Telephone 1300 663 215 Facsimile (02) 9659 1633 PO Box 6160 Baulkham Hills BC NSW 2153

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R Moy & Associates Pty Ltd T/as Greenfield Accredited Certifiers ACN 100 924 605 ABN 23 100 924 605

# **Final Occupation Certificate**

Issued in accordance with section 109C(1)(c) of the Environmental Planning & Assessment Act 1979.

#### OCCUPATION CERTIFICATE NUMBER CC2006-07305

Subject Site Address

Macpherson Street, WARRIEWOOD 2102 Proposed Lot Nos 1801-1805 Stage 18 Lot 1801 Sector 8 Macpherson Street WARRIEWOOD 328260 PITTWATER COUNCIL 5 x Two Storey Dwellings with detached double garages

Applicant Name Applicant Address

**Description of Building Work** 

Owner Name Owner Address

**Council Area** 

DP

Australand Holdings Limited Level 3, 1C Homebush Bay Drive, RHODES 2138

Australand Holdings Limited Level 3, 1C Homebush Bay Drive, RHODES

List of documents relied upon by the PCA in making the determination: Council Submission Cheque \$30.00

Engineers Certificate For Piers And Slab Part A And B Pest Treatment Certificates Wet Areas Certificate Smoke Detectors Certificate Wet Areas Certificate Floor Level Survey Ridge Level Survey Final Identification Survey Rainwater Tank Certificate Engineers Compliance For Civil Works Section 73 Certificate Photographic Evidence Of Street Trees Landscaping Certificate

#### Inspections carried out during construction:

The following stages of construction were inspected and were found to be satisfactory with reference to inspection reports and/or compliance certificates issued by a certifying authority.

Date	Inspection	Inspected By	
05/07/06	Commencement	Kieran Tobin	
23/08/06	Framework	Kieran Tobin	
13/09/06	Wet Areas	Rick Moy	
22/09/06	Storm Water	Kieran Tobin	
15/11/06	Preliminary Final	Luke Jeffree	
23/11/06	Final OC Completion	Rick Moy	

(Continued on Page 2) R# 207045

07.12.06

Final Occupation Certificate

0 7 DEC 2006

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Page T of 2

#### SUBJECT SITE ADDRESS MACPHERSON STREET, WARRIEWOOD 2102

#### **OCCUPATION CERTIFICATE NUMBER CC2006-07305**

#### Statement by Certifying Authority:

I, the Certifying Authority for building works as described in this certificate, have satisfied myself that the following matters have been complied with:

- A current development consent or complying development certificate is in force for the building
- For building works, a current construction certificate (or complying development certificate) has been issued with respect to the plans and specifications for the building
- The building is suitable for occupation or use in accordance with its classification under the Building Code of Australia
- A fire safety certificate has been issued for the building where required under the Act
- A report from the Fire Commissioner has been considered where required under the Act

Signed Certifying Authority Accreditation Number Accreditation Body

Date of this Certificate

**Rick Moy** 2081 Department of Planning

4/12/2006

Final Occupation Certificate

Page 2 of 2

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## AUSTRALAND HOLDINGS LTD LOCKED BAG 2106 NORTH RYDE NSW 2113

13 September, 200

## SUBJECT: WATERPROOFING CERTIFICATE TFW Ref. 56793

This certifies that **FIBREFLASH** Waterproof Solutions completed installation of the waterproofing to the internal wet areas at the address below on September 13, 2006 :-

# 1803 CALLISTEMON WAY WARRIEWOOD

STAGE 1: Install the waterproofing membrane to the shower tray, perimeter walls and floor to all required wet areas.

STAGE 2: Provide waterproofing treatment to shower penetrations, bath seals, spindle seals and installation of the waterstop at doorways to all required wet areas.

This work was completed in accordance with Tables 2.1, 4.1 and Section 5 of Australian Standard 3740 - 2004 and the Building Code of Australia.

