



LOCATION DIAGRAM



1129-1131 PITTWATER ROAD COLLAROY

LIST OF DRAWINGS

- A01C LOCATION DIAGRAM
- A02C BASEMENT FLOOR PLAN
- A03C GROUND FLOOR PLAN
- A04C FIRST FLOOR PLAN
- A05C SECOND FLOOR PLAN
- A06C THIRD FLOOR PLAN
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- A10C SECTIONS A-A & B-B
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- A12C EXTERNAL COLOUR SCHEDULE
- A13 SITE ANALYSIS PLAN
- A14 DRIVEWAY RAMP SECTION
- A15 SHADOW DIAGRAMS MID WINTER

SURVEY
3120 SHEET 1 DP SURVEYING 23 MAY 2018
3120 SHEET 2 DP SURVEYING 23 MAY 2018

LEGEND

C	4/7/21	REVISIONS TO ADDRESS VIEW CORRIDORS
A	18/9/20	REVISIONS TO ADDRESS COUNCIL ISSUES LETTER (16Sept2020)
ISSUE	DATE	AMENDMENTS



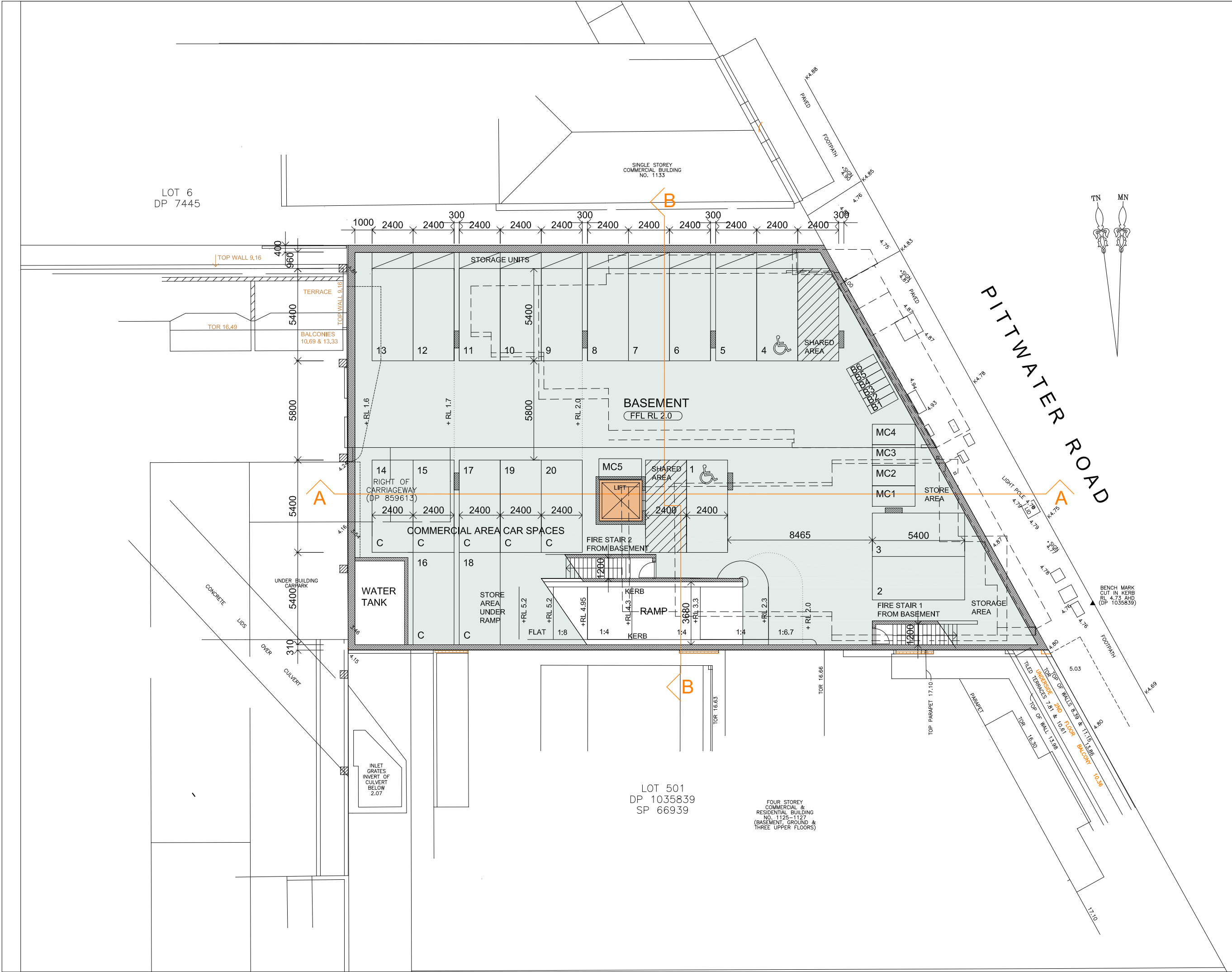
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Client
LOTUS PROJECTS

Project
1129-1131 PITTWATER ROAD COLLAROY
LOT 4 IN DP 7445 &
LOT 1 IN DP 859613
Drawing
LOCATION DIAGRAM

Scale	1:100	Drawn	BR
File	DAK PITTWATER RD COLLAROY.dwg		
Plotted	4/07/2021 11:41 AM		
Job No	1812	Checked	BR
Version	DA	Drawing No:	A01C

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Client

LOTUS PROJECTS

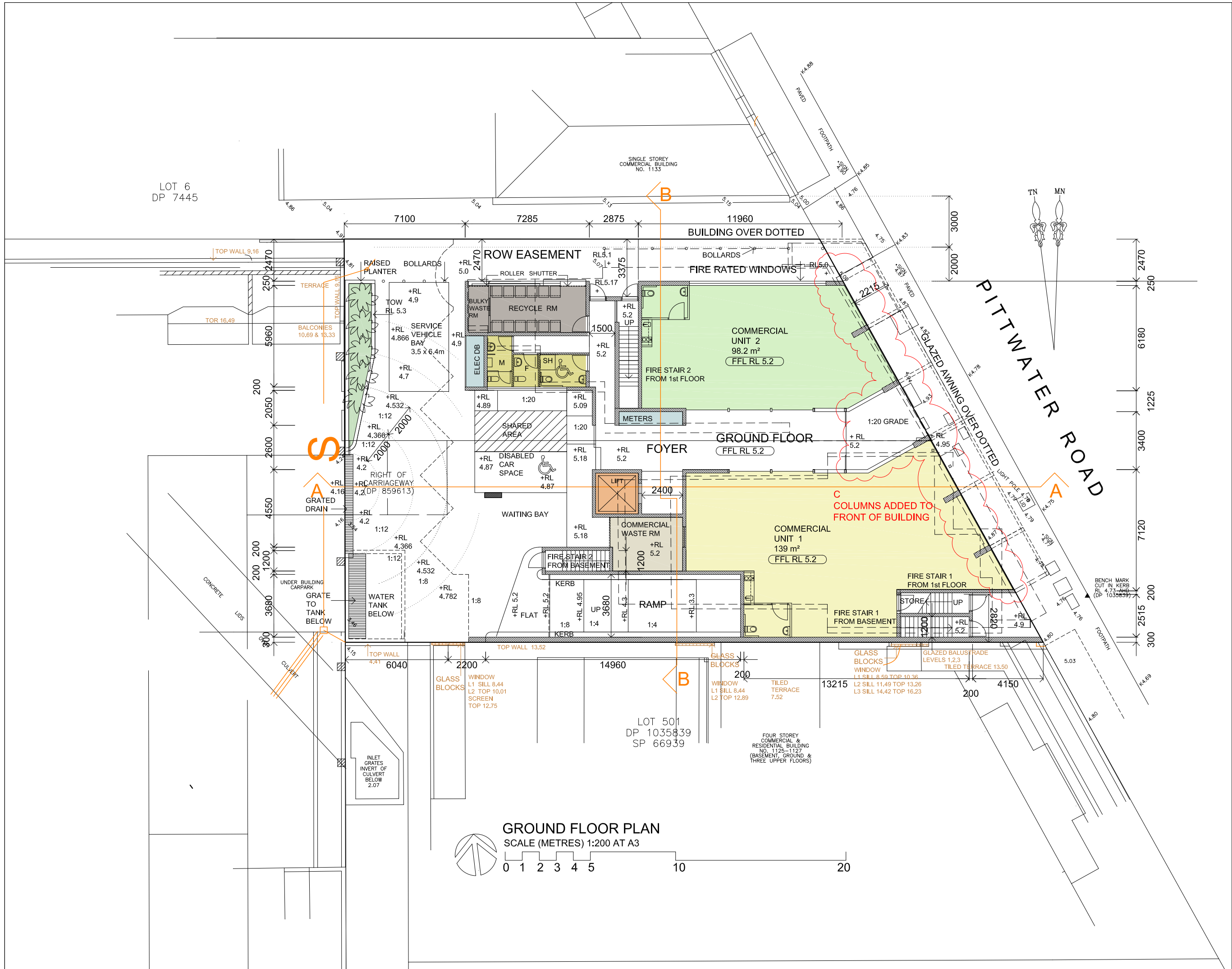
Project
**1129-1131 PITTWATER ROAD
COLLAROY**

