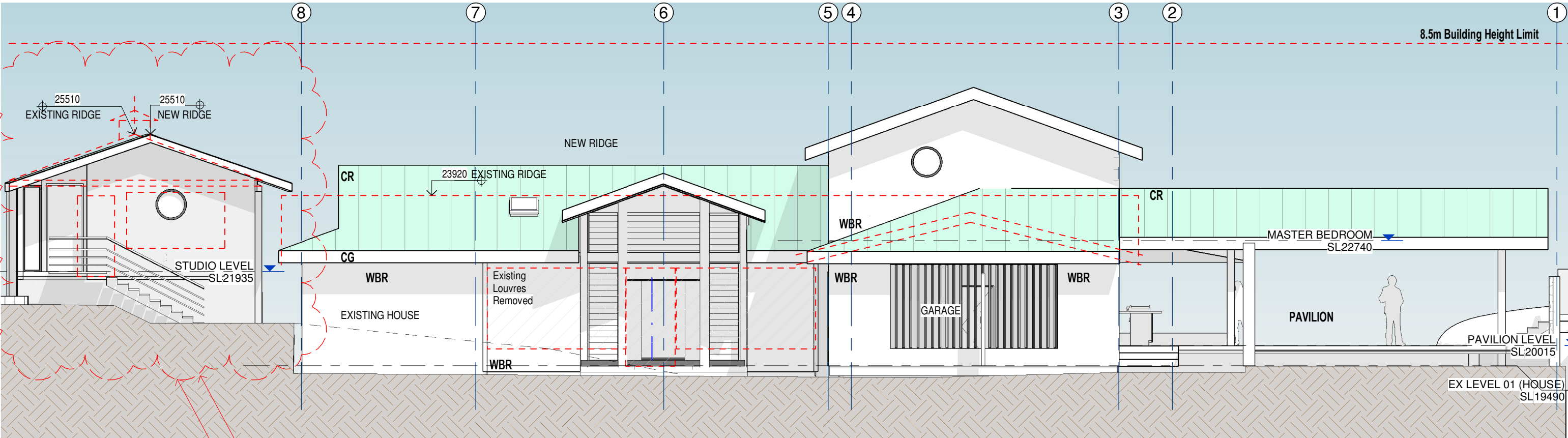
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WEB www.bja.net.au

Project 316 Hudson Parade
Client TONY WALLS
Address 316 Hudson Parade
Lot 1 DP827733

Design Stage DEVELOPMENT APPLICATION
Title ELEVATION-SOUTH

Job No 346-02
Drawn gv
Checked MFB
Scale As indicated
Drawing no. DA 20.01
Issue 7

13/09/2021 5:03:46 PM



Elevation East 100

1 : 100 @ A3

REV 3 - HEIGHT REDUCED
TO MATCH EXISTING.

REV 7 - WINDOW LOCATION
CHANGED TO SUIT NEW
BATHROOM LAYOUT

LEGEND:

- EX CR - EXISTING COPPER ROOF
- CR - COPPER ROOF
- WBR - BRICK PAINTED WHITE
- WB - WHITE WEATHER BOARDS
- EX CG - EXISTING COPPER GUTTER
- CG - COPPER GUTTER
- EX GV - EXISTING GLASS VERANDAH
- GB - GLASS BALUSTRADE

NOTES:

- CHECK ALL DIMENSIONS ON SITE
- WINDOWS AND DOORS ARE TIMBER FRAMED,
SINGLE CLEAR GLAZING GENERALLY

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6	-	-
5	-	-
4	-	-
Issue	Date	Amendment



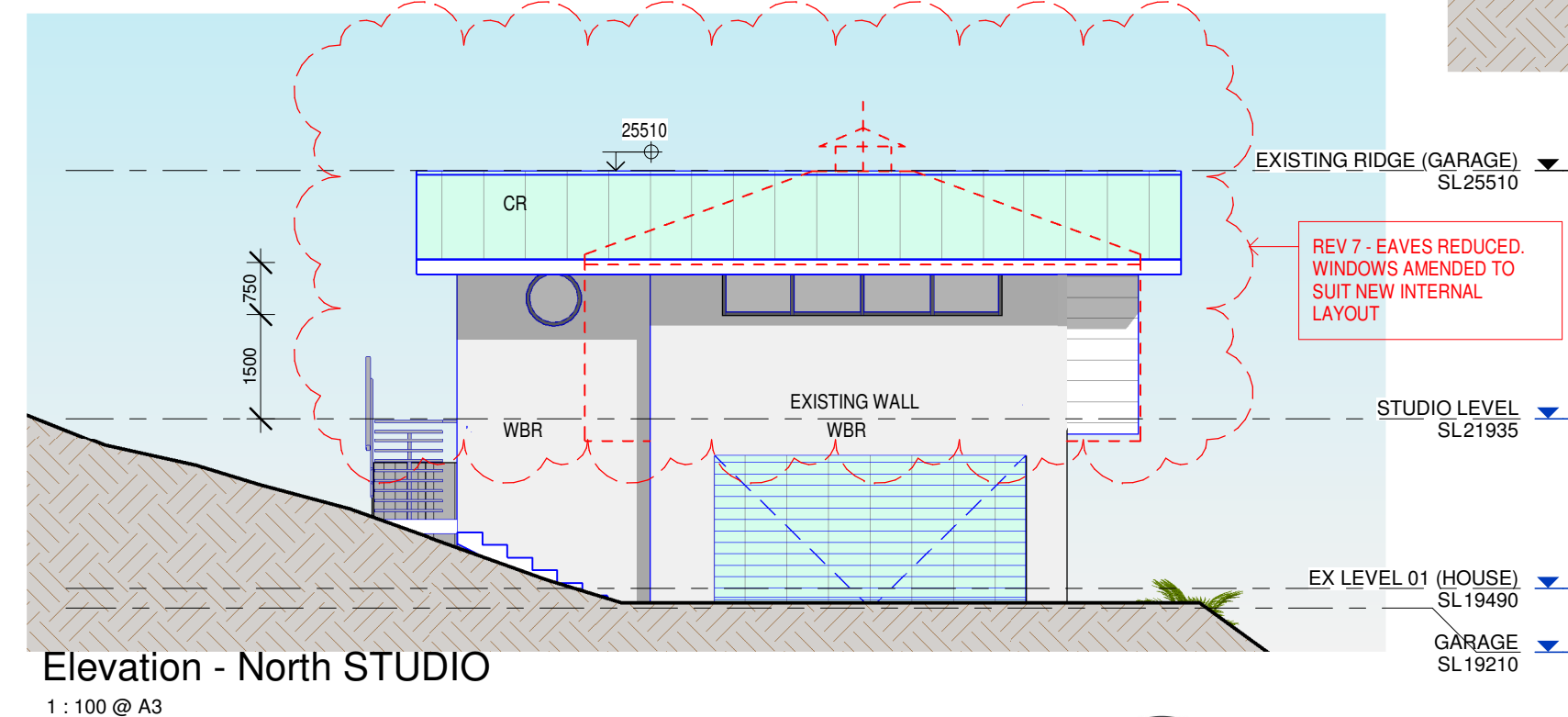
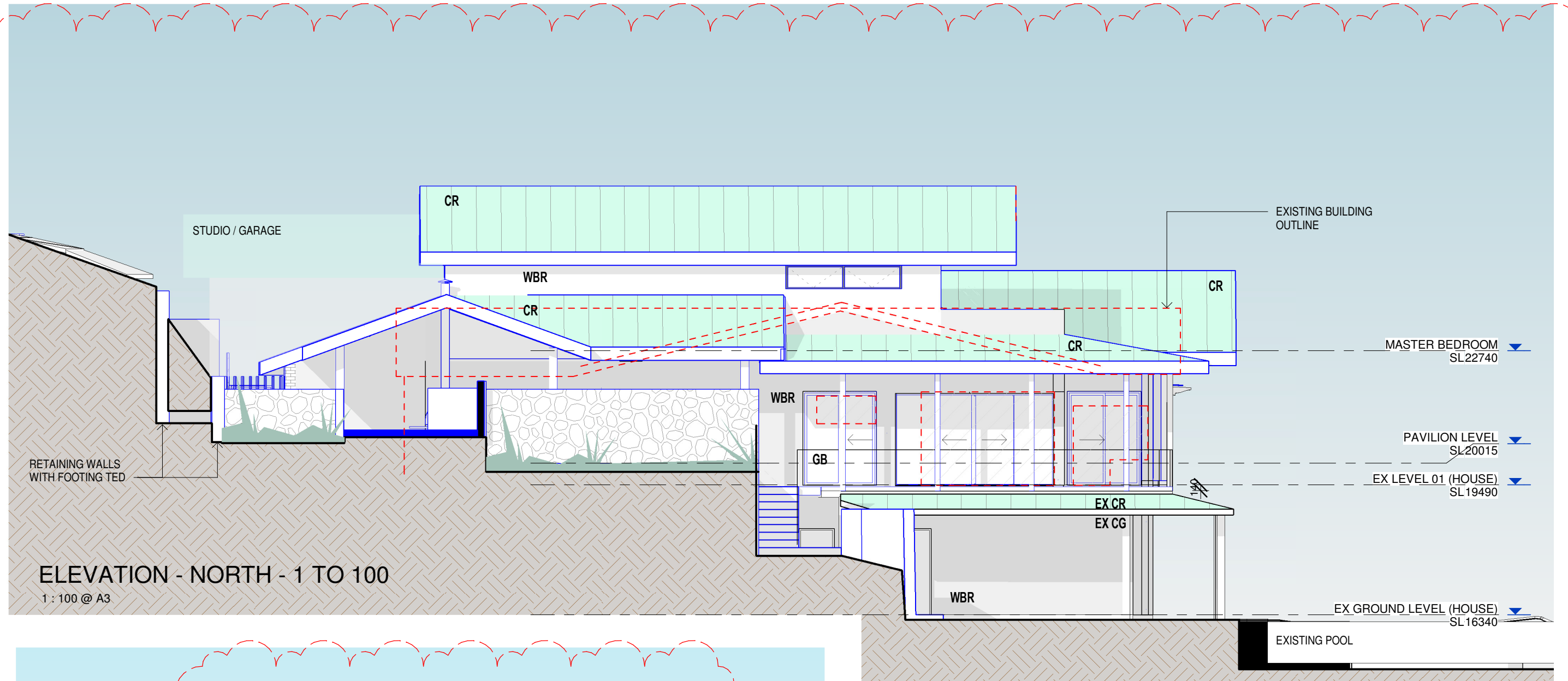
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Project 316 Hudson Parade
Client TONY WALLS
Address 316 Hudson Parade
Lot 1 DP827733

