

Application for a construction certificate

John J Briggs Associates P/L
PO Box 800
Brookvale NSW 2100
Phone (02) 9907 1018
Fax (02) 9907 1344
johnjbriggs1@bigpond.com

If you want to carry out some building work or subdivision work (such as building roads or a stormwater drainage system), you need a construction certificate before you can start work. You can use this form to apply for a construction certificate. To complete the form, please place a cross in the boxes ☐ and fill out the white sections as appropriate. To minimise delay in receiving a decision about your application, please ensure you submit all relevant information. You need to apply to a certifying authority (either your council or a private certifier).

1. Details of the applicant

Mr ☐ Ms ☐ Mrs ☐ Dr ☐ Other ☐ Mr

First name

R

Family name

Coxon

Flat/street no

12A

Street name

Nooal Street

Suburb or town

Newport

State

NSW

Postcode

2106

Daytime telephone

Fax

Mobile

Email

2. Identify the land

Flat/street no

12A

Street name

Nooal Street

Suburb or town

Newport

Postcode

2106

Lot no

472

Section

DP/MPS no

232138

Volume/folio

You can find the lot no., section, DP/MPS no. and volume/folio details on a map of the land or on the title documents for the land. If you need additional room, please attach a schedule and/or a map with these details.

3. Estimated cost of the development

\$ including GST

4. Describe the development

What type of work do you propose to carry out?

Building work ☒

Subdivision work ☐

Describe the work

Alterations & additions to existing dwelling

For building work, what is the class of the building under the Building Code of Australia?

1a

This can be found on the development consent

Has development consent been granted for the development?

No ☐

Yes ☒

What is the development application no ?

NO416/10

What date was development consent granted?

8 10 10

5. Information to be attached to the application

You need to provide material with your application that is relevant to the type of work you propose to do. Please indicate the material you have attached by placing a cross in the appropriate boxes ☐

1 If you are going to carry out **building work**

☐ a copy of any compliance certificates on which you rely

☒ detailed plans of the building (4 copies)

The plans must be drawn to a suitable scale and consist of a general plan and a block plan. The general plan of the building is to

- show a plan of each floor section
- show each elevation of the building
- show the level of the lowest floor, the level of any yard or unbuilt area on that floor and the level of the ground
- indicate the fire safety and fire resistance measures (if any) and their height, design and construction

Where you propose to alter, add to or rebuild a building that is already on the land, or modify plans that have already been approved, please mark the general plan (by colour or otherwise) to show the change you propose to make

☒ detailed specifications of the building (4 copies)

The specifications are to

- describe the construction (including the standards that will be met), the materials which will be used to construct the building and the methods of drainage, sewerage and water supply
- state whether the materials proposed to be used are new or second hand and give details of any second-hand materials to be used

Where you propose to modify specifications that have already been approved, please mark the approved specifications (by colour or otherwise) to show the modification

☒ a plan of the existing building, drawn to scale, where the application involves building work to alter, enlarge or extend that building

This plan will assist the certifying authority to assess whether the work will reduce the fire protection capacity of the building.

5. continued

- ☐ where you propose to meet the performance requirements of the Building Code of Australia (BCA) by using an alternative solution to the deemed-to-satisfy provisions of the BCA
 - a list of the performance requirements you will meet by using the alternative solution
 - the details of the assessment methods you will use to meet those performance requirements
 - a copy of any compliance certificates on which you rely
- ☐ evidence of any accredited component process or design on which you seek to rely
Components, processes or designs that relate to the erection or demolition of a building are accredited under the Environmental Planning and Assessment Regulation 2000
- ☐ details of the fire safety measures unless you are building a single dwelling or a non-habitable building or structure (such as a private garage carport shed fence antenna wall or swimming pool) These details are to include
 - a list of any fire safety measures you propose to include in the building or on the land
 - if you propose to alter add to or rebuild a building that is already on the land a list of the fire safety measures that are currently used in the building or on the land*The lists must describe the extent capability and the basis of design of each measure*
- ☐ the attached schedule, completed for the development
The information in the schedule will be used by the Australian Bureau of Statistics to report each quarter on the building activity that occurs in the economy Building statistics allow governments and businesses to accurately identify main areas of population growth and demand for products and services
You may also need to pay a long service levy under section 34 of the Building and Construction Industry Long Service Payments Act 1986 (or where such a levy is payable by instalments, the first instalment of the levy) before the certifying authority can issue a certificate to you

2. If you are going to carry out work to do a subdivision (eg building roads or a stormwater drainage system)

- ☐ the details of the existing and proposed subdivision pattern (including the number of lots and the location of roads)
- ☐ the details of the consultation you have carried out with the public authorities who provide or will increase the services you will need (like water, road, electricity, sewerage)
- ☐ the existing ground levels and the proposed ground levels when the subdivision is completed
- ☐ copies of any compliance certificates on which you rely
- ☐ detailed engineering plans (4 copies) The detailed plans might include the following:
 - earthworks
 - roadworks
 - road pavement
 - road furnishings
 - stormwater drainage
 - water supply works
 - sewerage works
 - landscaping works
 - erosion control works

Where you propose to modify plans that have already been approved, please mark the approved plans (by colour or otherwise) to show the modification

- 3 If you are going to change the use of a building or the classification of a building under the Building Code of Australia and you are doing building work (unless the building will now be used as a single dwelling or a non-habitable building or structure (such as a private garage carport, shed fence antenna wall or swimming pool))
- ☐ a list of any fire safety measures you propose to include in the building or on the land
 - ☐ if you propose to alter add to or rebuild a building that is already on the land a list of the fire safety measures that are currently used in the building or on the land
 - ☐ details as to how the building will comply with the Category One fire safety provisions of the Building Code of Australia