LOT 4 IN DP 7445 &
LOT 1 IN DP 859613

Drawing
BASEMENT FLOOR PLAN

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Client

LOTUS PROJECTS

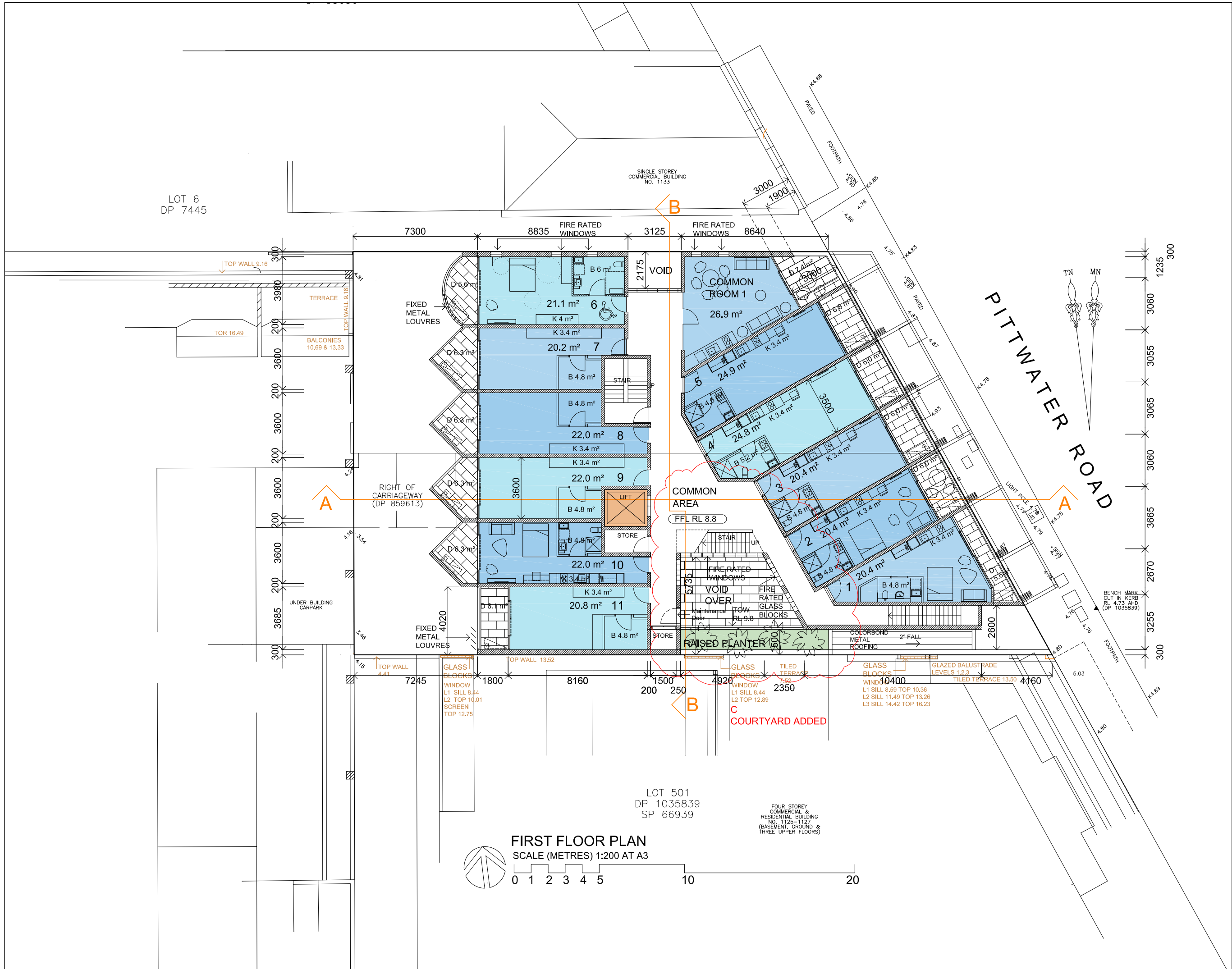
Project
**1129-1131 PITTWATER ROAD
COLLARROY**

LOT 4 IN DP 7445 &
LOT 1 IN DP 859613

Drawing
GROUND FLOOR PLAN

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Plotted	4/07/2021 11:41 AM		
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Version	DA	Drawing No:	A03C

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Client

LOTUS PROJECTS

Project
**1129-1131 PITTWATER ROAD
COLLARROY**

LOT 4 IN DP 7445 &
LOT 1 IN DP 859613

Drawing
FIRST FLOOR PLAN

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Plotted	4/07/2021 11:41 AM		
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Version	DA	Drawing No:	A04C

