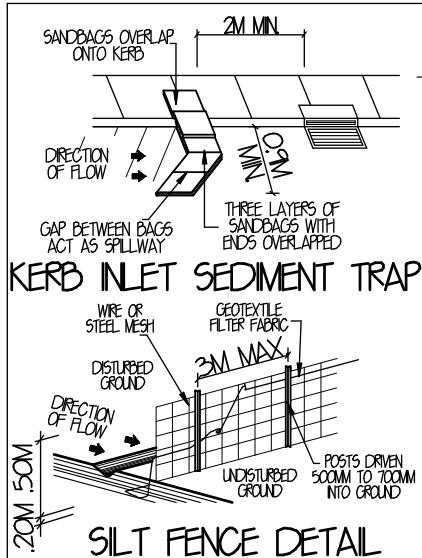




#### SEDIMENT CONTROL NOTES

ALL EROSION AND SEDIMENTATION CONTROL MEASUREMENTS, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.

ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AROUND AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.

ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEARED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

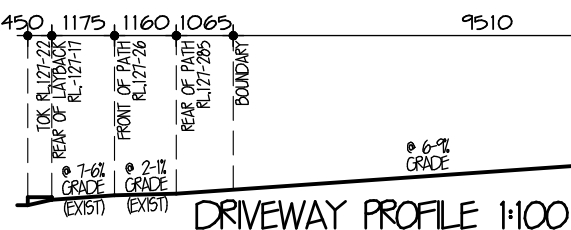
ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.

FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POST AT 2M INTERVALS. FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.

#### GENERAL NOTES

- STORMWATER TO DISCHARGE INTO DESIGNATED DISCHARGE POINT TO PCA REQUIREMENTS.
- SEWER TO LOCAL AUTHORITIES REQUIREMENTS.
- ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE BUILDER.
- FINAL LOCATION OF BUILDINGS TO BE VERIFIED ON-SITE BY A REGISTERED SURVEYOR.
- WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY PLAN DISCREPANCIES TO BE REFERRED BACK TO A&N DESIGN BEFORE PROCEEDING.
- SITE CLASSIFICATION M.
- CUT AND FILL HOUSE PLATFORM APPROXIMATELY TO RL127-8 GARAGE TO RL127-8.
- HOUSE FLOOR LEVEL RL128-11, 310MM ABOVE PLATFORM LEVEL. GARAGE FLOOR LEVEL APPROX. RL128-024, 224MM ABOVE PLATFORM LEVEL.
- TOTAL ROOF AREA = 269 M<sup>2</sup>.



**eden brae homes**  
22 BROOKHOLLOW AVENUE,  
NORMESIDE BUSINESS PARK,  
BULLHORN HILLS NSW 2153  
P 8860 9222  
F 8860 9223

FOR **MR. J. ROSS & MRS. K. L. ROSS**  
AT **LOT 29, 16 MELWOOD AVENUE, FORESTVILLE** DP366454  
TYPE **WALDORF 48** (PRESTIGE SERIES)  
JOB NO. **0026449**  
FACADE **BELLEVE**  
HAND **LH**  
MASTER **A16204** DWG NO. **AND-35344** PAGE NO. **1 OF 10**

#### SITE DATA

SITE AREA = 921 M<sup>2</sup>

LANDSCAPE AREA  
REQUIRED = 40% OR 368.4 M<sup>2</sup>  
PROVIDED = 51-2% OR 471-6 M<sup>2</sup>

PRINCIPLE PRIVATE OPEN SPACE  
REQUIRED = 60 M<sup>2</sup>  
PROVIDED = 201-6 M<sup>2</sup>

