Cover Page 1142 Pittwater Road Collaroy NSW 2097 - Proposed Alterations & Additions



DATA Site Area 551.1 m² **Landscaped Area** Area 198.09 m² **Existing Landscape** 35.94% 220.44 m² Minimum Required 40% 194.07 m² **ISSUE B** Proposed Landscape 35.21% 191.45 m² 34.73% **S4.55**

■ Drawings are subject to copyright and may not be copied, used or reproduced in any

■ All construction to comply with Building Code of Australia/National Construction Code

way without the express permission of the architect.

All dimensions to be confirmed on site prior to commencement of work.

■ Larger scale drawings and written dimensions take preference.

■ All discrepancies to be brought to the attention of the author.

& Australian Standards requirements.

Drawings are not for construction.
 Do not scale from drawing.

| Issue | Description | Issue BY | Issue Date | ADDRESS | | C | Section 4.55 | TY/YT | 21/3/2025 | 1142 Pittwater Road Collaroy NSW 2097 | | PROJECT | Proposed Alterations & Additions | | FOR | JOB No | | ANAG NSW | 24007

S4.55 - AMENDMENTS

- 1. Second garage removed and replaced with workshop room. Garage door removed and access doors provided to the northern and southern walls.
- 2. Proposed retractable pergola.
- 3. Ground floor northern wall revised to align with the existing garage northern wall. Landscaped area amended accordingly.
- 4. Ground floor southern wall revised to align with the minimum ground floor side setback. Landscaped area amended accordingly.
- 5. Ground floor eastern wall revised to reduce building length and provide a more regular layout to the living areas.
- 6. First-floor southern wall, eastern wall, and roof planters adjusted to align with changes to the ground floor walls.
- 7. Proposed skylight over stairs.
- 8. Roof height slightly raised to provide additional ceiling space and natural light.
- 9. Windows and doors reconfigured in accordance with owner's requirements (refer to external window & door schedules).

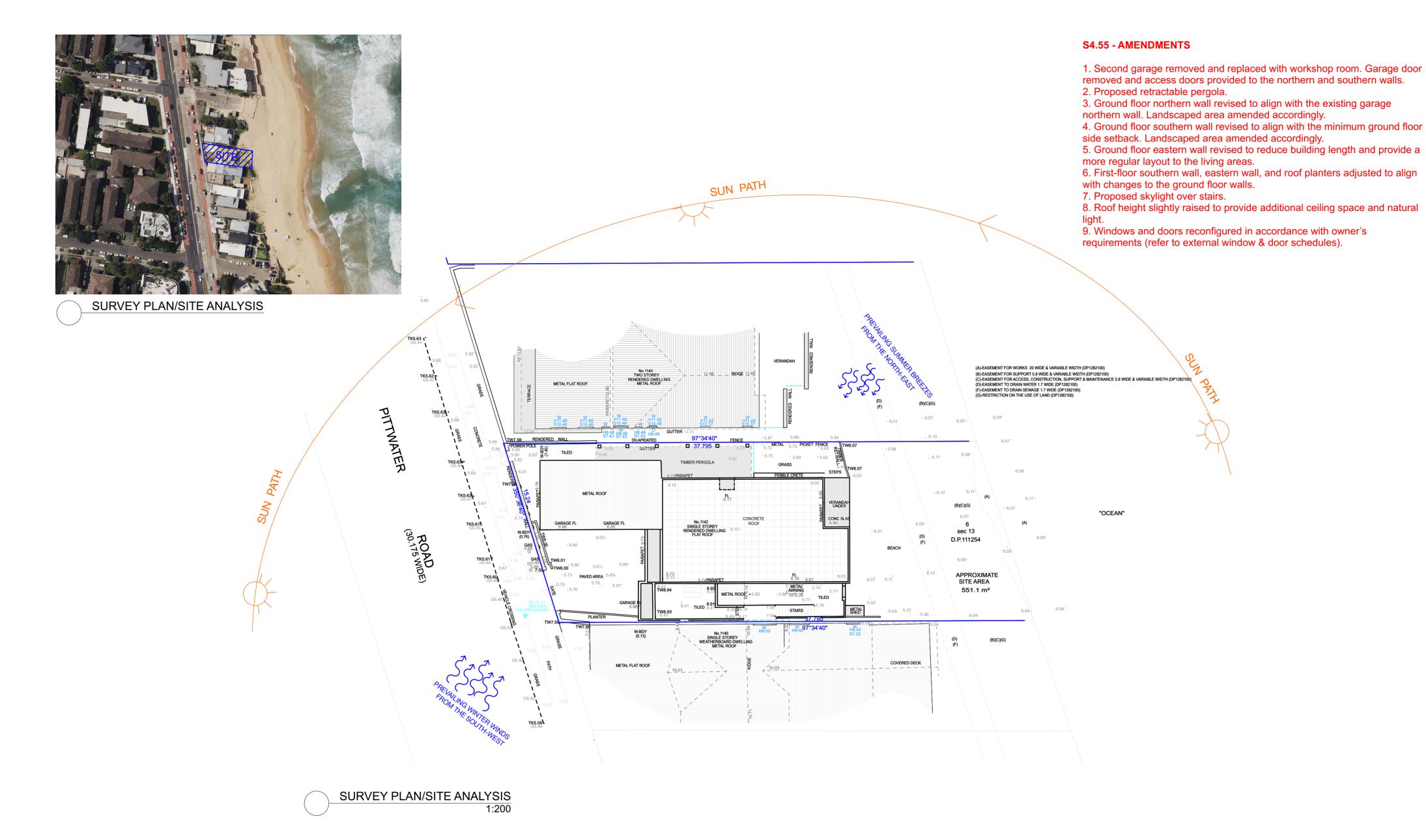
_		sk	skylight
E	EGEND	rwt	rain water tank
1	240L Mobile Recycling Bin	sa	Smoke alarms and evacuation lighting are to comply with BCA 2022 H3D6.
,	, ,	em	elec. meter
	120L Mobile Waste Bin	hw	hot water system
,		dp	downpipe
	240L Mobile Green Waste Bin	sp	structural post
Area Included in Floor Space	Area Included in Floor Space	rwo	rainwater outlet
	Area included in Floor Space	TOW	top of wall
	Deep Landscape Area	TOP	top of parapet
		15.45	existing RL's
	Landscape Area excluded from area calculations		existing structure to be demolished
	carpet	WA.01	glazed window and door number for BASIX
	timber flooring		existing tree to be retained
	·		existing tree to be removed
	tile flooring		
	gravel		

YAN HONDA ARCHITECTS

NOMINATED REGISTERED ARCHITECT
GUS HONDA 9435
DRAWING TITLE
Cover Page

SCALE DRAWING NUMBER \$4.55-00

S4.55-00 ISSUE C



NOTES

■ Drawings are subject to copyright and may not be copied, used or reproduced in any

way without the express permission of the architect.

• All dimensions to be confirmed on site prior to commencement of work. ■ All construction to comply with Building Code of Australia/National Construction Code & Australian Standards requirements.

Drawings are not for construction.
 Do not scale from drawing.

■ Larger scale drawings and written dimensions take preference. ■ All discrepancies to be brought to the attention of the author.

