

AS1926.1-2012, SWIMMING POOL SAFETY - SAFETY BARRIERS FOR SWIMMING POOLS.
AS1926.2-2007, SWIMMING POOL SAFETY - LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS.
AS/NZS 2416.1:2010, WATER SAFETY SIGNS AND BEACH SAFETY FLAGS



- EARTHWORK IS TO COMPLY WITH BCA 2016 TABLE 3.1.1.1 AS REFERENCED IN FIG 3.1.2.1 & CLAUSE 3.1.1.0(B) FOR DETERMINATION OF A NORMAL SITE AS REFERENCED BY CLAUSE 3.2.1.
- DRAINAGE IS TO COMPLY WITH AS/NZS 3500.3-2015 OR SECTION 5 OF AS/NZS 3500.5 2012.
- TERMITE MANAGEMENT IS TO COMPLY WITH BCA 2016 PART 3.1.3 AND AS 3660.1-2014. A DURABLE NOTICE IS TO BE INSTALLED IN ACCORDANCE WITH BCA 2016 PART 3.1.3(b). WHERE A CHEMICAL TERMITE MANAGEMENT SYSTEM IS USED, THE CHEMICAL MUST BE INCLUDED ON THE APPROPRIATE AUTHORITY'S PESTICIDES REGISTER. A.

SITE ACCESS
PROVIDE A SINGLE STABILISED ENTRY/EXIT POINT. SEDIMENT OR BUILDING WASTE SHOULD BE REMOVED FROM THE ROAD BY SWEEPING, SHOVELLING OR SPONGING; NOT WASHING.

DIVERSION OF WATER
DIVERT RUN OFF AWAY FROM DISTURBED AREAS AND STOCKPILES USING BANKS AND CHANNELS. RUN OFF SHOULD BE TREATED (BY SEDIMENT FENCE OR THE LIKE) BEFORE LEAVING THE SITE.

ROOF WATER DRAINAGE
CONNECT TEMPORARY OR PERMANENT DOWNPIPES TO THE STORM WATER SYSTEM AS SOON AS THE ROOF IS COMPLETE, TO REDUCE SITE WETNESS.

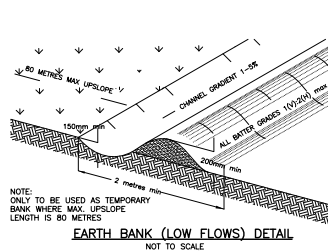
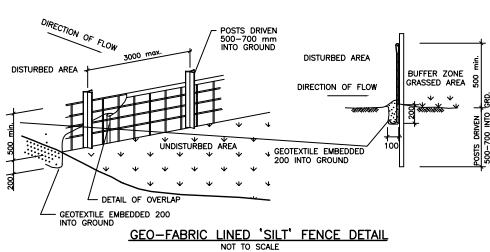
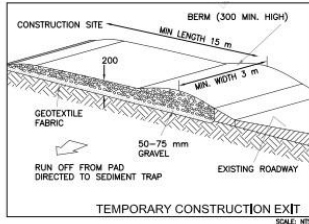
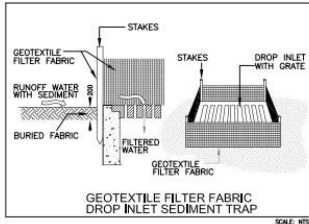
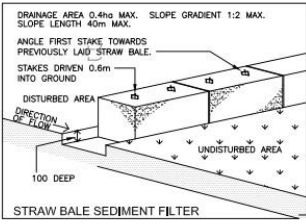
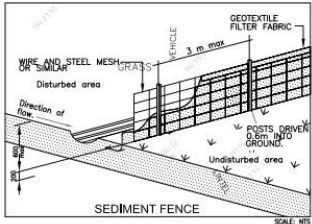
DUST CONTROLS
MINIMISE DISTURBANCES.
COVER STOCKPILES.
USE WATER WHEN NECESSARY, BUT CONTROL RUN OFF.

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA). ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS/EQUIPMENT.