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Client

LOTUS PROJECTS

Project
**1129-1131 PITTWATER ROAD
COLLAROY**

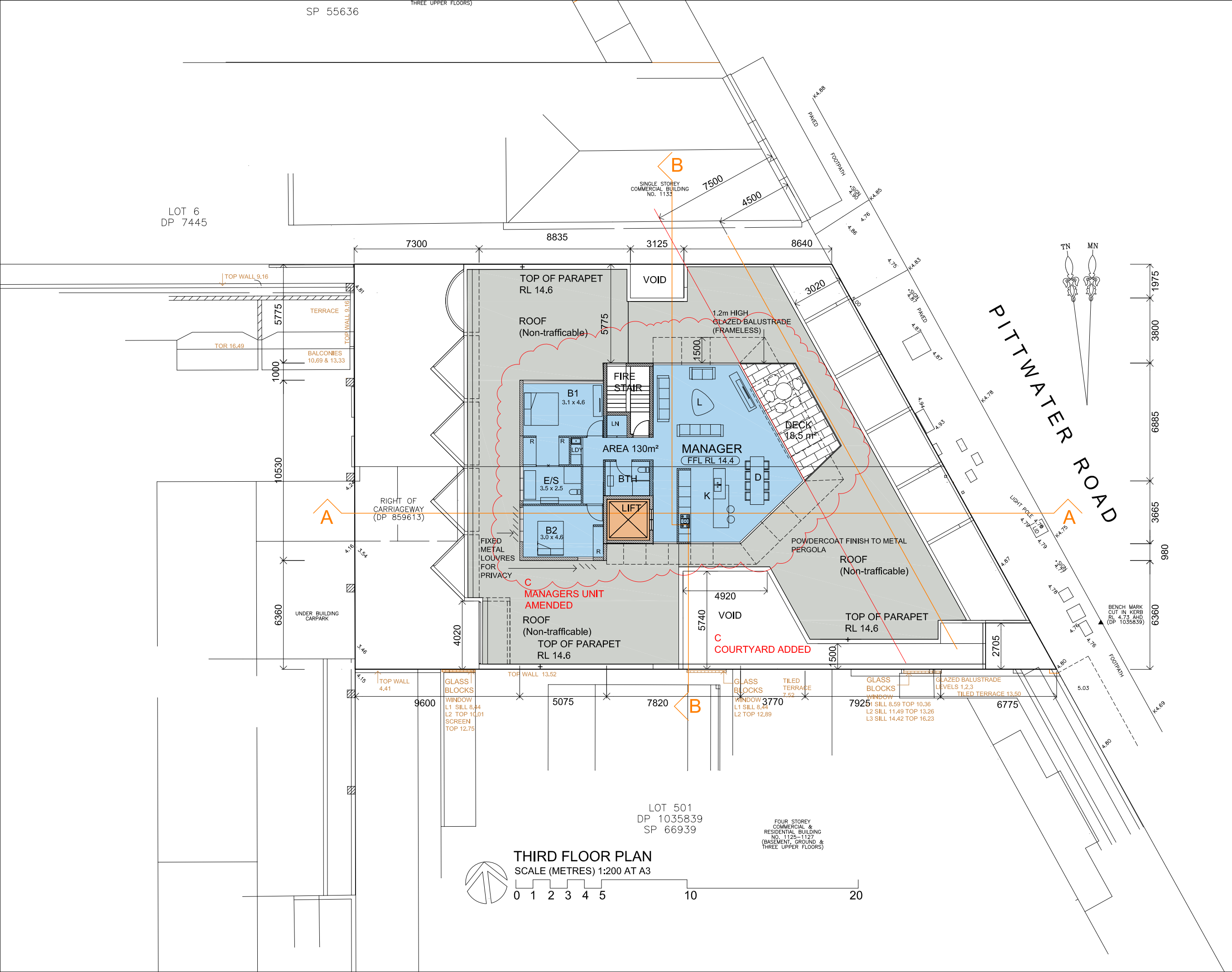
LOT 4 IN DP 7445 &
LOT 1 IN DP 859613

Drawing

SECOND FLOOR PLAN

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LOTUS PROJECTS

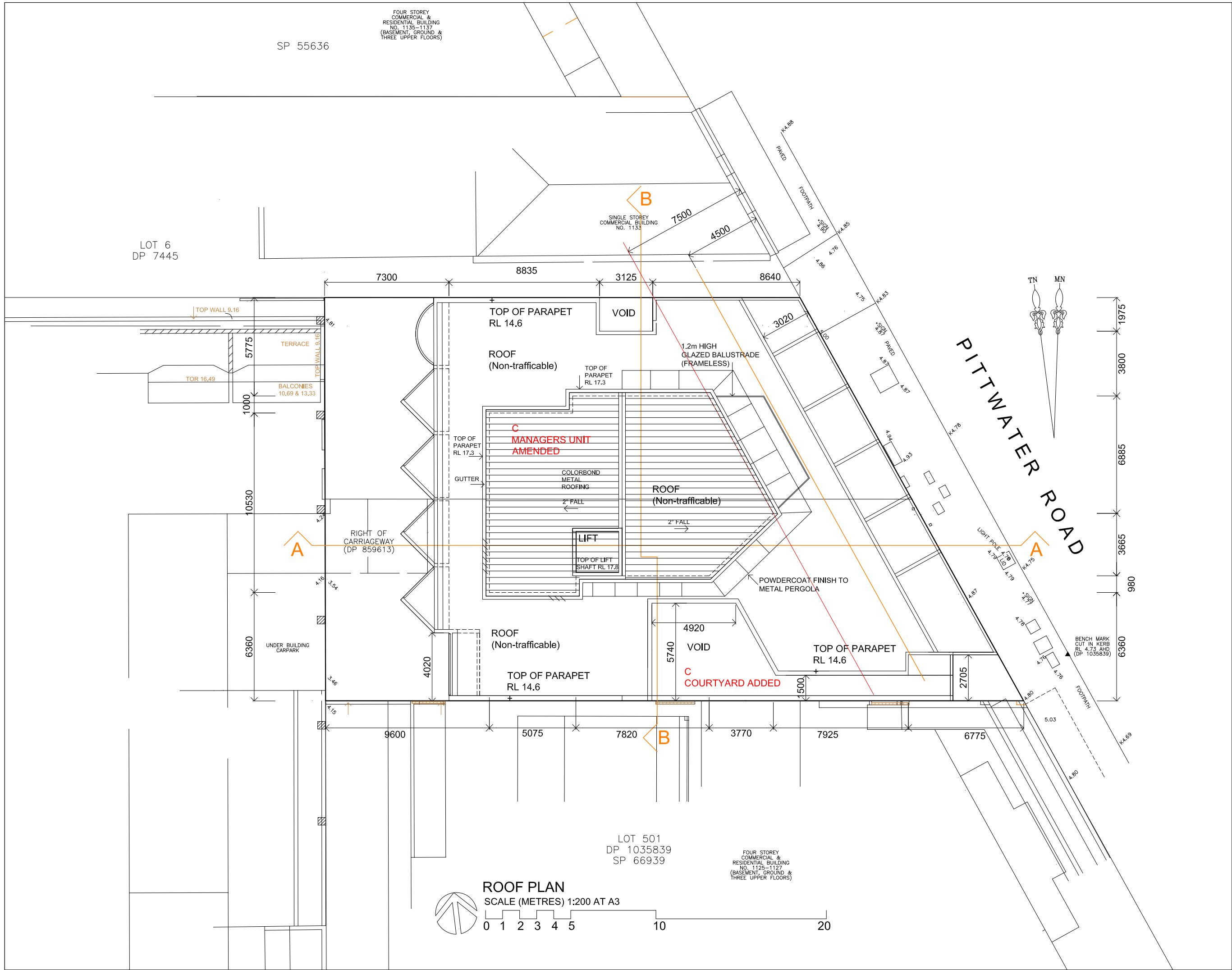
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**1129-1131 PITTWATER ROAD
COLLARROY**

LOT 4 IN DP 7445 &
LOT 1 IN DP 859613

Drawing
THIRD FLOOR PLAN

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Plotted	4/07/2021 11:41 AM		
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Version	DA	Drawing No:	A06C

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Client

LOTUS PROJECTS

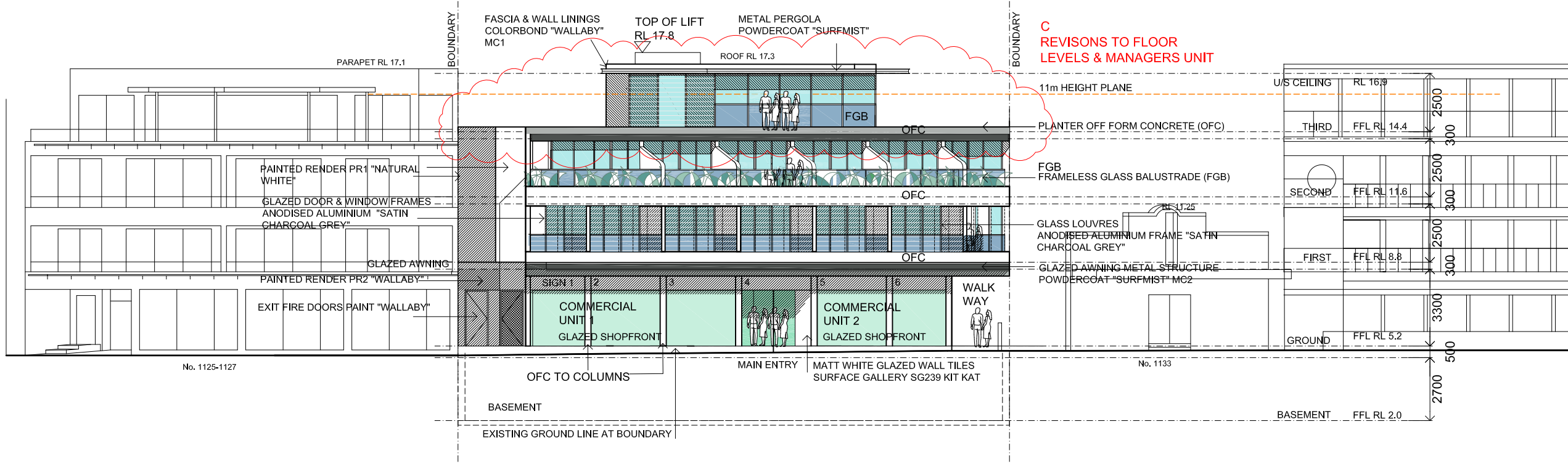
Project
**1129-1131 PITTWATER ROAD
COLLARROY**

LOT 4 IN DP 7445 &
LOT 1 IN DP 859613

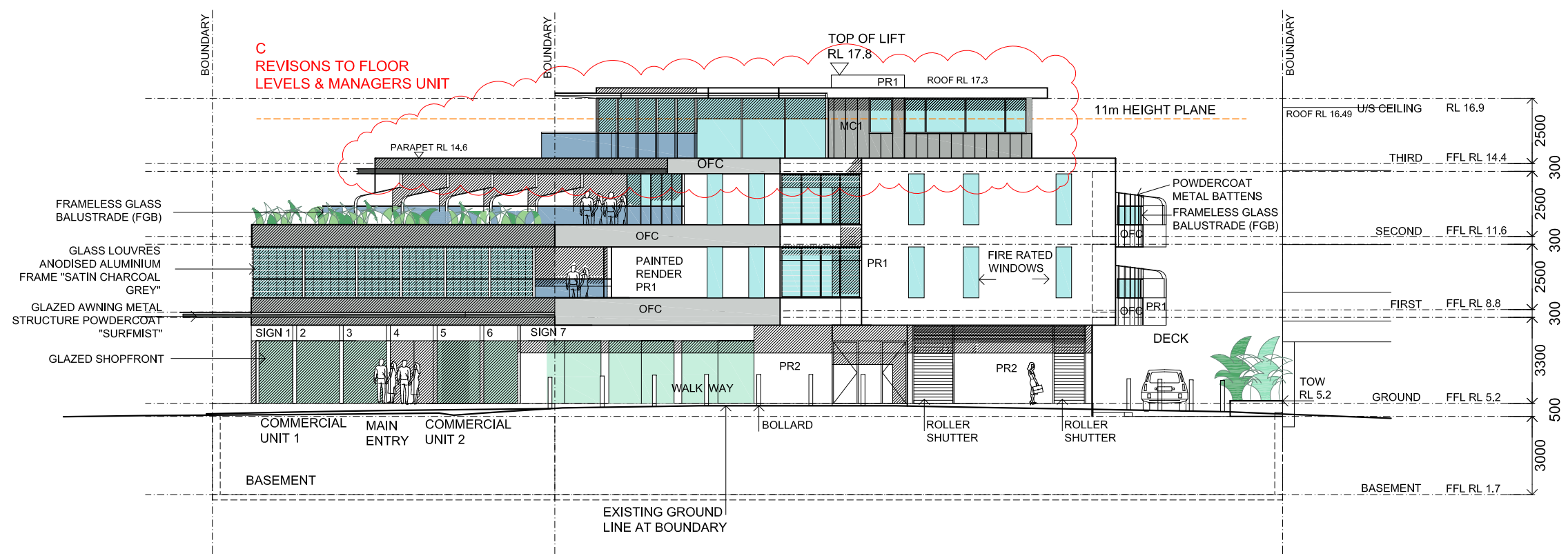
Drawing
ROOF PLAN

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Plotted	4/07/2021 11:41 AM		
Job No	1812	Checked	BR
Version	DA	Drawing No:	A07C

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EAST ELEVATION (FACING PITTWATER ROAD)



NORTH ELEVATION

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ISSUE	DATE	AMENDMENTS

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Client
LOTUS PROJECTS

Project
**1129-1131 PITTWATER ROAD
COLLARROY**
LOT 4 IN DP 7445 &
LOT 1 IN DP 859613

Drawing
**ELEVATIONS
EAST & NORTH**

Scale	1:100	Drawn	BR
File	DAK PITTWATER RD COLLARROY.dwg		
Plotted	4/07/2021 11:41 AM		
Job No	1812	Checked	BR
Version	DA	Drawing No:	A08C

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SOUTH ELEVATION

C	4/7/21	REVISIONS TO ADDRESS VIEW CORRIDORS
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ISSUE	DATE	AMENDMENTS



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Client

LOTUS PROJECTS

Project
**1129-1131 PITTWATER ROAD
COLLARROY**

LOT 4 IN DP 7445 &
LOT 1 IN DP 859613

Drawing

ELEVATIONS

WEST & SOUTH

[illegible][illegible]