The lists of fire safety measures must describe the extent capability and the basis of design of each measure

The owner(s) of the land must sign this application if

- at the time the owner signed the development application the owner did not give consent to the applicant to lodge a construction certificate or
- the owner of the land has changed since the owner signed the development application

As the owner(s) of the above property I/we consent to this application

Signature

Ricardos Coxon

Name

Ricardos Coxon

Date

18/11/10

Signature

Beverley Coxon

Name

Beverley Coxon

Date

18/11/10

The applicant, or the applicant's agent, must sign the application

Signature

Ricardos Coxon *Beverley Coxon*

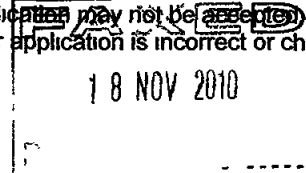
Name if you are not the applicant

Date

18/11/10

In what capacity are you signing if you are not the applicant?

The information you provide in this application will enable your application to be assessed by the certifying authority. If the information is not provided your application may not be accepted. Please contact the council if the information you have provided in your application is incorrect or changes



Schedule to application for a construction certificate

Please complete this schedule The information will be sent to the Australian Bureau of Statistics

All new buildings

Please complete the following

- Number of storeys (including underground floors)
- Gross floor area of new building (m²)
- Gross site area (m²)

N/A
—
—

Residential buildings only

Please complete the following details on residential structures

- Number of dwellings to be constructed
- Number of pre-existing dwellings on site
- Number of dwellings to be demolished
- Will the new dwelling(s) be attached to other new buildings?
- Will the new building(s) be attached to existing buildings?
- Does the site contain a dual occupancy?
(NB dual occupancy = two dwellings on the same site)

Yes ☐ No ☐

Yes ☐ No ☐

Yes ☐ No ☐

Materials – residential buildings

Please indicate the materials to be used in the construction of the new building(s).

Walls	Code	Roof	Code	Floor	Code	Frame	Code
Brick (double)	☐ 11	Tiles	☐ 10	Concrete or slate	☐ 20	Timber	☐ 40
Brick (veneer)	☐ 12	Concrete or slate	☐ 20	Timber	☐ 40	Steel	☐ 60
Concrete or stone	☐ 20	Fibre cement	☐ 30	Other	☐ 80	Aluminium	☐ 70
Fibre cement	☐ 30	Steel	☐ 60	Not specified	☐ 90	Other	☐ 80
Timber	☐ 40	Aluminium	☐ 70			Not specified	☐ 90
Curtain glass	☐ 50	Other	☐ 80				
Steel	☐ 60	Not specified	☐ 90				
Aluminium	☐ 70						
Other	☐ 80						
Not specified	☐ 90						

JOHN J BRIGGS

ASSOCIATES
ACCREDITED BUILDING CERTIFIERS
ABN 99 089 896 159

PCA APPOINTMENT (OWNER'S AUTHORITY)

18/11/2010

To Whom It May Concern

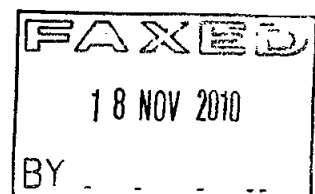
I *Richard Coxon* authorise John Briggs of John J Briggs Associates P/L to act as Principal Certifying Authority for the proposed alterations & additions to existing dwelling at 12A Nooal Street, Newport and to issue an Occupation Certificate following satisfactory completion of the project

I also advise that I have met all conditions of Consent required to be undertaken prior to commencement of work

Yours sincerely

Richard Coxon

PO Box 800 Brookvale NSW 2100
Phone 02 9907 1018 Fax 02 9907 1344





Home Warranty Insurance Fund

calliden
group

NSWAHHWFI/085422-PermitAuthority

8/12/2010

Trevor William Barnabas & Gail Barnabas trading as Trevor and Gail Barnabas
43 Bungan Head Road
Newport NSW 2106

Calliden Insurance Ltd
ABN 47 004 125 268 AFS Licence 234438
Level 9 11 33 Exhibition Street
MELBOURNE VIC 3000
Phone (03) 9637 1300 FAX 1300 662 215

Certificate of Insurance

RESIDENTIAL BUILDING WORK BY CONTRACTORS

A contract of insurance complying with sections 92 and 96A of the Home Building Act 1989 has been issued by **Calliden Insurance Limited (ABN 47 004 125 268) (AFSL 234438)** as agent for and on behalf of the NSW Self Insurance Corporation (SICorp) (ABN 97 369 689 650) who is responsible for management of the Home Warranty Insurance Fund

In respect of	Structural Alterations/Additions
At	12A Noval Street NEWPORT NSW 2106
Carried out by	Trevor William Barnabas & Gail Barnabas trading as Trevor and Gail Barnabas
Licence Number	129946C
ABN	42 680 102 279
For	Richard & Beverley Coxon
In the amount of	\$55 000 00

Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract cover will be provided to

- a beneficiary described in the contract and successors in title to the beneficiary
- OR
- the immediate successor in title to the contractor or developer who did the work and subsequent successors in title

Authorisation Signed by Calliden Insurance Ltd (ABN 47 004 125 268) (AFSL 234438) as agent for and on behalf of the NSW Self Insurance Corporation (SICorp) (ABN 97 369 689 650)

