



967 BARRENJOEY ROAD, PALM BEACH



PITTWATER ESTIMATED VIEW - APPROVED DA



PITTWATER ESTIMATED VIEW - PROPOSED SECTION 4.55

**RETAINING WALL:**

1. VERIFY ALL REQUIRED RETAINING WALLS ON SITE AFTER SITE PREPARATION AND DETERMINE EXACT LOCATION. RETAINING WALLS AS PER CLAUSES 3.29(5) & (6) MUST BE DESIGNED & CERTIFIED BY STRUCTURAL ENGINEER.

**BASIX REQUIREMENTS:**

1. INDIGENOUS OR LOW WATER USE SPECIES OF VEGETATION MUST BE PLANTED THROUGHOUT 532m<sup>2</sup> OF THE SITE
2. RAINWATER TANK MUST BE MIN 4500 L & INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES
3. RAINWATER TANK MUST COLLECT RAIN RUNOFF FROM AT LEAST 152m<sup>2</sup> OF THE ROOF AREA
4. RAINWATER TANK MUST BE CONNECTED TO AT LEAST 1 OUTDOOR TAP IN THE DEVELOPMENT, ALL TOILETS IN THE DEVELOPMENT, THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER IN THE DEVELOPMENT
5. ALL SHOWERHEADS MIN RAITING OF 3 STARS
6. EVERY TOILET FLUSHING SYSTEM MIN RAITING OF 5 STARS
7. KITCHEN TAPS MIN RAITING OF 5 STARS
8. BAISIN TAPS MIN RAITING OF 6 STARS
9. THE SWIMMING POOL MUST NOT HAVE A VOLUME GRATER THAN 100kL, MUST HAVE POOL COVER AND BE OUTDOORS
10. EXTERNAL WALL INSULATION TO BE MIN R1.5
11. CEILING AND ROOF INSULATION TO BE R1.5
12. INSULATION MUST BE INSTALLED IN ACCORDANCE WITH PART 3.12.1.1 OF THE BUILDING CODE OF AUSTRALIA
13. HOT WATER SYSTEM MUST BE SOLAR (ELECTRIC BOOSTED) WITH A PERFORMANCE OF 31 TO 35 REC<sub>s</sub> OR BETTER
14. VENTILATION IN AT LEAST 1 BATHROOM , INDIVIDUAL FAN DUCTED TO FACADE OR ROOF IN KITCHEN, LAUNDRY - NATURAL VANTILATION ONLY

**WINDOWS:**

ALL WINDOWS TO BE PROTECTED IN ACCORDANCE WITH PART 3.9.2.5 OF THE BCA

**BALUSTRADE:**

INSTALL LOAD BEARING TOP RAIL TO GLASS BALUSTRADES

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DA	26.10.2018	SECTION 96 _review	MW	
	29.06.2020	CONSTRUCTION CERTIFICATE	KM	
	21.08.2020	SECTION 4.55 - POOL & RET. WALLS	KM	

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BUILDING DESIGNS

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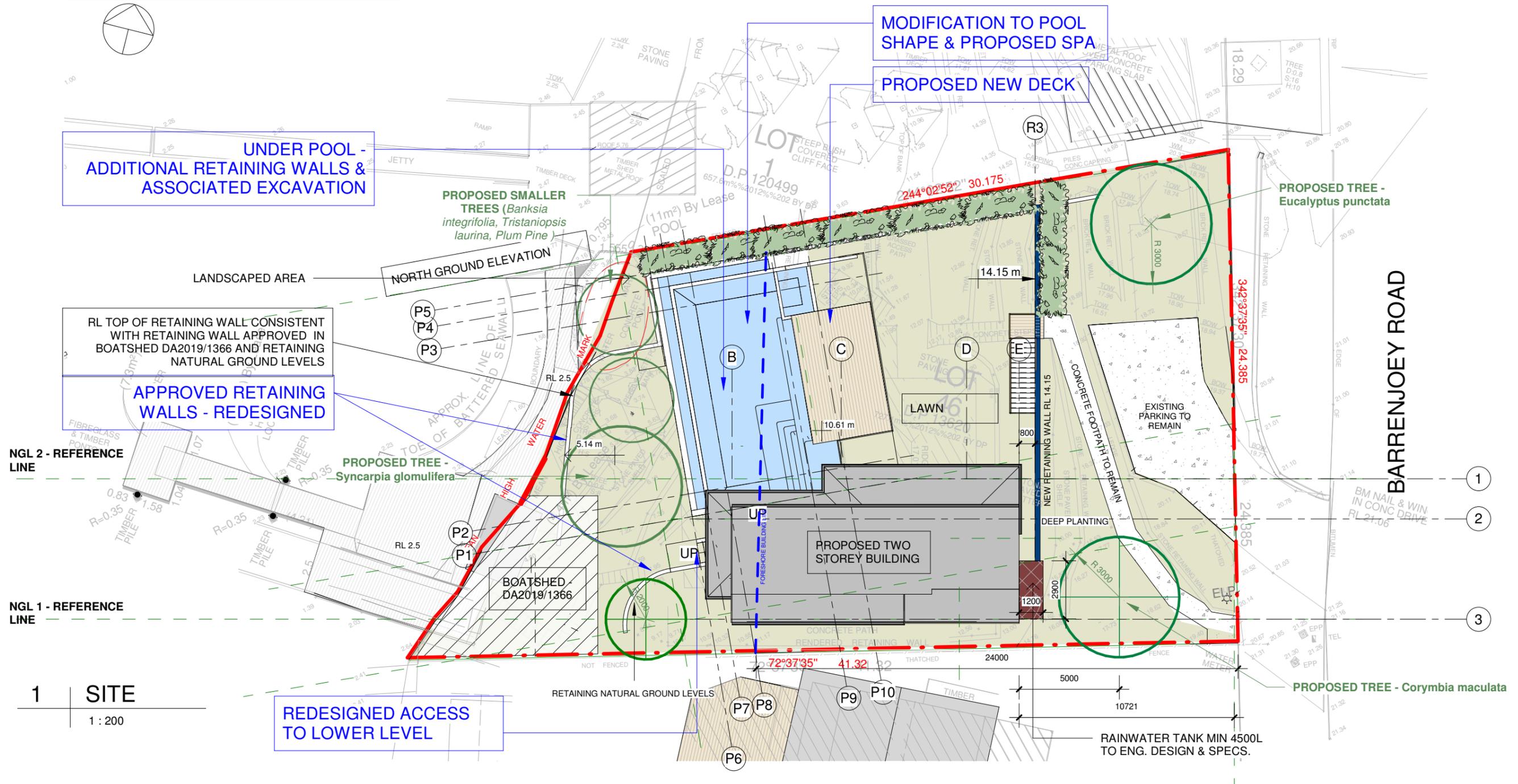
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**PROJECT TITLE:** NEW BUILD & POOL  
**PROJECT NO.:** PAL.2018016  
**AT:** 967 BARRENJOEY RD  
PALM BEACH  
**FOR:** SMJ INVESTMENTS PTY LTD

