

Section 4.55

No 26 Lewis Street, Balgowlah 2093

Architectural DWGs'

327/00	Cover Page and BASIX
327/05	Proposed Basement Floor Plan
327/06	Proposed Street Floor Plan
327/07	Proposed First Floor Plan
327/08	Proposed Roof Plan
327/09	Proposed South Elevation
327/10	Proposed North Elevation
327/11	Proposed East & West Elevations
327/12	Proposed Street View Elevation
327/13	Proposed Sections

WINDOWS / GLAZING & SKYLIGHTS

BASIX COMMITMENTS: GLAZING						
Window No.	Area of Glazing (m2)	Orientation	Overshadowing		Shading Device	Frame Type and Glass
			Height (m)	Distance (m)		
W01					Omitted	
W02						
W03	8.6	E	2.5	11.3	eave/verandah/ pergola/ balcony>=900mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W04	2.2	E	0	0	external louvre/ blind (adjustable)	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W05	7.1	W	0	0	external louvre/ blind (adjustable)	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W06	1.8	W	0	0	eave/verandah/ pergola/ balcony>=450mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W07	1.1	N	3.2	6.3	projection/ height above sill ratio >=450mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W08	1.1	E	0	0	eave/verandah/ pergola/ balcony>=450mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W09	5.7	E	0	0	eave/verandah/ pergola/ balcony>=450mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W10						
W11	0.94	E	0	0	eave/verandah/ pergola/ balcony>=450mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W12	0.45	S	0	0	eave/verandah/ pergola/ balcony>=450mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W13	0.45	S	0	0	eave/verandah/ pergola/ balcony>=450mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W14	0.45	S	0	0	eave/verandah/ pergola/ balcony>=450mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W15						
W16						
W17						
W18	3.1	N	0	0	eave/verandah/ pergola/ balcony>=450mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W19						
W20	0.94	S	0	0	eave/verandah/ pergola/ balcony>=450mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W21	2.5	W	0	0	eave/verandah/ pergola/ balcony>=450mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W22	3	N	0.8	6.45	eave/verandah/ pergola/ balcony>=450mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W23	0.94	N	0.8	6.45	eave/verandah/ pergola/ balcony>=450mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
BASIX COMMITMENTS: SKYLIGHTS						
The applicant must install the skylights in accordance with the specifications listed in the table below.						
Window No.		Area of Glazing (m2)		Shading device		Frame Type and Glass
S01		0.78		No shading		Timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)
S02		0.21		No shading		Aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.8.08)
S03		0.52		No shading		Timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)
S04		0.21		No shading		Timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)

BASIX Report

	BASIX COMMITMENTS
Hot Water	The applicant must install the following hot water system in the development: gas instantaneous.
Lighting	The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures	The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
	The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
	The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.
CONSTRUCTION	
Insulation Requirements	The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
CONSTRUCTION	
concrete slab on ground floor.	NIL
floor above existing dwelling or building.	NIL
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)
external wall: cavity brick	NIL
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket - medium (solar absorptance 0.475 - 0.70)
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket - medium (solar absorptance 0.475 - 0.70)
WINDOWS AND GLAZED DOORS	The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
	The following requirements must also be satisfied in relation to each window and glazed door:
	Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.
	Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.
	For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
	Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.
	External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.
	Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.
	Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.

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Proposed Alterations and Additions at
No 26 Lewis Street, Balgowlah 2093

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LOT 13, DP 15193

Cover Page and Basix

For: : Mrs and Mr Rudduck

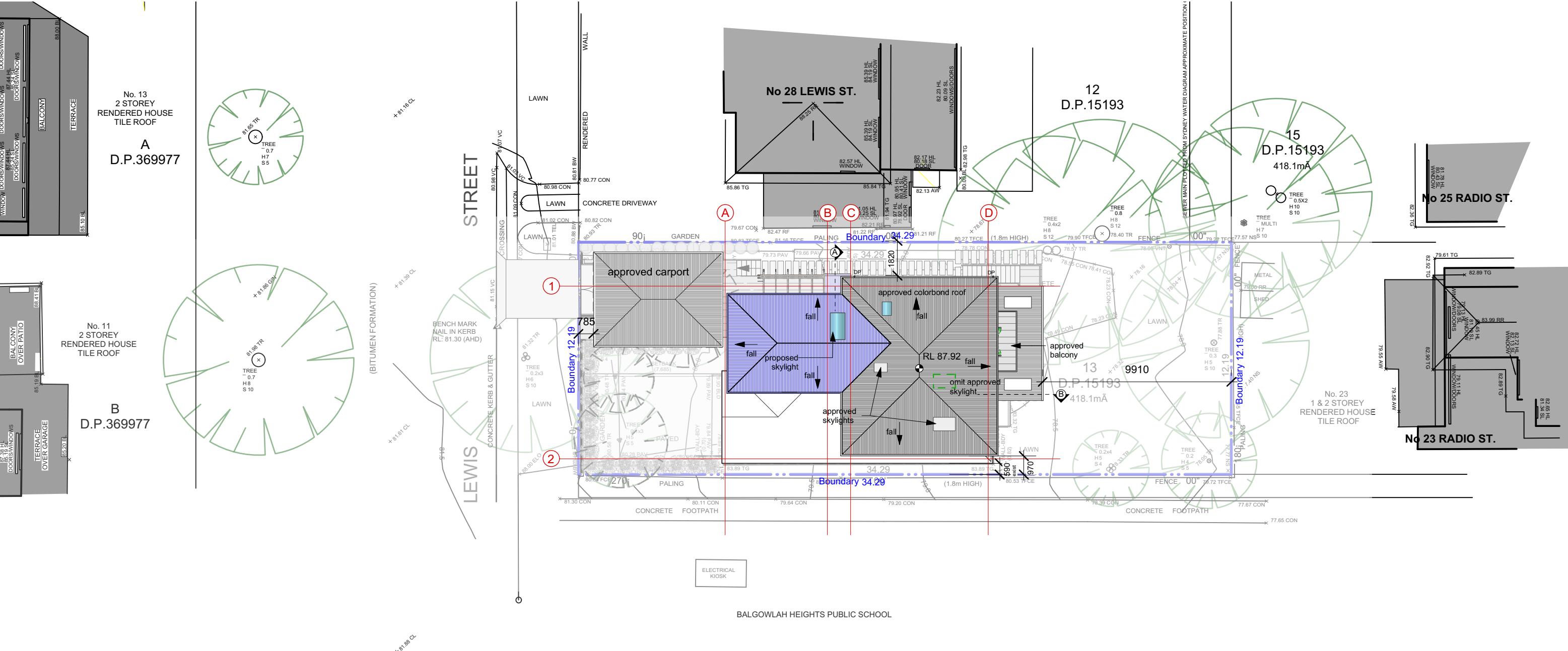
August , 2020 Scale @ A3: 1:200

DWG No:

406 /00

Sec 4.55

Issue: 04/09/2020



1 Site Plan
Scale 1:100

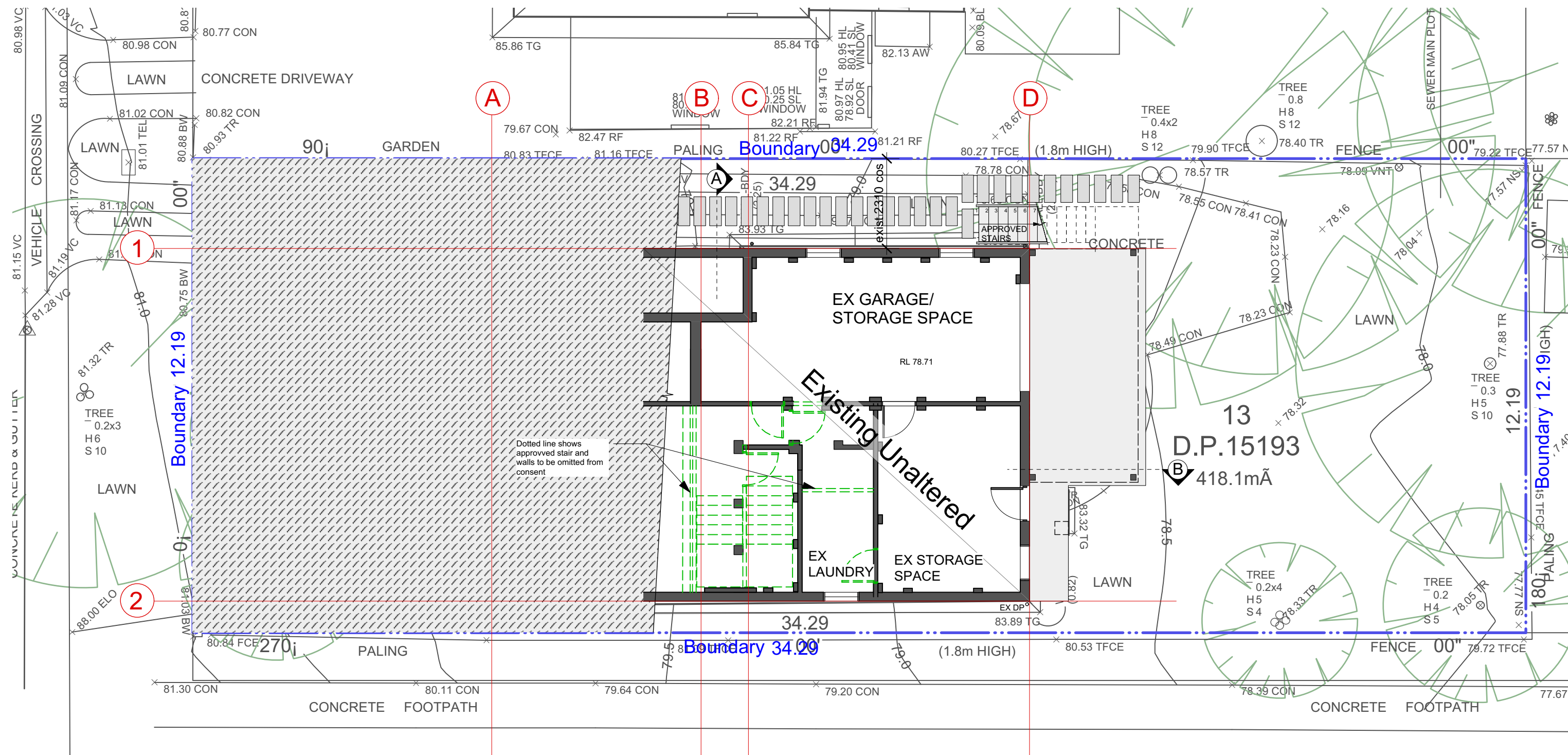


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**LOT 13, DP 15193
Site Plan**
For: : Mrs and Mr Rudduck

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406/02
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1 Basement Floor Plan
Scale 1:100

1:100 AT A3
0 5m



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Proposed Basement Plan

For: : Mrs and Mr Rudduck

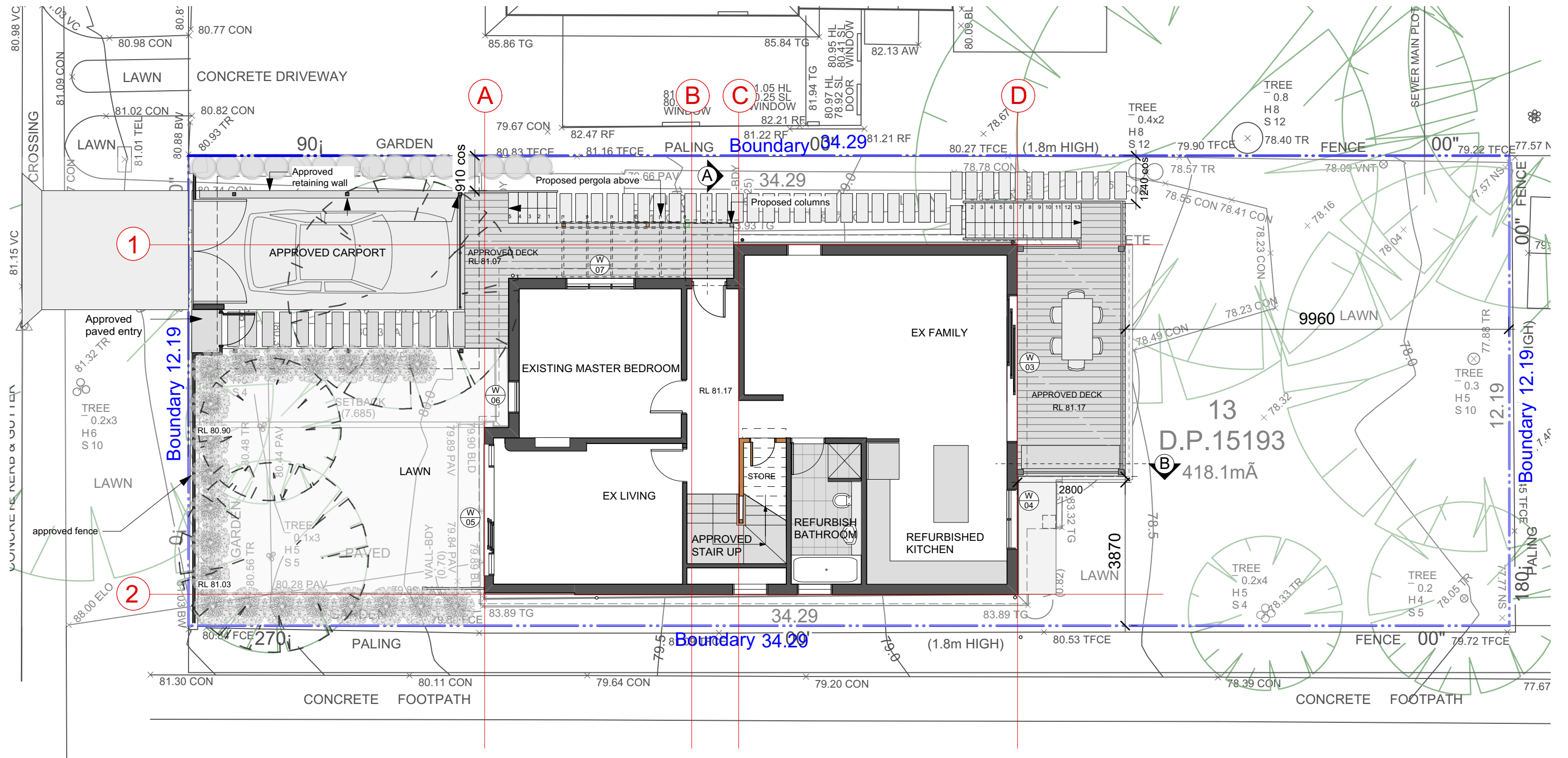
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DWG No:

406/05

Sec 4.55

Issue: 04/09/2020



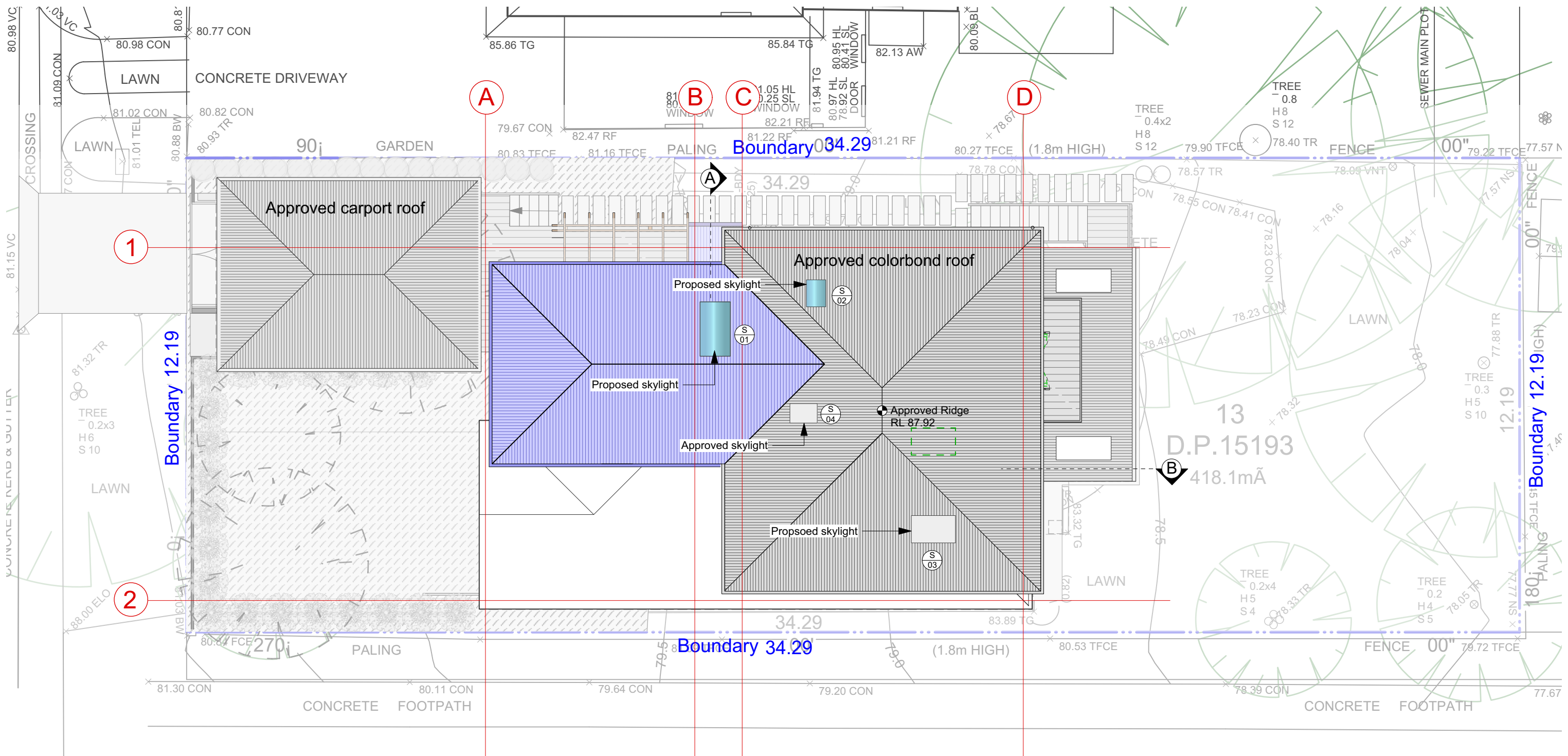
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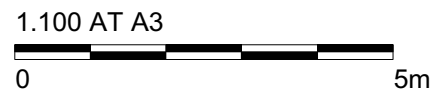
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LOT 13, DP 15193
Proposed Street Level Plan
 For: : Mrs and Mr Rudduck
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406/06
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1 Proposed Roof Plan
Scale 1:100



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LOT 13, DP 15193
Proposed Roof Plan

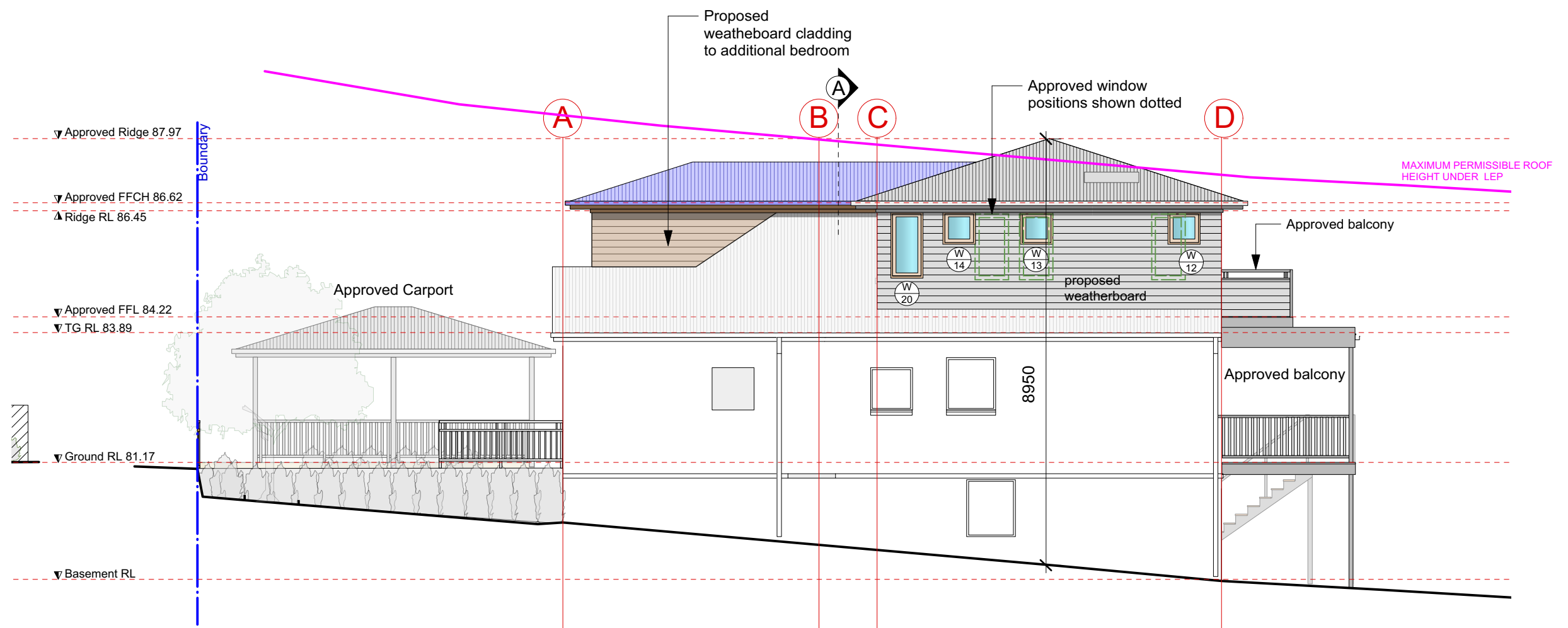
For: : Mrs and Mr Rudduck

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406/08

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Issue: 04/09/2020





1 South Elevation
Scale 1:100



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LOT 13, DP 15193

Proposed South Elevation

For: : Mrs and Mr Rudduck

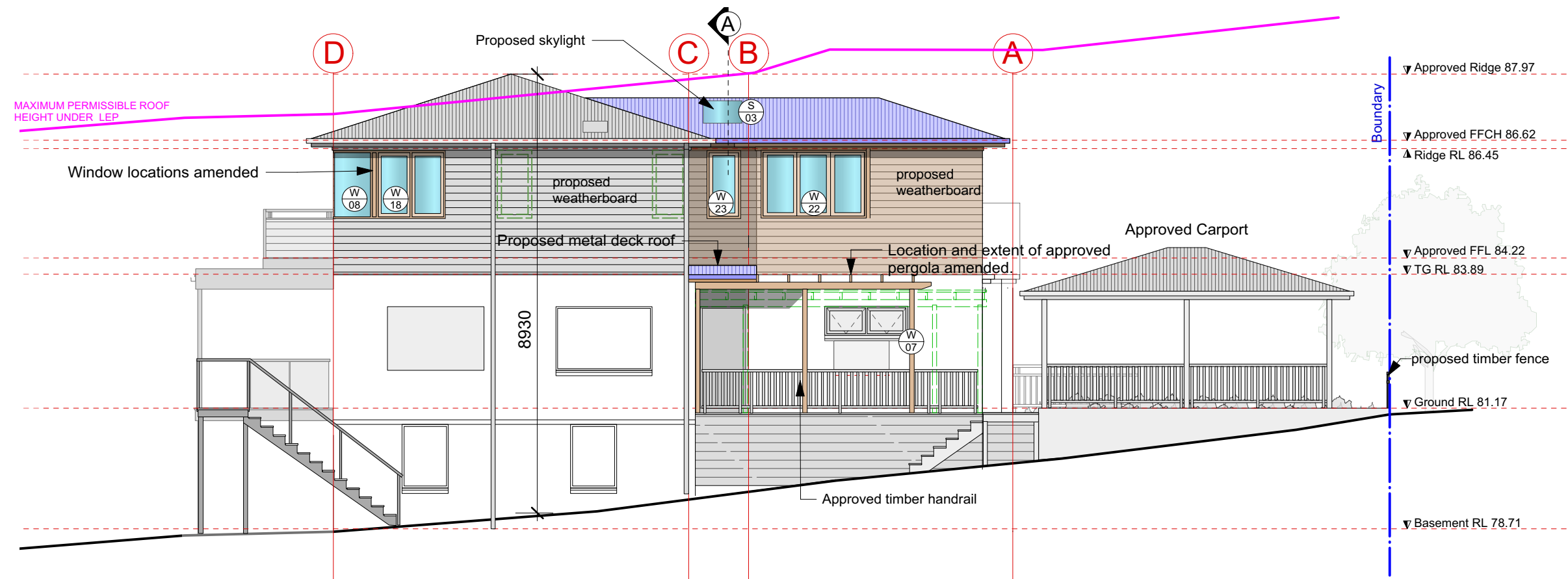
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406/09