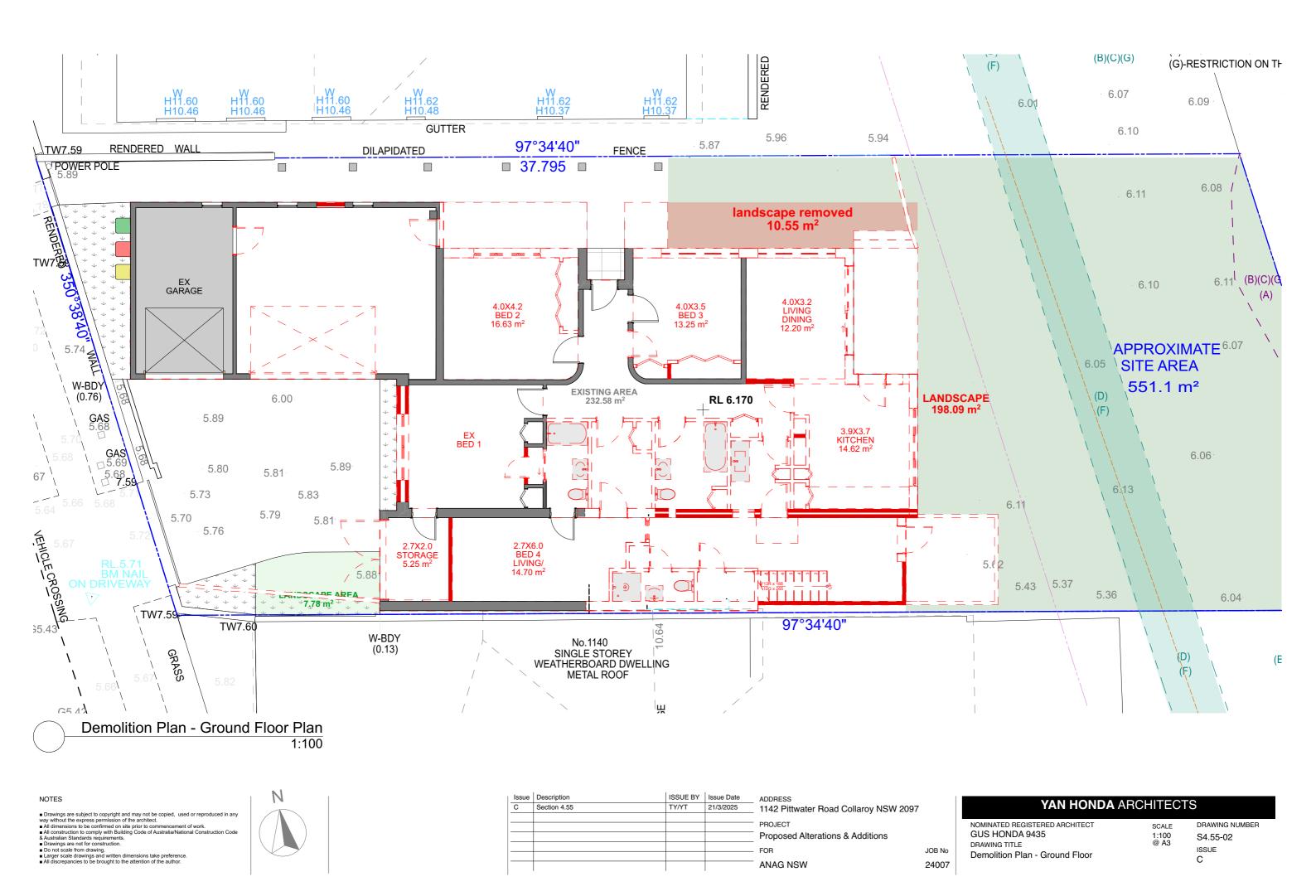


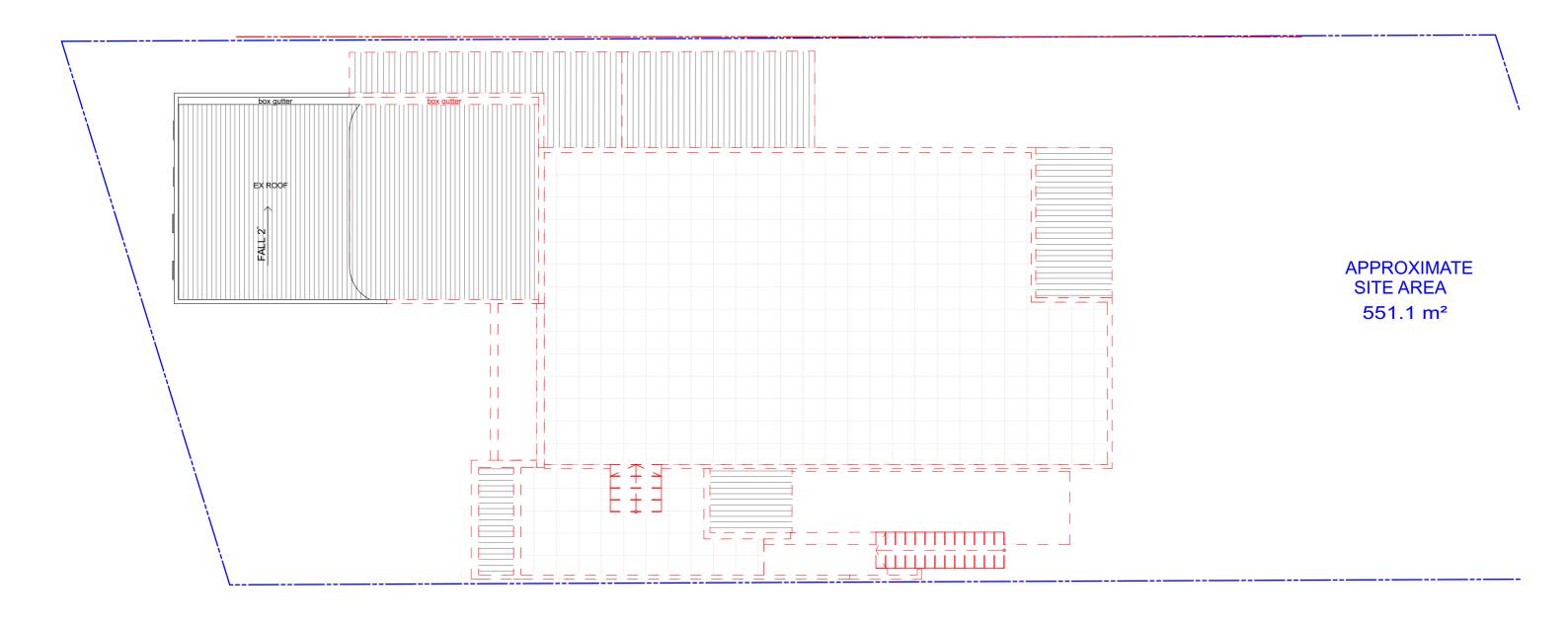
Issue	· ·	ISSUE BY	Issue Date	— ADDRESS	
	Section 4.55	TY/YT	21/3/2025	 1142 Pittwater Road Collaroy NSW 2097 	
				PROJECT	
				Proposed Alterations & Additions	
				FOR	JOB No
				ANAG NSW	24007

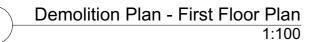
YAN HONDA ARCHITECTS

NOMINATED REGISTERED ARCHITECT GUS HONDA 9435 DRAWING TITLE Site Analysis

DRAWING NUMBER 1:200 @ A2 S4.55-01 ISSUE







NOTES

■ Drawings are subject to copyright and may not be copied, used or reproduced in any way without the express permission of the architect.

■ All dimensions to be confirmed on site prior to commencement of work.

■ All construction to comply with Building Code of Australian/National Construction Code & Australian Standards requirements.

■ Drawings are not for construction.

■ Do not scale from drawing.

■ Larger scale drawings and written dimensions take preference.