Yours faithfully,

Jeff SAYLE Operations Manager FIBREFLASH Waterproof Solutions GOLD LICENCE: 17790C

ABN: 93 003 987 424

- 61 Wellington Street Riverstone NSW 2765
- PO Box 257
   Riversione NSW 2765
- Ph: 02 9627 5500 Fax: 02 9627 3659



## AUSTRALAND HOLDINGS LTD LOCKED BAG 2106 NORTH RYDE NSW 2113

13 September, 200

## SUBJECT:

# WATERPROOFING CERTIFICATE

This certifies that **FIBR EFLASH** Waterproof Solutions completed installation of the waterproofing to the internal well areas at the address below on September 13, 2006 :-

# 1805 CALLISTEMON WAY WARRIEWOOD

STAGE 1: Install the waterproofing membrane to the shower tray, perimeter walls and floor to all required wet areas.

STAGE 2: Provide waterproofing treatment to shower penetrations, bath seals, spindle seals and installation of the waterstop at doorways to all required wet areas.

This work was completed in accordance with Tables 2.1, 4.1 and Section 5 of Australian Standard 3740 - 2004 and the Building Code of Australia.

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ABN: 93 003 987 424

- 61 Wellington Street
   Riverstone NSW 2765
- PO Box 257 Riversione NSW 2765
- Ph: 02 9627 5500 Fax: 02 9627 3659

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CERTIFICATE FOR INSTALLATION OF

RESIDENTIAL SMOKE ALARMS

Penrith NSW 2750 Telephone (02) 4721 7057 Facimile [02] 0721 7058 PREMISES pma į CLIENTS NAME:  $\supset$ וג LOCATION OF DETECTORS  $\boldsymbol{\prec}$ Cur S ALARM DETAILS: PRODUCT/MODEL No. 755 SUPPLIER: Clipsol 551. LISTING No: A53786-93 DATE OF INSTALLATION & TESTING

THIS SMOKE ALARM HAS BEEN INSTALLED IN ACCURDANCE WITH THE APPROVED PLANS AND AUSTRALIAN STANDARD STUL I ALSO CERTIFY THAT THE SMOKE DETECTORS HAVI BEEN CONNECTED TO THE MAINS POWER, ARE INTERCONNECTED WHER MORI THAN ONE ALARM IS INSTALLED AND HAVE STAND-BY POWER SUPPLY.

INSTALLERS DETAILS:

DIAS ELECTRICAL CONTRACTING FTY LTD 452 PEACHTREE ROAL, PENRILH NSW 2750

TELEPHONE: 0247 217 057

FAX: 0247 217 058

**SIGNATURE** DATE

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... TO QUALITY HOMEBUILDERS

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1, 52 Punching Road

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TELEPHONE: 0247 217 057 FAX: 0247 217 058 SIGNATURE: Dice DATE: 19/10/0	26.
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Diss Electrical Contracting Pty Ud APR 056 MA 333 IC 10 (575C CERTIFICATE FOR INSTALLATION OF Suite 4, 52 Prochare Rood RESIDENTIAL SMOKE ALARMS Purrith NSW 2750 Tulephone [02] 4721 7057 Foresimila [02] 4721 7058 PREMISES:  $\mathbf{\Omega}$ +@mor CLIENTS NAME LOCATION OF DETECTORS: I 🗙 otter X ins 0 ·, ALARM DETAILS: 4 PRODUCT/MODEL No. 755 SUPPLIER: Clipsol SSI. LISTING No: A53786-93 DATE OF INSTALLATION & TESTING THIS SMOKE ALARM HAS BEEN INSTALLED IN ACCOULDANCE WITH THE AFPROVED PLANS AND AUSTRALIAN STANDARD SING I ALSO CERTIFY THAT THE SMOKE DETECTORS HAVI BEEN CONNECTED TO THE MAINS POWER, ARE INTERCONNECTED WHER MORI THAN ONE ALARM IS INSTALLED AND HAVE STAND-BY POWER SUPPLY. INSTALLERS DETAILS DIAS ELECTRICAL CONTRACTING FTY LTD 452 FEACHTREE ROAL), FENRITH NSW 2750 TELEPHONE: 0247 217 017 FAX: 0247 217 058 SIGNATURE:

.... TO QUALITY HOMEBUILDERS

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P. 06

No. 7970 SP. 6 ELECTRICAL

TO QUALITY HOMEBUILDERS

Dies Eachied Controcting Pry Ltd .... CERTIFICATE FOR INSTALLATION OF MTH 056 844 350 UC NO 16575C RESIDENTIAL SMOKE ALARMS 52 Practine Rood Telephone [02] 4721 7057 11h NSW 2750 Forciantle (02) 4721 7058 15 PREMISESmon ź CLIENTS NAME: 20 LOCATION OF DETECTORS; Лłг ÷ ALARM DETAILS: ÷ PRODUCT/MODEL No. 755 SUPPLIER: Clipsol SSI. LISTING No: A537'86-93 DATE OF INSTALLATION & TESTING : THIS SMOKE ALARM HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND AUSTRALIAN STANDARD STUE I ALSO CERTIFY THAT' THE SMOKE DETECTORS HAV!! BEEN CONNECTED TO THE MAINS POWER. ARE INTERCONNECTED WHER MORI THAN ONE ALARM IS INSTALLED AND HAVE STAND-BYPOWER SUPPLY. INSTALLERS DETAILS DIAS ELECTRICAL CONTRACTING PTY LTD 452 FEACHTREE ROAL), PENRITH NSW 2750 TELEPHONE: 0247 217 017 FAX: 0247 217 058

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AUSTRALAND L&H

## BUILDING INDUSTRY PEST SERVICES

÷ P.C. Licence No: 611 Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200 Phone: (02) 9709 2011 Fax: (02) 9708 6306 II: (: 11227

A.C.N. 002313439

# CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments

may be required to completely protect your home. WARRIEWOOD, 1801-1805 CALLISTEMON WAY (SEC8) [lot

SITE ADDRESS: AUSTRALAND PROPERTIES BUILDER OR OWNER:

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspacted. Any additions, altorations or earth works, Including gardening adjacent to the building, may render the chemical or Granit gard barries ineffective.



DATE OF TREATMENT: 19-5-2006 Area Protected: 85.6 square metres Materials Applied: PVA J51.016

Certification This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf. Signatur#: Applied by: P Nies Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.

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uilder: AUSTRALAND te Address: Lot 1801-180 WARRICL	ROPERTIES 05 CALLISTE	(BIPS) mon GAY	Date: 17-5- Job Sheet No: 2-84 6 2-3 4 6	21651
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AUSTRALAND L&H

FAX NO. +61 2 9767 2944

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# BUILDING INDUSTRY PEST SERVICES

P.C. Licence No: 611

Head Office: Suite 9, 39 Stanley Street, Bankstowr NSW 2200 Phone: (02) 9709 2011 Fax: (02) 9708 6306 D 1: 11227

A.C.N. 002313439

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## WARRIEWOOD, 1801-1805 CALLISTEMON WAY (SEC8) [lot

#### SITE ADDRESS: AUSTRALAND PROPERTIES

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DATE OF TREATMENT: 19-5-2006 Area Protected: 85.6 square metres Materials Applied: PVA J51.016

> .. .

Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overlaaf.

Applied by: P Nies Signature:

Warranty is 12 months unless indicated otherwise. See 'Warranty Conditions overleaf.

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## BUILDING INDUSTRY PEST SERVICES

P.C. Licence No: 611

Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200 Phone: (02) 9709 2011 Fax: (02) 9708 6306 Life: 11227

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P Nies Applied by:

Signature:

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.

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B	JILDING INDUSTRY PEST (ERVICES SUBSIDIARY OF ENVIROPEST P/I. Bankstown N.S.W 2200 T-4-(02) 9793 2166
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## BUILDING INDUSTRY PEST SEFIVICES

P.C. Licence No: 611

Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200 Phone: (02) 9709 2011 Fax: (02) 9708 6306 3X: 11227

A.C.N. 002313439

# CERTIFICATE OF TREA

This document is official certification that the building described has then treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments

may be required to completely protect your home.

## WARRIEWOOD, 1801-1805 CALLISTEMON 'WAY (SEC8) [lot

#### SITE ADDRESS: AUSTRALAND PROPERTIES BUILDER OR OWNER:

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is sufficeted. Any additions, alterations or earth works, Including gardening adjacent to the building, may render the chemical of Granit gard barrier ineffective.