Design Stage DEVELOPMENT APPLICATION
Title ELEVATIONS - EAST

Job No 346-02
Drawn GV
Checked MFB
Scale As indicated
Drawing no. DA 20.02
Issue 7



LEGEND:

EX CR - EXISTING COPPER ROOF
CR - COPPER ROOF
WBR - BRICK PAINTED WHITE
WB - WHITE WEATHER BOARDS
EX CG - EXISTING COPPER GUTTER
CG - COPPER GUTTER
EX GV - EXISTING GLASS VERANDAH
GB - GLASS BALUSTRADE

NOTES:

- CHECK ALL DIMENSIONS ON SITE
- WINDOWS AND DOORS ARE TIMBER FRAMED, SINGLE CLEAR GLAZING GENERALLY

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7	13/09/21	DA REVIEW ADDITIONAL INFO
6	-	-
5	-	-
4	-	-
Issue	Date	Amendment



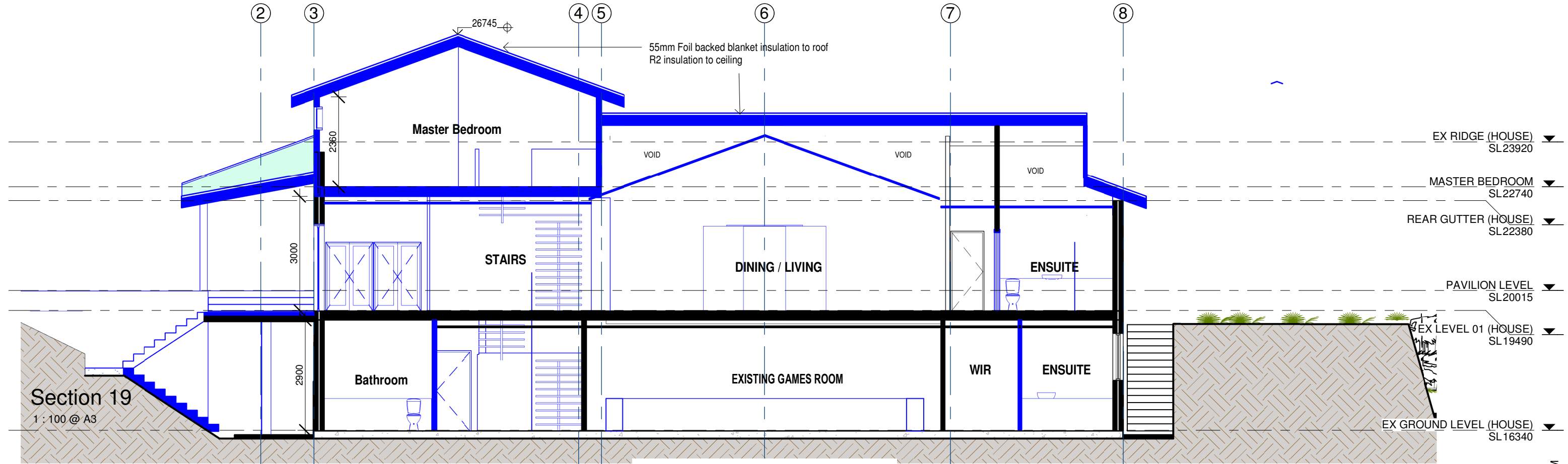
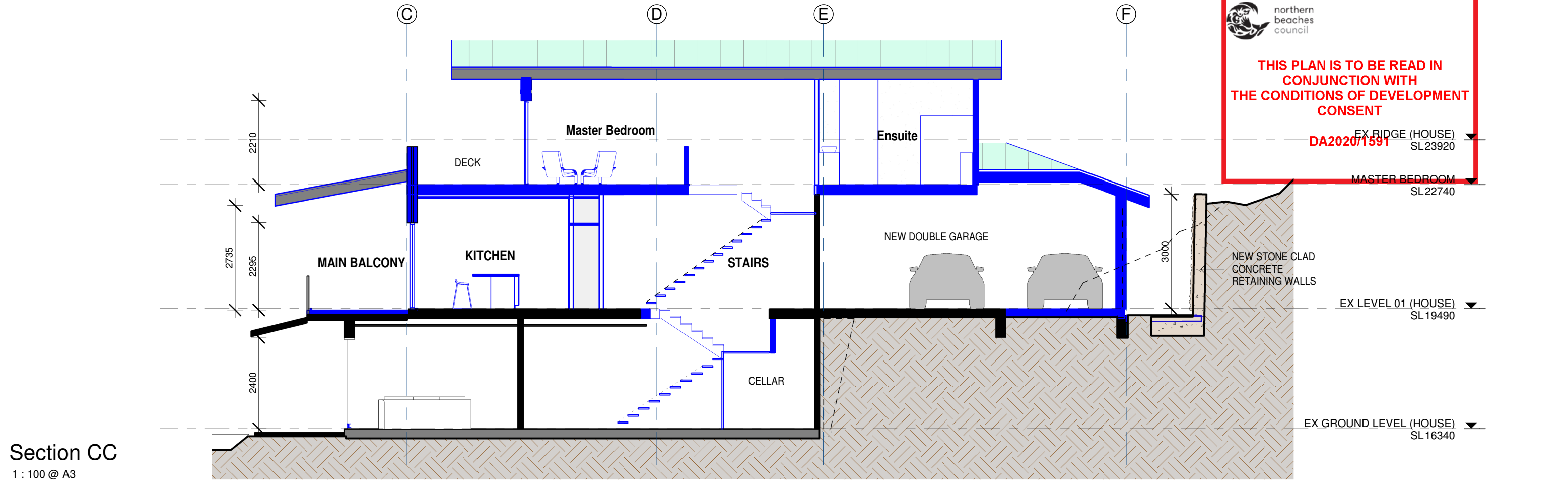
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Lot 1 DP827733

Design Stage DEVELOPMENT APPLICATION
Title ELEVATIONS - NORTH

Job No 346-02
Drawn GV
Checked MFB
Scale As indicated
Drawing no. DA 20.03
Issue 7



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2	27/11/20	DA
1	25/11/20	DEVELOPMENT APPLICATION
Issue	Date	Amendment



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BYRON BAY NSW AUSTRALIA
Nominated Architects
D Jacobson #4259 & M Baxter #4831