#### FLOOR AREAS

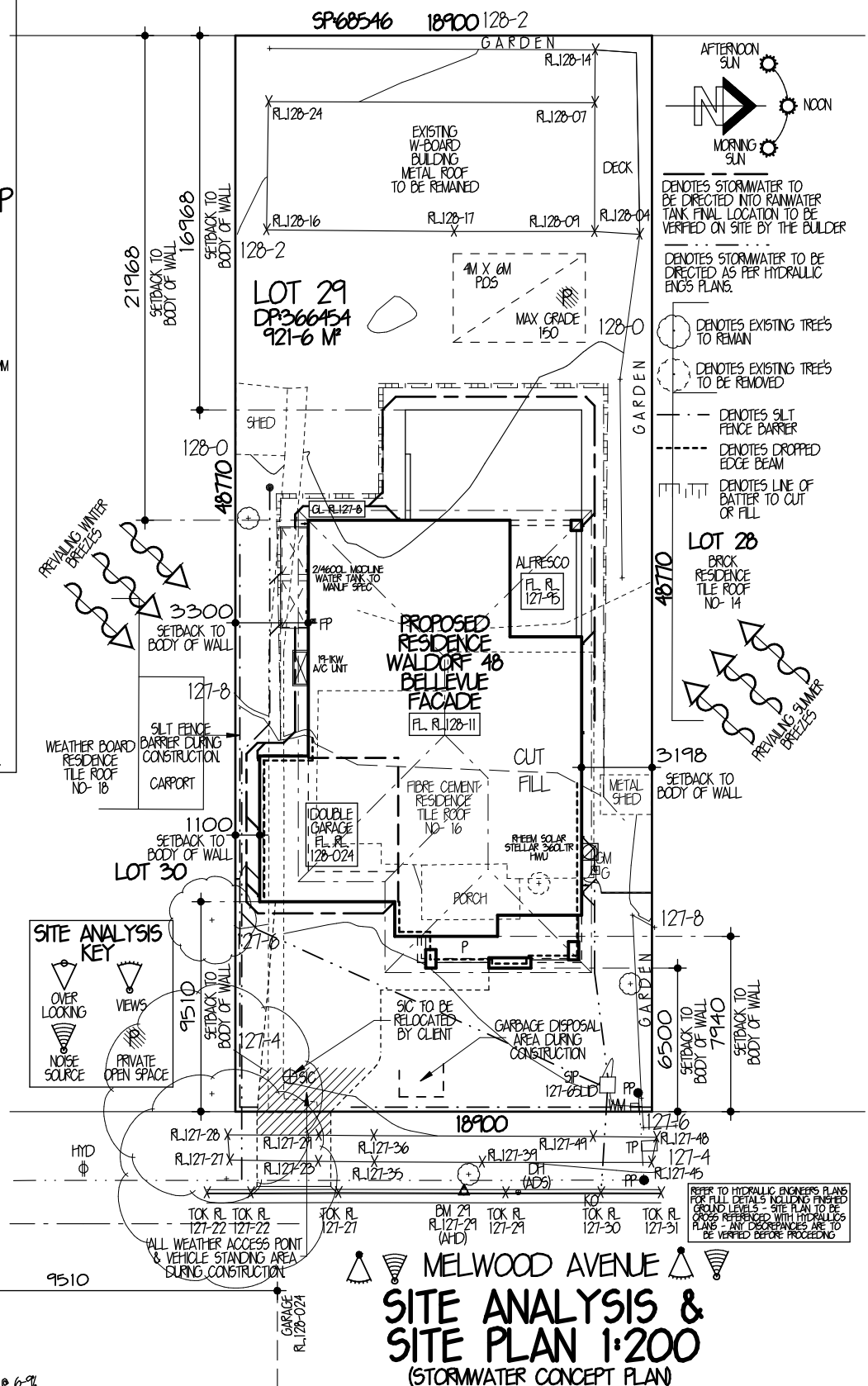
GROUND FLOOR AREA = 181.9 M<sup>2</sup>  
(NOT INCLUDING GARAGE)  
GARAGE FLOOR AREA = 39.6 M<sup>2</sup>  
PORCH FLOOR AREA = 13.2 M<sup>2</sup>  
ALFRESCO FLOOR AREA = 57.1 M<sup>2</sup>  
FIRST FLOOR AREA = 201.6 M<sup>2</sup>  
BALCONY FLOOR AREA = 12.9 M<sup>2</sup>  
REAR BALCONY FLOOR AREA = 17.1 M<sup>2</sup>

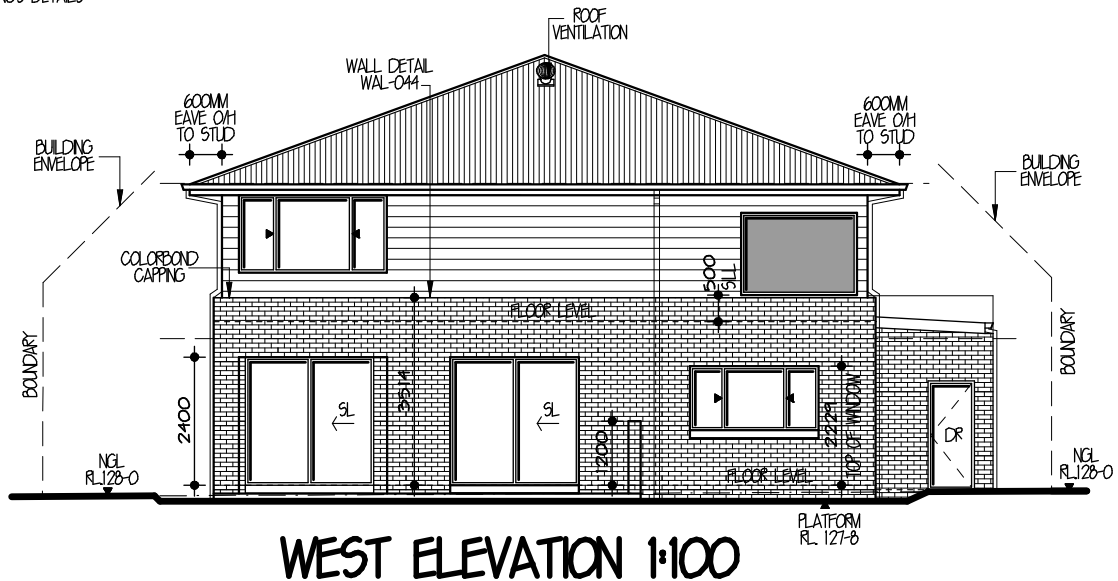
TOTAL FLOOR AREA = 523.4 M<sup>2</sup> OR 56-3 S05