Issued on the 8th day of December 2010

This Plan / Detail is
to be read in
conjunction with

CONSTRUCTION CERTIFICATE

APPROVAL NO 1525001

NOTICE: To download a copy of your insurance policy wording visit <http://www.policywording.com.au>

JOHN J BRIGGS

ASSOCIATES

ACCREDITED BUILDING CERTIFIERS
ABN 99 089 896 159

Mr R Coxon
12A Nooal Street
Newport NSW 2106

Construction Certificate

Certificate

I certify that if the work is completed in accordance with the attached plans and specifications which have been approved, it will comply with the requirements of the Environmental Planning and Assessment Regulation 2000 as referred to in Section 81A (5) of the Environmental Planning and Assessment Act 1979. This certificate is issued without any conditions for the following premises:

Address of Property 12A Nooal Street, Newport

Plan Numbers Approved Project 09/050 drawings DA2001 & DA2002 both issue D dated 12 7 10, DA3006 dated 12 7 10 & DA3005 issue C dated 3 6 10 prepared by Elizabeth Leong Architects P/L

NOTE REFER TO THE ATTACHED 'SCHEDULE A' LIST OF DETAILS TO BE READ IN CONJUNCTION WITH THIS CONSTRUCTION CERTIFICATE

Information attached to this decision



A Fire Safety Schedule



The Conditions of the Certificate

Construction Certificate No
Date of this Decision
and Certificate

1525CC1
14th December 2010

Certifying Authority

John J Briggs Associates Pty Ltd

Signature

Name of accredited Certifier


John Briggs

Building Professionals Board
Accreditation No

BPB 0049

Proposal

Alterations & additions to existing dwelling

Development Consent No

NO416/10

Date of Determination

8 10 10

Council Area

Pittwater

Applicant's right of appeal – If the certifying authority is a council, a Minister or a public authority and the certifying authority has issued a construction certificate subject to conditions, you can appeal against these conditions to the Land and Environment Court within 12 months from the date of the decision.

PO Box 800 Brookvale 2100
Phone 02 9907 1018 Fax 02 9907 1344
johnjbriggs1@bigpond.com

JOHN J BRIGGS

ASSOCIATES

ACCREDITED BUILDING CERTIFIERS
ACN 089 896 159

Construction Certificate No 1525CC1

Address Lot 472, DP232128, 12A Nooal Street, Newport

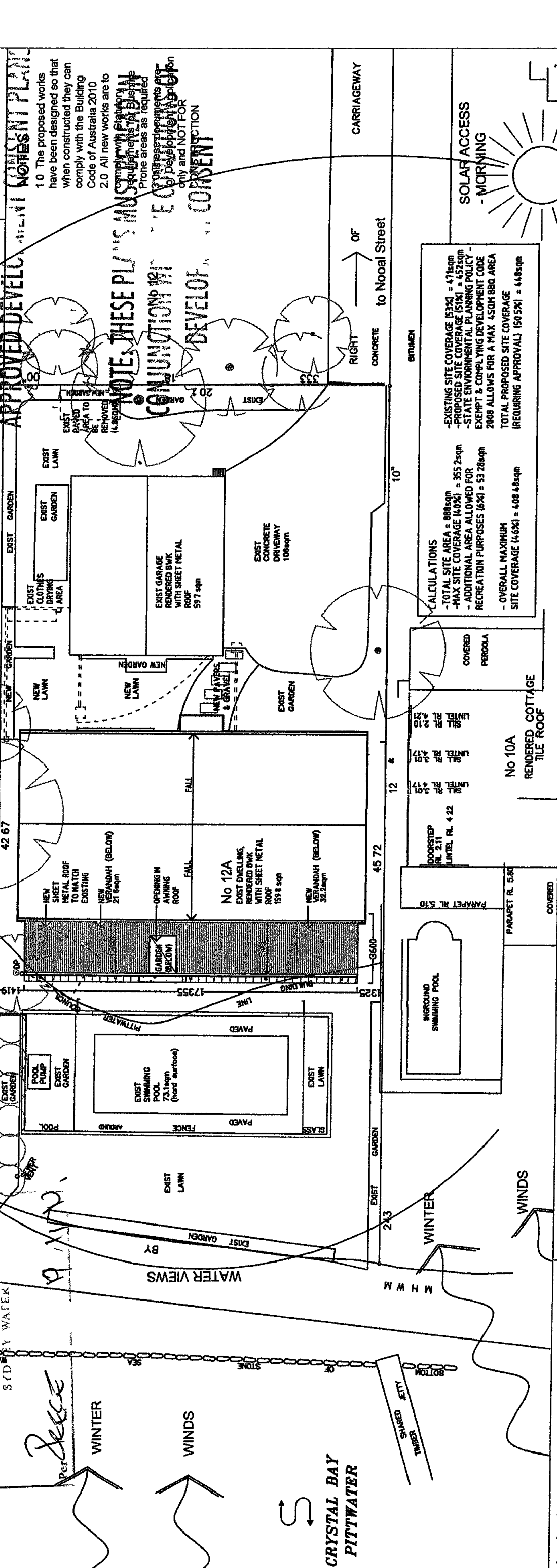
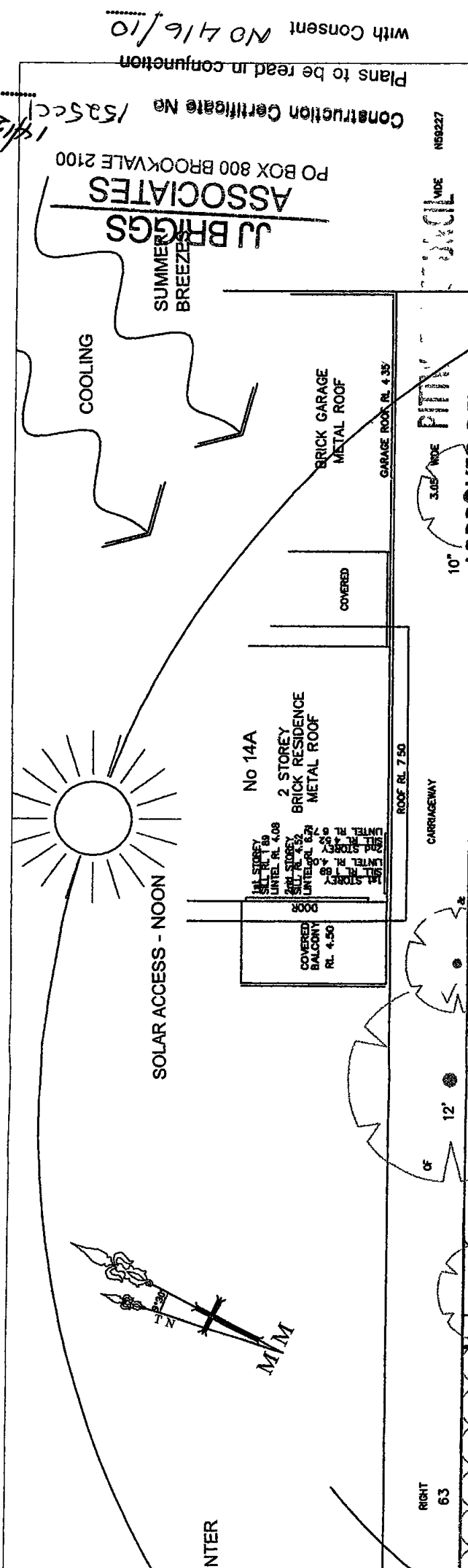
Applicant Mr R Coxon