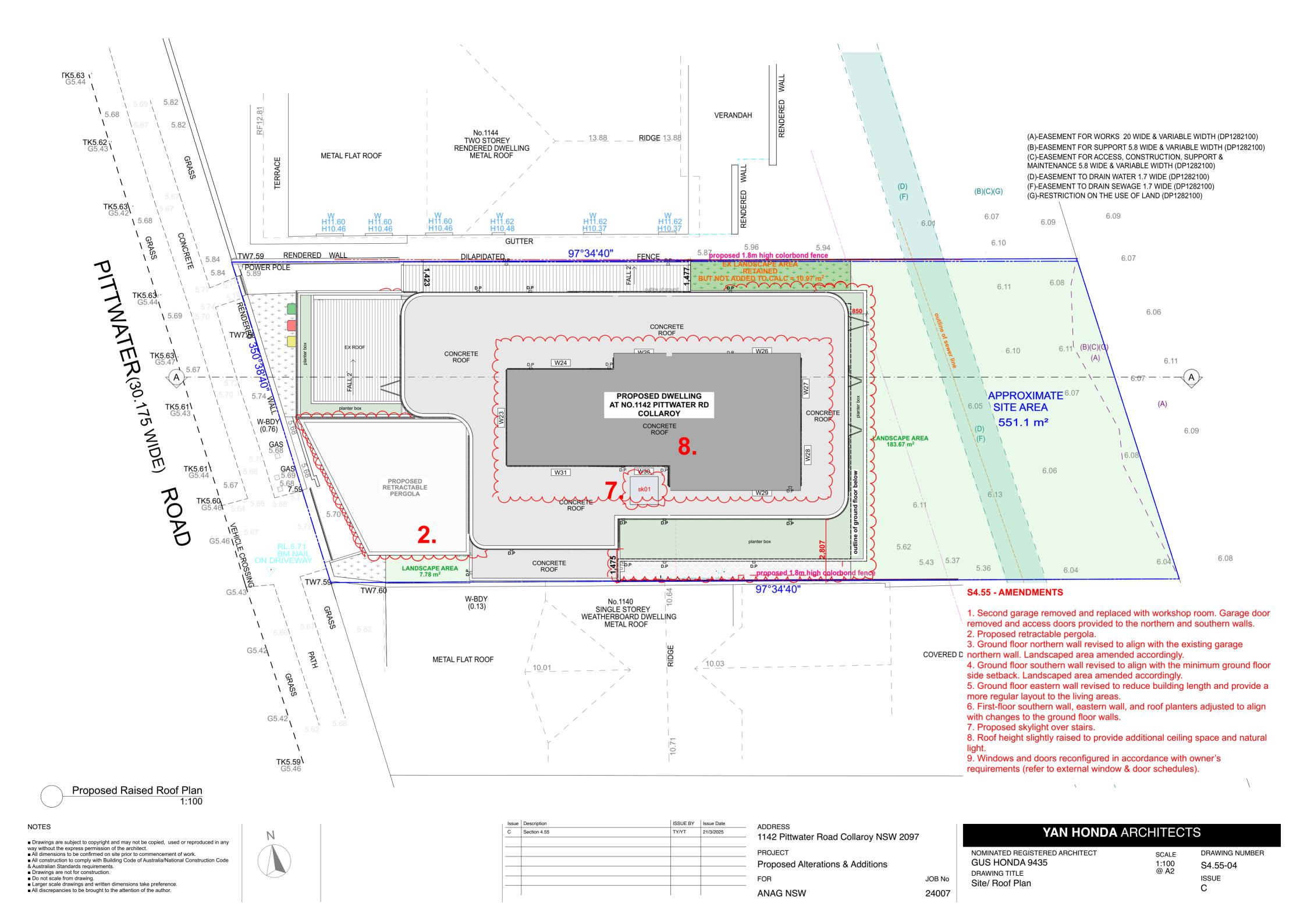
■ All discrepancies to be brought to the attention of the author.