DATE OF TREATMENT: 19-5-2006 Area Protected: 0 square metres

Certification This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf. Signature: Applied by: P Nics Warranty is 12 months unless indicated otherwise. Set Warranty Conditions overleaf.

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U2-NUV-2006 THU 15:28 2. Nov. 2006 15:48 AUSTRALAND L&H CRAIG & RHODES 61 2 9869 2341

FAX NO. +61 2 9767 2944

No. 0822 P. 14





Suite 400, Level 4, 16-18 Cambridge Street, Epping (Post) PO box 233, Epping NSW 1710 DX 4408 EPPING Tel: 02 9869 1855 Fax: 02 9869 2341 Email: reception@crhodes.com.au Web: www.craigandrhodes.com.au

ABN 77 050 209 991 INCORPORATING JOHN G. NELSON & ASSOCIATES



## SURVEYOR'S REPORT

Ref: 1710-8-18

2 November, 2006

## Re: Proposed Lot 1805 CALLISTEMON WAY, WARRIEWOOD.

### LAND:

In accordance with instructions received from your firm, we have canted out a survey on Proposed Lot 1805 in unregistered D.P.11C3424 situated at Callistemon Way, Warriewood, in the Local Government Area of Pittwater, Parish of Narrabeen, and County of Cumberland, D.P.1103124 is a subdivision of Lot 18 in unregistered D.P.1103287. D.P.1103287 is a subdivision of Lo: 7 in unregistered D.P.1092802. D.P. 1092802 is a subdivision of Lot 10 in D.P.10031788. The current description of the subject land is part Lot 10 in D.P.1092788 being part of the land in Certificate of Title Follo Identifier 10/1092788. The subject property is shown edged green on the

accompanying sketch.

## EASEMENTS & RESTRICTIONS:

- ... Affecting Lot 10 D.P.1092788 but not the subject property proposed Lot 1805 is a Right of Carriageway and Easement for Servicius 5 wide as set out in Instrument lodged with the abovementioned D.P.1092788.
- ... Affecting Lot 10 D.P.1092788 but not the subject property proposed Lot 1805 is an Easement for Transmission Line 4.57 wide vide J0."8366.
- ... Affecting Lot 10 D.P.1092788 but not the subject property proposed Lot 1805 is an Easement for Transmission Line 4.57 wide vide J8(4099.

Upon registration of the abovementioned D.P.1092802, ID.P.1092387 and D.P.1103124 the following additional easements and restrictions will apply to the subject property: -

- ... Affecting the land will be a Restriction on the Use of Land as set out in Instrument lodged with the abovementioned D.P.1092802.
- ... Affecting the land will be a Positive Covenant as set out in the Instrument lodged with the abovementioned D.P.1092802.
- ... Affecting and appurtenant to the land will be Easements for Support 0.3 wide as set out in Instrument to be lodged with the abovementioned D.P.1103124 shown labelled 'A' on sketch.
- ... Affecting and appurtenant to the land will be Eastments for Maintenance, Access and Overhang 0.8 wide as set out in Instrument to he lodged with the abovementioned D.P.1103124 shown labelled 'B' on sketch.
- ... Appurtenant to the land will be an Easement for l'elevision Signal Reception Services Over Existing Line of Cables as set out in Instrument to be lodged with the abovementioned D.P.1103124 shown labelled 'C' on sketch.

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- 2. Nov. 2006 15:48 CRAIG & RHODES 61 2 9869 2341

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No. 0822 P. 15

Page 2 of 2

Survey Report: 1710-8-18 AUSTRALAND proposed lot 1805 Califisternon Way, WARRIEWOOD 1-11-06

... Affecting the land will be a Restriction on the Use of Land as set out in Instrument to be lodged with the abovementioned D.P.1103124 and referred to hereunder.