SCHEDULE A

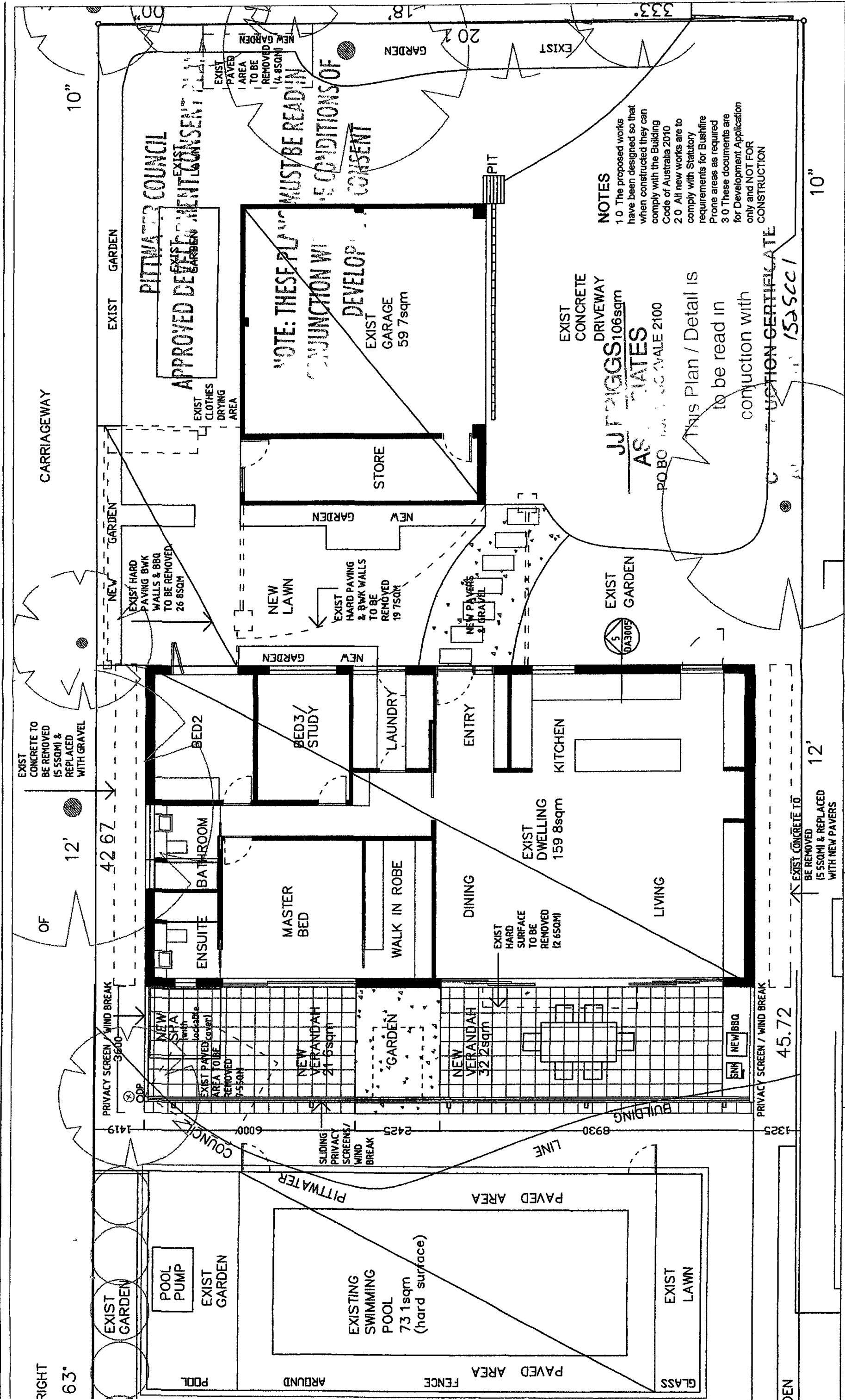
The following is a list of details/plan references that should be read in conjunction with Construction Certificate No 1525CC1