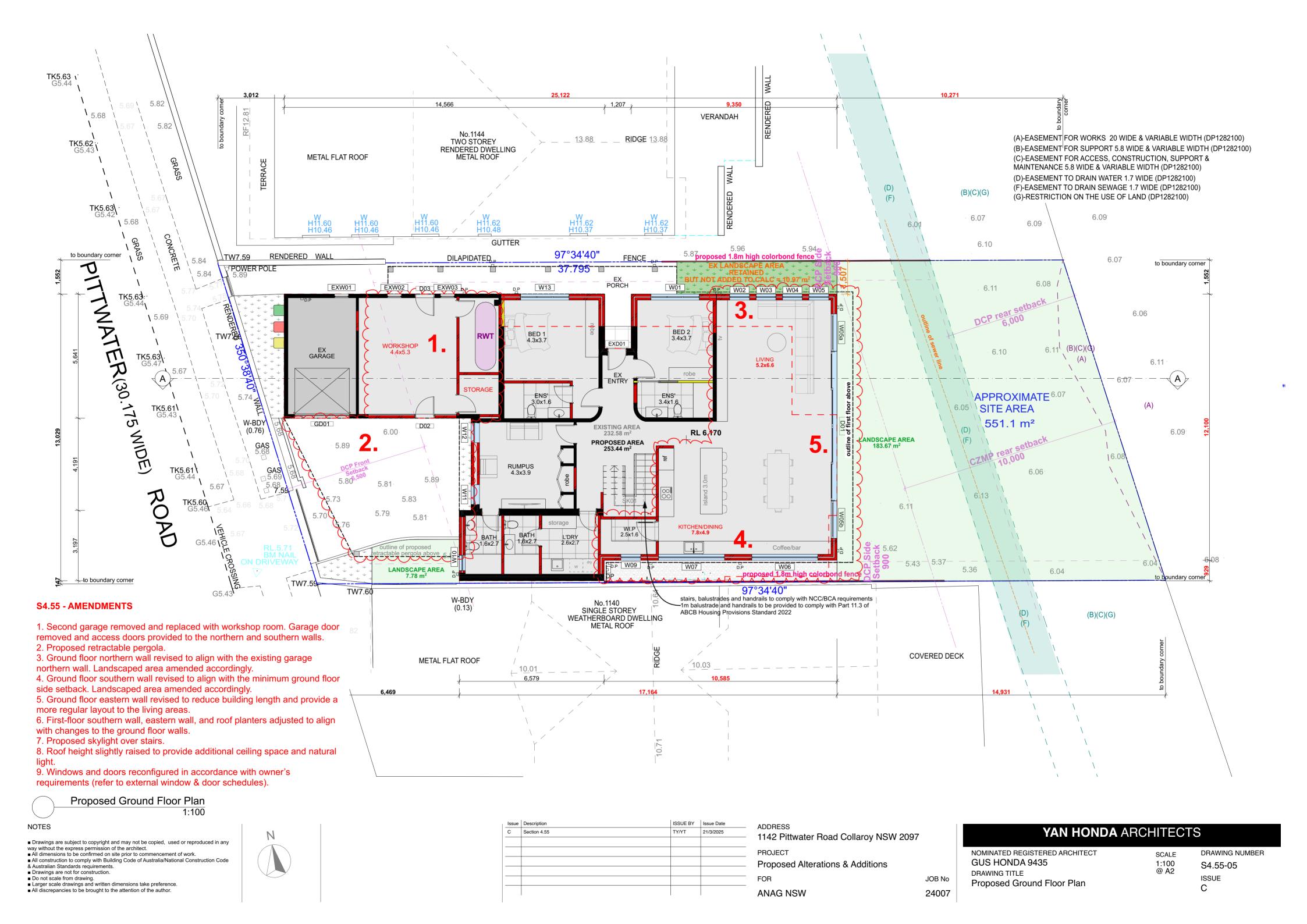


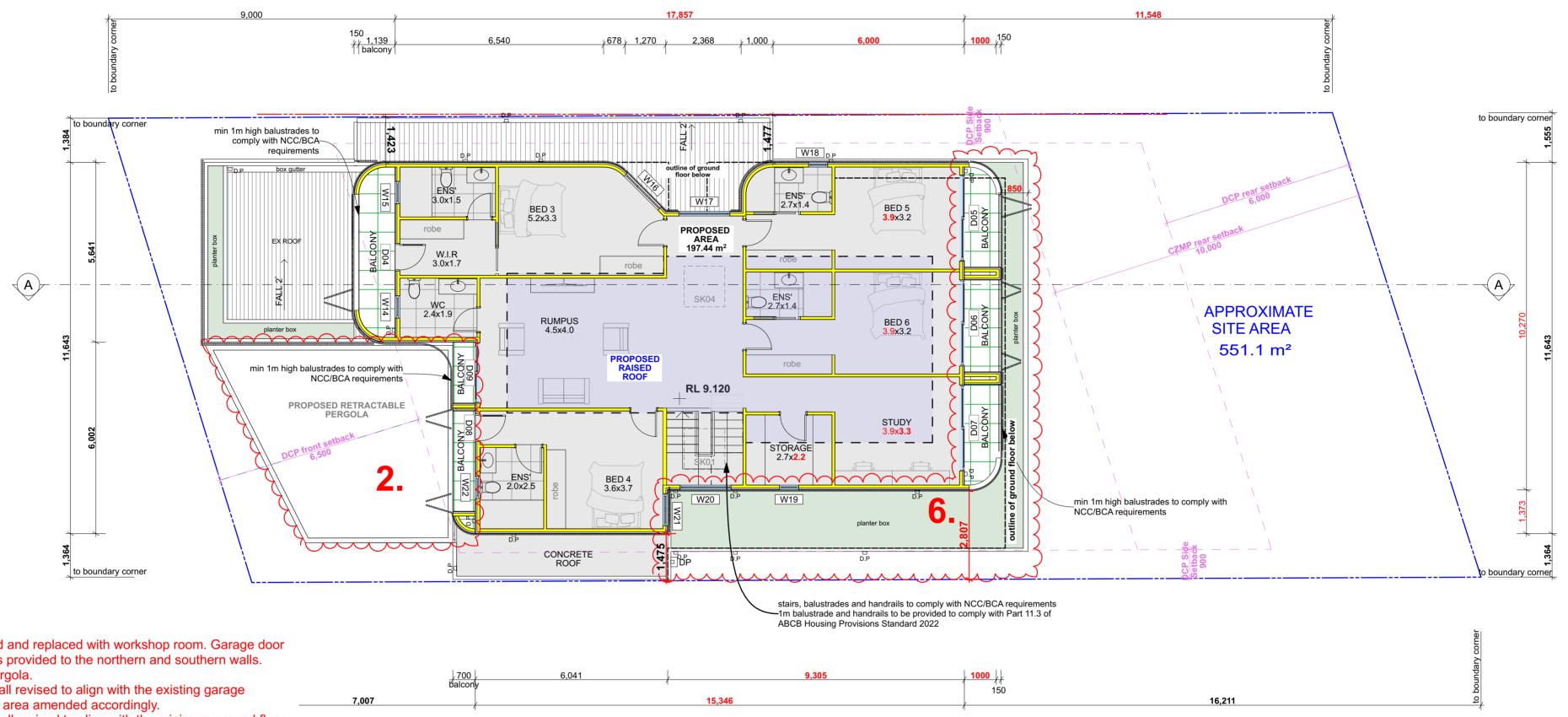
Issue	Description	ISSUE BY	Issue Date	ADDRESS	
С	Section 4.55	TY/YT	21/3/2025	1142 Pittwater Road Collaroy NSW 209	97
				PROJECT	
				Proposed Alterations & Additions	
				- FOR	JOB No
				- ANAG NSW	24007

NOMINATED REGISTERED ARCHITECT GUS HONDA 9435 DRAWING TITLE Demolition Plan - Frist Floor Plan

DRAWING NUMBER SCALE 1:100 @ A3 S4.55-03 ISSUE С







S4.55 - AMENDMENTS

- 1. Second garage removed and replaced with workshop room. Garage door removed and access doors provided to the northern and southern walls.
- 2. Proposed retractable pergola.
- 3. Ground floor northern wall revised to align with the existing garage northern wall. Landscaped area amended accordingly.
- 4. Ground floor southern wall revised to align with the minimum ground floor side setback. Landscaped area amended accordingly.
- 5. Ground floor eastern wall revised to reduce building length and provide a more regular layout to the living areas.
- 6. First-floor southern wall, eastern wall, and roof planters adjusted to align with changes to the ground floor walls.
- 7. Proposed skylight over stairs.
- 8. Roof height slightly raised to provide additional ceiling space and natural
- 9. Windows and doors reconfigured in accordance with owner's requirements (refer to external window & door schedules).



NOTES

■ Drawings are subject to copyright and may not be copied, used or reproduced in any

way without the express permission of the architect.

• All dimensions to be confirmed on site prior to commencement of work.

■ All construction to comply with Building Code of Australia/National Construction Code & Australian Standards requirements.

Drawings are not for construction.
Do not scale from drawing.

Larger scale drawings and written dimensions take preference.
 All discrepancies to be brought to the attention of the author.

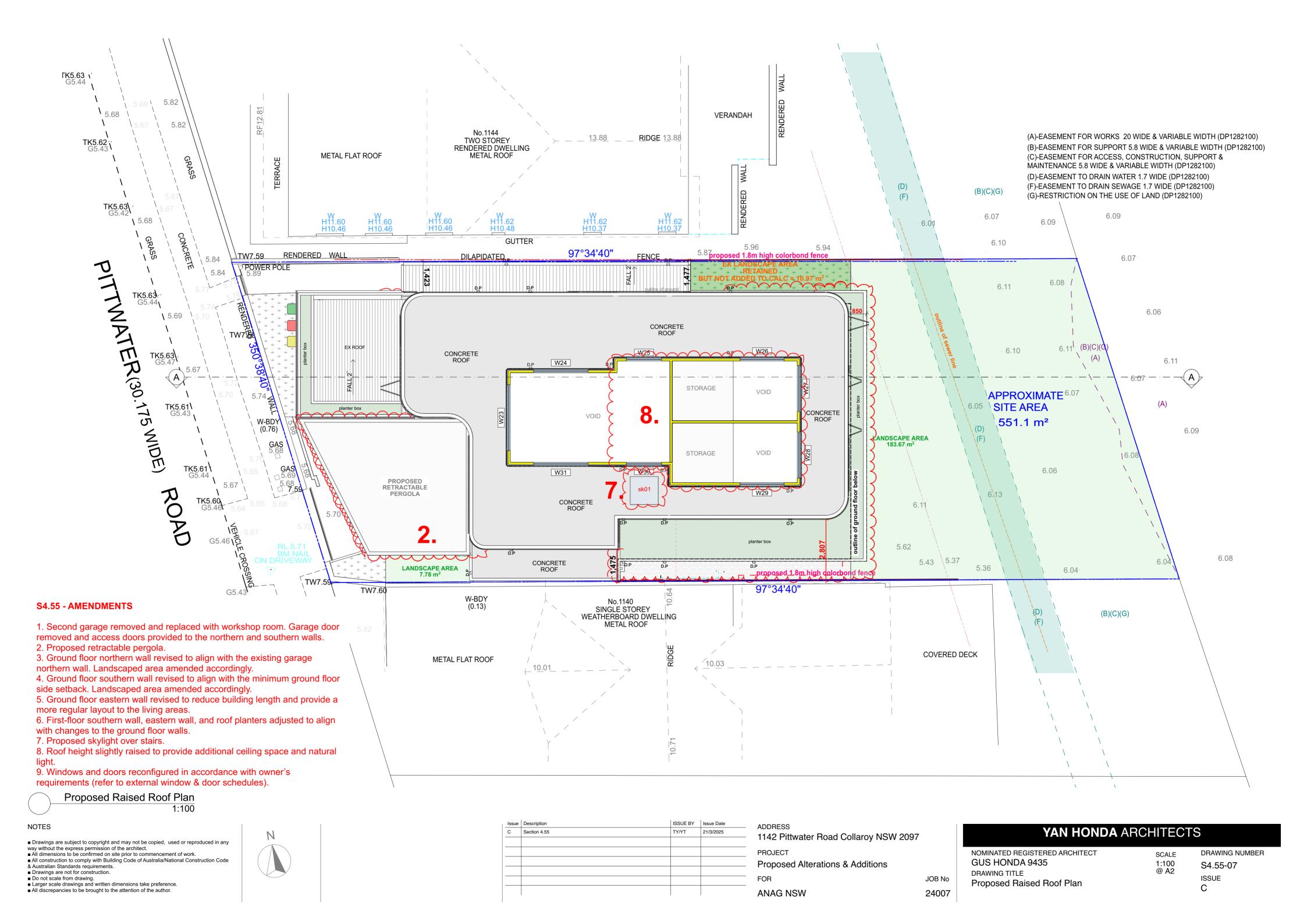


Issue	Description	ISSUE BY	Issue Date	- ADDRESS	
С	Section 4.55	TY/YT	21/3/2025		
				- 1142 Pittwater Road Collaroy NSW 2097	
				PROJECT	
				_ FNOJECI	
				 Proposed Alterations & Additions 	
				•	
				FOR	JOB No
				ANAG NSW	24007

YAN HONDA ARCHITECTS

NOMINATED REGISTERED ARCHITECT GUS HONDA 9435 DRAWING TITLE Proposed First Floor Plan

DRAWING NUMBER SCALE 1:100 @ A2 S4.55-06 ISSUE





■ All construction to comply with Building Code of Australia/National Construction Code & Australian Standards requirements.