#### IT IS MY OPINION:

- ... The 2 Storey Brick Dwelling together with Brick Garage stands in relation to the subject boundaries as shown on sketch.
- ... Encroachments by and/or upon the subject property exist as shown on the sketch.
- ... Encroachments of common walls are permitted within the terms of the abovementioned Easement for Support 0.3 wide.
- ... Encroachments of roof overhangs are within the abovementioned Easements for Maintenance, Access and Overhang 0.8 wide and are permitted to remain under the terms of those easements.
- ... The property is known as Proposed Lot 1805 Call stemon Way, Warriewood and has frontages to Callistemon Way and Songlark Way, which will be dedicated as public roads upon the registration of D.P.1092802. The part of Songlark Way labelled 'X' on sketch is public road.
- ... Reduced levels of the ground floor slab, first floor, and roof ridge based on Australian Height Datum are as shown in red on sketch.
- ... The property complias with the Restriction on the Use of Land contained in Instrument to be lodged with the abovementioned D.P.1103124.
- ... The property is not fenced.
- ... Other than as shown on the sketch and reighted to in the report, no visible encroachments were observed by or upon the subject property.

The subject property has been surveyed for identification purposes only and survey marks should be placed if structures are to be erected on or near the boundaries.

Date of Survey:

14 September, 2006

Fral Hall.

Graham J Hall Land Surveyor registered under The Surveying Act, 2002

Instructed by:

Australand Holdings Limited D.X. 8419 RYDE



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FAX NO. +61 2 9767 2944

P. 5



P. 04/13



Suite 400, Level 4, 16-18 Cambridge Street, Epping Surviviore cloce ( PI) (Post) PO box 233, Epping NSW 1710 DX 4408 EPPING Tel: 02.9869 1855 Fax: 02 9869 2341

Email: reception@crhodes.com.au Web: www.cralgandrhodes.com.au

ABN 77 050 209 991

INCORPORATING JOHN G. NELSON & ASSOCIATES



## SURVEYOR'S REFIDRT

Ref: 1710-8-18

2 November, 2006

#### Proposed Lot 1802 CALLISTEMON WAY, WARRIEWOOD. Re:

## LAND:

...

In accordance with instructions received from your firm, we have carried out a survey on Proposed Lot 1802 in unregistered D.P.1103124 situated at Callistemon Way, Warriewood, in the Local Government Area of Pittwater, Parish of Narrabeen, and County of Cumberland. D.P.1103124 is a subdivision of Lot 18 in unregistered D.P.1103287. D.P.1103287 is a subdivision of Lot 7 In unregistered D.P.1092802.

D.P. 1092802 is a subdivision of Lot 10 in D.P.1002788. The current description of the subject land is part Lot 10 in D.P.1092788 being part of the land in Certificate of Title Folio Identifier 10/1092788. The subject propulty is shown edged green on the accompanying sketch.

## EASEMENTS & RESTRICTIONS:

- Affecting Lot 10 D.P.1092788 but not the subject property proposed Lot 1802 is a . . . Right of Carriageway and Easement for Services 5 wide as set out in Instrument lodged with the abovementioned D.P.1092788.
- Affecting Lot 10 D.P.1092788 but not the subject property proposed Lot 1802 is an ... Easement for Transmission Line 4.57 wide vide J978366.
- Affecting Lot 10 D.P.1092768 but not the subject property proposed Lot 1802 is an ... Easement for Transmission Line 4.57 wide vide Jfi 54099

Upon registration of the abovementioned D.P.1092802, D.P.1092387 and D.P.1103124 the following additional easements and restrictions will apply :p the subject property: -

- Affecting the land will be a Restriction on the Une of Land as set out in Instrument • • • lodged with the abovementioned D.P.1092802.
- Affecting the land will be a Positive Covenant as set out in the Instrument lodged with ... the abovementioned D.P.1092802.
- Affecting and appurtenant to the land will be Easuments for Support 0.3 wide as set ... out in Instrument to be lodged with the abovementioned D.P.1103124 shown labelled 'A' on sketch.
- Affecting and appurtenant to the land will be Easuments for Maintenance, Access and ... Overhang 0.8 wide as set out in Instrument to be lodged with the abovementioned D.P.1103124 shown labelled 'B' on sketch.
- Affecting and appurtenant to the land will be Easements for Television Signal ... Reception Services Over Existing Line of Cables as set out in Instrument to be lodged with the abovementioned D.P.1103124 shown la belied 'C' on sketch.