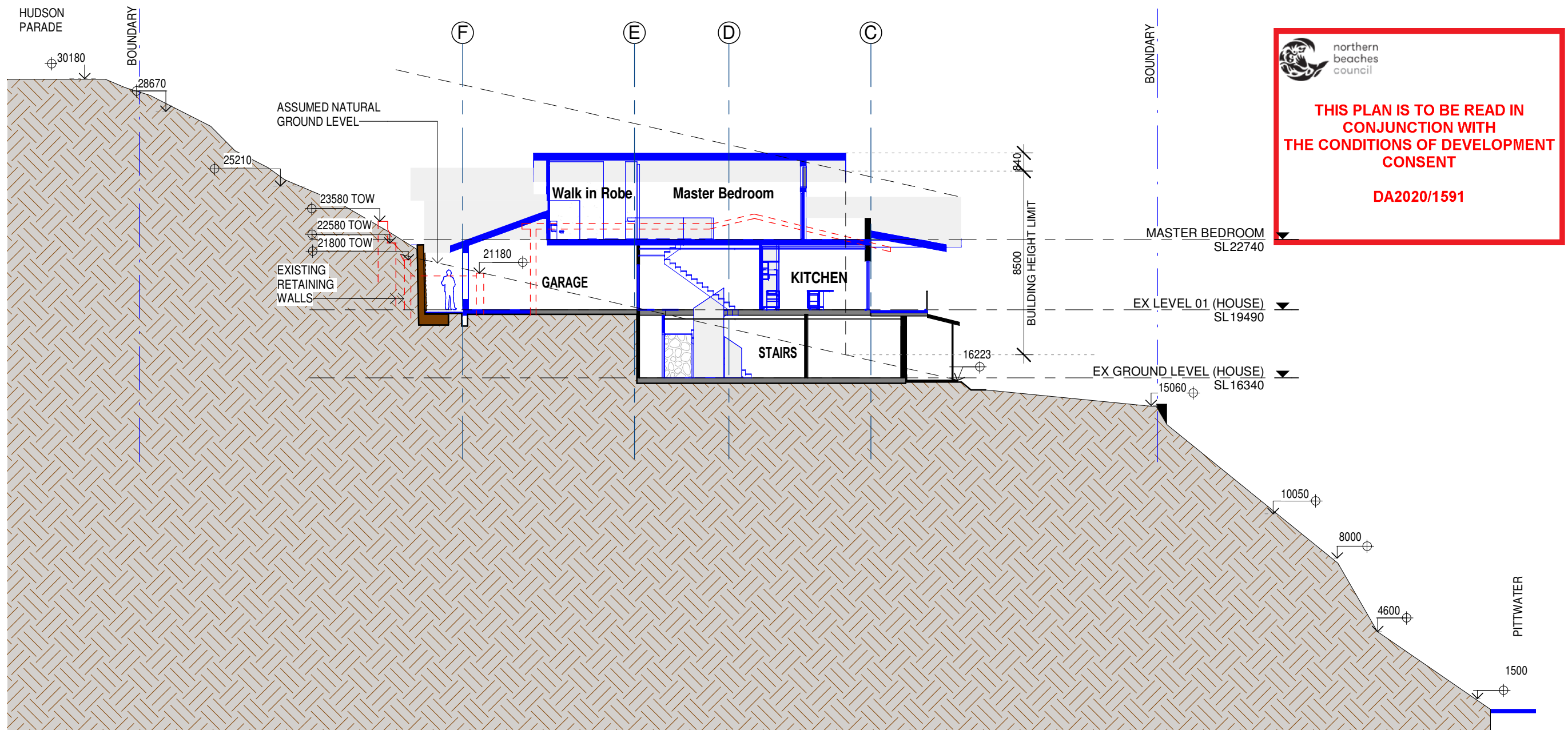
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Client	TONY WALLS
Address	316 Hudson Parade Lot 1 DP827733

Design Stage	DEVELOPMENT APPLICATION
Title	HOUSE - SECTION

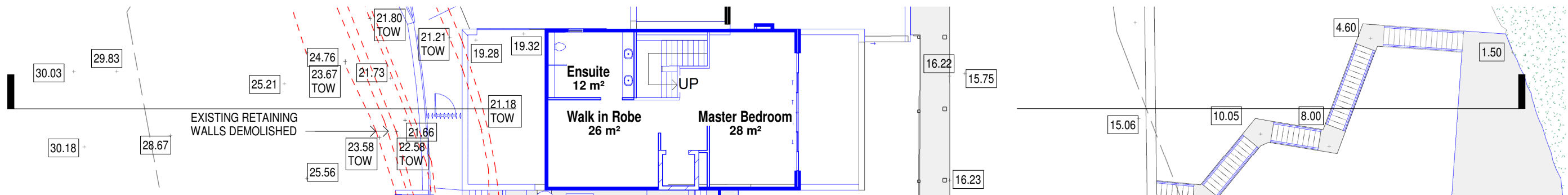
Job No	346-02	Drawing no.	DA 30.03
Drawn	GV	Issue	
Checked	MFB		
Scale	1 : 100		

10/03/2021 3:54:26 PM



Long Site section

1 : 200 @ A3



Long Site Section Survey Points

1 : 200 @ A3

REV 4 - DRAWING ADDED TO DA SET TO CLARIFY EXISTING GROUND LINE AND HEIGHT OF BUILDING

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4
3
2
1
Issue

10/03/21
3/03/21
2/03/21
26/02/21
Date

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AMENDMENTS
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Design Stage DEVELOPMENT APPLICATION
Title LONG SITE SECTION

Job No 346-02
Drawn gv
Checked MFB
Scale 1 : 200
Drawing no. DA 30.05
Issue 4

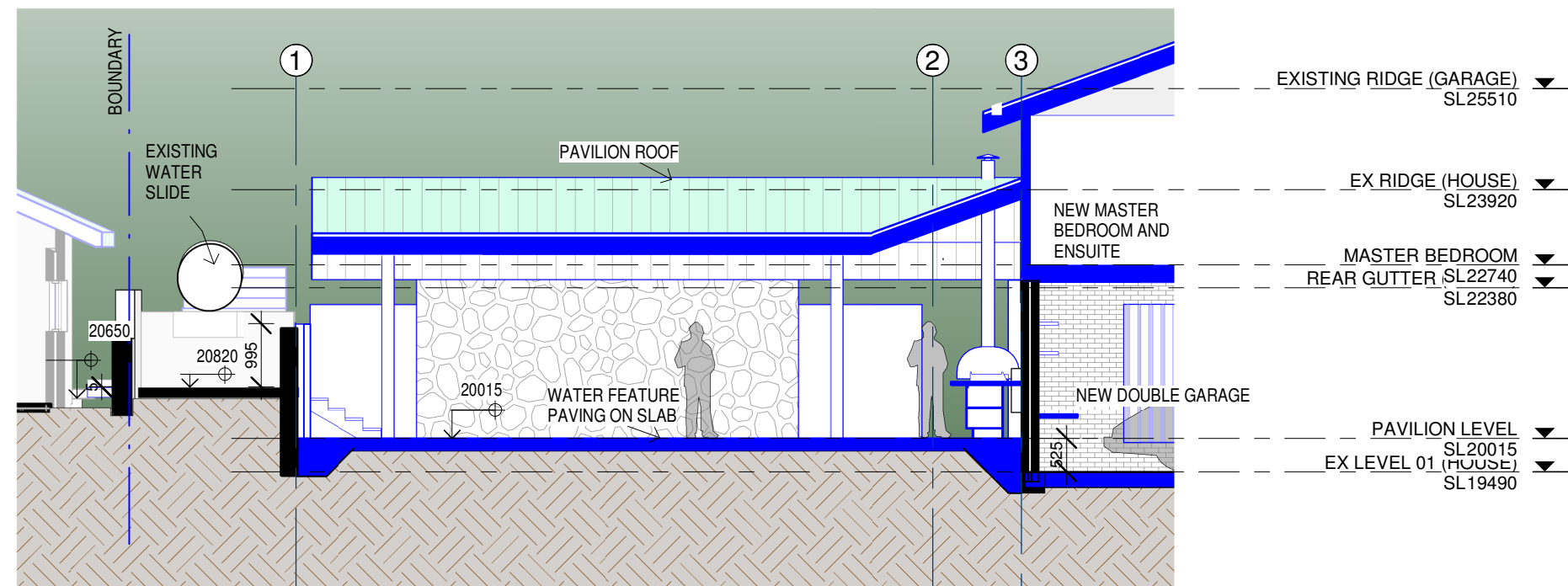
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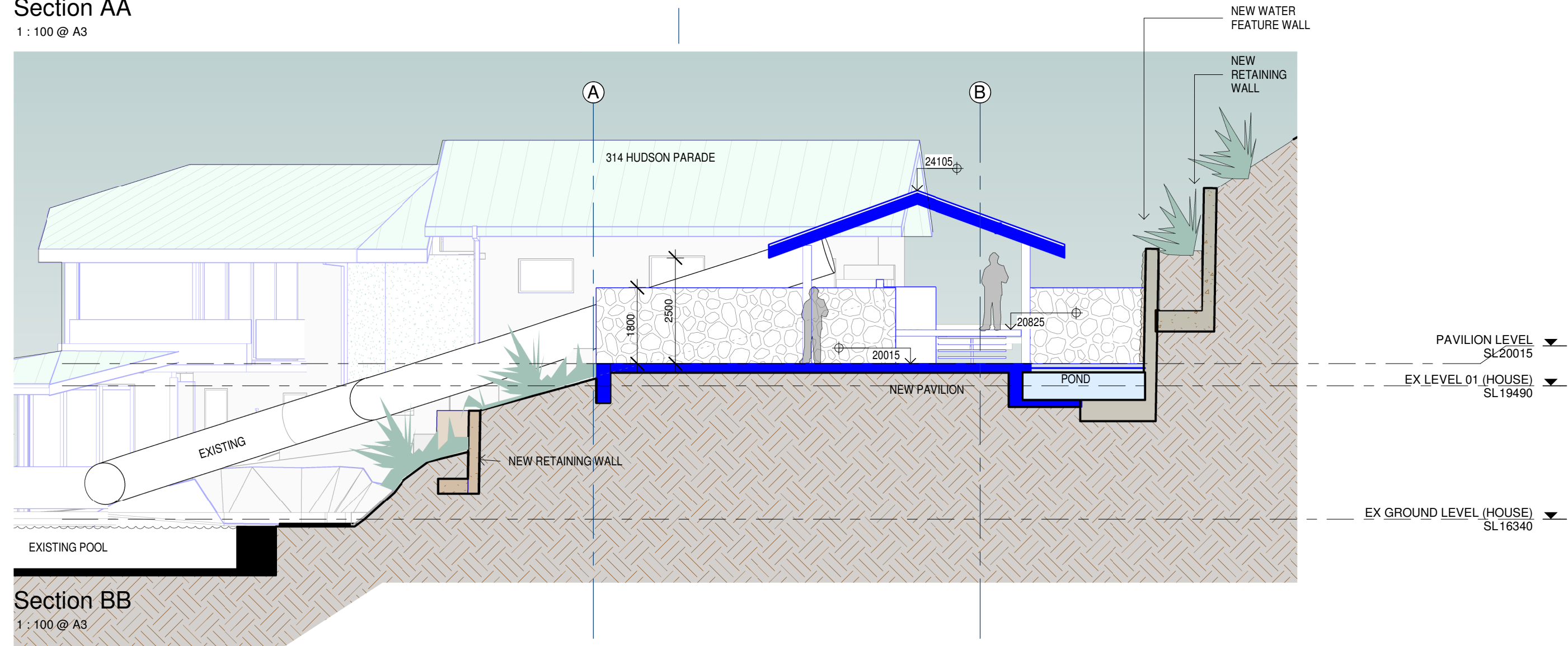
northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1591