#### BUILDING HEIGHTS

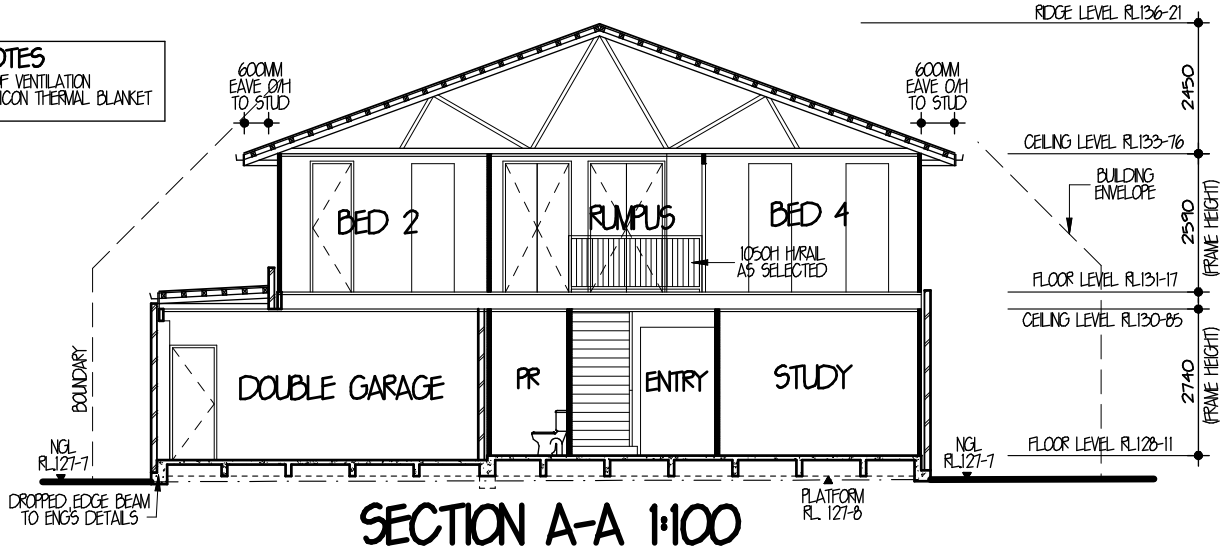
FINISHED CEILING LEVEL  
RL 133-76  
FINISHED RIDGE LEVEL  
RL 136-21

MAX BUILDING HEIGHT  
PERMISSIBLE = 8500 MM  
PROVIDED = 8410 MM

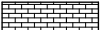




**NOTES**  
ROOF VENTILATION  
ANTICON THERMAL BLANKET



### SUMMARY OF MATERIALS

- 20° ROOF PITCH COLORBOND ROOF SHEETING UPPER ROOF
- 3° ROOF PITCH COLORBOND ROOF SHEETING LOWER ROOF
- COLORBOND GUTTER & FASCIA
- CHARGED PVC DOWNPIPES TO BE PAINTED
- PRE-FABRICATED HYBRID ADVANCED FRAMING SYSTEM & T2 TREATED PINE ROOF TRUSSES TO MANUFACTURER SPECIFICATIONS
- DIMENSIONS ARE TO FRAME SIZES ONLY EXCLUDES GYPROCK & SKIRTINGS THEREFORE THEY ARE NOT FINISHED ROOM SIZES
- FACE BRICKWORK  - BLUEBOARD FINISH 
- FEATURE CLADDING  (INCLUDING INTERNAL WALL OF BALCONY)
- ALUMINIUM WINDOWS & DOORS
- FRONT ENTRY DOORS & FRAME TO BE PAINT GRADE
- SECTIONAL OVERHEAD DOOR