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## CRAIG & RHODES Pty Ltd

Page 2 of 2

Survey Report: 1710-8-18 ALISTRALAND proposed lot 1802 Califs turnon Way, WARRIEWOOD 1-11-06

... Affecting the land will be a Restriction on the Use of Land as set out in Instrument to be lodged with the abovementioned D.P.1103124 and referred to hereunder.

#### IT IS MY OPINION:

- ... The 2 Storey Brick Dwelling together with Brick Garage stands in relation to the subject boundaries as shown on sketch.
- ... Encroachments by and/or upon the subject property exist as shown on the sketch.
- ... Encroachments of common walls are pennitted within the terms of the abovementioned Easement for Support 0.3 wide.
- Encroachments of roof overhangs are within the abovementioned Easements for Maintenance, Access and Overhang 0.8 wide an: I are permitted to remain under the terms of those easements.
- ... The property is known as Proposed Lot 1802 Callistemon Way, Warrlewood and has frontages to Callistemon Way and Songlark Way which will be dedicated as public roads upon the registration of D.P.1092802.
- ... Reduced levels of the ground floor slab, first floor, and roof ridge based on Australian Height Datum are as shown in red on sketch.
- ... The property complies with the Restriction on the l.lse of Land contained in Instrument to be lodged with the abovementioned D.P.1103124.
- ... The property is not fenced.
- ... Other than as shown on the sketch and refurred to in the report, no visible encroachments were observed by or upon the subjact property.
  - The subject property has been surveyed for identilication purposes only and survey marks should be placed if structures are to be erected on or near the boundaries.

Date of Survey:

14 September, 2006

wah - Hale.

Graham J Hall Land Surveyor registered under The Surveying Act, 2002

Instructed by:

Australand Holdings Limited D.X. 8419 RYDE



02-NOV-2006 THU 15:28

- 2. Nov. 2006 15:47

AUSTRALAND L&H CRAIG & RHODES 61 2 9869 2341

FAX NO. +61 2 9767 2944

No. 0822 . P. 8.





Suite 400, Level 4, 16-18 Cambridge Street, Epping (Post) PO box 233, Epping NSW 1710 DX 4408 EPPING Tel: 02 9869 1855 Fax: 02 9869 2341 Email: reception@crhodes.com.au Web; www.craigandrhodes.com.au

ABN 77 050 209 991

INCORPORATING JOHN G. NELSON & ASSOCIATES



## SURVEYOR'S REPORT

Ref: 1710-8-18

2 November, 2006

## Re: Proposed Lot 1803 CALLISTEMON WAY, WARRIEWOOD.

## LAND:

---

In accordance with instructions received from your firm, we have carried out a survey on Proposed Lot 1803 in unregistered D.P.1103124 situated at Callistemon Way, Warriewood, in the Local Government Area of Pittwater, Parish of Narrabeen, and County of Cumberland. D.P.1103124 is a subdivision of Lot 18 in unregistered D.P.1103287. D.P.1103287 is a subdivision of Lot 7 in unregistered D.P.1092802. D.P. 1092802 is a subdivision of Lot 10 in D.P.1032788. The current description of the subject land is part Lot 10 in D.P.1092788 being part of the land in Certificate of Title Folio Identifier 10/1092788. The subject property is shown edged green on the accompanying sketch.

## EASEMENTS & RESTRICTIONS:

- ... Affecting Lot 10 D.P.1092788 but not the subject property proposed Lot 1803 is a Right of Carriageway and Easement for Services 5 wide as set out in Instrument lodged with the abovementioned D.P.1092788.
- ... Affecting Lot 10 D.P.1092788 but not the subject property proposed Lot 1803 is an Easement for Transmission Line 4.57 wide vide J 178366.
- ... Affecting Lot 10 D.P.1092788 but not the subject property proposed Lot 1803 is an Easement for Transmission Line 4.57 wide vide J154099