- Structural details drawings 0929-A & 0929-1 dated 8 9 09 prepared by Michael Gergich Consulting Engineer
- Council receipt LSL
- Public Liability policy
- Home Warranty Insurance certificate Calliden Group dated 8 12 10

1 Position of structure in relation to Sydney Water assets is satisfactory
2 Connection to Sydney Water sewer works is satisfactory
3 It is the owner's responsibility to ensure that all proposed fittings will connect to Sydney Water's sewer
4 SOLAR ACCESS: The proposed work to be carried out in accordance with the Solar Access Act 1994 AS 3500 and the NSW Code of Practice
5 The proposed work shall not be placed under any roof or balcony
6 Property boundaries are shown on the title

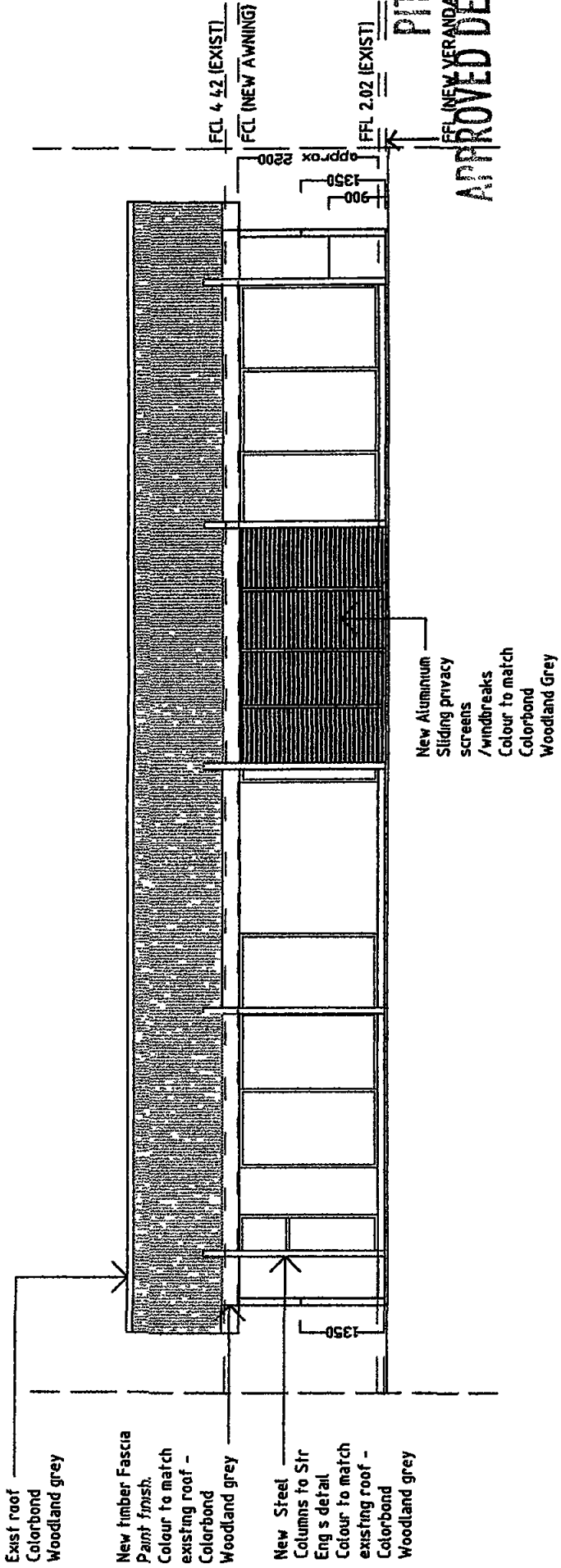


elizabeth leong architects pty ltd architecture + interior design ABN 59 100 247 649 NOMINATED ARCHITECT ELIZABETH LEONG NSW REGISTERED ARCHITECT REG NO 6004 PO BOX K302 HAYMARKET SYDNEY NSW 2000 T 4342 9157 F 4342 3188 M 0407055223	© elizabeth leong architects pty ltd 2010 The design, drawings, specifications and the copyright are the property of elizabeth leong architects pty ltd. The documents must not be transmitted wholly or partly without prior approval of elizabeth leong architects pty ltd. All dimensions must be verified on site prior to the commencement of work. Do not scale this drawing. Figure dimensions are to be taken in preference to the scale drawing.	LEGEND EXISTING WALLS EXISTING TO BE DEMOLISHED NEW WALLS (TIMBER STUD) NEW WALLS (MASONRY)	ISSUE DETAILS A Issue for Approval and Council B Cut out in roof amended C Amended as per Client comment D Cals amended	COXON RESIDENCE 12A Noal Street Newport Site Plan date May 10 scale 1 200 checked ☒ project 09/050 dwg no DA2001D
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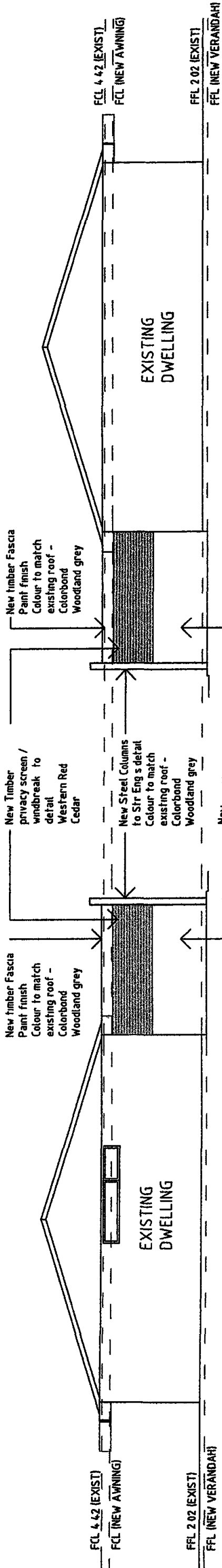
elizabeth leong architects pty ltd architecture + interior design ABN 59 100 247 649 NOMINATED ARCHITECT ELIZABETH LEONG NSW REGISTERED ARCHITECT REG NO 6004 PO BOX 4302 HAYMARKET SYDNEY NSW 2000 T 4342 9157 F 4342 3168 M 0407055223		 © elizabeth leong architects pty ltd 2010 The design, drawings, specifications and the copyright are the property of elizabeth leong architects pty ltd. The documents must not be transmitted, wholly or partly, without prior approval of elizabeth leong architects pty ltd. All dimensions must be verified on site prior to the commencement of work. Do not scale this drawing. Figure dimensions are to be taken in preference to the scale drawing.		