**SHEET TITLE:** NOTES  
**SHEET NO:** CC101  
**SCALE A3:** As indicated

SECTION 4.55 PROPOSED CHANGES :



**NOTES:**  
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- SEDIMENT & EROSION CONTROL ARE TO BE INSTALLED AND MAINTAINED DURING THE LIFE OF THE PROJECT
- ALL CONSTRUCTION TO COMPLY WITH CURRENT NCC CODES AND AUSTRALIAN STANDARDS.
- ALL CONSTRUCTION TO BE CONSTRUCTED TO BAL 12.5 UNDER SECTION 5 OF AS3959-2009

SITE AREA	727.1m <sup>2</sup>
SITE COVERAGE (HOUSE & BOATSHED)	113m <sup>2</sup> + 27.5m <sup>2</sup> = 140.5m <sup>2</sup> 20%
POOL AREA	85m <sup>2</sup> 12%
HARD SURFACE	31.6m <sup>2</sup> 4%
LANDSCAPED AREA	470m <sup>2</sup> 64%

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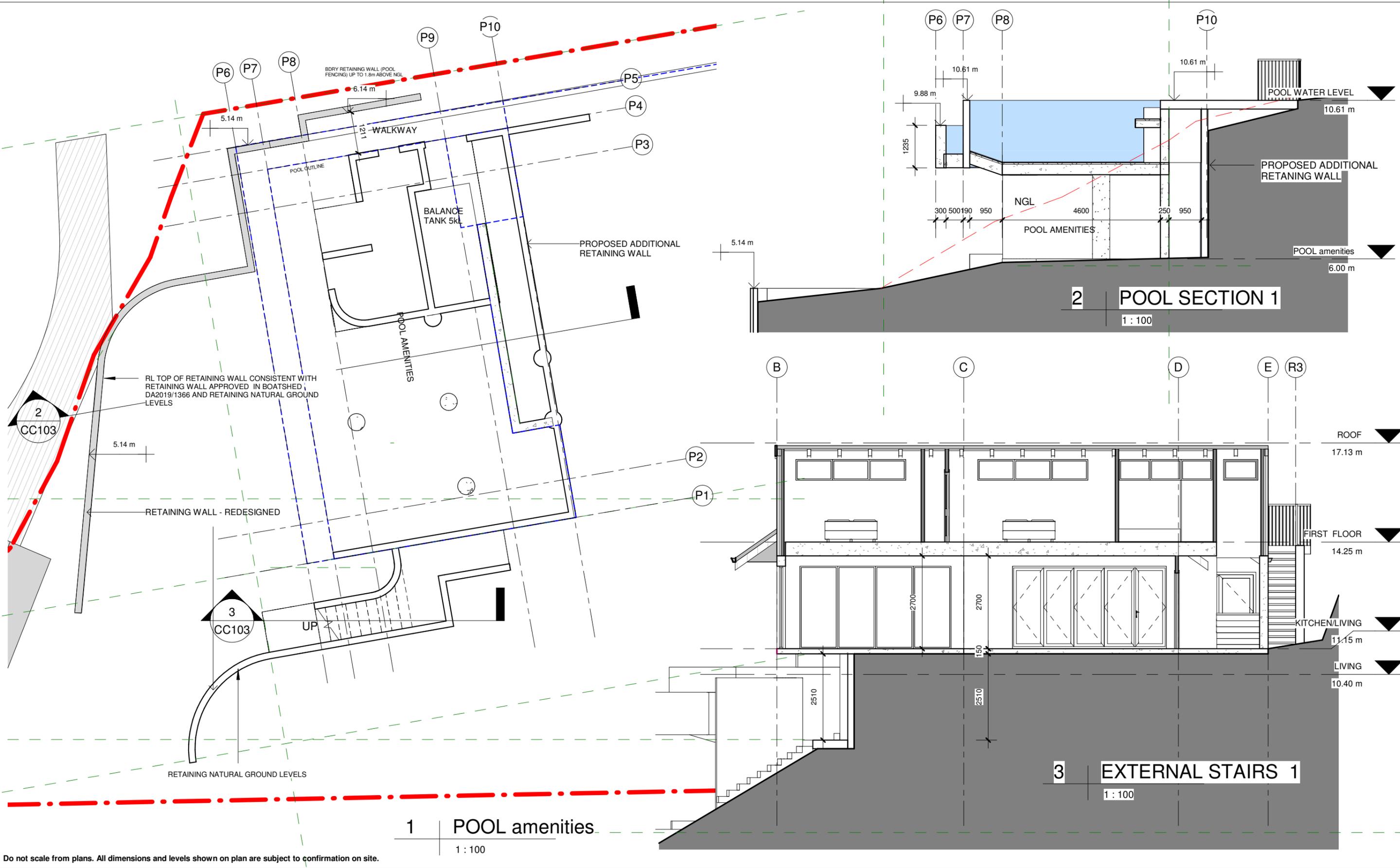
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**SHEET TITLE:** SITE PLAN  
**SHEET NO:** CC102  
**SCALE A3:** 1 : 200