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Issue: 04/09/2020



1 North Elevation
Scale 1:100



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Proposed North Elevation

For: : Mrs and Mr Rudduck

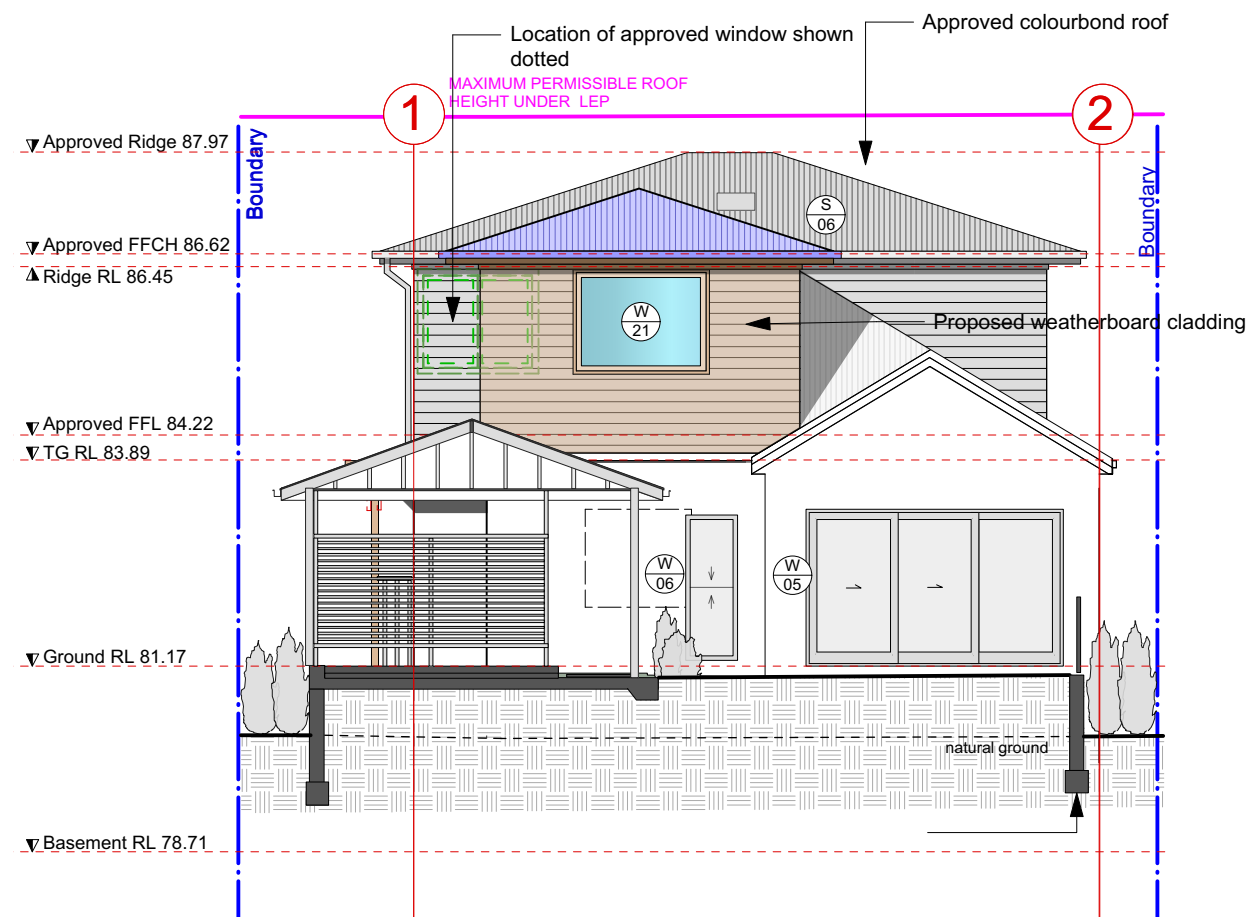
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DWG No:

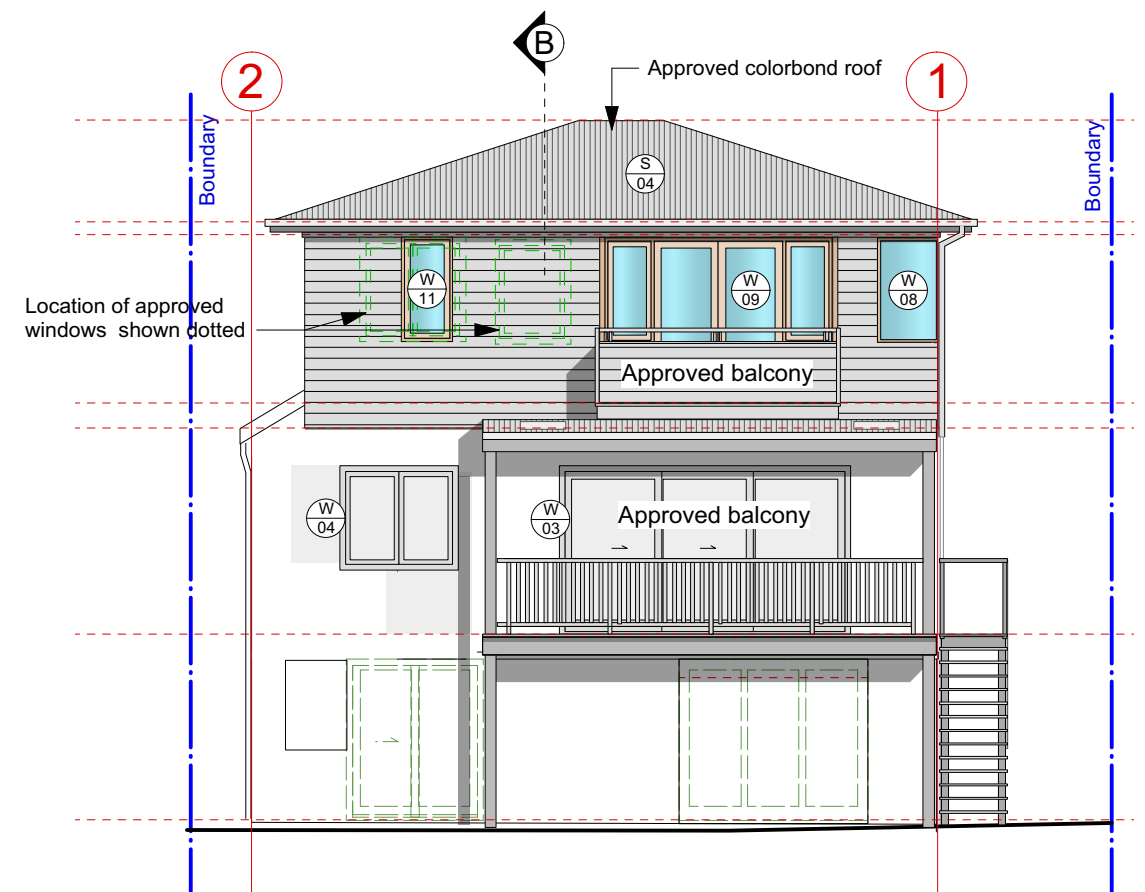
406/10

Sec 4.55

Issue: 04/09/2020



1 West Elevation
Scale 1:100



2 East Elevation
Scale 1:100



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Proposed East and West Elevations