Scale 1:100

File DAK PITTWATE

Plotted 4/07/2021 11:41

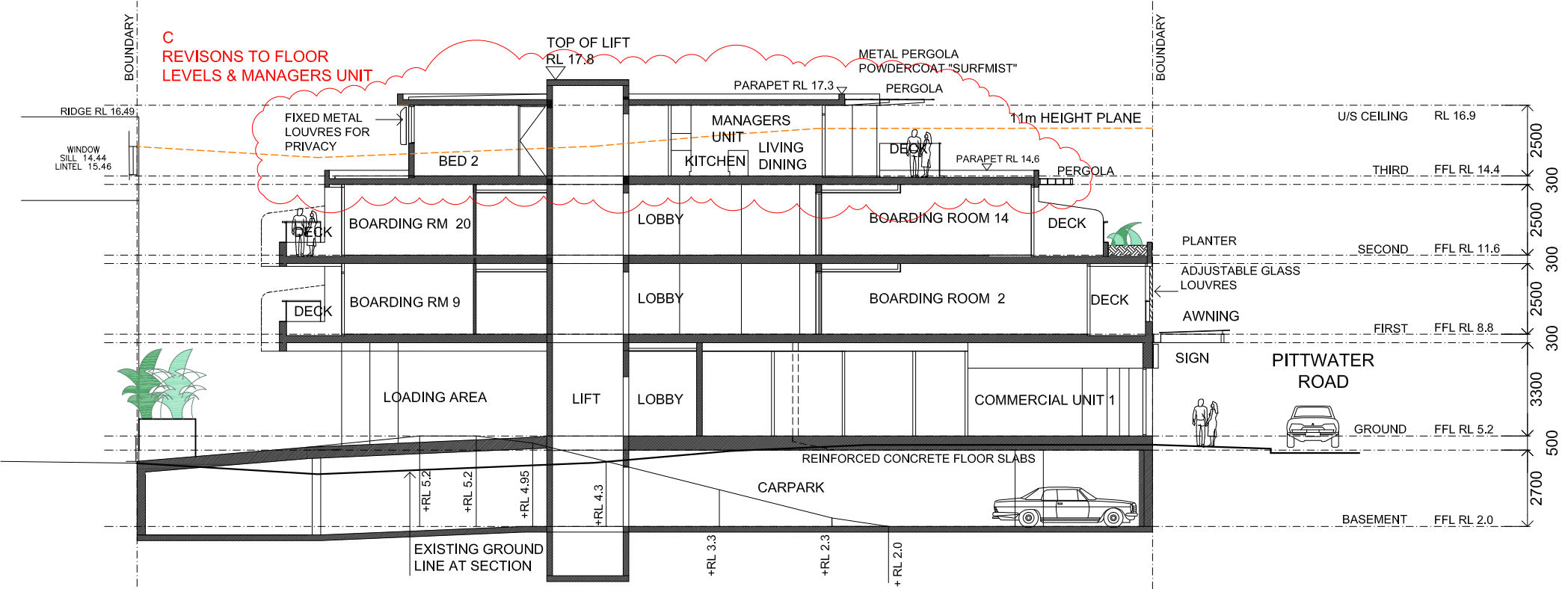
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Version DA

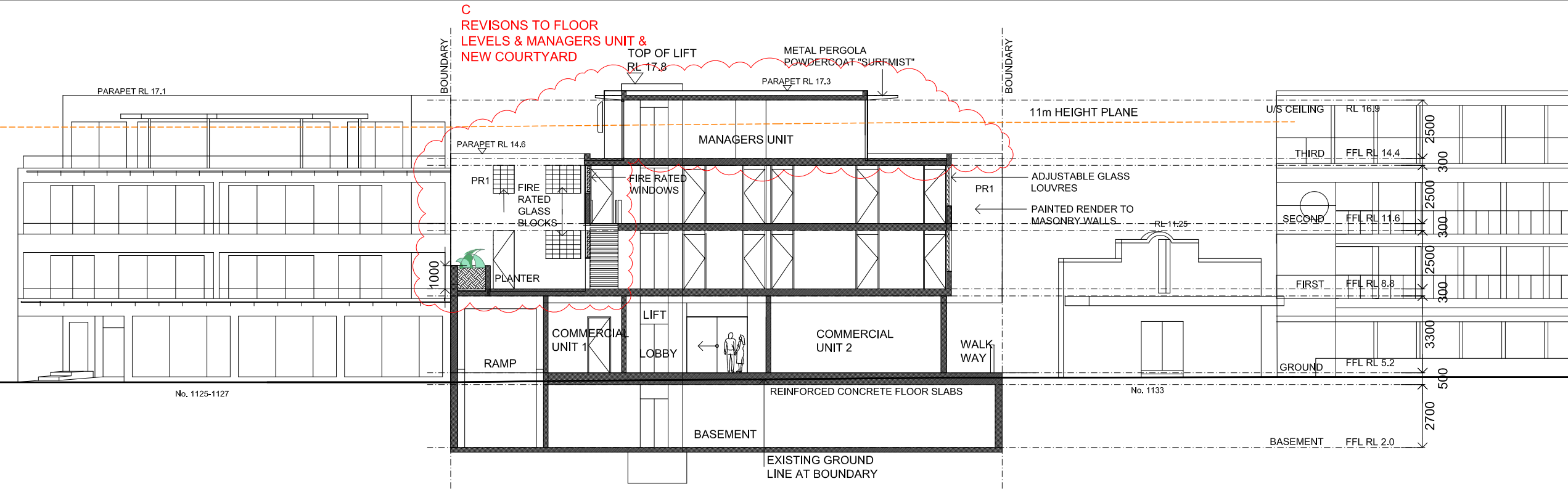
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Abstract



SECTION A-A



SECTION B-B

C	4/7/21	REVISIONS TO ADDRESS VIEW CORRIDORS
A	18/9/20	REVISIONS TO ADDRESS COUNCIL ISSUES LETTER (16Sept2020)
ISSUE	DATE	AMENDMENTS



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Client
LOTUS PROJECTS

Project
**1129-1131 PITTWATER ROAD
COLLARROY**

LOT 4 IN DP 7445 &
LOT 1 IN DP 859613

Drawing
SECTIONS A-A & B-B

Scale	1:100	Drawn	BR
File	DAK PITTWATER RD COLLARROY.dwg		
Plotted	4/07/2021 11:41 AM		
Job No	1812	Checked	BR
Version	DA	Drawing No:	A10C

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7. SRW, BRW, BLKRW, LRW, SLRW - DENOTE STONE, BRICK, BLOCK, LOG OR SLEEPER RETAINING WALL.
8. TOG, TOR DENOTE TOP OF GUTTER OR ROOF, K DENOTES TOP OF KERB, G DENOTES ROAD GUTTER.

CONCRETE
PARKING

LOT 6
DP 7445

LOT 2
DP 859613
SP 58961

BRICK & CONCRETE
COMMERCIAL &
RESIDENTIAL BUILDING
NO. 1-5
(GROUND & THREE
RESIDENTIAL LEVELS)

LOT 1
DP 859613

LINE OF EXISTING
BUILDINGS TO
BE DEMOLISHED
SHOWN DASHED

NO. 1131
SINGLE STOREY
COMMERCIAL BUILDING

LOT 4
DP 7445

LINE OF EXISTING
BUILDINGS TO
BE DEMOLISHED
SHOWN DASHED

NO. 1129
TWO STOREY
COMMERCIAL BUILDING

RIGHT OF
CARRIAGEWAY
6, 5.8, 3.5 &
VARIABLE WIDTH
LIMITED IN HEIGHT &
DEPTH BETWEEN THE
REGULAR HORIZONTAL
& INCLINED PLANES
AS DEFINED BY THE
LEVELS IN THE LIMITS
TABLE

LOT 2
DP 859613
SP 58961

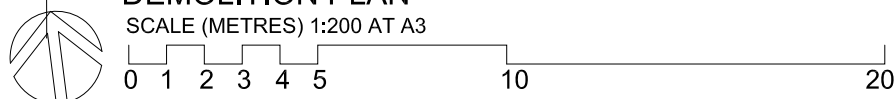
BRICK & CONCRETE
COMMERCIAL &
RESIDENTIAL BUILDING
NO. 1-5
(GROUND & THREE
RESIDENTIAL LEVELS)

LOT 501
DP 1035839
SP 66939

FOUR STOREY
COMMERCIAL &
RESIDENTIAL BUILDING
NO. 1125-1127
(BASEMENT, GROUND &
THREE UPPER FLOORS)

(E1) EASEMENT FOR SUPPORT, 0.4 WIDE
LIMITED IN DEPTH TO RL 2.25 &
IN HEIGHT TO RL 4.97 IN FAVOUR
OF LOT 4 DP 7445

SCALE (METRES) 1:200 AT A3



NOTES:

1. CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
2. SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH. MINIMISE YOUR RISK AND DIAL 1100 BEFORE YOU DIG.
3. THE BEARINGS ON THESE PLAN POINTS ARE FROM LAND TITLES OFFICE PLANS AND ARE SUBJECT TO FINAL SURVEY. BEARINGS SHOWN ARE BASED ON A TRUE MERIDIAN.
4. W DENOTES WINDOW. D DENOTES DOOR. WINDOW AND DOOR DEPTHS SHOWN ARE INDICATIVE ONLY.
5. ALL NEW WORKS MUST REFER TO THE BENCHMARK FOR LEVEL CONTROL.
6. TREE SPREADS ARE DIAGRAMMATIC ONLY AND MAY NOT BE SYMMETRICAL.
7. SRW, BRW, BLKRW, LRW, SLRW – DENOTE STONE, BRICK, BLOCK, LOG OR SLEEPER RETAINING WALL.
8. TOG, TOR DENOTE TOP OF GUTTER OR ROOF, K DENOTES TOP OF KERB, G DENOTES ROAD GUTTER.