Section AA
1 : 100 @ A3



Section BB
1 : 100 @ A3

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Issue	Date	Amendment



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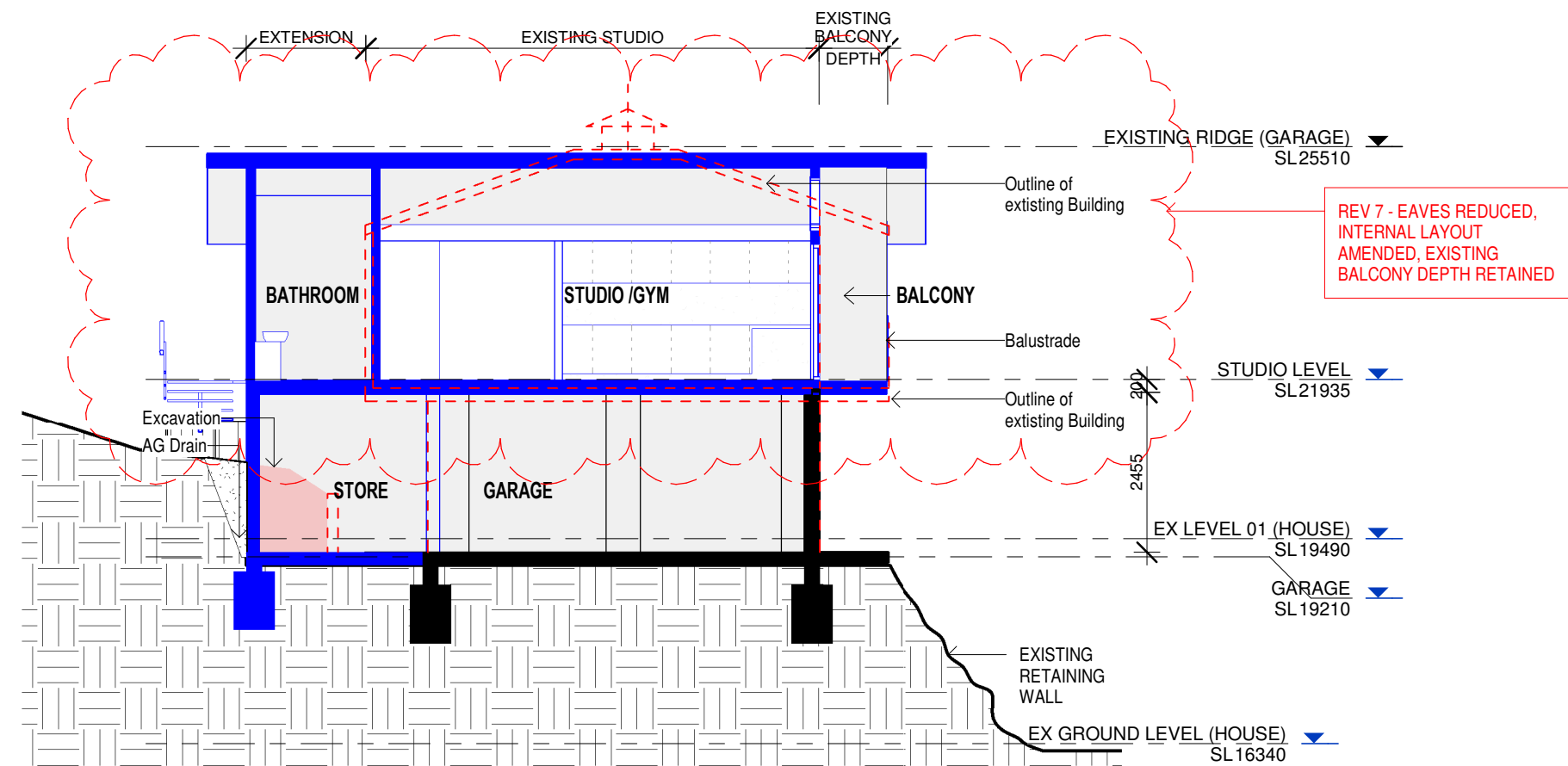
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Client TONY WALLS
Address 316 Hudson Parade
Lot 1 DP827733

Design Stage DEVELOPMENT APPLICATION
Title SECTION - PAVILION - AA AND BB

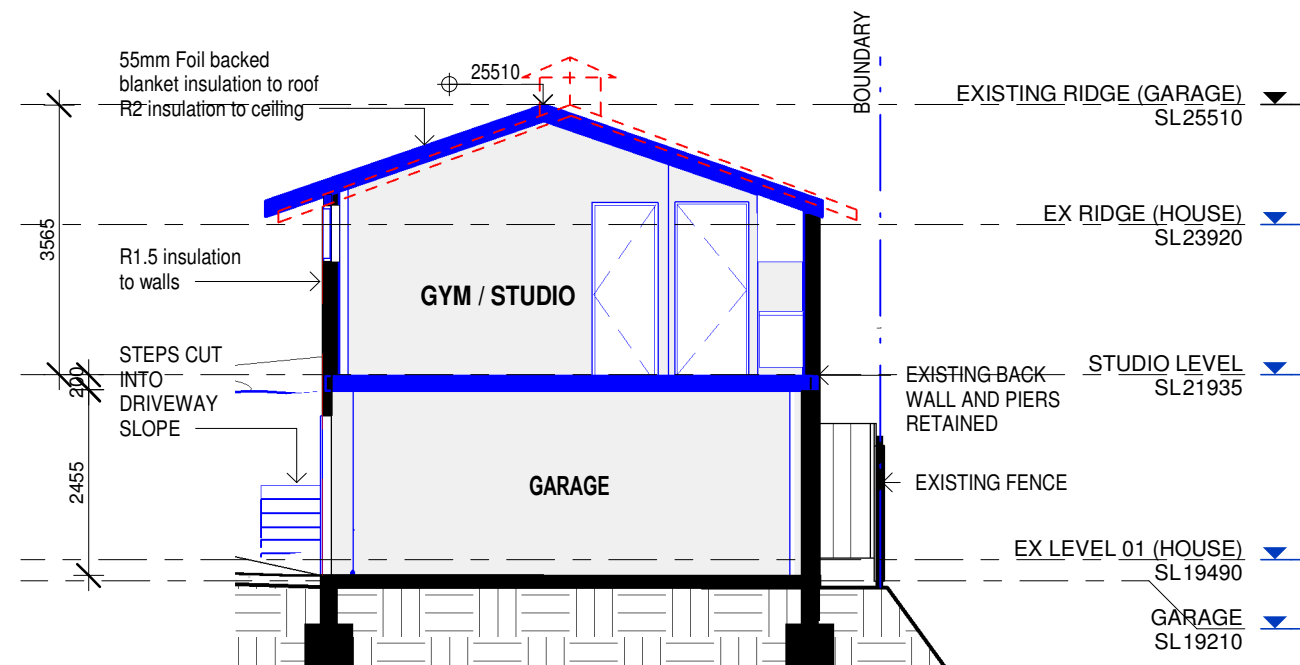
Job No 346-02
Drawn GV
Checked MFB
Scale 1 : 100
Drawing no. DA 30.11
Issue 1



Section DD GARAGE / STUDIO

1 : 100 @ A3

REV 3 - HEIGHT REDUCED
TO MATCH EXISTING.
EXISTING WALLS RETAINED



Section CC GARAGE / STUDIO

1 : 100 @ A3

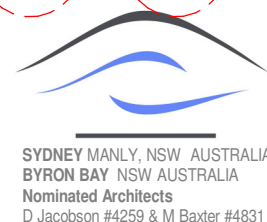
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7
6
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Issue

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-
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Design
Stage