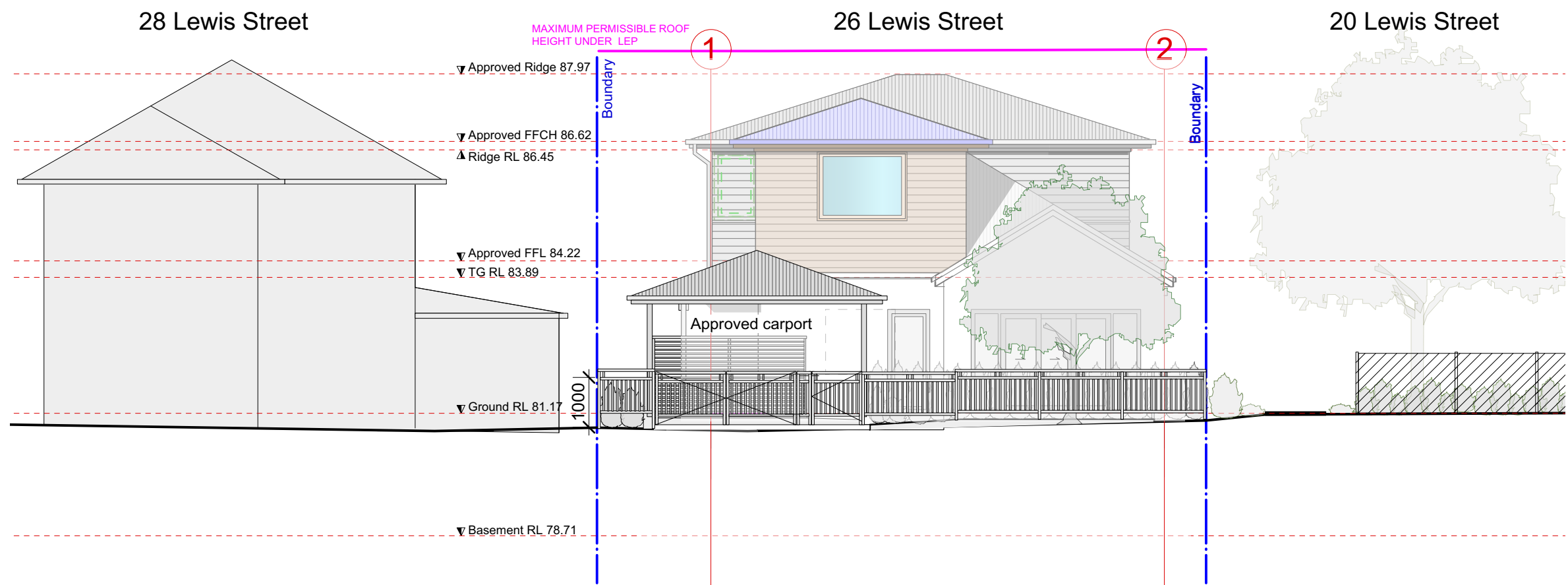
For: : Mrs and Mr Rudduck

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DWG No:

406/11

Sec 4.55
Issue: 04/09/2020



1 Street Elevation
Scale 1:100

1:100 AT A3
0 5m

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LOT 13, DP 15193

Proposed Street View Elevation

For: : Mrs and Mr Rudduck

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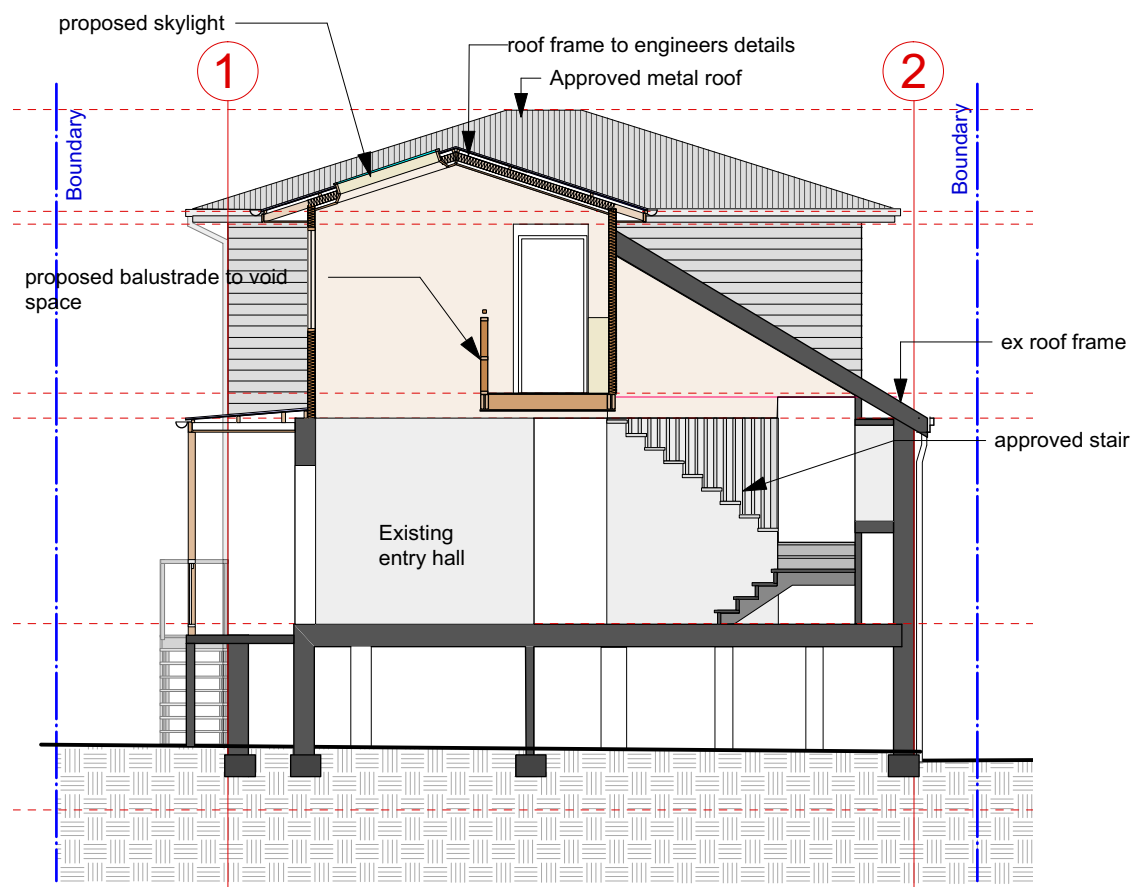
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406/12