**eden brae homes**  
"It's where you want to live"

LEVEL 3  
22 BROOKHOLLOW AVENUE  
NORWEST BUSINESS PARK  
BALMAIN HILLS NSW 2153  
P 8860 9222 F 8860 9233

FOR **MR J. ROSS & MRS. K. L. ROSS**  
LOT 29 16 MELWOOD AVENUE,  
FORESTVILLE DP366454

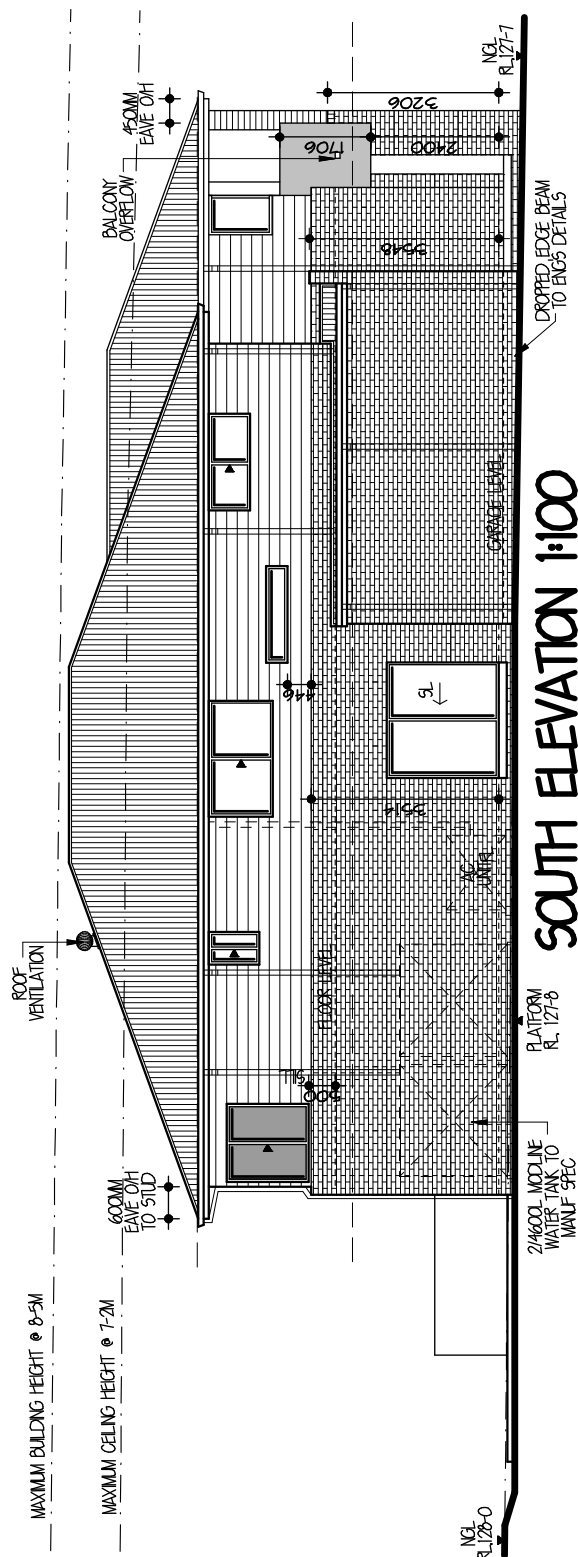
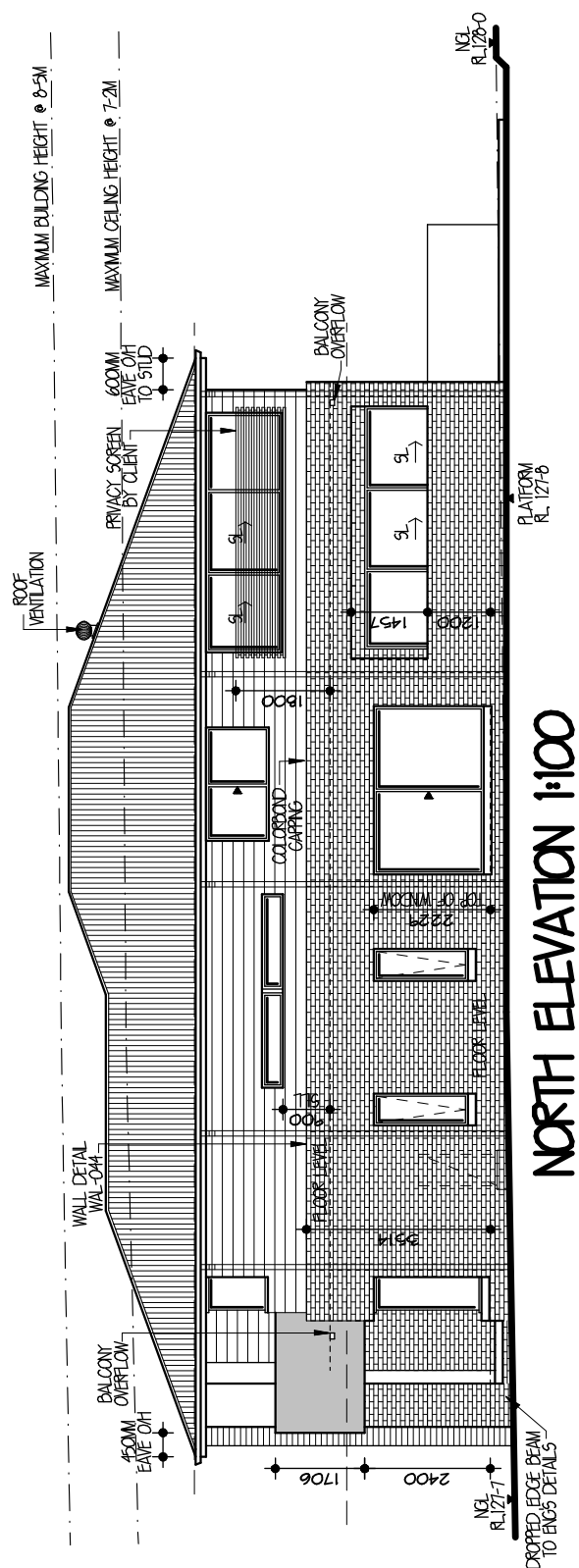
AT **WALDORF 48** JOB NO. **0026449**