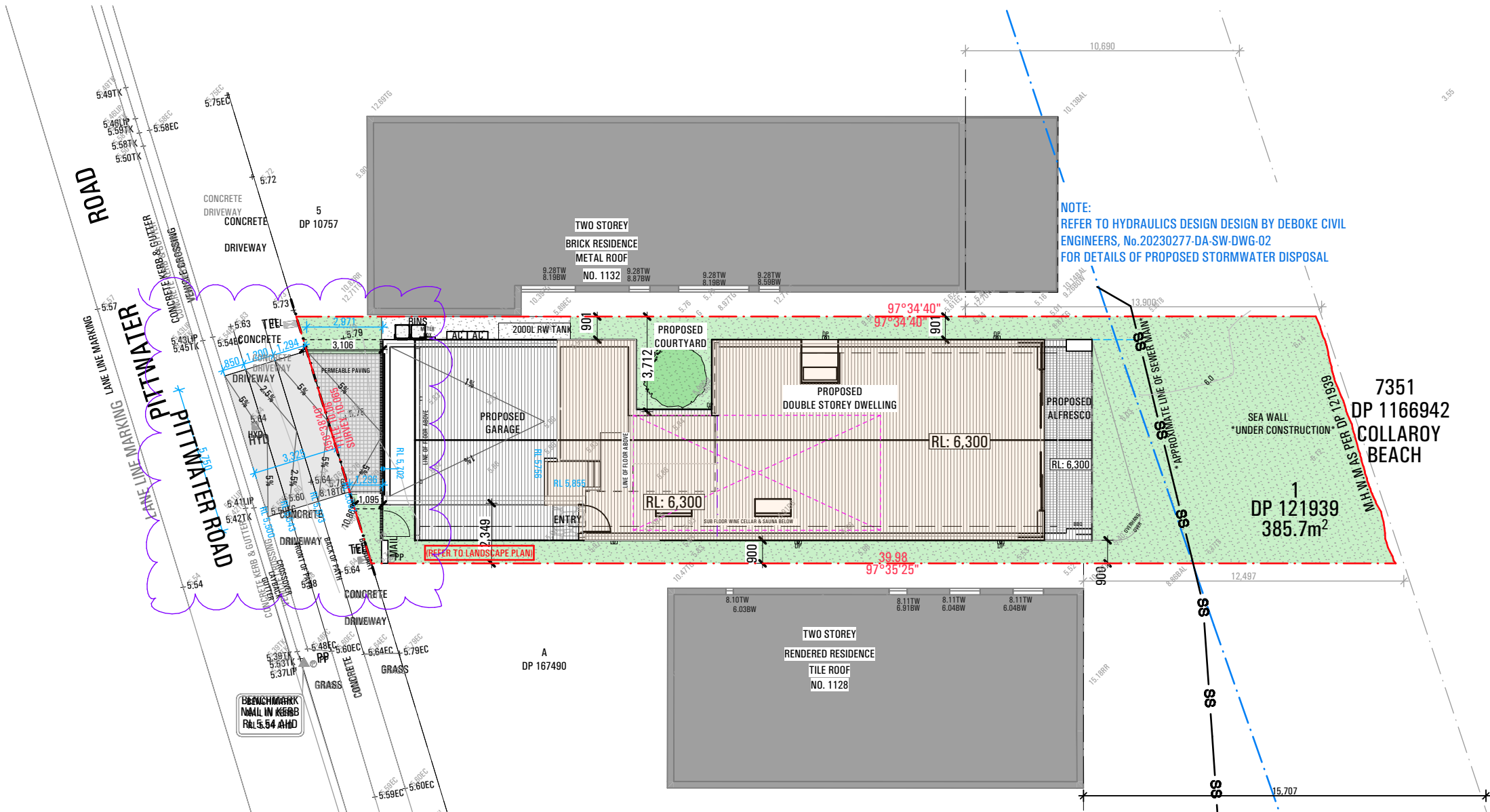
DETAIL 1
SEDIMENTATION FENCES
FENCES SHOULD BE INSTALLED DOWN SLOPE TO TREAT SITE RUN-OFF. TO BE EFFECTIVE, THEY NEED TO BE INSTALLED PROPERLY AND MAINTAINED REGULARLY.

DETAIL 2
GUTTER PROTECTION
GRAVEL SAUSAGES, GRAVEL BAGS OR SAND BAGS SHOULD BE INSTALLED AROUND STORM WATER INLETS TO REDUCE THE RISK OF UNTREATED RUN OFF ENTERING THE WATERWAYS.

DETAIL 3
STOCKPILES
STOCKPILES SHOULD BE LOCATED UPSLOPE AWAY FROM DRAINAGE LINES. RUN OFF SHOULD BE DIVERTED AWAY FROM THE STOCKPILE. PROTECT STOCKPILES WITH WATERPROOF COVERING. INSTALL A SEDIMENT CONTROL DEVICE ON THE DOWNSLOPE SIDE OF THE STOCKPILE. STOCKPILES MUST NOT BE STORED ON FOOTPATHS.



NOTE:
REFER TO GEOTECHNICAL REPORT PREPARED BY 'NEPEAN GEOTECHNICS', DATED 18th DECEMBER 2023, FOR RECOMMENDATIONS OF THE PREPARATIONS AND DEPTH OF THE PROPOSED PIERING OF THE GROUND FLOOR SLAB

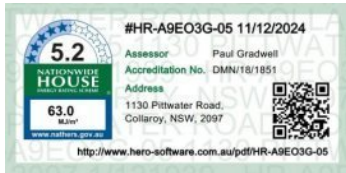


BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES	ISSUE	AMENDMENT	DATE
A	FOR DA		15.09.23
B	FOR DA - RFI		09.02.24
C	ISSUE FOR ENGINEERING		09.04.24
D	S4.55 MODIFICATION		24.05.24
E	PLANS FOR TENDERING		11.06.24
F	RFI - Council email		31.07.24
H	s4.55 Modification		28.11.24

NOTES
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This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

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SUBMISSION

S4.55 MODIFICATION

project **1130 PITTWATER RD**

COLLAROY

drawing

SITE PLAN

drawn SM / PC checked MA

date 09.02.24 scale 1:200 @ A3

project no 2_23_10 drawing no C0003 issue H