Drawings are not for construction.
 Do not scale from drawing.

■ Larger scale drawings and written dimensions take preference. ■ All discrepancies to be brought to the attention of the author.

face brick wall TC Timber cladding **RPW** rendered painted wall AL aluminium framed windows and doors

Louvre glass

LV

ISSUE	Description	1330L D1	ISSUE Date
С	Section 4.55	TY/YT	21/3/2025

PROJECT Proposed Alterations & Additions JOB No

ANAG NSW

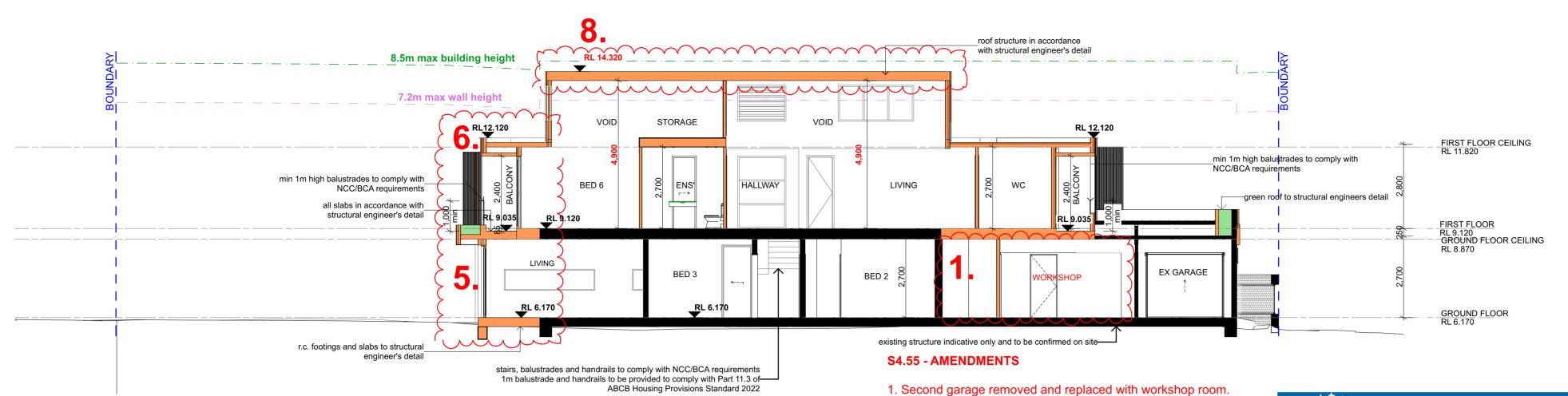
NOMINATED REGISTERED ARCHITECT GUS HONDA 9435 DRAWING TITLE

24007

1:100 S4.55-08 @ A2 ISSUE

С

Elevations



BASIX

Water Commitments

Fixtures

The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.

SECTION A

1:100

The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.

The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.

The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.

Alternative water

Rainwater tank

The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rain runoff from at least 213.26 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam

he applicant must connect the rainwater tank to

• the cold water tap that supplies each clothes washer in the development

at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

Thermal Performance and Materials commitments

Simulation Method

The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach th Assessor Certificate to the application for an occupation certificate for the proposed development.

The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.

The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.

The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.

The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.

The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construct certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.

ermal Performance and Materials commitments

The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in

Construction	Area - m²	Insulation
floor - concrete slab on ground, conventional slab.	171.3	polystyrene
floor - suspended floor above open subfloor, concrete - suspended; frame: no frame.	8.3	fibreglass batts or roll
floor - above habitable rooms or mezzanine, concrete - suspended; frame: no frame	155.9	fibreglass batts or roll
floor - suspended floor above garage, concrete - suspended; frame: no frame.	21.3	fibreglass batts or roll
garage floor - concrete slab on ground.	53.14	none
external wall: cavity brick; frame: no frame.	108.4	foil-foam composite board+ foil/sarking
external wall: brick veneer; frame: timber - untreated softwood.	121.2	fibreglass batts or roll
external garage wall: cavity brick; frame: no frame.	0.5	none
internal wall: single skin masonry; frame: no frame.	89.5	none
internal wall: plasterboard; frame: timber - untreated softwood.	194.3	none
coiling and roof - flat coiling / flat roof, framed - metal roof	266 58	coiling: fibroglass batts or roll: roof: foil backed blanket

hermal Performance and Materials commitments

The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications

Frames	Maximum area - m2
aluminium	91.8
timber	0
uPVC	0
steel	0
composite	0

Glazing	Maximum area - m2
single	9.5
double	82.3
triple	0

Energy Commitments he applicant must install a window and/or skylight in 5 bathroom(s)/toilet(s) in the development for natural lighting The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling. The applicant must install a fixed outdoor clothes drying line as part of the development.

BASIX & THERMAL COMMITMENTS







Post Code



111254 Pittwater Road

Collarov ded Floor Coverings R1.1 Insulation* Slab on Ground Throughout exclude Garage Not Yet Selected R2.0 Insulation R2.0 Insulation Suspended concrete Throughout

Walls	Colour	External Material	Insulation	Internal Material	Internal Insulated	
Ground	Default	Cavity Brick	R0.9 Foil Board	Single Brick		
1st Floor	Defau l t	Brick Veneer Timber frame	R2.5, Non Reflective Wrap	Plaster Timber 90mm		
					Upper WC	R2.5
					Garage	R2.5

Ceilings	Material	Insulation to Roof Above	Roof	Insulation	Material	Colour	Ventil
Ground	Plaster Timber Frame	R6.0	Ground	Anticon 50mm (R1.3)	Metal	Default	No
1st Floor	Plaster Timber Frame	R6.0	1st Floor	Anticon 50mm (R1.3)	Metal	Default	No

lazing	opening and frame type, the U value	SIX) Certificate for all external glazing. To comply you must use glazing with the same must be the same or lower and have an SHGC value within the range given.
upplier	Glazing Type Required	Location(s) of Glazing Required
S	Standard Single Clear	All Wet Areas
	Standard Double Glaze	Louvre windows in living areas
	Low-e Double Glaze	Throughout excluding above
es		

Malan						
Water	Landscape Area	Low Water Area	Rain Water	Tank, connected to.	Roof Area to Tank	Recycled Water, conne
	194.07 m2	m2	2,000L	Garden, Laundry	80% of Roof	No
Showerhe	eads		Toilets	Kitchen Taps	Bathroom Taps	Swimming I
4 Star > 6	but less < or = 7.5	litres per minute	4 Star	4 Star	4 Star	No
Energy	Hot Water	Rating	Air Condit	tioning		Other

antilation	Laundry	Bathroom	Kitchen	
0			Gas Cooktop/ Electric Oven	
olar Photovolta	aic System Orientation 1	Orientation 2	Cooking	Outdoor Cloths Line
Ga	s Instantaneous 6 Star	Cooling 3.0 - 3.5 EER - Heat	ing 3.0 - 3.5 EER 3 Phase	Air Conditioning Zoned

* R1.1 underslab insulation based on 25mm Kingspan K3 board or equivalent

Natural Ventilation- external window Ducted

The project has been assessed under the simulation method of the BASIX Protocol. Downlights fitted after the assessment must be IC Rated and non-ventilated.