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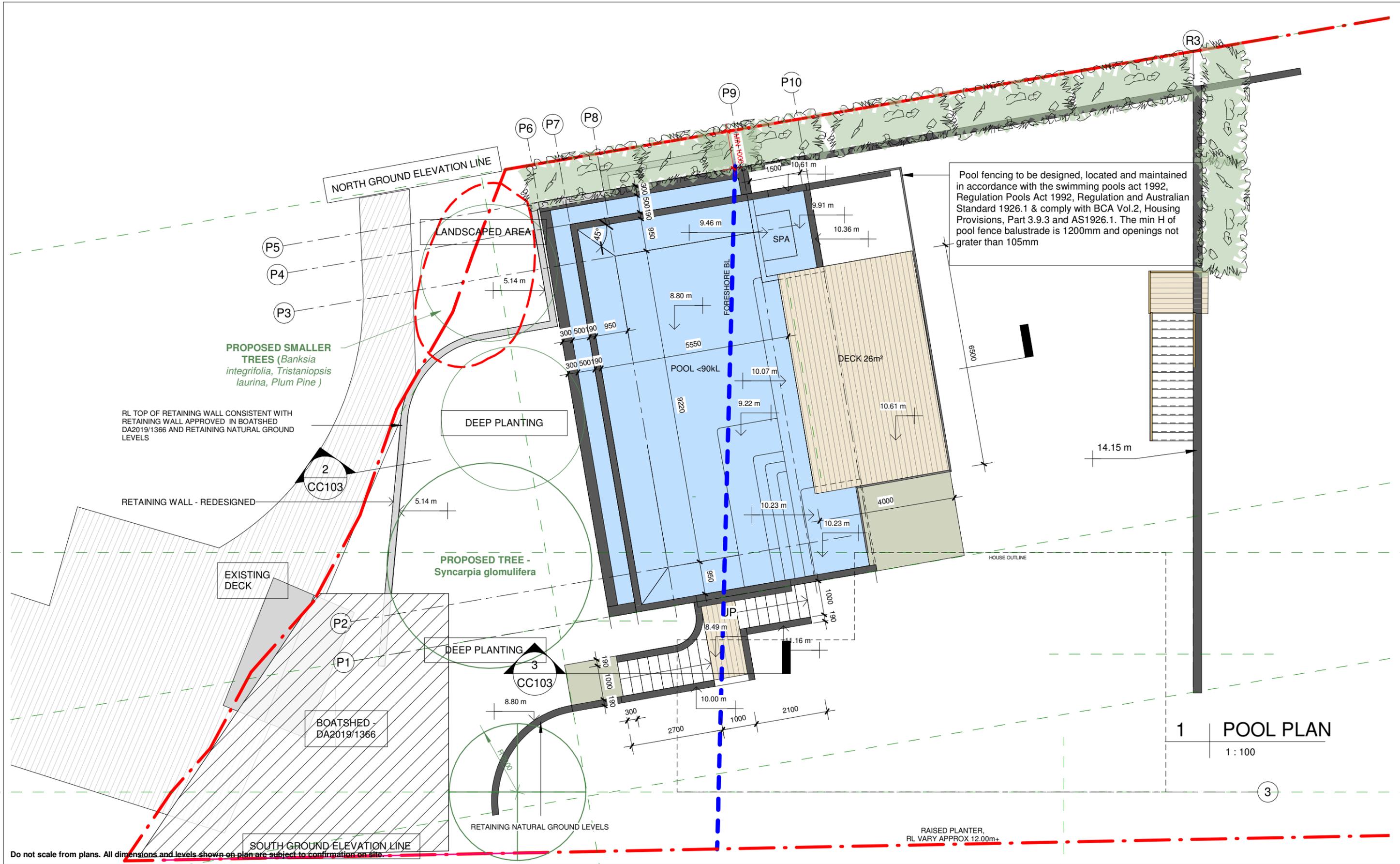
**AT:** 967 BARRENJOEY RD  
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**FOR:** SMJ INVESTMENTS PTY LTD