LEGEND EXISTING WALLS [] EXISTING TO BE DEMOLISHED [] NEW WALLS (TIMBER STUD) [] NEW WALLS (MASONRY)		ISSUE DETAILS A Issue for Approval and Council 26 5 10 B Verandah roof cut out amended 31 5 10 C Amended as per Client comment 30 6 10 D Dims to Bay added 12 7 10		COXON RESIDENCE 12A Noval Street Newport Floor Plan date May 05 scale 1 100 checked project 09/050 dwg no DA2002D	
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NOTES
1.0 The proposed works have been designed so that when constructed they can comply with the Building Code of Australia 2010
2.0 All new works are to comply with Statutory requirements for Bushfire Prone areas as required
3.0 These documents are for Development Application only and NOT FOR CONSTRUCTION



1 SW ELEVATION

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT



2 NW ELEVATION

3 SE ELEVATION

This Plan / Detail is to be read in conjunction with

JJ BRIGGS ASSOCIATES
CONSULTING ARCHITECTS
PO BOX 800 BROOKVALE 2100
15/05/2011

elizabeth leong architects pty ltd
architecture + interior design
ABN 59 100 247 649
NOMINATED ARCHITECT ELIZABETH LEONG
NSW REGISTERED ARCHITECT REG NO 6004
PO BOX K302 HAYMARKET SYDNEY NSW 2000
T 4342 9157 F 4342 3188 M 0407055223



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The design drawings specifications and the copyright are the property of elizabeth leong architects pty ltd. The documents must not be transmitted, wholly or partly, without prior approval of elizabeth leong architects pty ltd.
All dimensions must be verified on site prior to the commencement of work. Do not scale this drawing. Figure dimensions are to be taken in preference to the scale drawing.

ISSUE DETAILS

A Issue for Approval and Council

12/7/10

COXON RESIDENCE

12A Noaal Street Newport

Elevations

date Jul 10 scale 1:100 checked
project 09/050 dwg no DA3006

NOTES

- 1.0 The proposed works have been designed so that when constructed they can comply with the Building Code of Australia 2010
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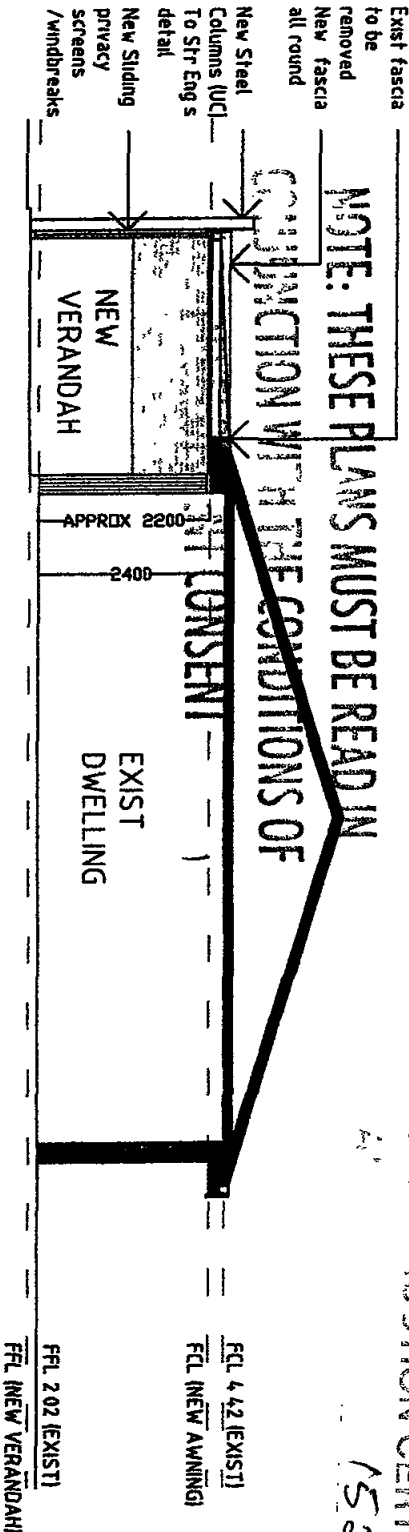
PITWATER COUNCIL