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Client

LOTUS PROJECTS

Project
1129-1131 PITTWATER ROAD
COLLARROY

LOT 4 IN DP 7445 &
LOT 1 IN DP 859613

Drawing
DEMOLITION PLAN

Scale 1:200 Drawn BR

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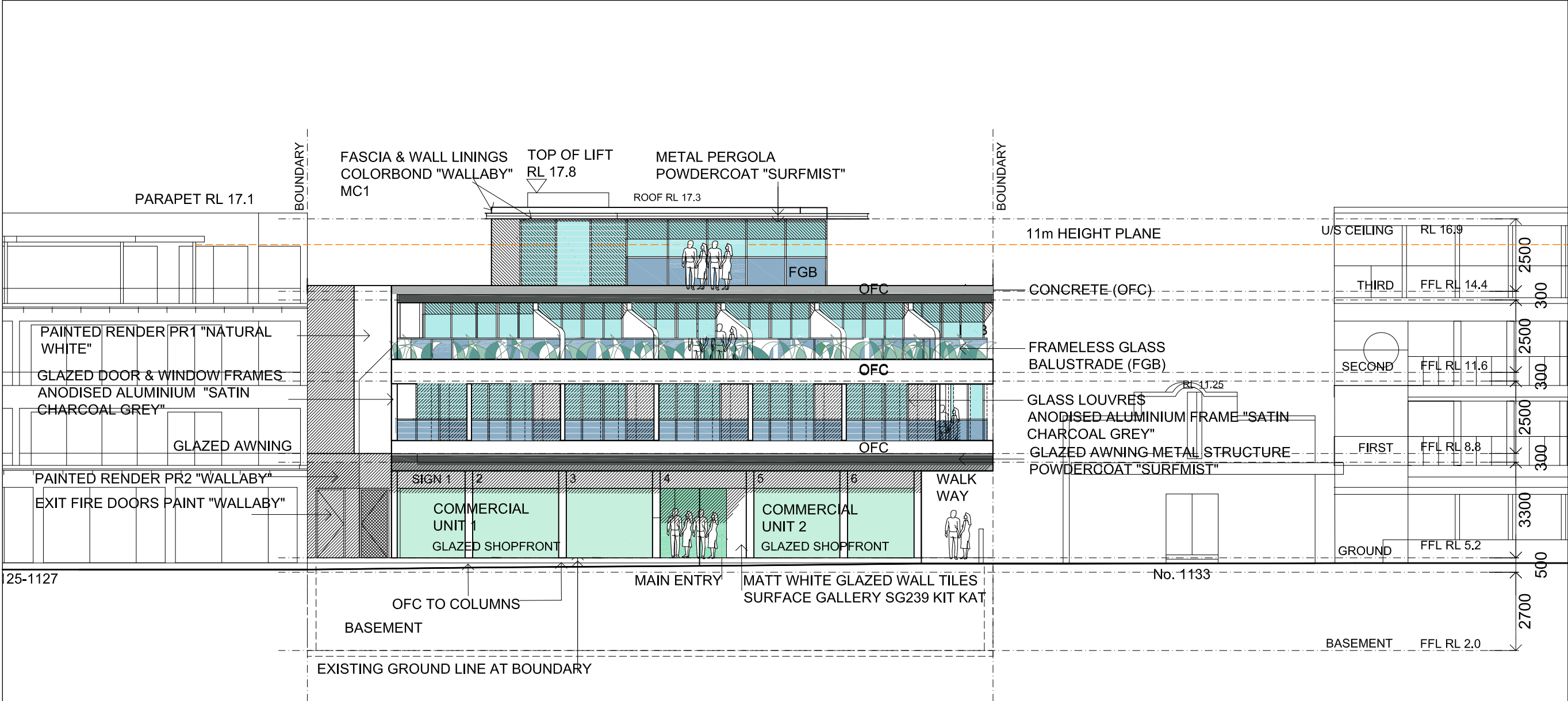
Plotted 19/03/2020 3:17 PM

Job No 1812

Version DA Drawing No: **A11**

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EAST ELEVATION (FACING PITTWATER ROAD)

EXTERNAL FINISHES & COLOURS SCHEDULE

(A)	ROOFING	COLORBOND "WALLABY"
(B)	FASCIA & WALL LININGS LEVEL 3	COLORBOND "WALLABY"
(C)	BALUSTRADE	FRAMELESS TOUGHENED GLASS
(D)	METAL CLADDING	COLORBOND "WALLABY"
(E)	BALCONY DIVIDING WALLS	DULUX "NATURAL WHITE"
(F)	GUTTERS, DOWNPIPES, AWNINGS	COLORBOND "WALLABY"
(G)	DOOR & WINDOW FRAMES	UNIVERSAL ANODISERS "SATIN CHARCOAL GREY"
(H)	WALL TILES TO ENTRY AREA	MATT WHITE SURFACE GALLERY SG239
(I)	HANDRAILS, BALUSTRADE	SATIN STAINLESS STEEL
(J)	GARAGE ROLLER DOOR	COLORBOND "DUNE"

(E) PR1 DULUX "NATURAL WHITE"

(F) COLORBOND "WALLABY"

(G) UNIVERSAL ANODISERS "SATIN CHARCOAL GREY"

(H) COLORBOND "MONUMENT"

(J) COLORBOND "DUNE"

LEGEND

4/7/21

REVISIONS TO ADDRESS VIEW CORRIDORS

ISSUE	DATE	AMENDMENTS
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Client

LOTUS PROJECTS

Project

1129-1131 PITTWATER ROAD COLLAROY

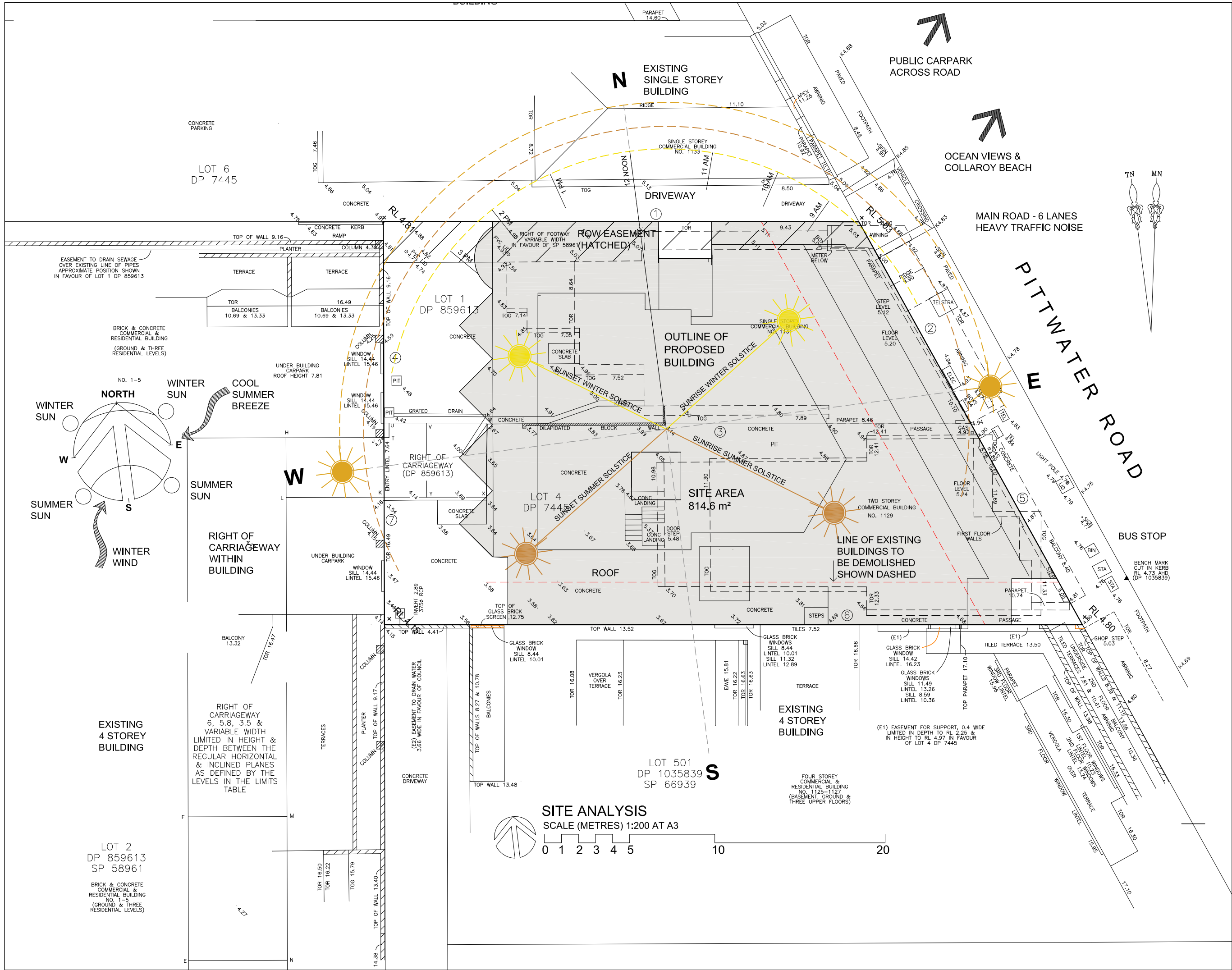
LOT 4 IN DP 7445 &
LOT 1 IN DP 859613

Drawing

EXTERNAL COLOUR SCHEDULE

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Version	DA	Drawing No:	A12C

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LEGEND

ISSUE	DATE	AMENDMENTS
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98	19/03/2020	REVISED TO REFLECT COMMENTS
99	19/03/2020	REVISED TO REFLECT COMMENTS
100	19/03/2020	REVISED TO REFLECT COMMENTS