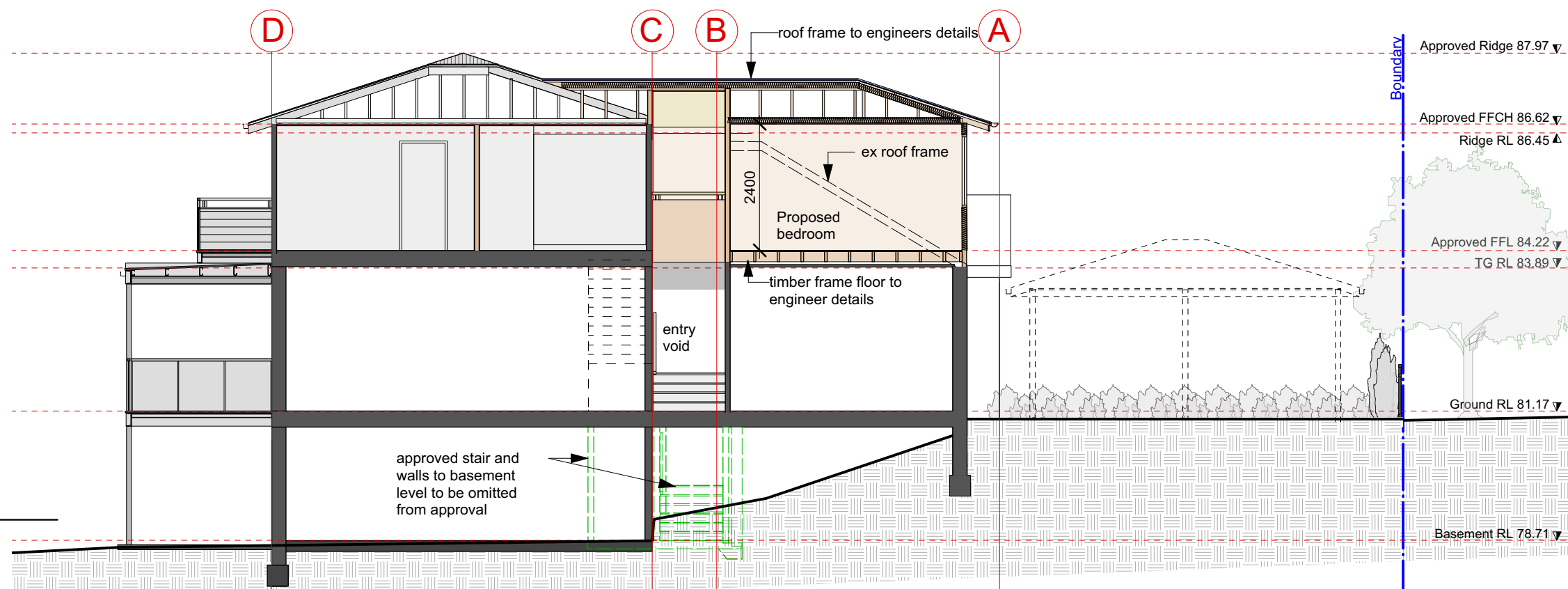
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Issue: 04/09/2020

1 Section A
Scale 1:100



1 Section B
Scale 1:100



1.100 AT A3
0 5m

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LOT 13, DP 15193

Proposed Sections

For: : Mrs and Mr Rudduck

August , 2020 Scale @ A3: 1:200

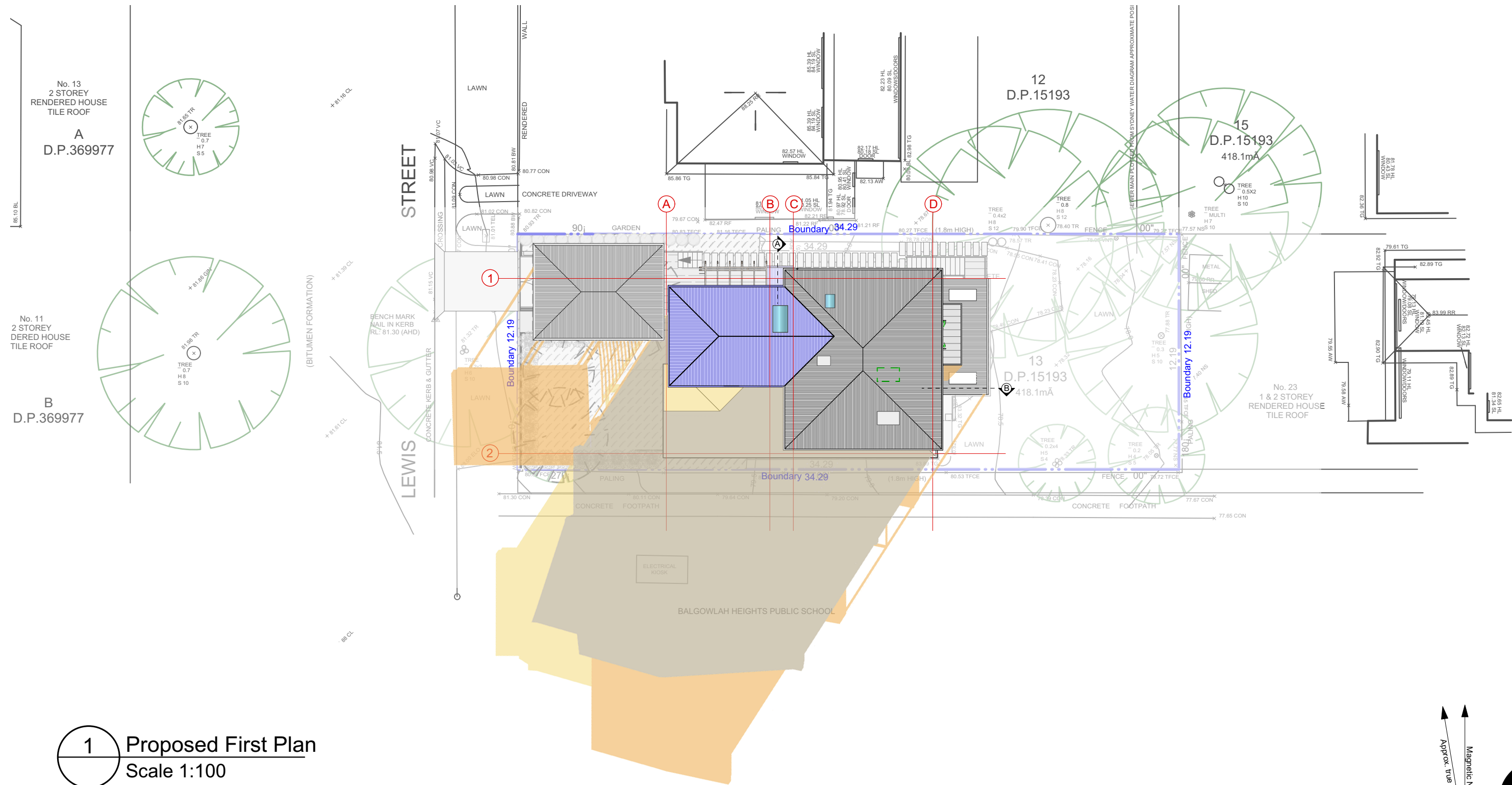
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406/13

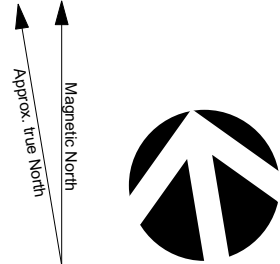
Sec 4.55

Issue: 04/09/2020

- Extent of original overshadowing
- Extent of approved overshadowing
- Extent of proposed additional overshadowing