TYPE (PRESTIGE SERIES)

FACADE **BELLEVUE** HAND **LH**

MASTER **A16204** DWG NO. **AND-35344** PAGE NO. **5 OF 10**

| <div>  <div>           LEVEL 2 SUITE 216<br/>           MACARTHUR PARK NO. 25-27<br/>           51/51 ORBIT BALMAIN HILLS<br/>           RD BOX 640 BALMAIN HILLS<br/>           BUSINESS CENTRE NSW 2153<br/>           PHONE 02 8824 3535<br/>           FAX 02 8824 3534<br/>           WWW.ADESIGNGROUP.COM.AU         </div> </div> |         |                   |       |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------|-------------------|-------|
| ISSUE                                                                                                                                                                                                                                                                                                                                                                                                                         | DATE    | REVISION          | DRAWN |
| A                                                                                                                                                                                                                                                                                                                                                                                                                             | 24-1-22 | SITING            | LB    |
| B                                                                                                                                                                                                                                                                                                                                                                                                                             | 1-4-22  | RE-SITING         | DP    |
| C-1                                                                                                                                                                                                                                                                                                                                                                                                                           | 27-5-22 | CC PLANS          | DT    |
| D                                                                                                                                                                                                                                                                                                                                                                                                                             | 1-7-22  | AMENDS/BASIX      | MS/AJ |
| E                                                                                                                                                                                                                                                                                                                                                                                                                             | 26-9-22 | SHADOWS/HYD/BASIX | DF    |
|                                                                                                                                                                                                                                                                                                                                                                                                                               |         |                   |       |
|                                                                                                                                                                                                                                                                                                                                                                                                                               |         |                   |       |
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|                                                                                                                                                                    |                                                                                                                      |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------|
|  <p><b>Bedden brae<br/>homes</b></p> <p><i>"It's where you want to live"</i></p> | <p>22 BROOKHOLLOW AVENUE<br/>NORWEST BUSINESS PARK<br/>BALKHAM HILLS NSW 2153</p> <p>P 0860 9272<br/>F 0860 9235</p> |
| <p>FOR</p>                                                                                                                                                         | <p><b>MR. J. ROSS &amp;<br/>MRS. K. L. ROSS</b></p>                                                                  |
| <p>LOT 29</p>                                                                                                                                                      | <p><b>16 WILMOUTH AVENUE,<br/>FORESTVILLE</b></p>                                                                    |
| <p>AT</p>                                                                                                                                                          | <p><b>WALDORF 48</b><br/>(PRESTIGE SERIES)</p>                                                                       |
| <p>TYPE</p>                                                                                                                                                        | <p><b>0026449</b></p>                                                                                                |
| <p>FACADE</p>                                                                                                                                                      | <p><b>HAND</b></p>                                                                                                   |
| <p><b>BELLEVUE</b></p>                                                                                                                                             | <p><b>LH</b></p>                                                                                                     |
| <p>MASTER<br/><b>A16204</b></p>                                                                                                                                    | <p>DWG NO.<br/><b>AND-35344</b></p>                                                                                  |
| <p></p>                                                                                                                                                            | <p>PAGE NO.<br/><b>6 OF 10</b></p>                                                                                   |