Barry Rush & Associates Pty Ltd
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Suite 25A, 2 Beattie Street, Balmain,
NSW, Australia, 2041
Phone: (612) 9555 8028 Fax: (612) 9810 0161
Email: info@barryrush.com.au
www.barryrush.com.au

Client

LOTUS PROJECTS

Project
**1129-1131 PITTWATER ROAD
COLLARROY**

LOT 4 IN DP 7445 &
LOT 1 IN DP 859613

Drawing
SITE ANALYSIS

Scale 1:200 Drawn BR

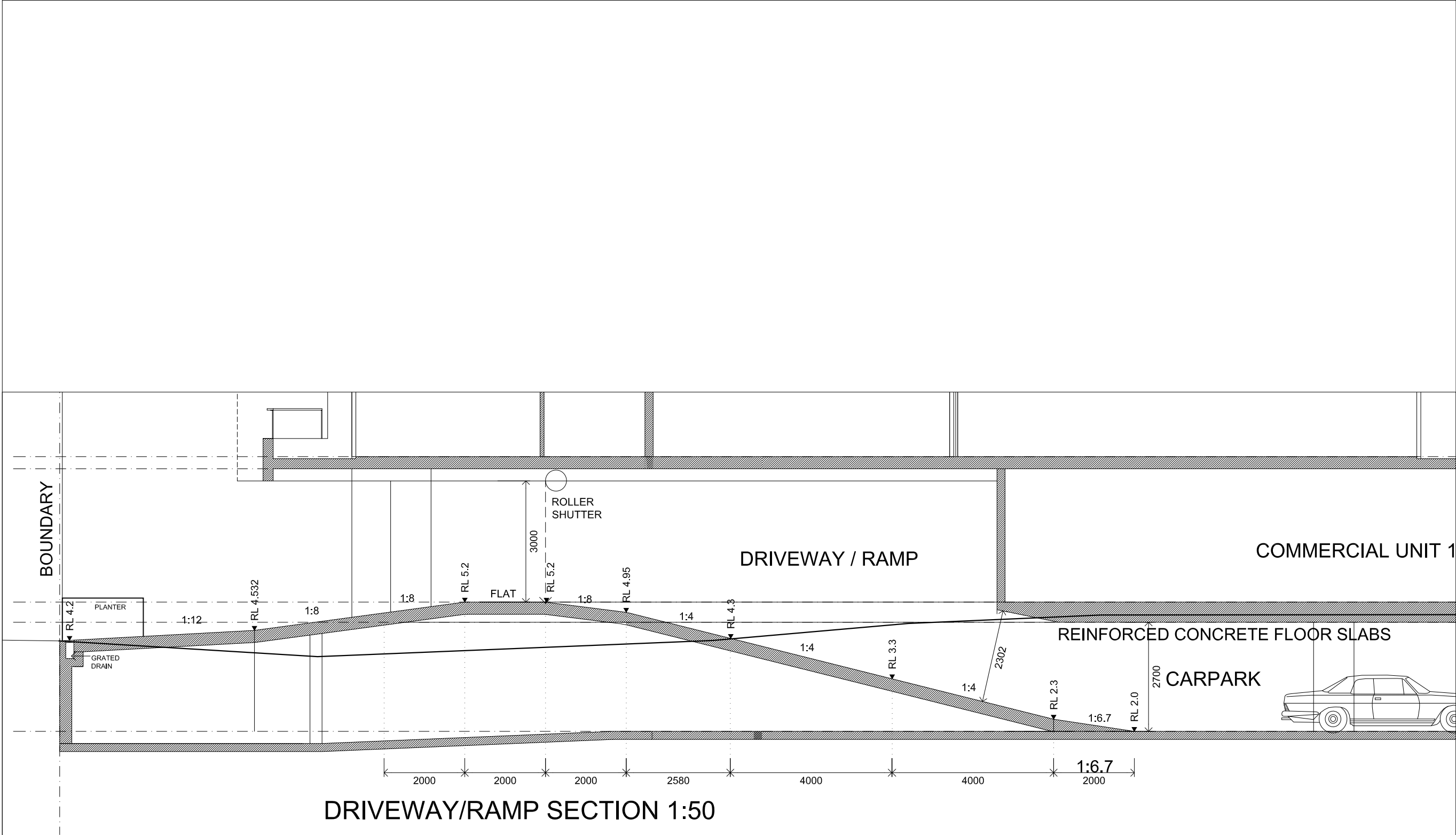
File D:\PITTWATER RD-COLLARROY.dwg

Plotted 19/03/2020 3:17 PM

Job No 1812

Version DA Drawing No: **A13**

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Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.



DRIVEWAY/RAMP SECTION 1:50

LEGEND

ISSUE	DATE	AMENDMENTS
-------	------	------------



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Client

LOTUS PROJECTS

Project
**1129-1131 PITTWATER ROAD
COLLAROY**

LOT 4 IN DP 7445 &
LOT 1 IN DP 859613

Drawing
**DRIVEWAY RAMP
SECTION**

Scale 1:200 Drawn BR

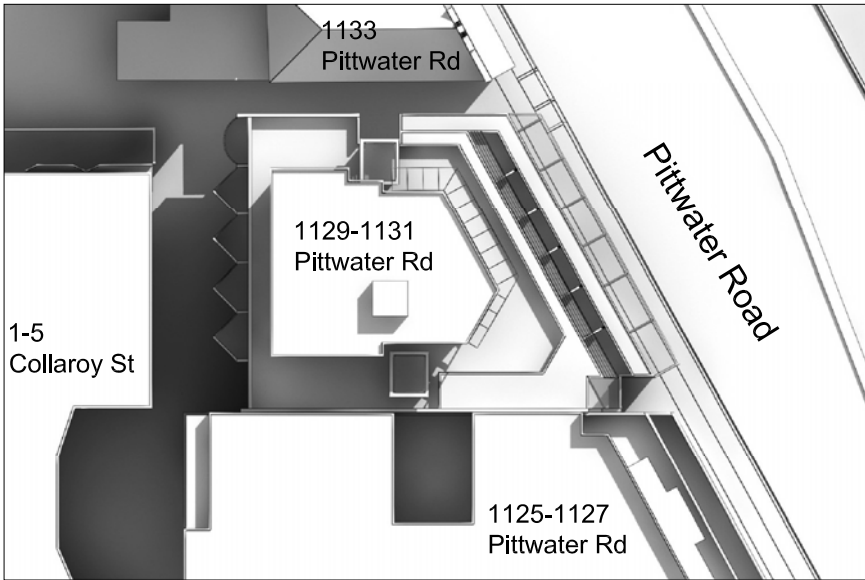
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Plotted 19/03/2020 3:17 PM

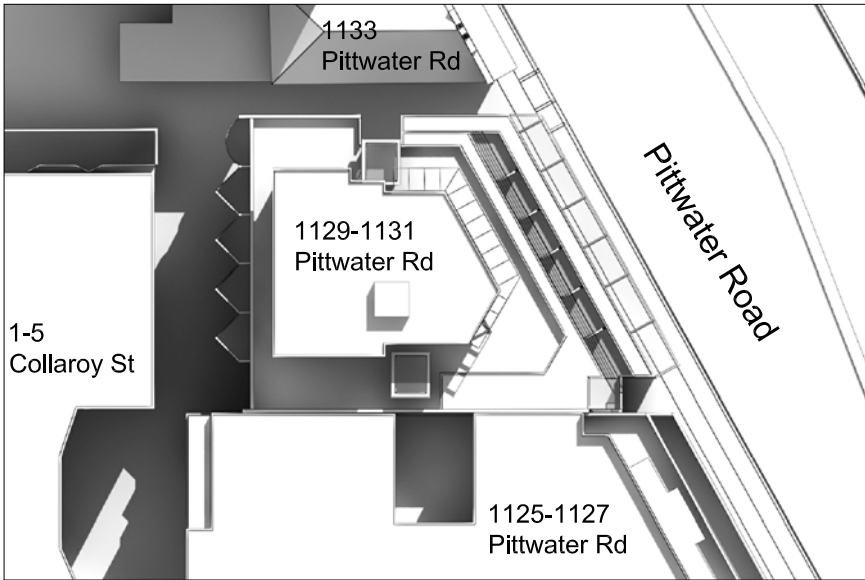
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Version DA Drawing No: **A14**

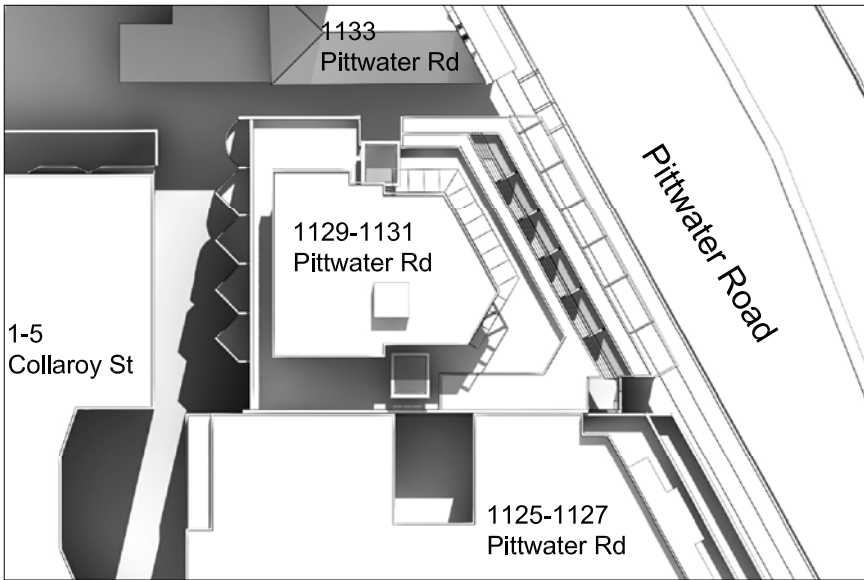
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Verify all dimensions on site.