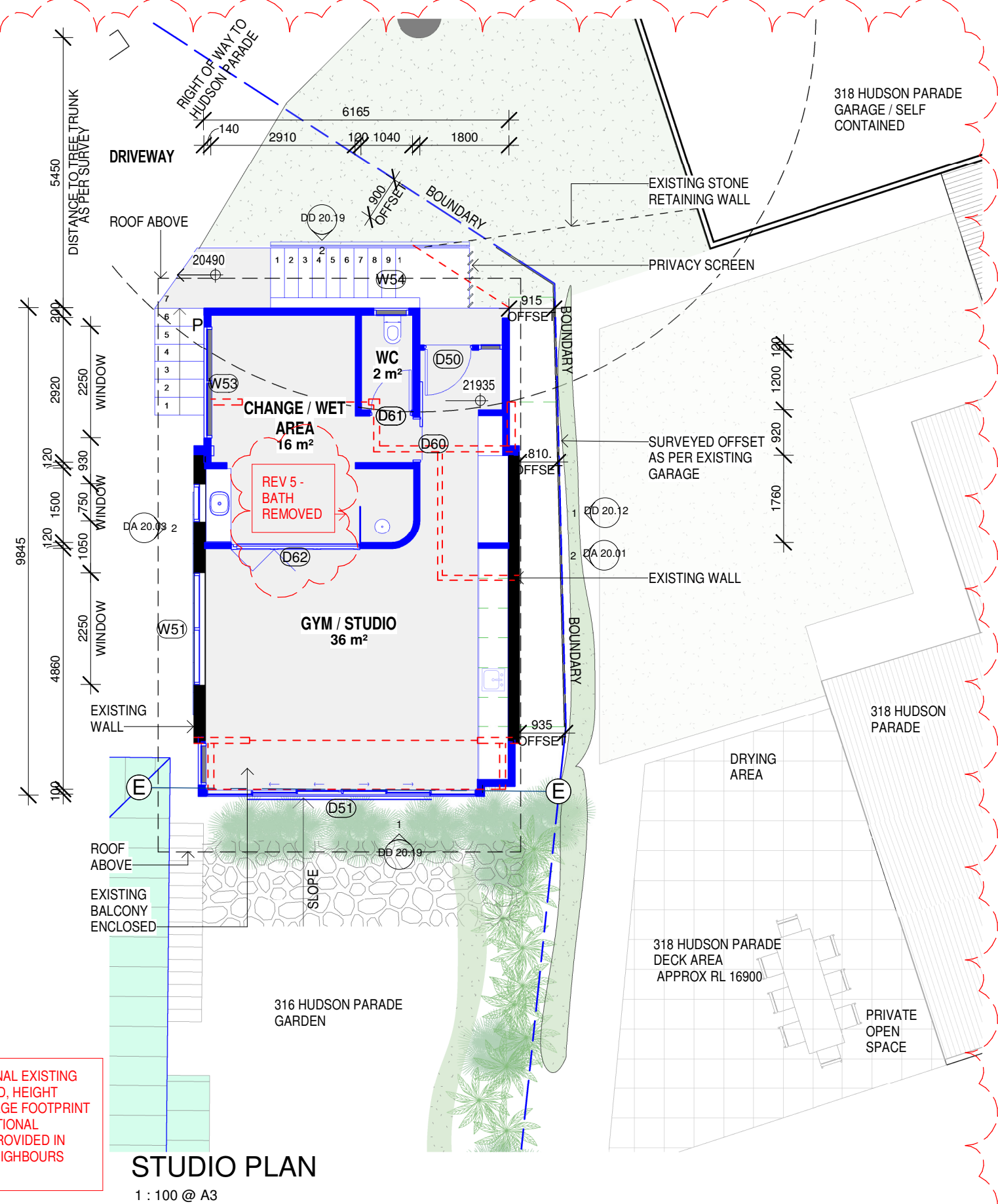
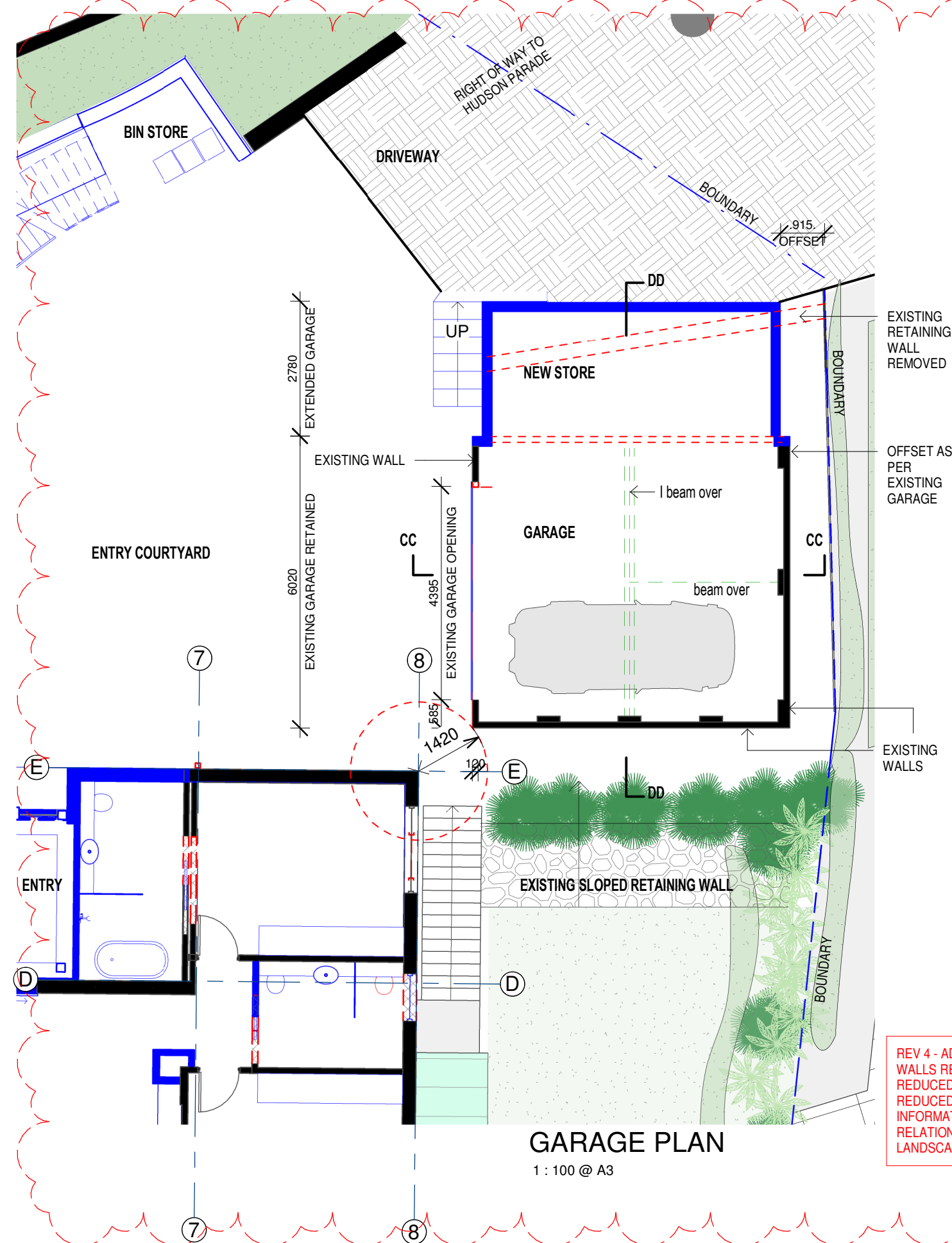
Title

DEVELOPMENT
APPLICATION

SECTION -
GARAGE / STUDIO
CC & DD

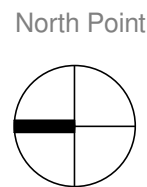
Job No 346-02
Drawn GV
Checked MFB
Scale 1 : 100
Drawing no.
DA 30.20
Issue
7