**SHEET TITLE:** POOL AMENITIES LEVEL

**SHEET NO:** CC103

**SCALE A3:** 1 : 100



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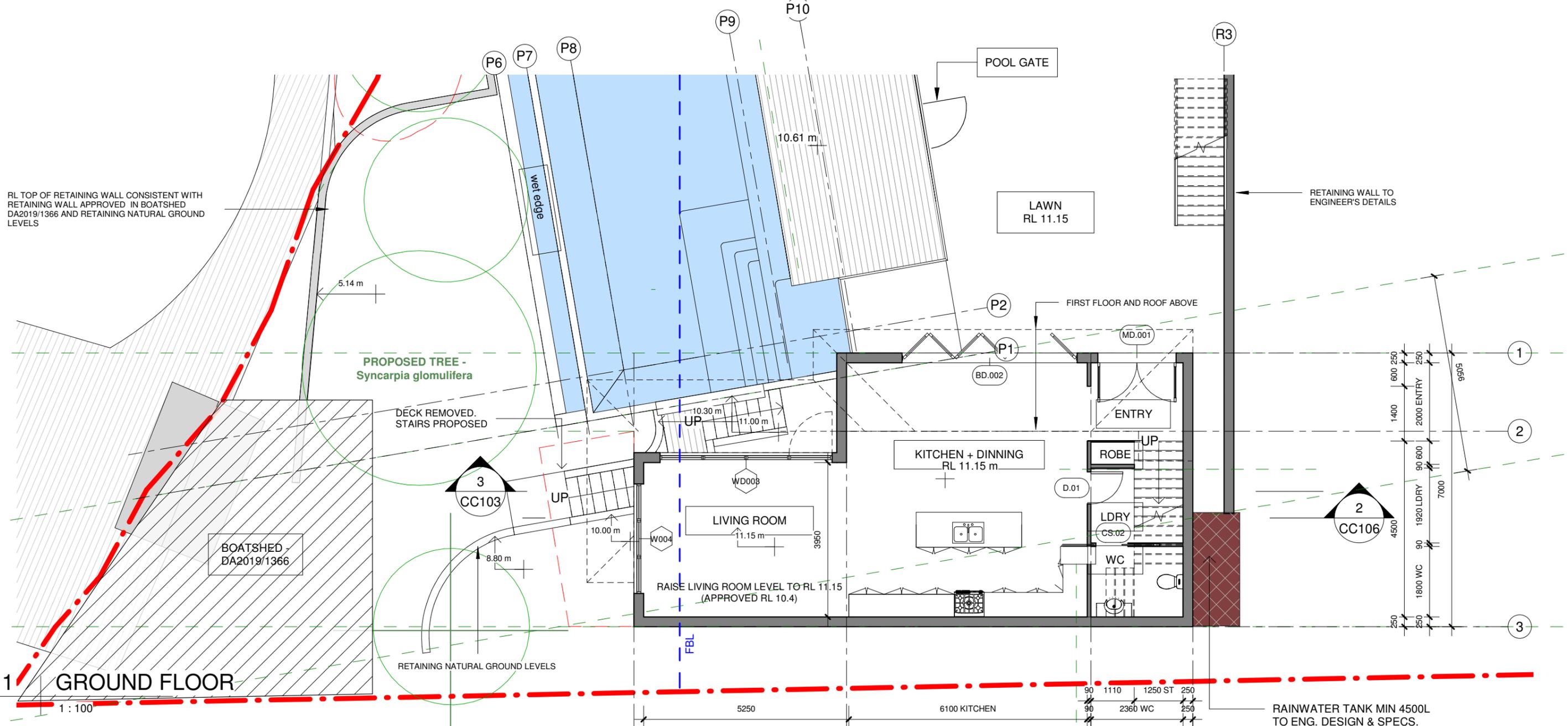
**FOR:** SMJ INVESTMENTS PTY LTD

**SHEET TITLE:** POOL PLAN

**SHEET NO.:** CC104

**SCALE A3:** 1 : 100

RL TOP OF RETAINING WALL CONSISTENT WITH RETAINING WALL APPROVED IN BOATSHED DA2019/1366 AND RETAINING NATURAL GROUND LEVELS



**1 GROUND FLOOR**

DOOR SCHEDULE				
Mark	Width	Height	Head Height	Comments
BD.002	4478	2400	2400	Bifold - North
CS.02	820	2040	2040	
D.01	820	2200	2200	
D.03	820	2040	2040	
D.04	820	2200	2200	
D.05	820	2040	2040	
MD.001	2000	2150	2150	
R.01	1524	2032	2032	
R.02	1524	2032	2032	

WINDOW SCHEDULE					
Type Mark	Opening Size		Head Height	Count	Comments
	Width	Height			
W004	2800	2400	2400	1	
W.101	1000	600	2400	1	North
W.102	2700	600	2400	1	North
W.103	3200	600	2400	2	North
W.105	1200	1200	2100	1	West
W.106	2500	600	2000	1	South
WD003	4400	2400	2400	1	