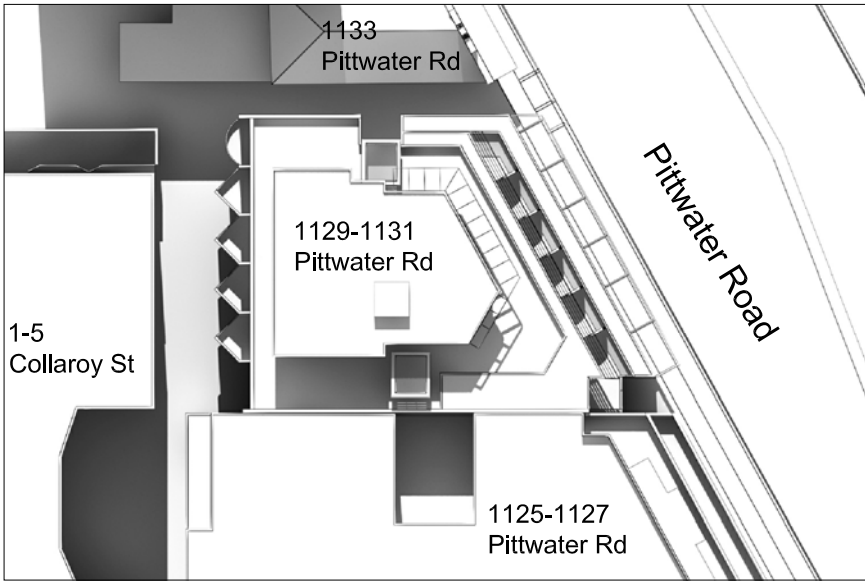
9am



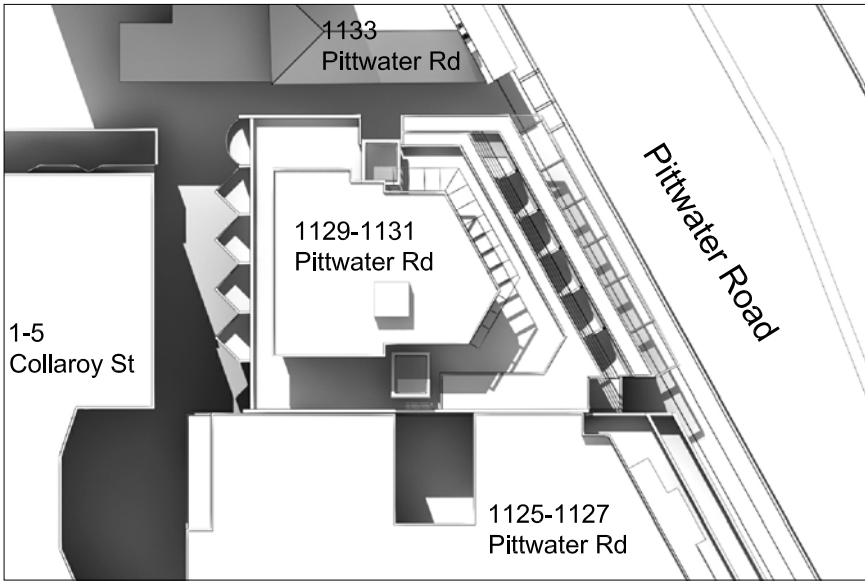
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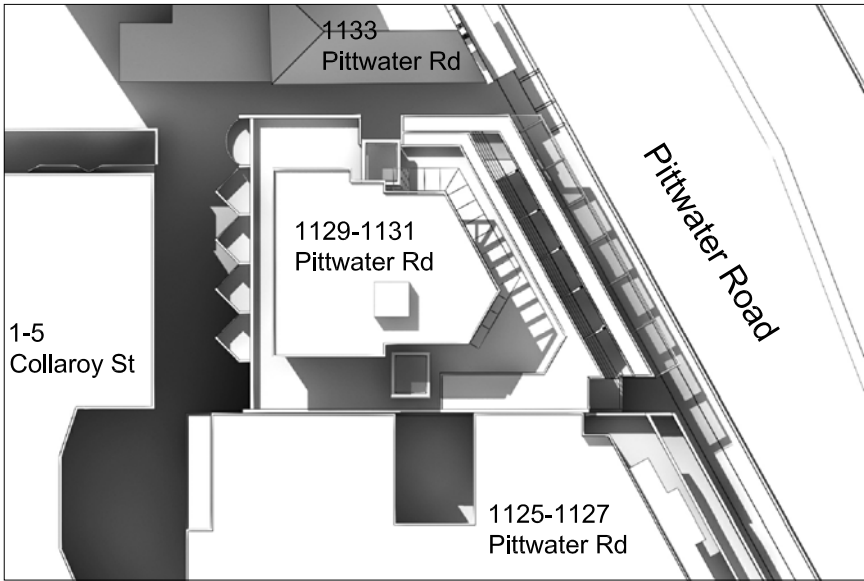
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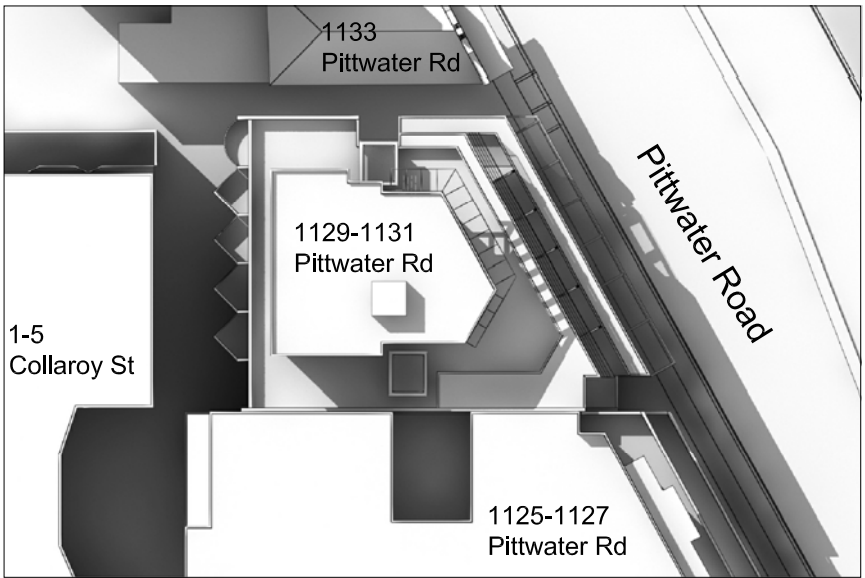
12 noon



1pm



2pm



3pm

Shadow Diagrams
Mid winter (21st June)



LEGEND

ISSUE	DATE	AMENDMENTS

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Client
LOTUS PROJECTS

Project
**1129-1131 PITTWATER ROAD
COLLARROY**
LOT 4 IN DP 7445 &
LOT 1 IN DP 859613
Drawing
**SHADOW DIAGRAMS
MID WINTER (21st JUNE)**

Scale	1:200	Drawn	BR
File	D:\PITTWATER RD\COLLARROY.dwg		
Plotted	19/03/2020 3:17 PM		
Job No	1812		
Version	DA	Drawing No:	A15

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Verify all dimensions on site.

NOTES:

1. CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
2. SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH. MINIMISE YOUR RISK AND DIAL 1100 BEFORE YOU DIG.
3. THE BEARINGS ON THESE PLAN BOUNDARIES ARE FROM LAND TITLES OFFICE PLANS AND ARE SUBJECT TO FINAL SURVEY. BEARINGS SHOWN ARE BASED ON A TRUE MERIDIAN.
4. W DENOTES WINDOW. D DENOTES DOOR. WINDOW AND DOOR DEPTHS SHOWN ARE INDICATIVE ONLY.
5. ALL NEW WORKS MUST REFER TO THE BENCHMARK FOR LEVEL CONTROL.
6. TREE SPREADS ARE DIAGRAMMATIC ONLY AND MAY NOT BE SYMMETRICAL.
7. SRW, BRW, BLKRW, LRW, SLRW - DENOTE STONE, BRICK, BLOCK, LOG OR SLEEPER RETAINING WALL.
8. TOG, TOR DENOTE TOP OF GUTTER OR ROOF, K DENOTES TOP OF KERB, G DENOTES ROAD GUTTER.