Winter Solstice (21 June) Shadow Diagram

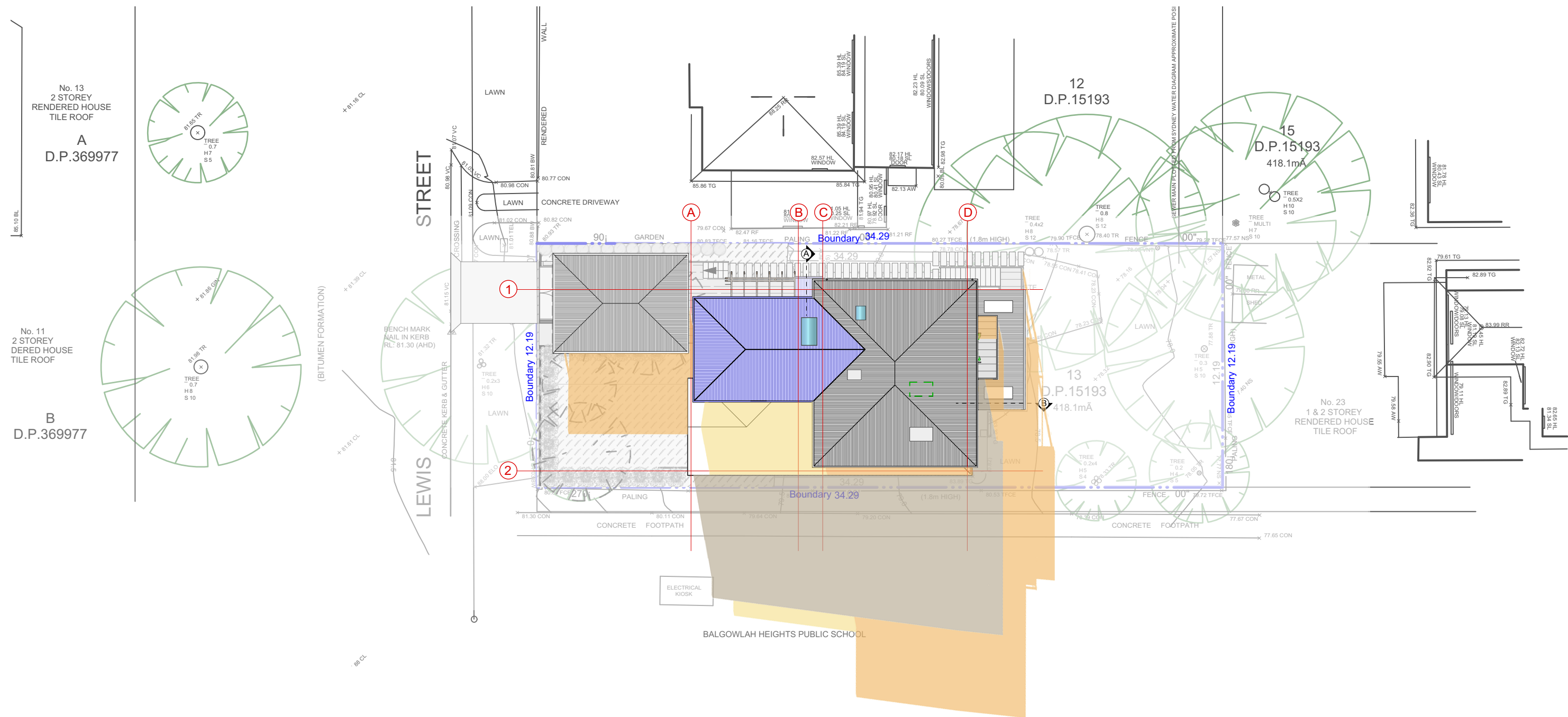


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Shadow Diagram 9am
For: : Mrs and Mr Rudduck
August , 2020 Scale @ A3: 1:200
DWG No:
406/14
Sec 4.55
Issue: 04/09/2020

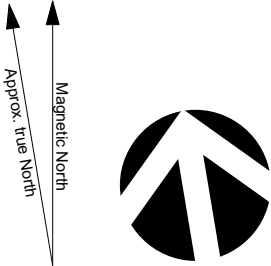
- Extent of original overshadowing
- Extent of approved overshadowing
- Extent of proposed additional overshadowing



1

Proposed First Plan
Scale 1:100

Winter Solstice (21 June) Shadow Diagram



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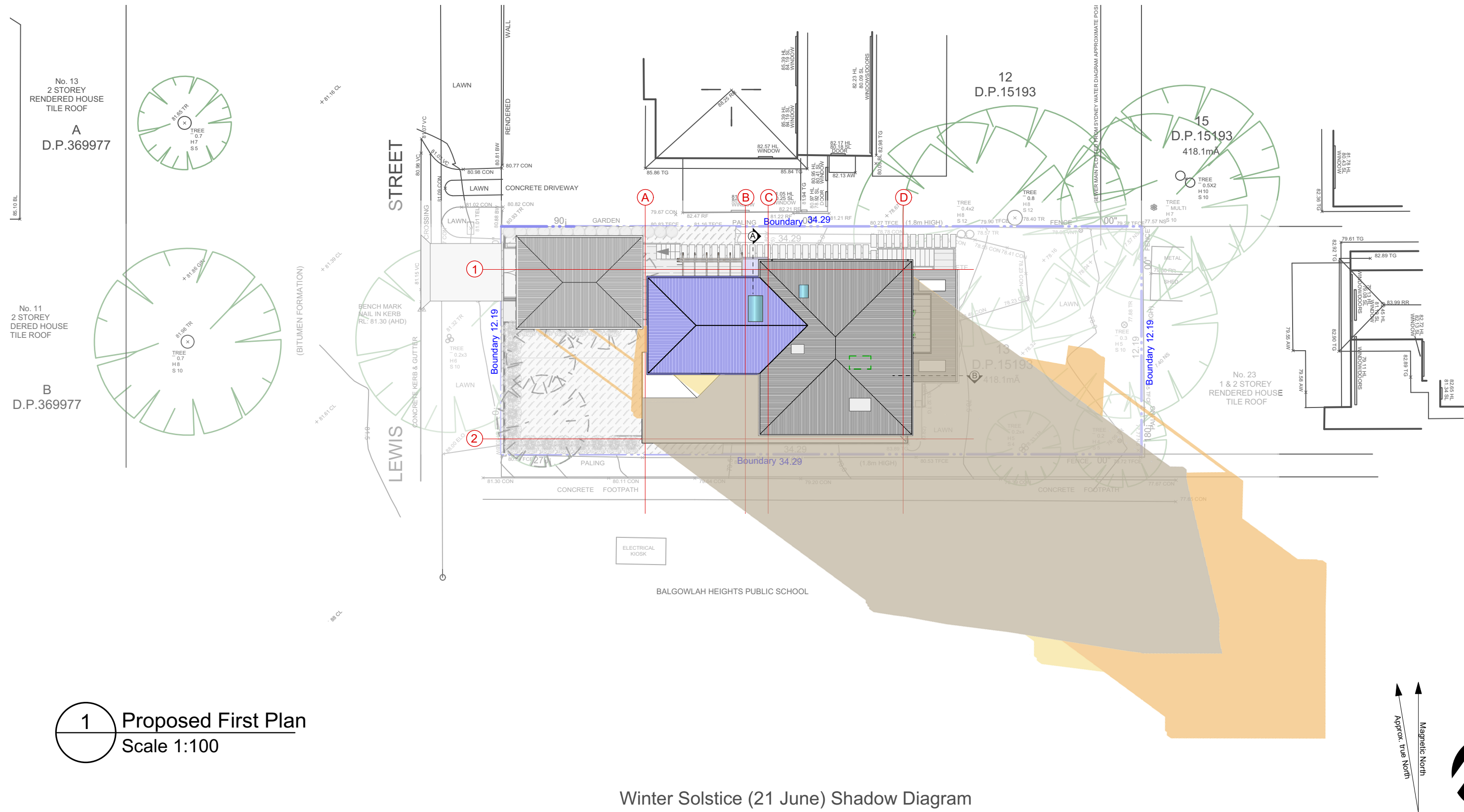
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LOT 13, DP 15193
Shadow Diagram 12pm
For: : Mrs and Mr Rudduck