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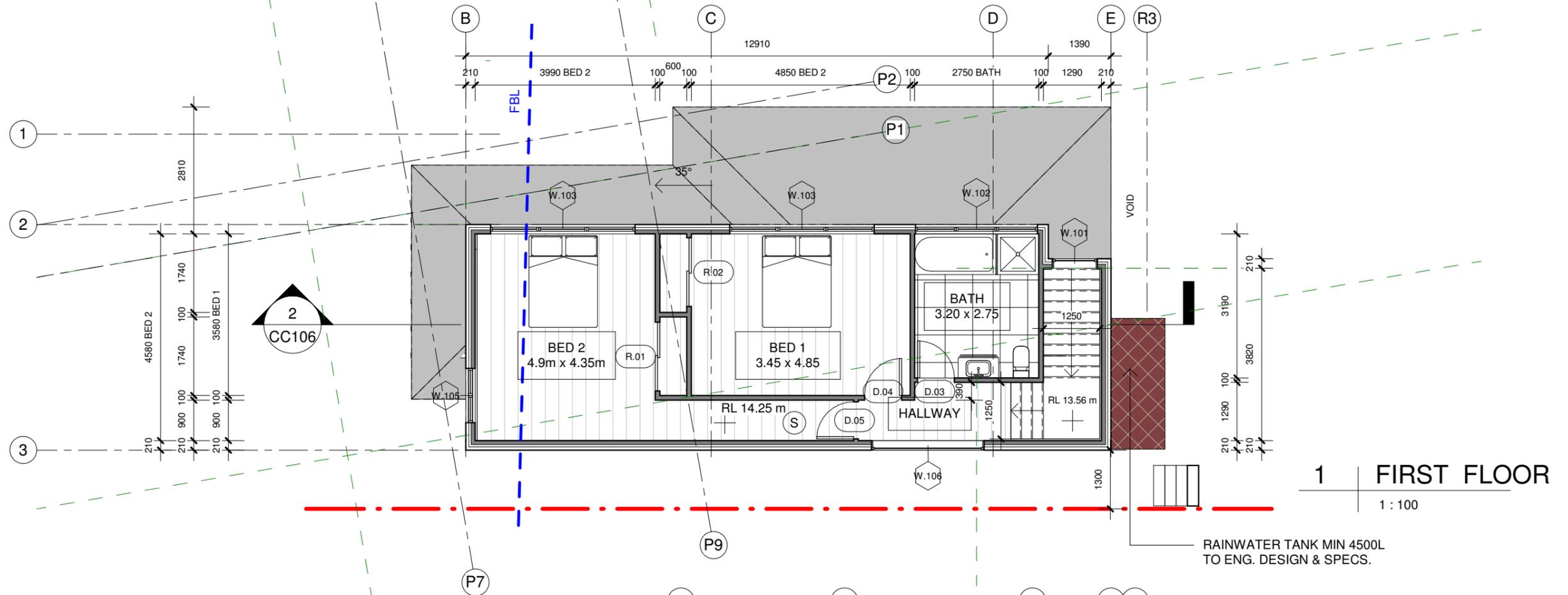
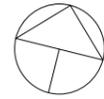
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**FOR:** SMJ INVESTMENTS PTY LTD

**SHEET TITLE:** GROUND FLOOR PLAN  
**SHEET NO.:** CC105  
**SCALE A3:** 1 : 100



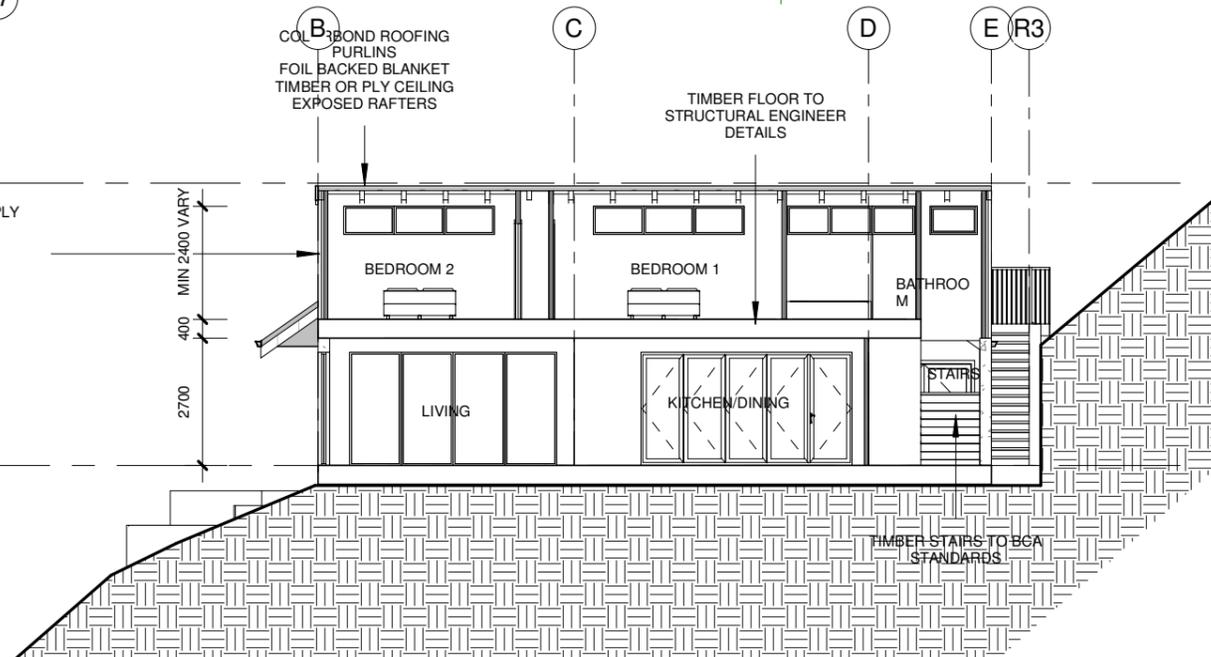
**1 | FIRST FLOOR**  
1 : 100

▼ ROOF  
17.13 m

▼ KITCHEN/LIVING  
11.15 m

▼ POOL WATER LEVEL  
10.61 m

SELECTED CLADDING TO COMPLY WITH BAL12.5 RATING  
SARKING MEMBRANE  
TIMBER STUD WALLS  
INSULATION R2.0  
PLASTERBOARD 10mm