SP 55636

FOUR STOREY
COMMERCIAL &
RESIDENTIAL BUILDING
NO. 1135-1137
(BASEMENT, GROUND &
THREE UPPER FLOORS)

PLAN OF

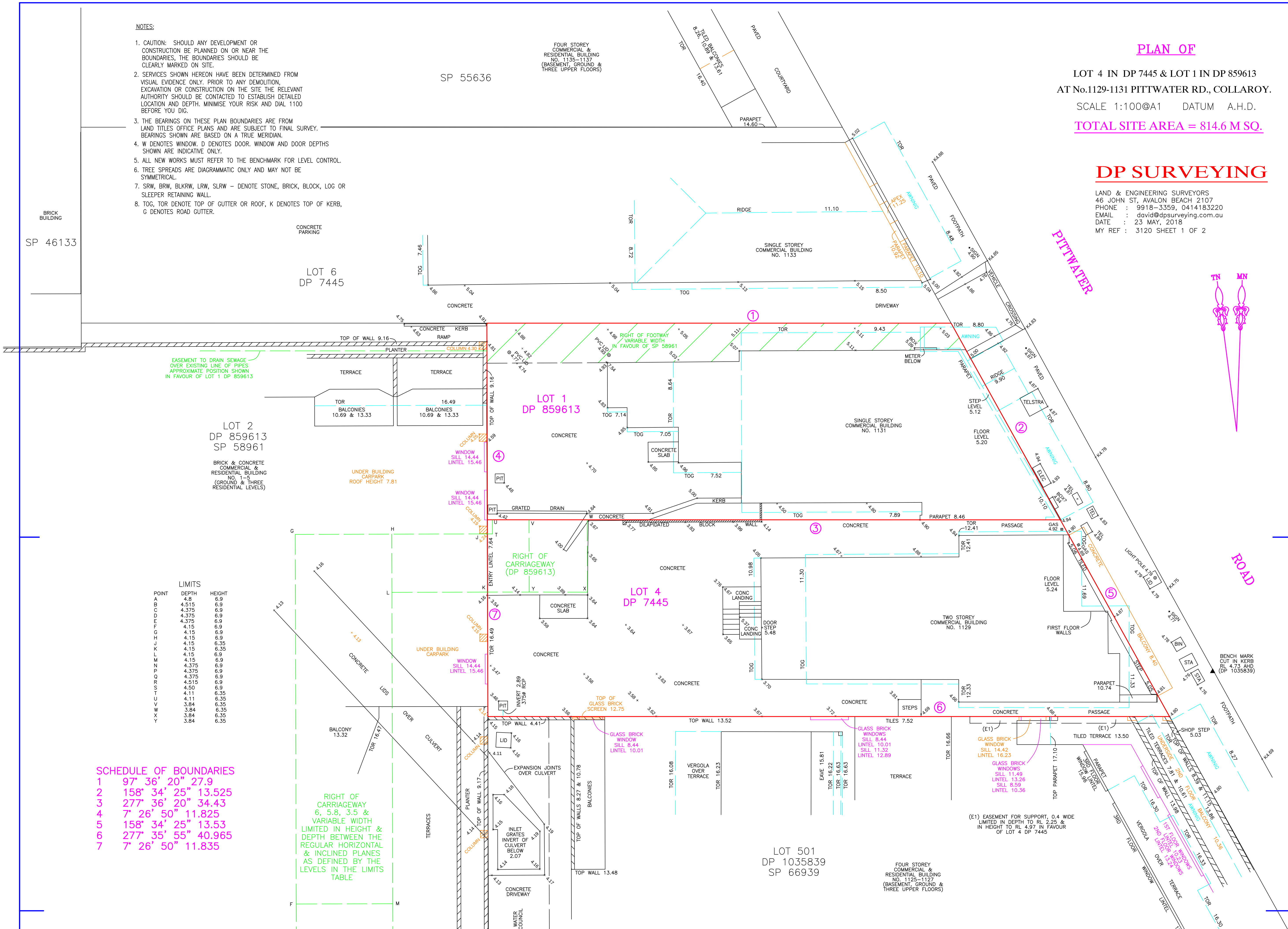
LOT 4 IN DP 7445 & LOT 1 IN DP 859613
AT No.1129-1131 PITTWATER RD., COLLAROY.

SCALE 1:100@A1 DATUM A.H.D.

TOTAL SITE AREA = 814.6 M SQ.

DP SURVEYING

LAND & ENGINEERING SURVEYORS
46 JOHN ST, AVALON BEACH 2107
PHONE : 9918-3359, 0414183220
EMAIL : david@dpsurveying.com.au
DATE : 23 MAY, 2018
MY REF : 3120 SHEET 1 OF 2



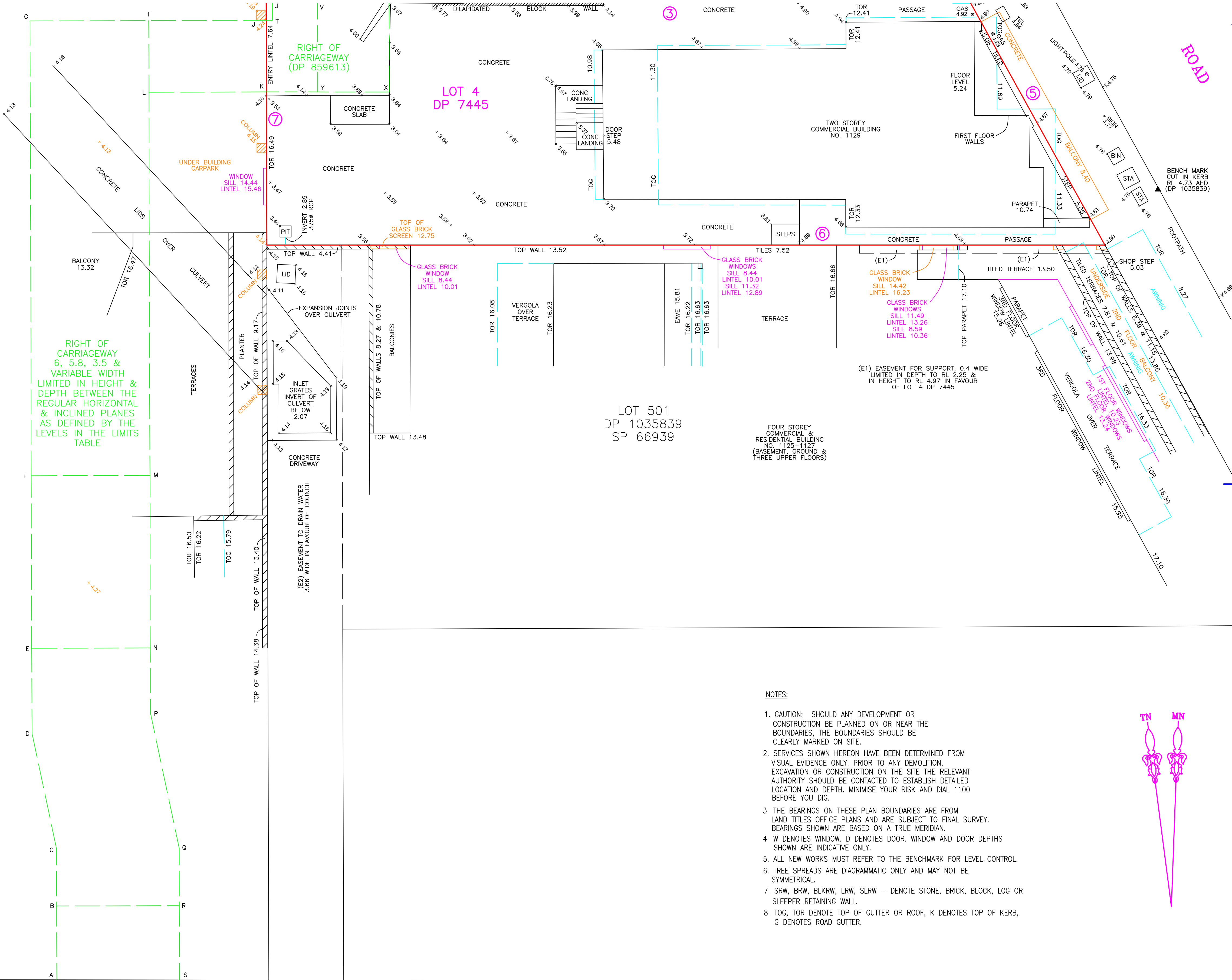
POINT	LIMITS	DEPTH	HEIGHT
A		4.8	6.9
B		4.515	6.9
C		4.375	6.9
D		4.375	6.9
E		4.375	6.9
F		4.15	6.9
G		4.15	6.9
H		4.15	6.9
I		4.15	6.9
J		4.15	6.9
K		4.15	6.9
L		4.15	6.9
M		4.15	6.9
N		4.375	6.9
O		4.375	6.9
P		4.375	6.9
Q		4.515	6.9
R		4.50	6.9
S		4.11	6.35
T		4.11	6.35
U		3.84	6.35
V		3.84	6.35
W		3.84	6.35
X		3.84	6.35
Y		3.84	6.35

SCHEDULE OF BOUNDARIES	
1	97' 36' 20" 27.9
2	158' 34' 25" 13.525
3	277' 36' 20" 34.43
4	7' 26' 50" 11.825
5	158' 34' 25" 13.53
6	277' 35' 55" 40.965
7	7' 26' 50" 11.835

LOT 2
DP 859613
SP 58961
BRICK & CONCRETE
COMMERCIAL &
RESIDENTIAL BUILDING
NO. 1-5
(GROUND & THREE
RESIDENTIAL LEVELS)

PLAN OF

LOT 4 IN DP 7445 & LOT 1 IN DP 859613
AT No.1129-1131 PITTWATER RD., COLLAROY.
SCALE 1:100@A1 DATUM A.H.D.
TOTAL SITE AREA = 814.6 M SQ.



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PHONE : 9918-3359, 0414183220
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COLLAROY

STREET