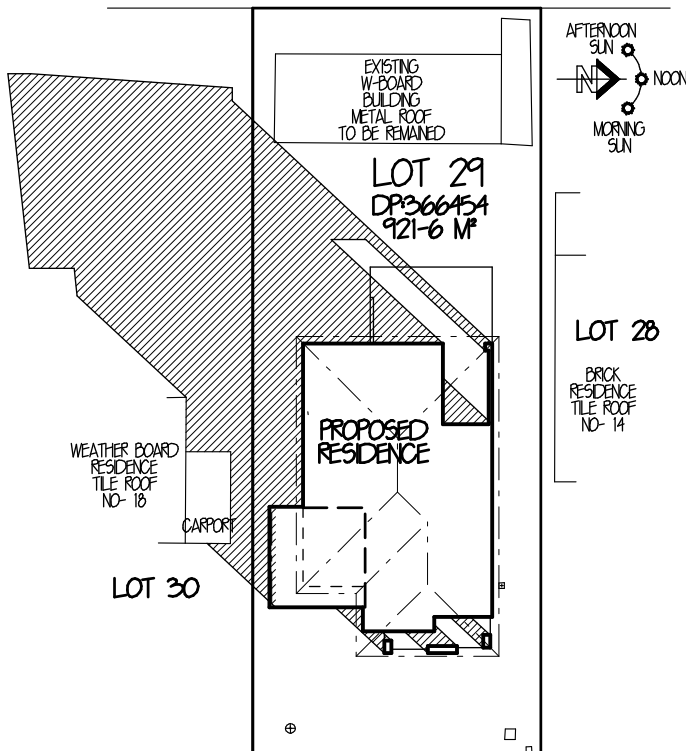
**DESIGN GROUP**  
SYDNEY

LEVEL 2 SUITE 216  
MACARTHUR POINT NO. 25-27  
SOLENT CROFT BALLURAH HILLS  
PO BOX 640 BALLURAH HILLS  
BUSINESS CENTRE NSW 2558  
PHONE 02 8621 5553  
FAX 02 8621 3544  
[WWW.DESIGNGROUP.COM.AU](http://WWW.DESIGNGROUP.COM.AU)

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| A     | 24-1-22 | SITING           | LB    |
| B     | 1-4-22  | RE-SITING        | DP    |
| C-1   | 25-5-22 | CC PLANS         | DT    |
| D     | 1-7-22  | AMENDS/DASX      | MS/AJ |
| E     | 26-9-22 | SHADOWS/HTD/DASX | DF    |
|       |         |                  |       |
|       |         |                  |       |

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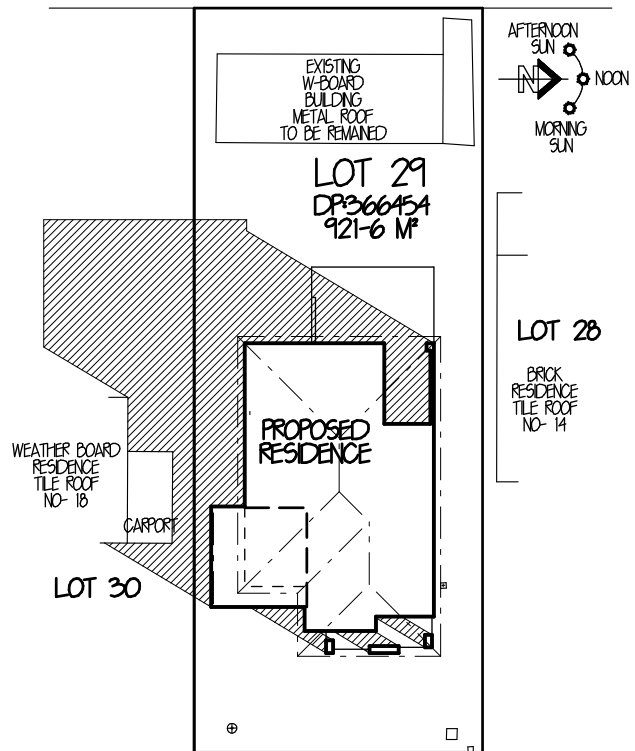