ALL THE STRUCTURAL ELEMENTS INCLUDING:  
- FOUNDATIONS,  
- RETAINING WALLS,  
- MASONRY WALLS (IF ANY)  
- SUB-FLOORS  
- RAFTERS  
MUST BE DESIGN AND SPECIFIED BY THE STRUCTURAL ENGINEER

**2 | SECTION A**  
1 : 150

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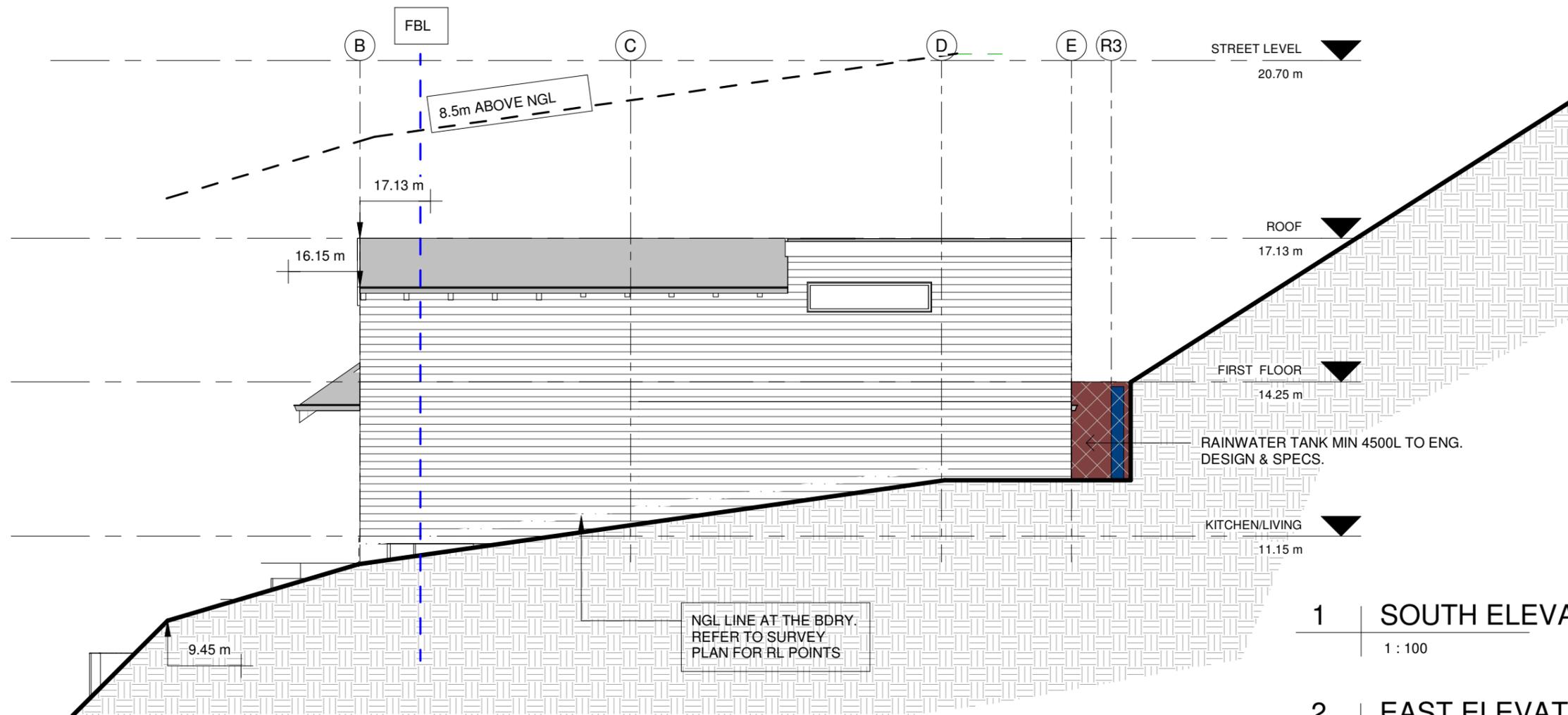
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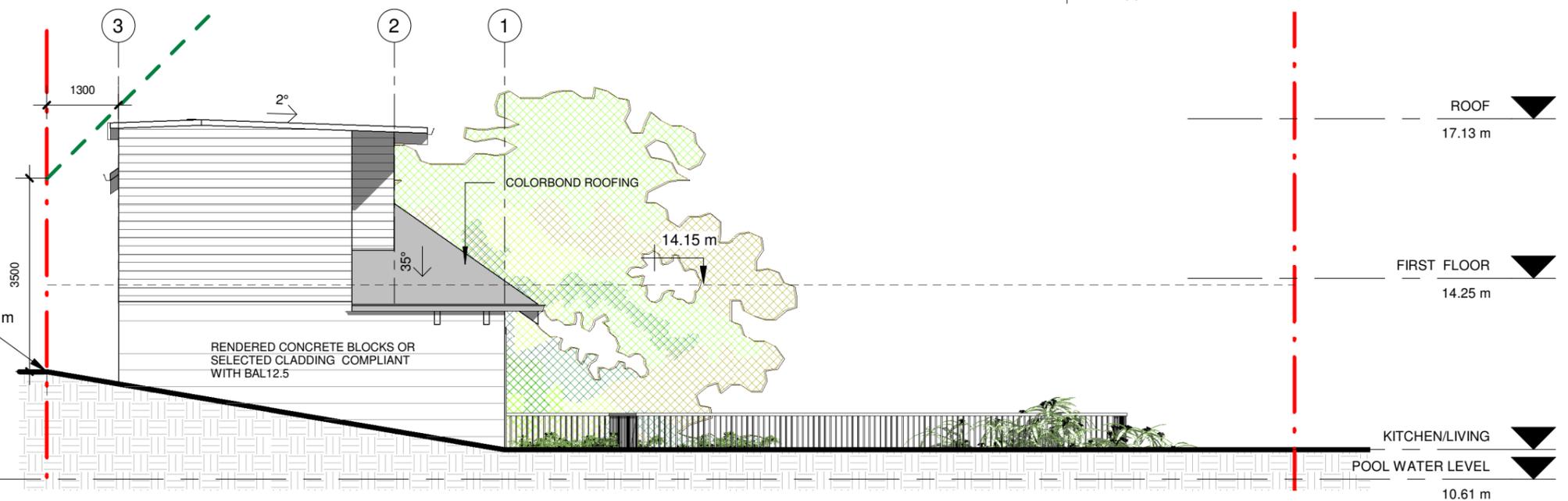
**SHEET TITLE:** FIRST FLOOR & SECTION A