JJ BRIGGS
ASSOCIATES
PO BOX 57 BROCKVALE 2100

APPROVED DEVELOPMENT CONSENT PLANS

This Plan / Detail is
to be read in
conjunction with

CONJUNCTION CERTIFICATE
1525cc /



SECTION

5

elizabeth leong architects pty ltd
architecture interior design



ABN 59 100 247 849
NOMINATED ARCHITECT ELIZABETH LEONG
NSW REGISTERED ARCHITECT REG NO 8004
PO Box K302 Haymarket Sydney NSW 2000
T 4342 9157 F 4342 3168 M 0407055223

ISSUE DETAILS

A Issue for Approval & Council 26.5.10
B Patio end elevation amended 30.5.10
C Amended as per Client comment 30.6.10

COXON RESIDENCE

12A Nooral Street Newport

Section

Dwg no DA3005C May '10 Scale:1:100 Checked



CONCRETE

- C1 All workmanship and materials shall be in accordance with AS 3600 current edition with amendments except where varied by the contract documents**

C2 Concrete Quality

All the requirements of the ACSE Concrete Specification Document 1 shall apply to the formwork reinforcement and concrete unless noted otherwise

Element	f cMpa (28 days)	Slump	Max egg size	Cement type
FOOTINGS	25	80	20	SL
ALL CONCRETE	32	80	20	SL

Plan/Project control testing shall be carried out in accordance with AS 3500

- C3 No admixture shall be used in concrete unless approved in writing**

C4 Clear concrete cover in mm to all reinforcement shall be as follows unless shown otherwise

Measure specification AS 3600	Cast against formwork		Cast against ground	
	Interior	Exterior	Is contact with ground	Protected by membrane
A1	20	30	30	40
A2	20	30	30	50
B1	20	40	40	55
B2	20	45	45	65

Exposure classification for exterior concrete: B1
All reinforcement shall be firmly supported on mild steel tipped chairs, plastic chairs or concrete chairs at not greater than 1 metre centres both ways. Bars shall be tied at alternate intersections. In exposure conditions greater than B1 use only plastic chairs.

- C5 Concrete sizes shown do not include thicknesses of applied finishes**

C6 Depths of beams are given first and include slab thickness

C37 For chamfers, drill grooves, reamers, etc. refer to Architectural

C8 No holes, chases or embedment of pipes other than those shown on the structural drawings shall be made in concrete members without the prior written approval of the Engineer

C9 Construction joints where not shown shall be located to the approval of the Engineer

On the finished concrete slabs be a dense homogeneous mass. Completely filling the concrete surrounding the reinforcement and free of stone pockets. All concrete including slabs on ground and footings shall be compacted with mechanical vibrators.

C11 Curing of all concrete is to be achieved by keeping surfaces continuously wet for a period of 3 days and prevention of loss of moisture for a total of 7 days followed by a gradual drying out. Approved sprayed on curing compounds may be used where no foot finishes are proposed. Polythene sheeting or wet hessian may be used if protected from wind and traffic.

C12 Construction support propping is to be left in place where needed to avoid overstressing the structure due to construction loading. No masonry or partition walls are to be constructed on suspended levels until all propping is removed and the member has absorbed its dead load deflection.

C13 The Engineer shall be given 48 hours notice for reinforcement inspection and concrete shall not be delivered until final approval obtained

C14 Conduits, pipes etc: shall only be located in the middle one third of slab depth and spaced at not less than 3 diameters

C15 Reinforcement symbols

C15 Reinforcement symbols

Y Denotes Grade 410 Y Bars to AS 1302 Grade Y

K Deltalabs Glass 250 K Hot Rolled Plain Balls 18 AS 130Z
E Dantone Hard-Drawn Wire Reinforcing Fabric 18 AS 1304

The figures following the symbol are the number of millimetres in the bar diameter. The figures following the fabric symbol F is the reference number for fabrics to AS 1304.

C16 Belief/movement is represented differentially and not necessarily in the conventional

C17 Splices in reinforcement shall be made only in positions shown or otherwise approved in writing by the Engineer. Laps shall be in accordance with AS 3600 and not less than the development length for each bar.

C18 Fabric reinforcement shall have splices made so that the overlap measured between the outermost transverse wires of each sheet of fabric is not less than spacing of those wires plus 50 mm

C18 Welding of reinforcement shall not be permitted unless shown on the structural drawings or approved by the Engineer

C70 bundles to bars shall be 1 bar diameter over a length of 12 bar diameters

CC-BY 4.0 International license

C22 Where transverse tie bars are not shown provide Y12 at 300mm spliced where necessary and lap with main bars 300mm U N O

GENERAL

- Q1** These drawings shall be read in conjunction with all architectural and other consultants drawings and specifications and with such other written instructions as may be issued during the course of the contract. Any discrepancy shall be referred to the Engineer before proceeding with the work.

- G2 All materials and workmanship shall be in accordance with the relevant and current SAA codes and with the By-Laws and Ordinances of the relevant building authorities except where varied by the project specification**

- G3 All dimensions shown shall be verified by the builder on site. Engineer's drawings shall not be scaled for dimensions**

- G4 During construction the structure shall be maintained in a stable condition and no part shall be overbraced. Temporary bracing shall be provided by the builder to keep the works and excavations stable at all times**

FOUNDATIONS

F1 Footings have been designed for an allowable bearing pressure intensity of 200 kPa. The foundation material shall be approved by the Engineer for this pressure before placing reinforcement of concrete.