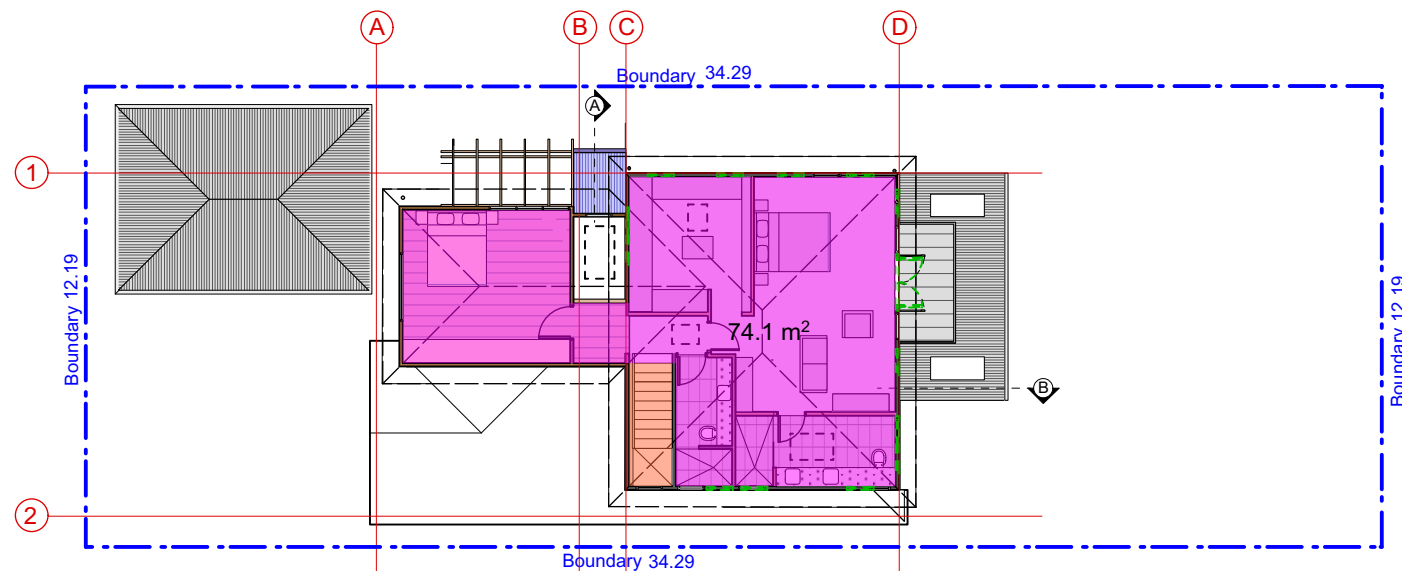
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406/15
Sec 4.55
Issue: 04/09/2020

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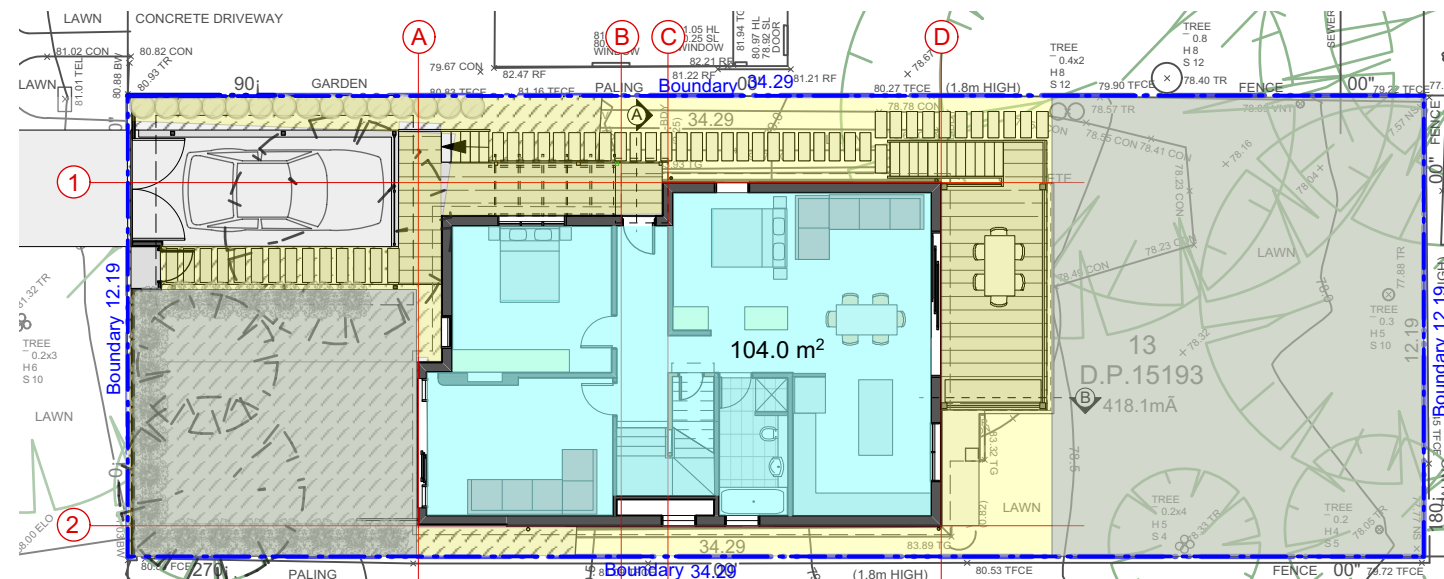
- Extent of original overshadowing
- Extent of approved overshadowing
- Extent of proposed additional overshadowing



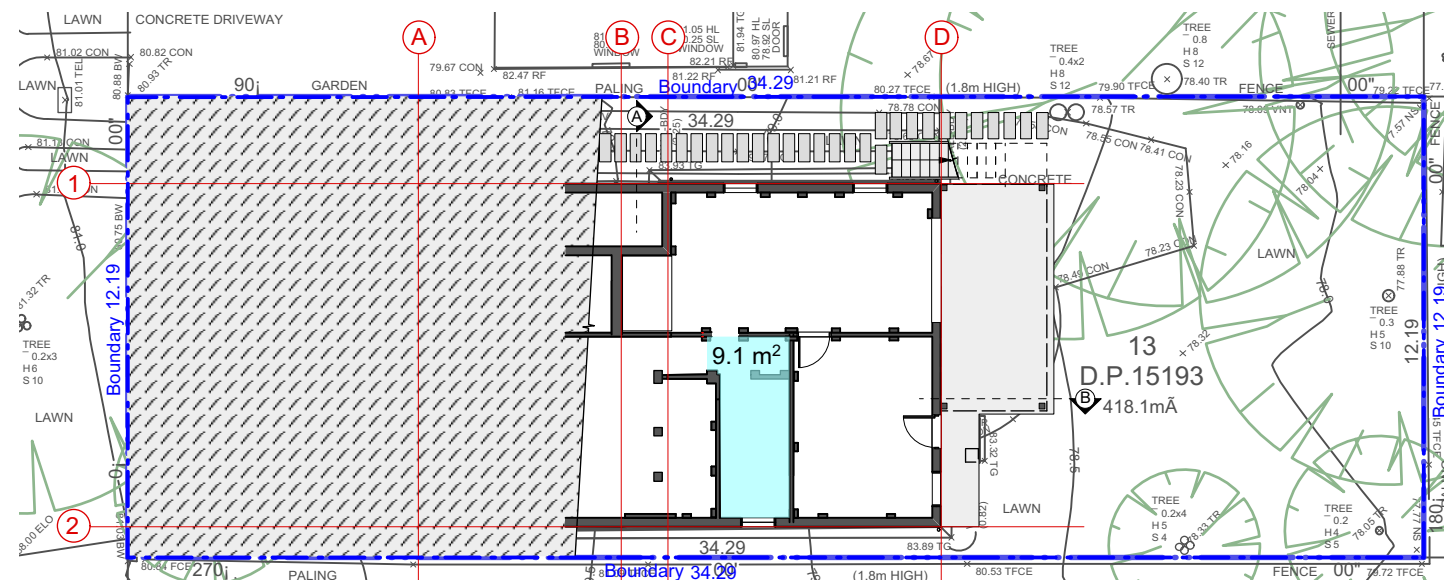
1 Proposed First Floor Plan
Scale 1:200



2 Ex Ground Floor Plan
Scale 1:200



3 Ex Basement Plan
Scale 1:200



ALLOWABLE FSR = 0.45:1
SITE AREA = 418.1sqm

EX BASEMENT GFA	= 9.1 m ²
EX GROUND FLOOR GFA	= 104 m ²
TOTAL EX GFA	= 113.1 m²
PROPOSED FIRST FLOOR GFA	= 74.1 m²
TOTAL GFA	= 187.2SQM
	= 0.45:1 (COMPLIES)

MINIMUM TOTAL OPEN SPACE IS 55% OF THE SITE AREA

OPEN SPACE	= 214.9SQM
	= 57.8% (COMPLIES)

MINIMUM LANDSCAPE IS 35% OF TOTAL OPEN SPACE

LANDSCAPE	= 172.3SQM
	= 80% (COMPLIES)



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LOT 13, DP 15193
Area Calculations

For: : Mrs and Mr Rudduck

August , 2020 Scale @ A3: 1:200

DWG No:

406/17

Sec 4.55
Issue: 04/09/2020