All new residential buildings must be constructed in accordance with Building BCA Part 3. 12. 1, Build Sealing BCA Part 3. 12. 3. Insulation must be installed in accordance with AS3995.

Frys Building Consultancy Pty Ltd Trading as Frys Energywise are Accredited Thermal Energy Assessors ABSA 20856, BDAV 12/1441, COLA 2011291

NOTES

- Drawings are subject to copyright and may not be copied, used or reproduced in any
- Drawings are not for construction.
- Larger scale drawings and written dimensions take preference. ■ All discrepancies to be brought to the attention of the author.
- way without the express permission of the architect.

 All dimensions to be confirmed on site prior to commencement of work.
- All construction to comply with Building Code of Australia/National Construction Code & Australian Standards requirements.

- Do not scale from drawing.

Issue	Description	ISSUE BY	Issue Date	- ADDRESS	
С	Section 4.55	TY/YT	21/3/2025	1142 Pittwater Road Collaroy NSW 2097	
				- 1142 Fillwaler Hoad Collardy NSW 2097	
				PROJECT	
				 Proposed Alterations & Additions 	
				FOR	JOB N
				ANAG NSW	2400

Garage door removed and access doors provided to the northern

4. Ground floor southern wall revised to align with the minimum

ground floor side setback. Landscaped area amended accordingly.

5. Ground floor eastern wall revised to reduce building length and

6. First-floor southern wall, eastern wall, and roof planters adjusted

8. Roof height slightly raised to provide additional ceiling space and

9. Windows and doors reconfigured in accordance with owner's

requirements (refer to external window & door schedules).

The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5

northern wall. Landscaped area amended accordingly.

provide a more regular layout to the living areas.

to align with changes to the ground floor walls.

3. Ground floor northern wall revised to align with the existing garage

and southern walls.

Energy Commitments

Hot water

Heating system

Ventilation

diode (LED) lamps. Natural lighting

2. Proposed retractable pergola.

7. Proposed skylight over stairs.

The applicant must install the following exhaust systems in the development

Laundry: natural ventilation only, or no laundry; Operation control: n/a

At least 1 Bathroom; individual fan, ducted to facade or roof; Operation control; manual switch on/off

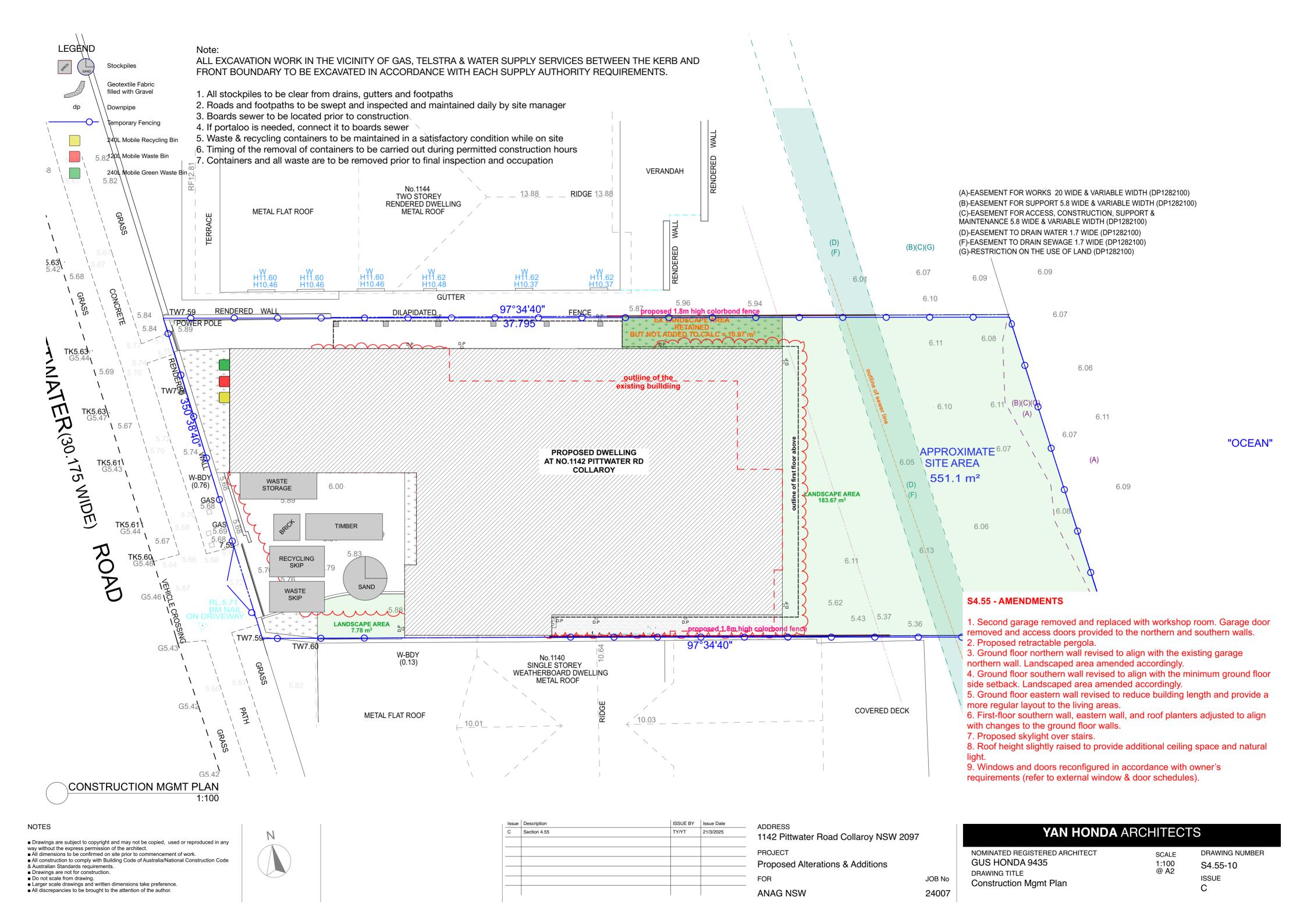
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.

Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off

YAN HONDA ARCHITECTS

NOMINATED REGISTERED ARCHITECT **GUS HONDA 9435** DRAWING TITLE Sections

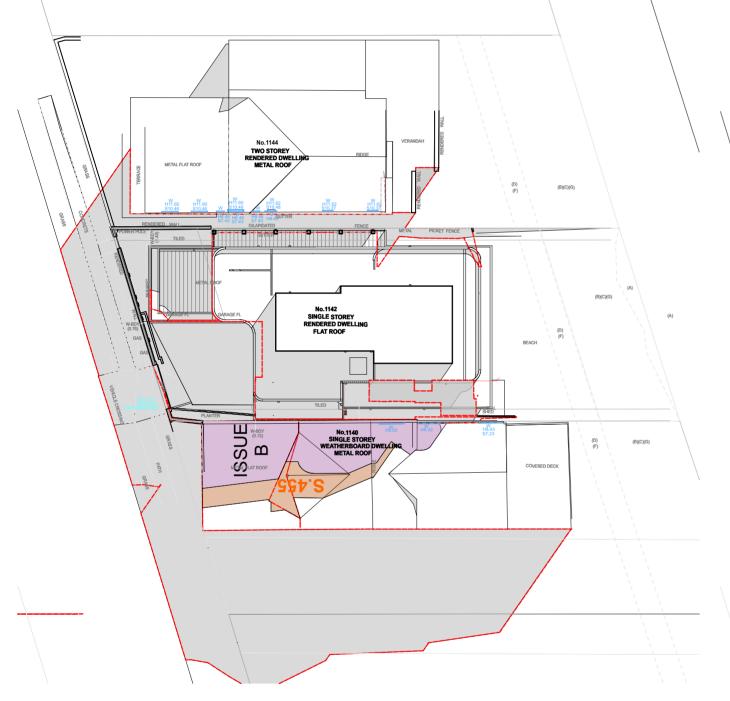
DRAWING NUMBER 1:100 S4.55-09 @ A2 ISSUE С