MELWOOD AVENUE

9 AM

SP68546

SP68546



MELWOOD AVENUE

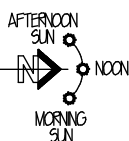
10 AM

SP68546

LOT 29  
DP366454  
921-6 M<sup>2</sup>PROPOSED  
RESIDENCEWEATHER BOARD  
RESIDENCE  
TILE ROOF  
NO-18

CARPORT

LOT 30

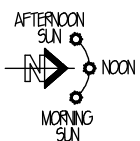


LOT 28

BRICK  
RESIDENCE  
TILE ROOF  
NO-14WEATHER BOARD  
RESIDENCE  
TILE ROOF  
NO-18

CARPORT

LOT 30

LOT 29  
DP366454  
921-6 M<sup>2</sup>PROPOSED  
RESIDENCE

LOT 28

BRICK  
RESIDENCE  
TILE ROOF  
NO-14WEATHER BOARD  
RESIDENCE  
TILE ROOF  
NO-18

CARPORT

LOT 30

MELWOOD AVENUE

11 AM

MELWOOD AVENUE

12 NOON



LEVEL 3  
22 BROOKHOLLOW AVENUE  
NORTHWEST BUSINESS PARK  
BALLINAHILL HILLS NSW 2153  
P 8860 9222 F 8860 9233

|        |                                                |          |           |
|--------|------------------------------------------------|----------|-----------|
| FOR    | MR. J. ROSS & MRS. K. L. ROSS                  |          |           |
| AT     | LOT 29 16 MELWOOD AVENUE, FORESTVILLE DP366454 |          |           |
| TYPE   | WALDORF 48 (PRESTIGE SERIES)                   | JOB NO.  | 0026449   |
| FACADE | BELLEVUE                                       | HAND     | LH        |
| MASTER | A16204                                         | DWG NO.  | AND-35344 |
|        |                                                | PAGE NO. | 7 OF 10   |

## SHADOW DIAGRAMS JUNE 21ST MID-WINTER 1:350

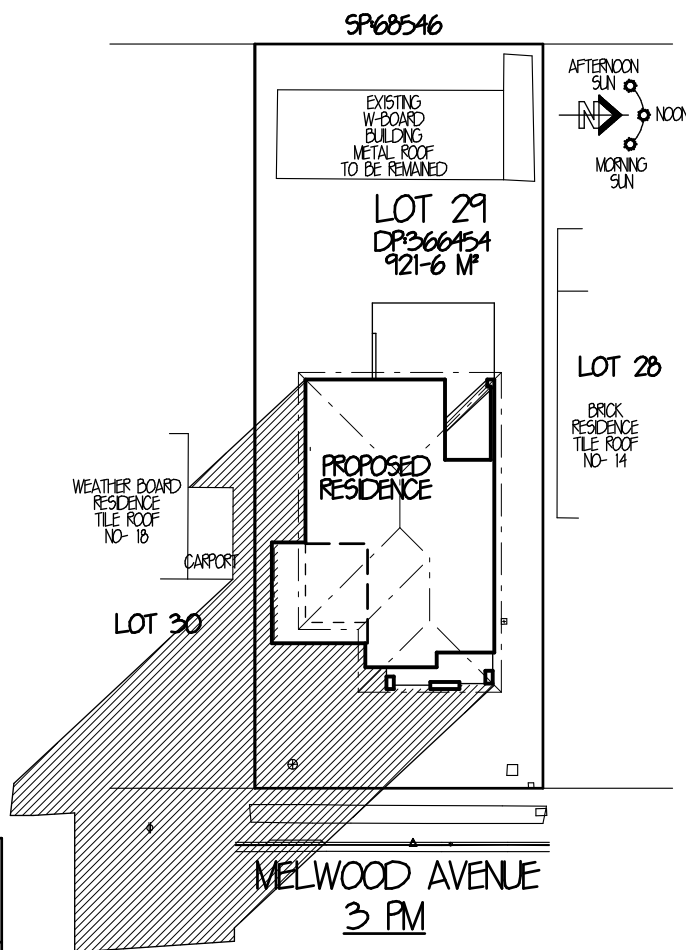
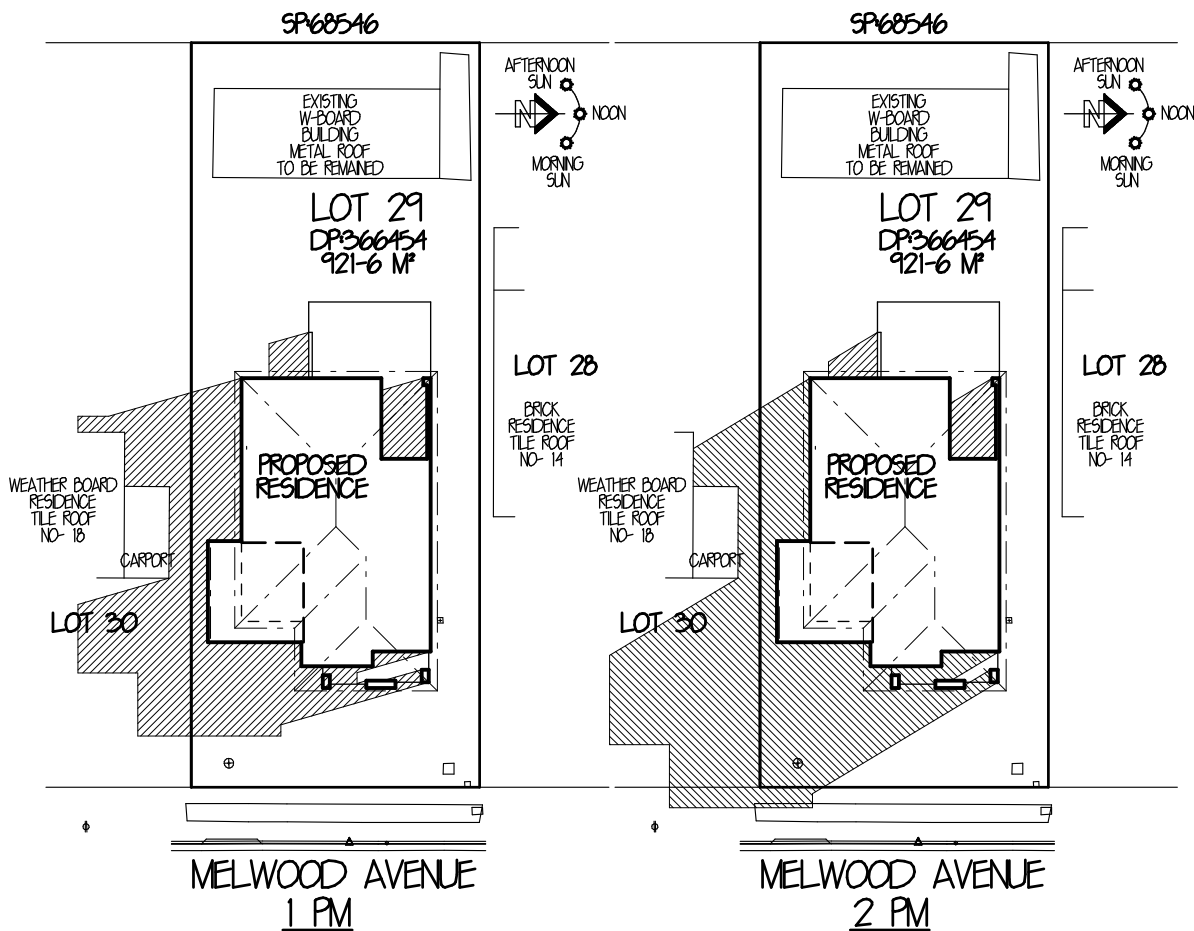
SHADOW DIAGRAMS TO BE USED AS A GUIDE ONLY SITE CONDITIONS MAY CAUSE VARIATIONS