**SHEET NO.:** CC106

**SCALE A3:** As indicated



- 1 | SOUTH ELEVATION  
1 : 100
- 2 | EAST ELEVATION  
1 : 100



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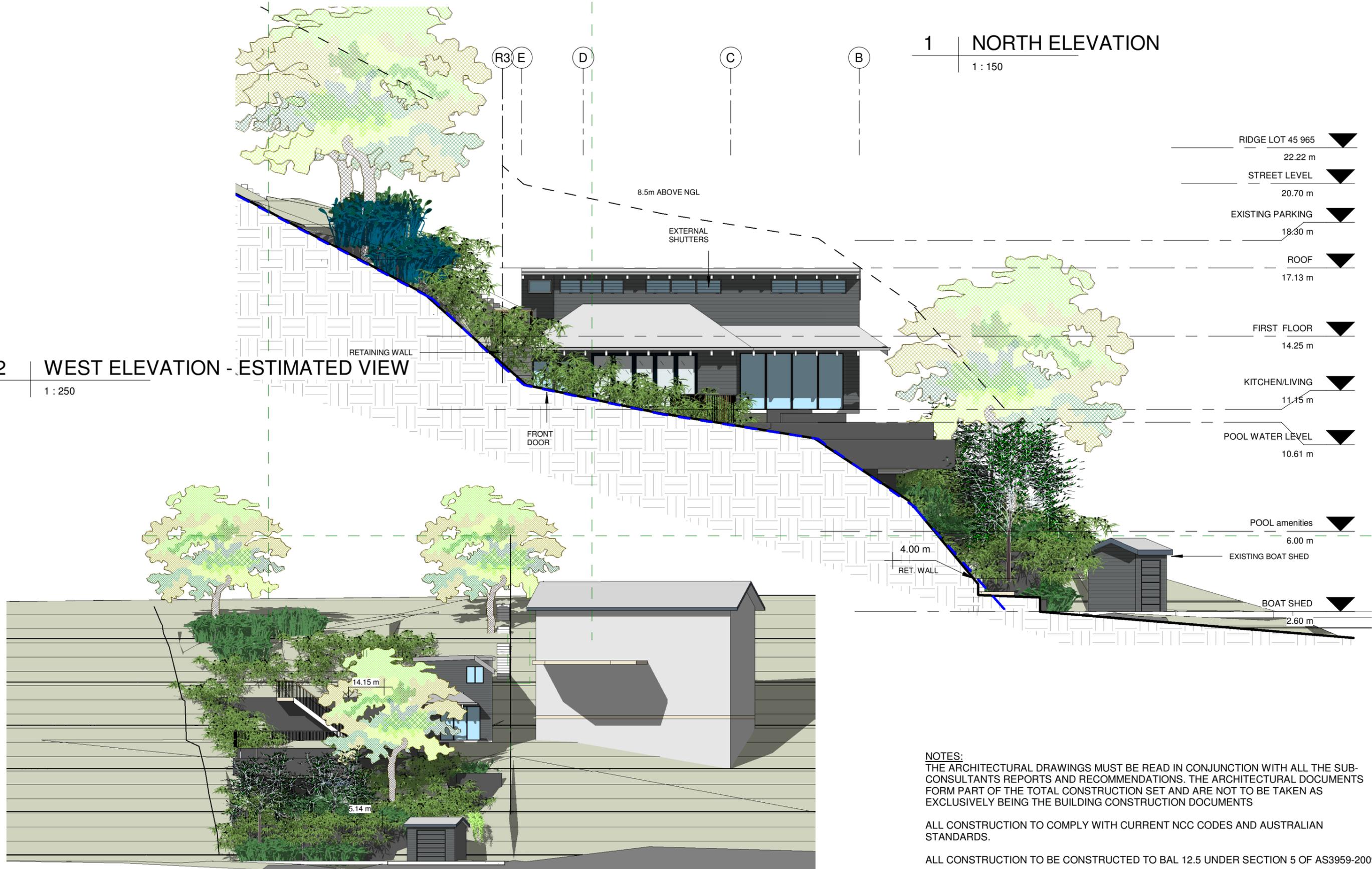
**SHEET TITLE:** SOUTH & EAST ELEVATION  
**SHEET NO.:** CC107  
**SCALE A3:** 1 : 100