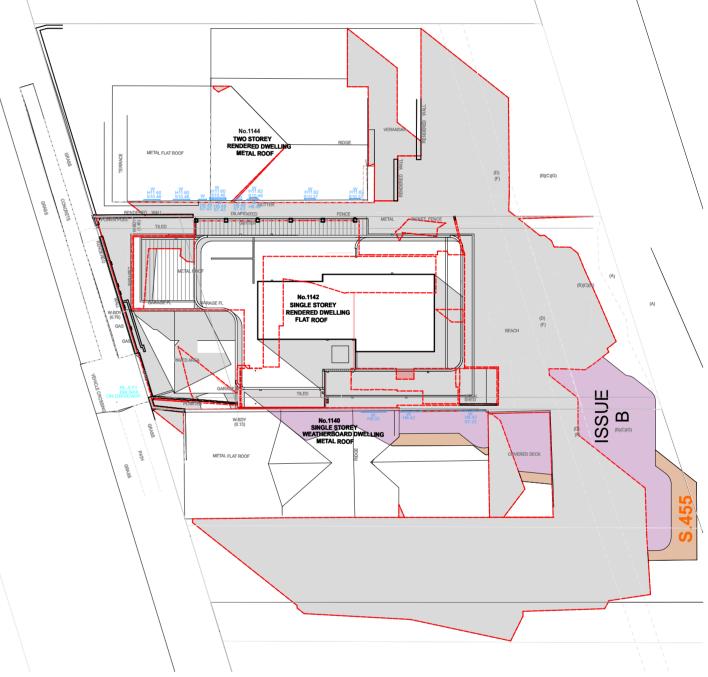
S4.55 - AMENDMENTS

- 1. Second garage removed and replaced with workshop room. Garage door removed and access doors provided to the northern and southern walls.
- 2. Proposed retractable pergola.
- 3. Ground floor northern wall revised to align with the existing garage northern wall. Landscaped area amended accordingly.
- 4. Ground floor southern wall revised to align with the minimum ground floor side setback. Landscaped area amended accordingly.
- 5. Ground floor eastern wall revised to reduce building length and provide a more regular layout to the living areas.
- 6. First-floor southern wall, eastern wall, and roof planters adjusted to align with changes to the ground floor walls.
- 7. Proposed skylight over stairs.8. Roof height slightly raised to provide additional ceiling space and natural light.
- 9. Windows and doors reconfigured in accordance with owner's requirements (refer to external window & door schedules).





B BOSSING 1140 B BOSSING B SINGLE BY



Shadow Diagram - June 21st - 9am Proposed Overshadowing

Shadow Diagram - June 21st - 12pm Proposed Overshadowing

Shadow Diagram - June 21st - 3pm Proposed Overshadowing

■ Drawings are subject to copyright and may not be copied, used or reproduced in any

way without the express permission of the architect.

■ All dimensions to be confirmed on site prior to commencement of work.

■ All construction to comply with Building Code of Australia/National Construction Code & Australian Standards requirements.

 Drawings are not for construction.
 Do not scale from drawing. ■ Larger scale drawings and written dimensions take preference.

■ All discrepancies to be brought to the attention of the author.



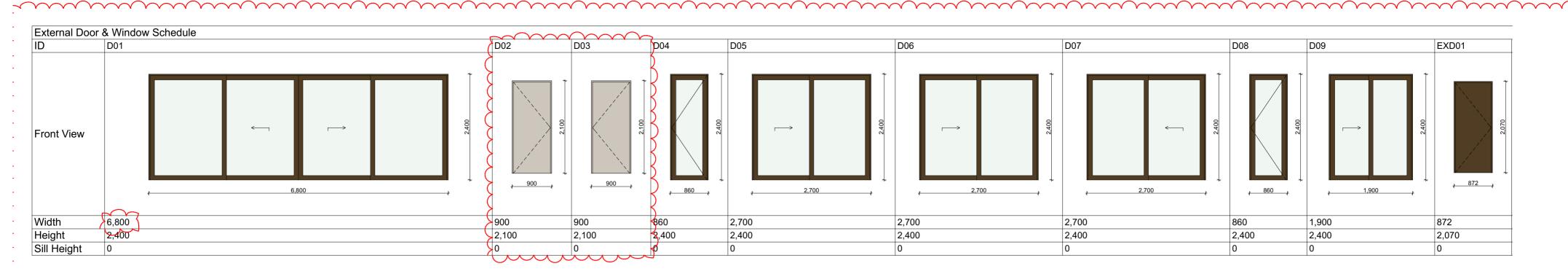
Issue	Description	ISSUE BY	Issue Date	ADDDECC	
С	Section 4.55	TY/YT	21/3/2025	ADDRESS	
				1142 Pittwater Road Collaroy NSW 2097	
				PROJECT	
				Proposed Alterations & Additions	
				FOR	JOB No
				ANAG NSW	24007