13/09/2021 5:03:55 PM



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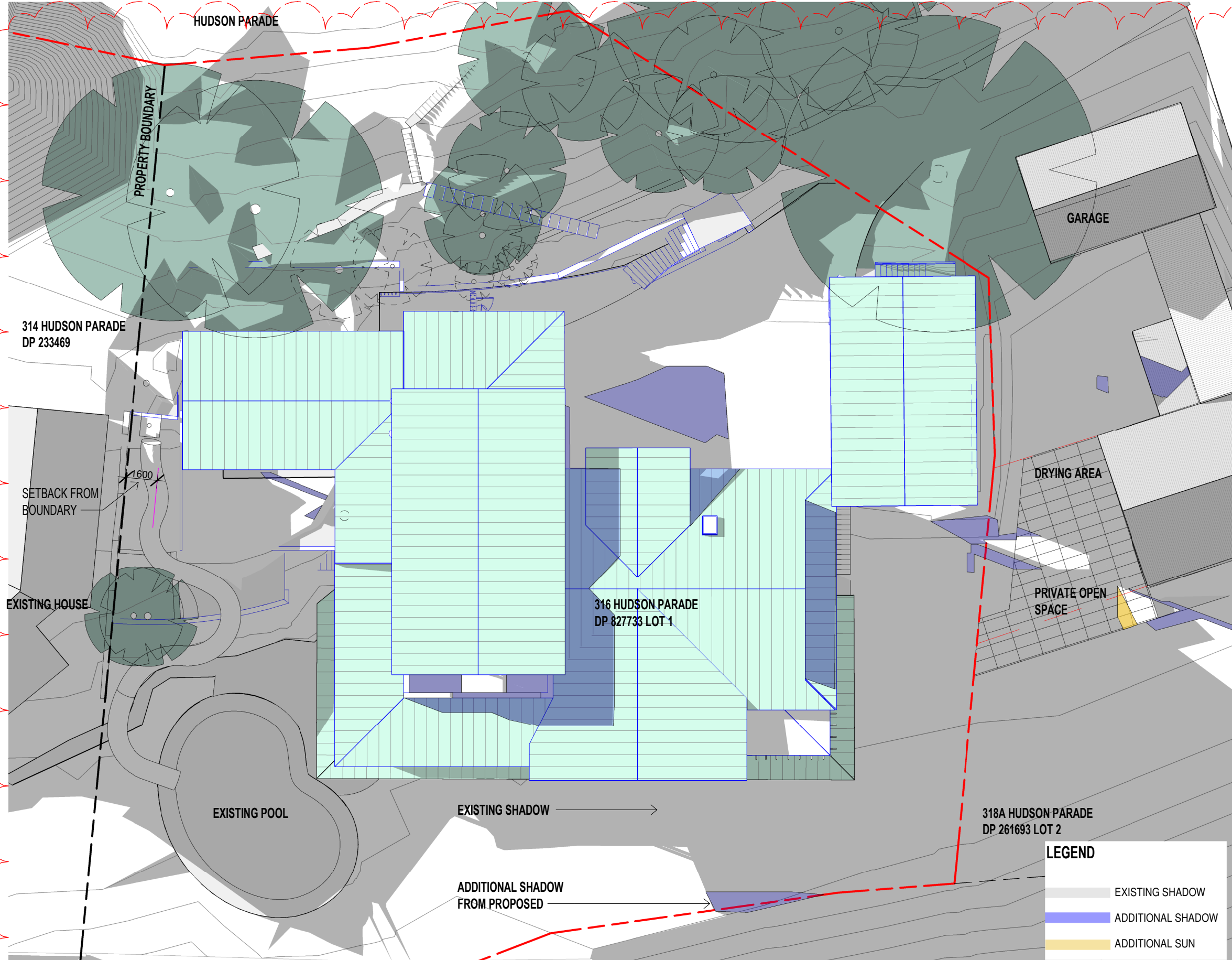
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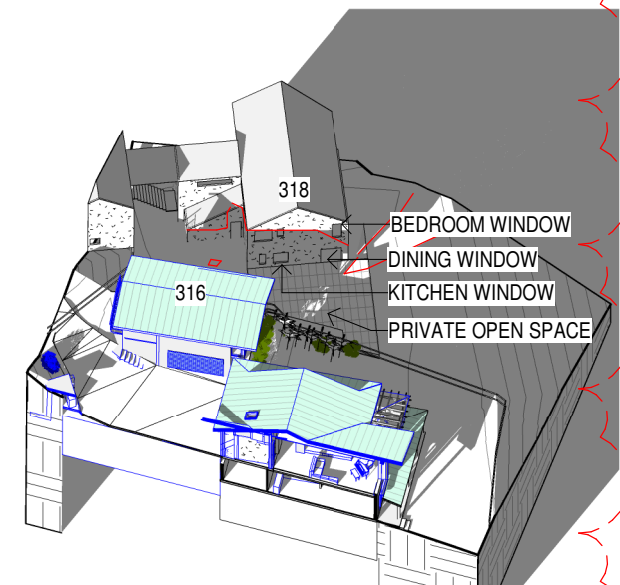
Design Stage	DEVELOPMENT APPLICATION
Title	PROPOSED PLAN - GARAGE / STUDIO

Job No 346-02	Drawing no.
Drawn gv	DA 10.05
Checked mfb	Issue
Scale 1 : 100	5

1/06/2021 11:19:00 AM



EXISTING SHADOW 9AM



PROPOSED SHADOW 9AM

- LIVING, DINING, PRIVATE OPEN SPACE AND DRYING ALL IN EXISTING SHADE
- ADDITIONAL SHADOW TO ROOF
- MINOR ADDITIONAL SHADOW TO PART OF BEDROOM SIDE WINDOW

Shadow - 9am winter proposed

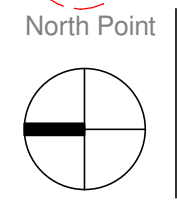
1 : 200 @ A3

REV 4 - STUDIO HEIGHT REDUCED TO MATCH EXISTING. EXISTING WALLS RETAINED. AREAS OF ADDITIONAL SUN HIGHLIGHTED. 3D VIEWS ADDED TO SHOW ELEVATIONS AND NEIGHBOURING PRIVATE OPEN SPACE

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4	10/03/21
3	26/02/21
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DA ADDITIONAL INFO
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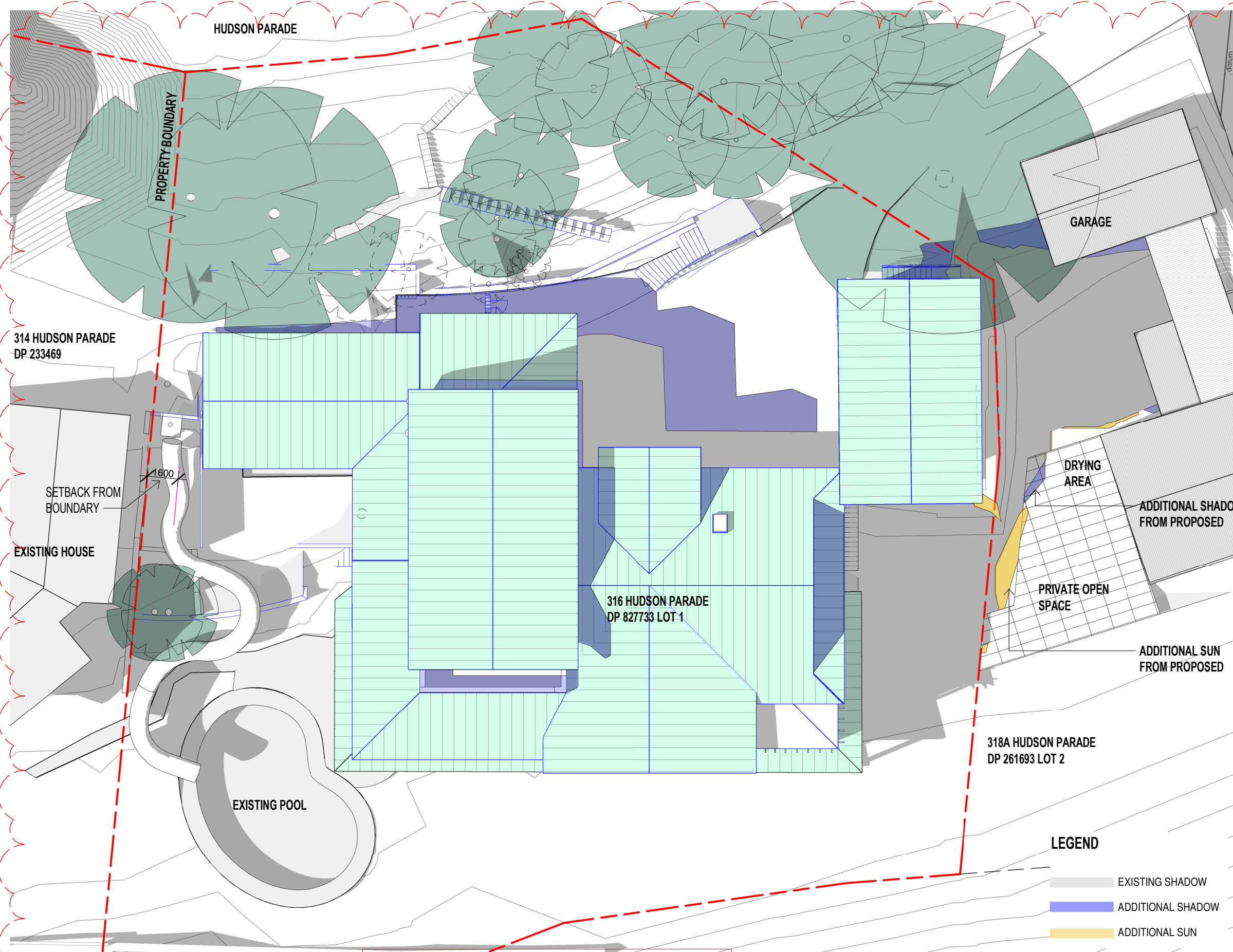
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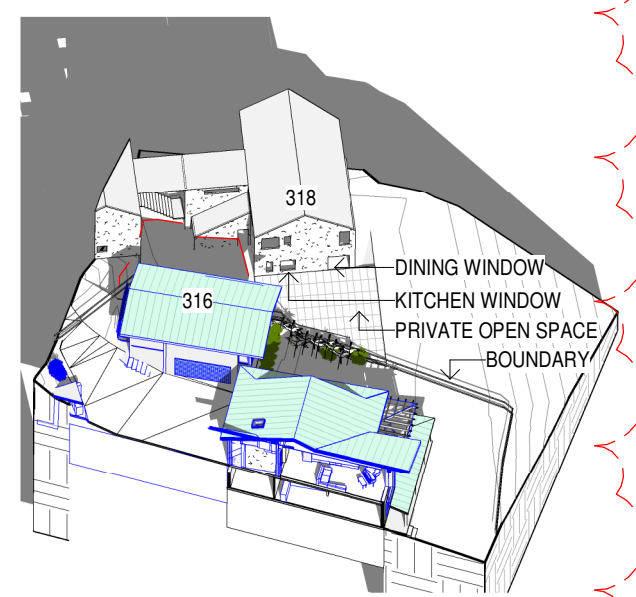
Design Stage	DEVELOPMENT APPLICATION
Title	SHADOW DIAGRAMS WINTER 9AM