# 1 NORTH ELEVATION

1 : 150

# 2 WEST ELEVATION - ESTIMATED VIEW

1 : 250



RIDGE LOT 45 965	22.22 m
STREET LEVEL	20.70 m
EXISTING PARKING	18.30 m
ROOF	17.13 m
FIRST FLOOR	14.25 m
KITCHEN/LIVING	11.15 m
POOL WATER LEVEL	10.61 m
POOL amenities	6.00 m
EXISTING BOAT SHED	
BOAT SHED	2.60 m

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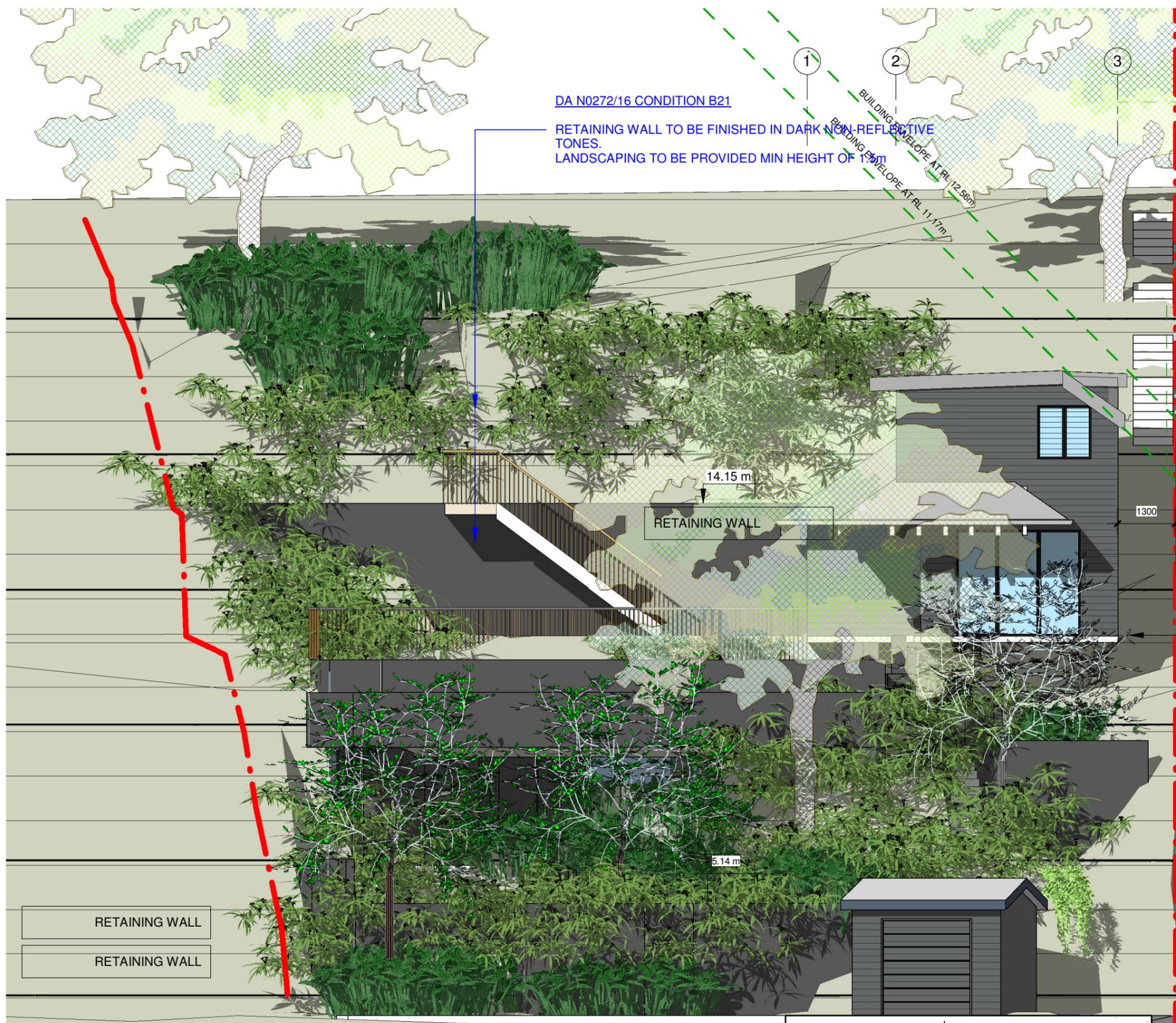
**FOR:** SMJ INVESTMENTS PTY LTD

**SHEET TITLE:** NORTH & WEST ELAVATIONS

**SHEET NO.:** CC108

**SCALE A3:** As indicated

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# 1 | WEST ELEVATION

1 : 100

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**SHEET TITLE:** WEST ELEVATION

**SHEET NO:** CC109

**SCALE A3:** 1 : 100