- F2 Footings shall be located centrally under walls and columns unless noted otherwise**

- F3** All organic material soft spots top soil and any other deleterious material shall be removed from under footings and slabs. Proof roll ground with vibrating roller and replace any soft spots with good fill. Backfilling to footing excavation and sub bases to slabs on ground must consist of approved material compacted in 150mm thick layers to at least 95% modified Australian compaction

**JJ BRIGGS
ASSOCIATES**

PO BOX 800 BROOKVALE 2100

to be read in
conjunction with

EXTRACTION CERTIFIC

1525051

 Michael Gergich Consulting Engineer Structural and Civil Engineer 3 Edgecliffe Esplanade Seaford N S W 2092 Telephone 9949 7378	 	For Mr & MS R COXON
Project PROPOSED ALTERATIONS & ADDITIONS AT 12 NOOAL STREET NEWPORT	Date 8 9 09	Scales 1 100, 1 20
Approved <i>Michael Gergich</i> B.E. M.I.E. Aust. N.E.R. (Civil Structural)	Drawing No 0929-1	

JJ BRIGGS
ASSOCIATES
PO BOX 800 SROCKVALE 2102

Q&SL BULK 15900

Detail IS
be read in
injection with
CERTIFICATE
1525cc



GIO General Limited ABN 22 002 861 583

TRADE INSURANCE- POLICY DETAILS

Policy Number SB2302495

Page 2
Date Issued 24/03/10

This Plan / Detail is
to be read in

conjunction with

CONSTRUCTION CERTIFICATE

APPROVAL NO. 1525CC1

Insured(s)
TREVOR WILLIAM BARNABAS
ABN 42680102279

Period of Insurance
13/02/2010 to 4PM 13/02/2011

Business
BUILDEP

Situation
NEWPORT
NSW 2106

JJ BRIGGS
ASSOCIATES
PO BOX 800 BROOKVALE 2100

** Please let us know if any of these details have changed or are incorrect. **

PUBLIC & PRODUCTS LIABILITY POLICY SECTION

Limit(s) of Liability

(A) Public Liability	\$5,000,000
(B) Products Liability	\$5,000,000

Domestic Turnover Between \$100,001 and \$250,000
Overseas Turnover NIL

Excess(es) \$200 FOR EACH PERSONAL INJURY CLAIM
\$200 FOR EACH PROPERTY DAMAGE CLAIM
\$50 FOR EACH ADDITIONAL PERSONAL INJURY CLAIM
\$50 FOR EACH ADDITIONAL PROPERTY DAMAGE CLAIM

It has been declared to GIO General Limited that the applicant either
a does not engage or expect to engage hired labourers or contractors to
perform work on their behalf or for their benefit on any project,
which has a value exceeding \$20,000. OR
b. does engage or expects to engage hired labourers or contractors to perform
work on their behalf or for their benefit on any project, which has a value
exceeding \$20,000 However the Insured has elected not to insure this exposure

Geographic coverage This policy section covers claims for compensation made
against you anywhere in Australia or New Zealand for personal injury or
property damage occurring within Australia or New Zealand and as otherwise
noted in your policy wording or by endorsement shown in your schedule.

Premium	\$ 1,414.35		
GST	\$ 141.44	Stamp Duty	\$ 140.02
		Total	\$ 1,695.81



Business Insurance



T W BARNABAS
43 BUNGAN HEAD ROAD
NEWPORT
NSW 2106

Total Amount Due: \$1,695.81
Payment Due Date: 23/04/10

Page 1

RENEWAL NOTICE

The insurance cover provided by this Policy will expire at 4pm on the Expiry Date shown above. Please pay the Total Amount Due by that date to ensure continuation of the insurance. When paid, this notice becomes your current Schedule. Please consider whether your Sums Insured are adequate.

All Enquiries: BUSINESS INSURANCE REPS
GPO BOX 1387 MELBOURNE VIC 3001
Phone: 13 10 10

Policy Number: SB2302495
Date Issued: 24/03/10
Client Phone No. 0299990357

TRADE INSURANCE- POLICY SUMMARY

If the Policy covers more than one Situation, the Policy Sections shown below as INSURED may not apply to every Situation

SECTIONS INSURED

* PUBLIC & PRODUCTS LIABILITY

SECTIONS NOT INSURED

* FIRE AND OTHER DAMAGE
* BUSINESS INTERRUPTION
* ACCIDENTAL DAMAGE
* BURGLARY
* MONEY
* GLASS
* GOODS IN TRANSIT
* FRAUD & DISHONESTY
* EQUIPMENT BREAKDOWN
* GENERAL PROPERTY
* PERSONAL ACCIDENT AND ILLNESS
* TAX AUDIT
* CONSTRUCTION

PAID
22/4/10
REC VQE1414

NEED \$ VALUE OF
PUBLIC LIABILITY

Please refer to the following page(s) for details of your insurance

PAYMENT ADVICE

See reverse of this notice for details of payment options

APPROVER ID: WBI /452
Policy SB2302495 8
T W BARNABAS

Total Amount Due: \$1,695.81
Payment Due Date: 23/04/10

IMPORTANT: Please read the back of this notice for important information regarding your "DUTY OF DISCLOSURE" and your insurance contract. /52/ /

Payment Reference: 07 72 2302495 23