Job No	346-02	Drawing no.	DA 50.00
Drawn	GV		Issue
Checked	MFB		
Scale	As indicated	4	

10/03/2021 3:54:46 PM



EXISTING SHADOW 12PM



PROPOSED SHADOW 12PM

- NO SHADOW TO LIVING, DINING, PRIVATE OPEN SPACE AND DRYING
- ADDITIONAL SHADOW TO SIDE OF GARAGE

REV 4 - STUDIO HEIGHT REDUCED TO MATCH EXISTING. EXISTING WALLS RETAINED. AREAS OF ADDITIONAL SUN HIGHLIGHTED. 3D VIEWS ADDED TO SHOW ELEVATIONS AND NEIGHBOURING PRIVATE OPEN SPACE

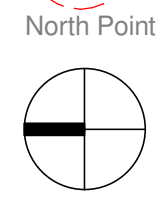
Shadow - 12pm winter proposed

1 : 200 @ A3

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1	25/11/20
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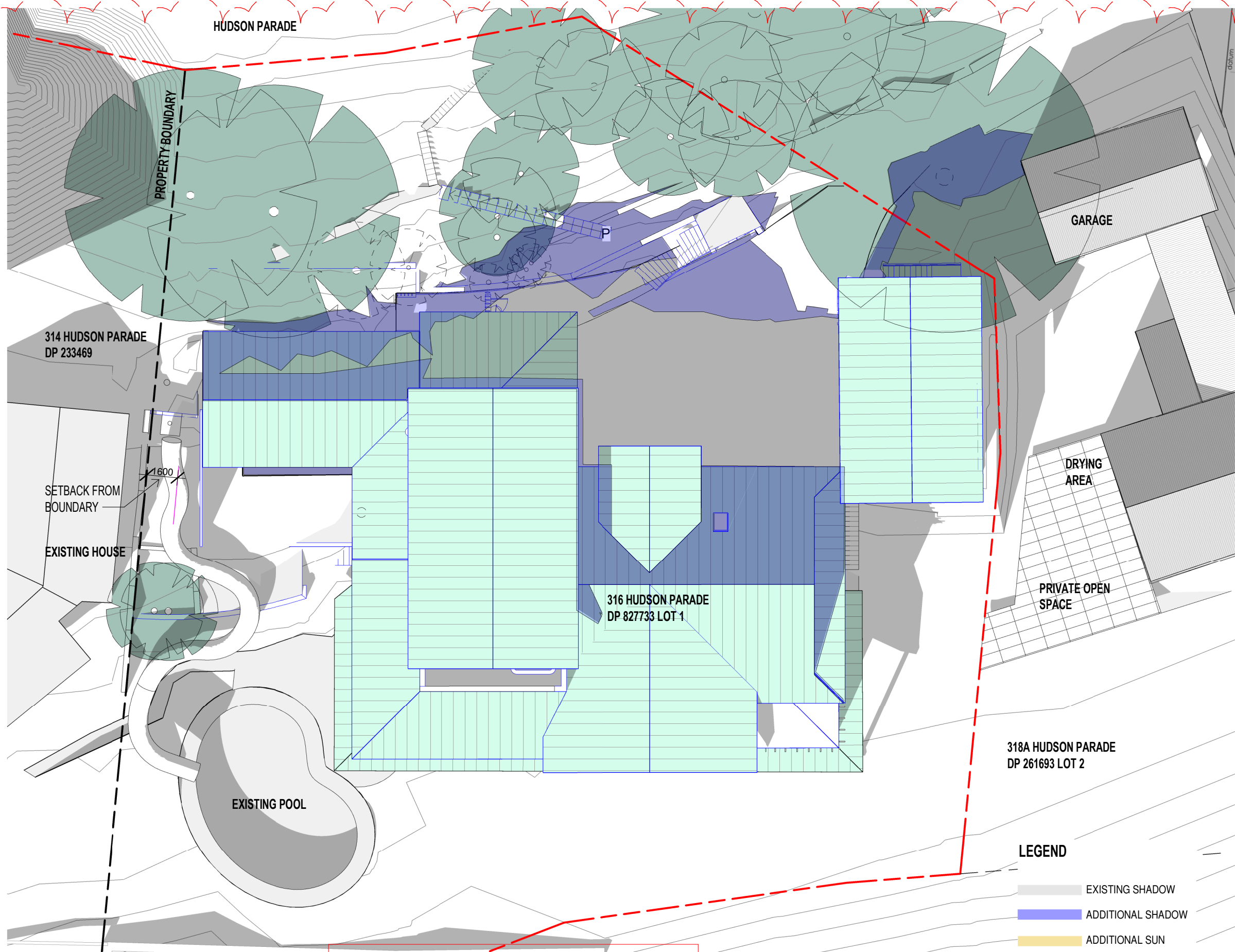
Project	316 Hudson Parade
Client	TONY WALLS
Address	316 Hudson Parade Lot 1 DP827733

Design Stage	DEVELOPMENT APPLICATION
Title	SHADOW DIAGRAMS WINTER 12PM

Job No	346-02
Drawn	gv
Checked	MFB
Scale	As indicated

Drawing no.	DA 50.01
Issue	4

10/03/2021 3:54:54 PM



Shadow - 3pm winter proposed

1 : 200 @ A3

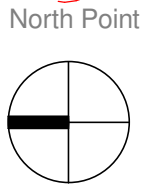
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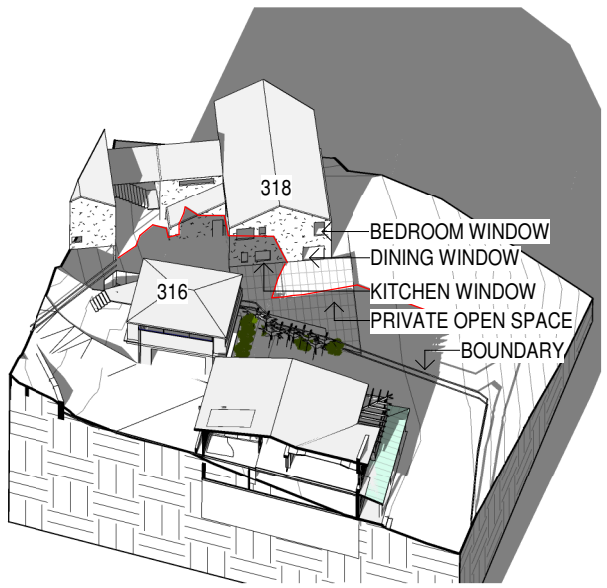
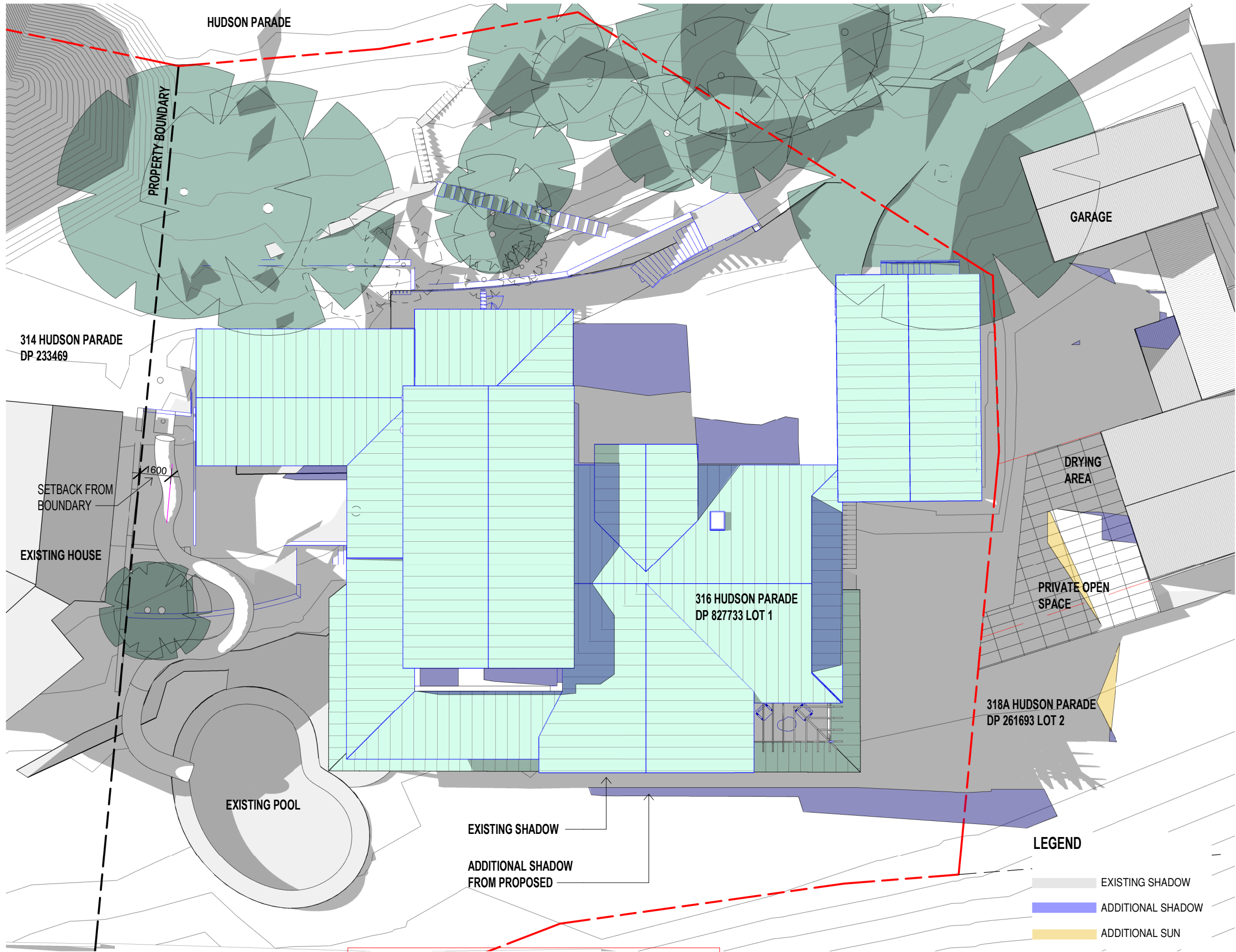
Design Stage
Title