YAN HONDA ARCHITECTS

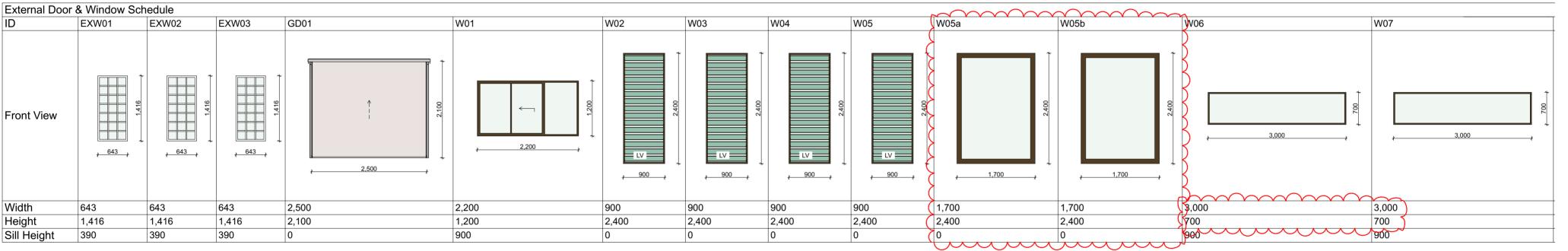
NOMINATED REGISTERED ARCHITECT GUS HONDA 9435 DRAWING TITLE

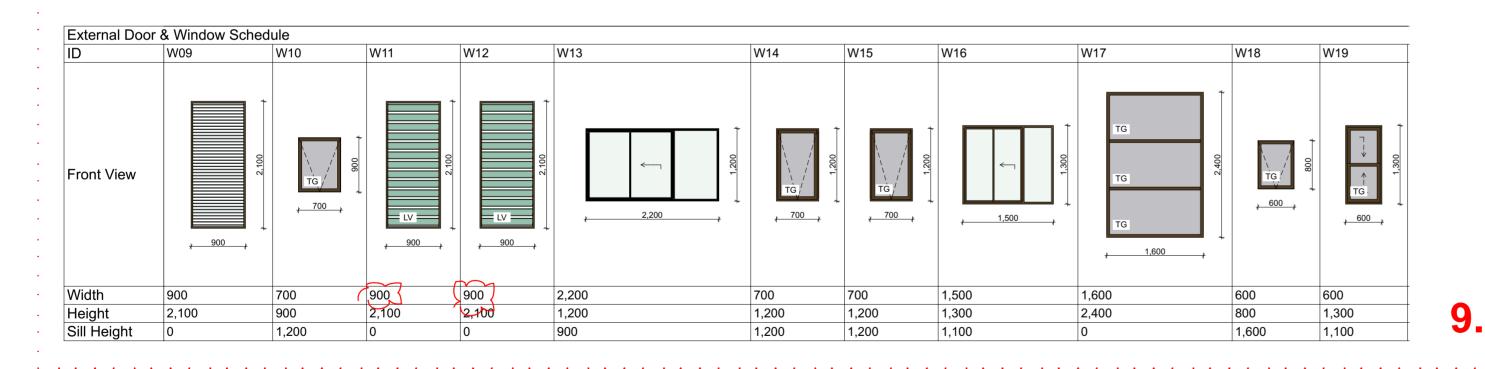
Shadow Diagrams

3 NUMBER S4.55-11 @ A2 ISSUE



W08 REMOVED





S4.55 - AMENDMENTS

- 1. Second garage removed and replaced with workshop room. Garage door removed and access doors provided to the northern and southern walls.
- 2. Proposed retractable pergola
- 3. Ground floor northern wall revised to align with the existing garage northern wall. Landscaped area amended accordingly.
- 4. Ground floor southern wall revised to align with the minimum ground floor side setback. Landscaped area amended accordingly.
- 5. Ground floor eastern wall revised to reduce building length and provide a more regular layout to the living areas.
- 6. First-floor southern wall, eastern wall, and roof planters adjusted to align with changes to the ground floor walls.
- 7. Proposed skylight over stairs.
- 8. Roof height slightly raised to provide additional ceiling space and natural light.
- 9. Windows and doors reconfigured in accordance with owner's requirements (refer to external window & door schedules).

LEGEND

JOB No

24007

FG fixed glassTG translucent glassLV louvre glass

NOTES:

- Windows and doors are indicativeonly. Details to be provided by builders/manufacturers. Dimensions are wall opening indicationonly.
- Lift-off hinges to all bathrooms and WC where the clearance between the WC and door opening is less than 1200mm in distance in accordance with BCA/NCC Clause H4P3 and ABCB Housing Provisions Standards Part 10.4.2 Protectionof openable windows to comply with NCC Clause H5P2 and ABCB Part 11.3,11.3.7 and 11.3.8

NOTES

- Drawings are subject to copyright and may not be copied, used or reproduced in any
- way without the express permission of the architect.

 All dimensions to be confirmed on site prior to commencement of work.
- All construction to be comply with Building Code of Australia/National Construction Code
 & Australian Standards requirements.
- Drawings are not for construction.Do not scale from drawing.
- Larger scale drawings and written dimensions take preference All discrepancies to be brought to the attention of the author.

| Issue | Description | Issue Date | ADDRESS | 1142 Pittwater Road Collaroy NSW 2097 | PROJECT | Proposed Alterations & Additions | FOR | ANAG NSW |

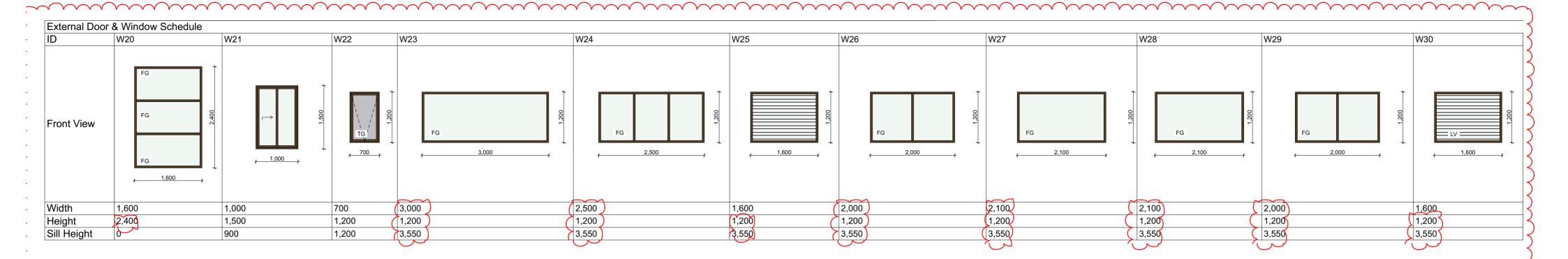
YAN HONDA ARCHITECTS

NOMINATED REGISTERED ARCHITECT
GUS HONDA 9435
DRAWING TITLE
External Window & Door Schedule 01

SCALE DRAWING NUMBER

S4.55-12

ISSUE



ID	W31
Front View	FG 2,500
Width	2,500
Height	1,200
Sill Height	3,550 <

S4.55 - AMENDMENTS

- 1. Second garage removed and replaced with workshop room. Garage door removed and access doors provided to the northern and southern walls.
- 2. Proposed retractable pergola
- 3. Ground floor northern wall revised to align with the existing garage northern wall. Landscaped area amended accordingly.
- 4. Ground floor southern wall revised to align with the minimum ground floor side setback. Landscaped area amended accordingly.
- 5. Ground floor eastern wall revised to reduce building length and provide a more regular layout to the living areas. 6. First-floor southern wall, eastern wall, and roof planters adjusted to align
- with changes to the ground floor walls. 7. Proposed skylight over stairs.
- 8. Roof height slightly raised to provide additional ceiling space and natural
- 9. Windows and doors reconfigured in accordance with owner's requirements (refer to external window & door schedules).

LEGEND

FG fixed glass translucent glass TG LV louvre glass

NOTES:

- Windows and doors are indicativeonly. Details to be provided by builders/manufacturers. Dimensions are wall opening indicationonly.
 Lift-off hinges to all bathrooms and WC where the clearance between the WC and door opening is less than 1200mm in distance in accordance with BCA/NCC Clause H4P3 and ABCB Housing Provisions Standards Part 10.4.2 Protectionof openable windows to comply with NCC Clause H5P2 and ABCB Part 11.3,11.3.7 and 11.3.8

- Drawings are subject to copyright and may not be copied, used or reproduced in any
- way without the express permission of the architect.

 All dimensions to be confirmed on site prior to commencement of work.
- All construction to comply with Building Code of Australia/National Construction Code & Australian Standards requirements.
- Drawings are not for construction.
 Do not scale from drawing.
- Larger scale drawings and written dimensions take preference. ■ All discrepancies to be brought to the attention of the author.

ISSUE BY | Issue Date C Section 4.55 TY/YT 21/3/2025 1142 Pittwater Road Collaroy NSW 2097 **PROJECT** Proposed Alterations & Additions JOB No **ANAG NSW** 24007

YAN HONDA ARCHITECTS

NOMINATED REGISTERED ARCHITECT GUS HONDA 9435

DRAWING TITLE External Window & Door Schedule 02

DRAWING NUMBER S4.55-13 @ A2 ISSUE

1142 Pittwater Road Collaroy NSW 2097 - Proposed Alterations & Additions





Render and Painted wall Colour: Rockcote "TBC"



RPW1

MR

FB

TC

Facebrick wall Colour: TBC

Colorbond kliplok roof sheeting Colour: Colorbond 'surfmist'

Render and Painted wall

Knotwood wall cladding Knotwood front gates Knotwood garage door

Colour: Dulux "TBC" to match colour of claddiing

Colour: Knotwood "Grey Ash" or Merbau Wathered

Powdercoated aluminium framed windows and doors Colour: Colorbond Powdercoat/ Dulux 'Monument'

flashings colour to match timber cladding colour

NOTE: All colours and finishes can be replaced by similar colours.

NOTES

- Drawings are subject to copyright and may not be copied, used or reproduced in any way without the express permission of the architect.

 All dimensions to be confirmed on site prior to commencement of work.

 All construction to comply with Building Code of AustralianNational Construction Code & Australian Standards requirements.

 Drawings are not for construction.

 Do not scale from drawing.

 Larger scale drawings and written dimensions take preference.

 All discrepancies to be brought to the attention of the author.

Issue Description ISSUE BY | Issue Date ADDRESS 1142 Pittwater Road Collaroy NSW 2097 Proposed Alterations & Additions JOB No ANAG NSW 24007

YAN HONDA ARCHITECTS NOMINATED REGISTERED ARCHITECT DRAWING NUMBER GUS HONDA 9435 S4.55-14 DRAWING TITLE ISSUE Finishes Schedule