LEVEL 2 SUITE 216  
MACARTHUR POINT NO. 25-27  
321ST STREET BALLINAHILL HILLS  
RD BOX 640 BALLINAHILL HILLS  
BUSINESS CENTRE NSW 2153  
PHONE 02 8824 3533  
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| A     | 24-1-22 | SITING            | LB    |
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| D     | 1-7-22  | AVENUE/BASIX      | MS/AJ |
| E     | 26-9-22 | SHADOWS/HYD/BASIX | DF    |

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**eden brae homes**  
"It's where you want to live"

LEVEL 3  
22 BROOKHOLLOW AVENUE  
NORTHWEST BUSINESS PARK  
BALLINAHILL NSW 2153  
P 8860 9222 F 8860 9233

FOR MR J. ROSS & MRS. K. L. ROSS

LOT 29 16 MELWOOD AVENUE, FORESTVILLE DP366454

AT WALDORF 48 (PRESTIGE SERIES) JOB NO. 0026449

TYPE FACADE BELLEVUE HAND LH

MASTER A16204 DWG NO. AND-35344 PAGE NO. 8 OF 10

## SHADOW DIAGRAMS JUNE 21ST MID-WINTER 1:350

SHADOW DIAGRAMS TO BE USED AS A GUIDE ONLY SITE CONDITIONS MAY CAUSE VARIATIONS

**A&N DESIGN GROUP**  
SYDNEY

LEVEL 2 SUITE 216  
MACARTHUR POINT NO. 25-27  
50/51 CROFT BALMAIN HILLS  
RD BOX 640 BALMAIN HILLS  
BUSINESS CENTRE NSW 2163  
PHONE 02 8824 3535 FAX 02 8824 3541  
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