DEVELOPMENT APPLICATION
SHADOW DIAGRAMS
WINTER 3PM

Job No 346-02
Drawn gv
Checked MFB
Scale As indicated

Drawing no.
DA 50.02
Issue

10/03/2021 3:55:01 PM



EXISTING SHADOW 10AM



PROPOSED SHADOW 10AM

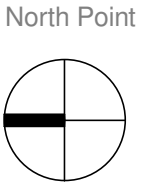
- MINOR ADJUSTMENT TO PRIVATE OPEN SPACE SHADOWS - MINOR ADDITION AND MINOR ADDITIONAL SUN
- ADDITIONAL SHADOW TO ROOF
- ADDITIONAL SHADOW TO WALL OF DINING BUT WINDOWS AND DOORS ARE UNAFFECTED

Shadow - 10am winter proposed

1 : 200 @ A3

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2	26/02/21	
1	29/01/21	
Issue	Date	

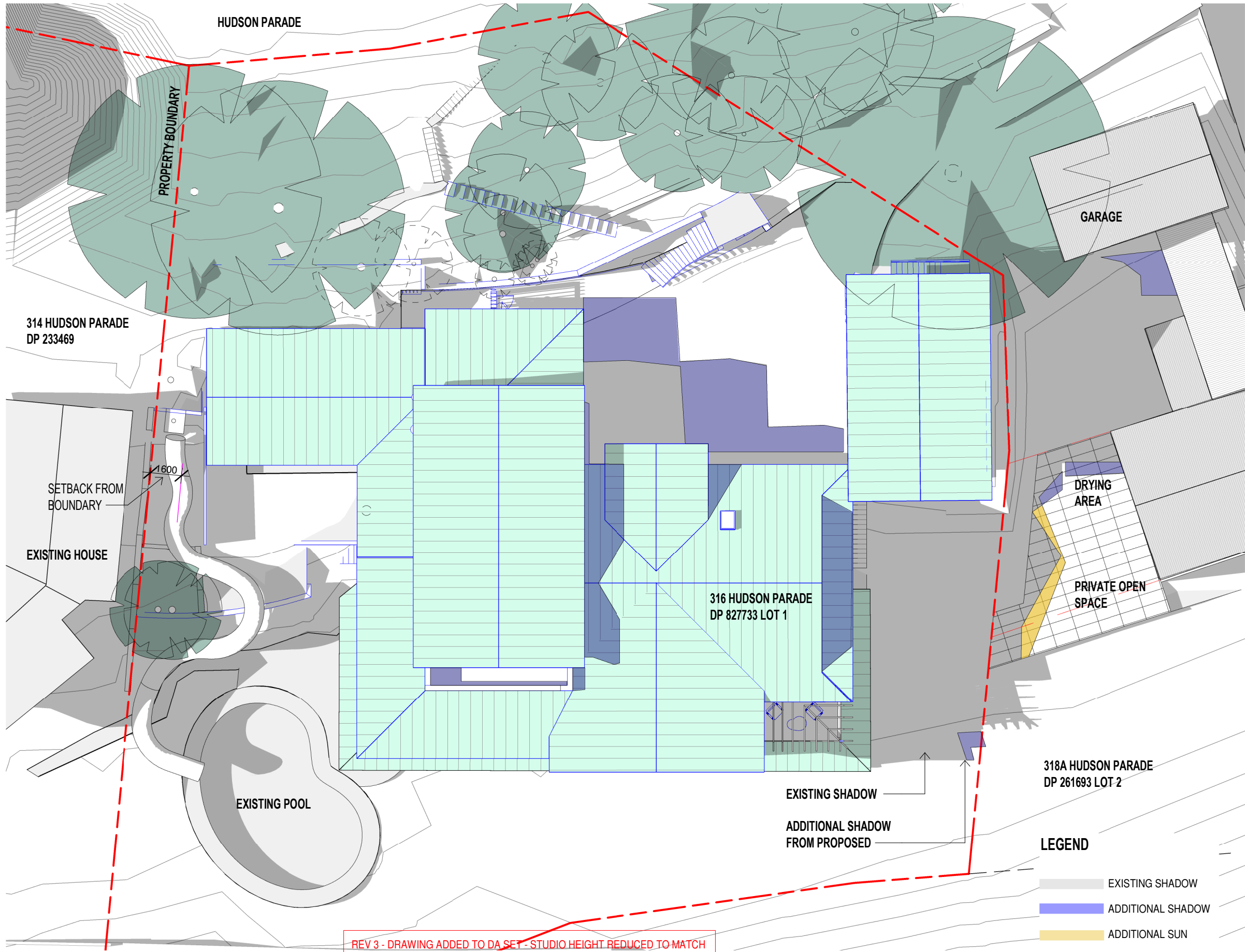


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Address 316 Hudson Parade
Lot 1 DP827733

Design Stage
Title
DEVELOPMENT APPLICATION
SHADOW DIAGRAMS
WINTER 10AM

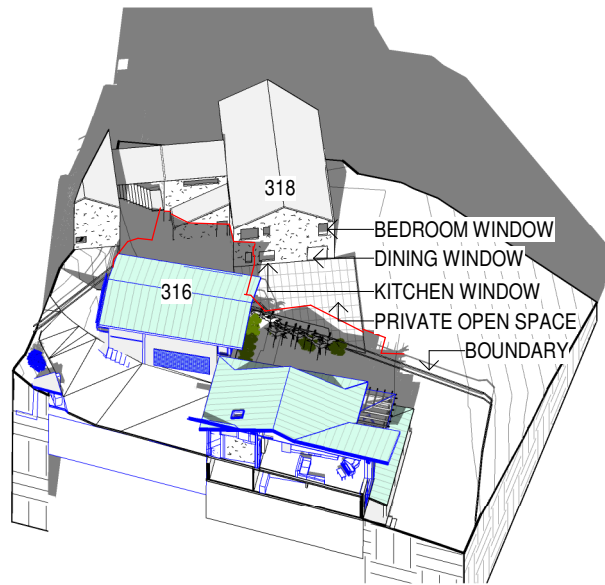
Job No 346-02
Drawn GV
Checked MFB
Scale As indicated
Drawing no. DA 50.03
Issue 3



REV 3 - DRAWING ADDED TO DA SET - STUDIO HEIGHT REDUCED TO MATCH EXISTING. EXISTING WALLS RETAINED. AREAS OF ADDITIONAL SUN HIGHLIGHTED. 3D VIEWS ADDED TO SHOW ELEVATIONS AND NEIGHBOURING PRIVATE OPEN SPACE



EXISTING SHADOW 11AM



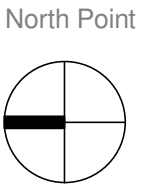
PROPOSED SHADOW 11AM

- MINOR ADJUSTMENT TO PRIVATE OPEN SPACE / DRYING AREA SHADOWS - MINOR ADDITIONAL SHADOW AND MINOR ADDITIONAL SUN
- ADDITIONAL SHADOW TO COURTYARD BENEATH ENTRY STAIR IN FRONT OF GARAGE
- MINOR ADDITIONAL SHADOW TO WINDOW OF KITCHEN

Shadow - 11am winter proposed

1 : 200 @ A3
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2	26/02/21	AMENDMENTS
1	29/01/21	Plananning Response
Issue	Date	Amendment



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Client TONY WALLS
Address 316 Hudson Parade
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Design Stage
Title
DEVELOPMENT APPLICATION
SHADOW DIAGRAMS
WINTER 11AM

Job No 346-02
Drawn GV
Checked MFB
Scale As indicated
Drawing no. DA 50.04
Issue 3