Upon registration of the abovementioned D.P.1092802 D.P.1092387 and D.P.1103124 the following additional easements and restrictions will apply to the subject property: -

- ... Affecting the land will be a Restriction on the Live of Land as set out in Instrument lodged with the abovementioned D.P.1092802.
- ... Affecting the land will be a Positive Covenant as yet out in the Instrument lodged with the abovementioned D.P.1092802.
- ... Affecting and appurtenant to the land will be Eastments for Support 0.3 wide as set out in Instrument to be lodged with the abovement oned D.P.1103124 shown labelled 'A' on sketch.
- ... Affecting and appurtement to the land will be Eastements for Maintenance, Access and Overhang 0.8 wide as set out in Instrument to the lodged with the abovementioned D.P.1103124 shown labelled 'B' on sketch.
- ... Affecting the land will be Easements for Televis on Signal Reception Services Over Existing Line of Cables as set out in Instrument to be lodged with the abovementioned D.P.1103124 shown labelled 'C' on sketch.

P. 07/13

02-NOV-2006 THU 15:28	AUSTRALAND L&H	FAX NO. +61
· 2. Nov. 2006 15:48	CRAIG & RHODES 61 2 9869	2341

## P. 08/13

P. 9

## CRAIG & RHODES Pty Ltd

Page 2 of 2

Survey Report: 1710-8-18 AUSTRALAND proposed lot 1803 Callisismon Way, WARRIEWOCD 1-11-06

Affecting the land will be a Restriction on the Use of Land as set out in Instrument to be .... lodged with the abovementioned D.P.1103124 and referred to hereunder.

#### IT IS MY OPINION:

- The 2 Storey Brick Dwelling together with Brick Garage stands in relation to the subject ... boundaries as shown on sketch.
- Encroachments by and/or upon the subject proper () exist as shown on the sketch. ...
- Encroachments of common walls are perrulted within the terms of the . . . abovementioned Easement for Support 0.3 wide.
- Encroachments of roof overhangs are within this abovementioned Easements for Maintenance, Access and Overhang 0.8 wide and are permitted to remain under the terms of those easements.
- The property is known as Proposed Lot 1803 Callstemon Way, Warriewood and has ... frontages to Callistemon Way and Songlark Way, which will be dedicated as public roads upon the registration of D.P.1092802.
- Reduced levels of the ground floor slab, first floor, and roof ridge based on Australian \*\*\* Height Datum are as shown in red on sketch.
- The property complies with the Restriction on the Lise of Land contained in Instrument ... to be lodged with the abovementioned D.P.1103124.
- The property is not fanced. ...
- Other than as shown on the sketch and returned to in the report, no visible \*\* 1 encroachments were observed by or upon the subject property.

The subject property has been surveyed for identification purposes only and survey marks should be placed if structures are to be erected on or near the boundaries.

Date of Survey:

14 September, 2006

ral Hall.

Graham J Hall Land Surveyor registered under The Surveying Act, 2002

Instructed by:

Australand Holdings Limitec D.X. 8419 RYDE

	W-2006 WED 07:53 AUSTRALAND L&A FAX NO. 701 2 9707 2944 F. 05
28 1	lov 2006 5:11PM Anna King Landscape Arcy 0248771355 p.5
	Pittwater Council Component Certificate
	DA No:
	CC No:
	Property: SECTOR & STAGE 18 (1801-1805) CALUSTEMON WAY, WARRIEWOOD
,	Landscaping
$\smile$	(Name) of ANNA KING LANDSCAPE ARCHITEC
	at "WOLLI" PO BOX 26 BERRIN/IA NSW 2577 (Mailing Address)
	being a:
	qualified horticulturist
	Iandscape architect
	my qualifications being: BLARCH AAILA
$\bigcirc$	

hereby certify that the site landscaping has been compluted in accordance with the details shown on the approved plans or as required by any condition of Development Consent.

Further, I am appropriately qualified and experienced to provide the certification for this component of the project.

.... Signature

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2. Nov. 2006 15:47

ENGINEERS

AUSTRALAND L&H

PLANNERS

CRAIG & RHODES 61 2 9869 2341



FAX NO. +61 2 9767 2944

57 2944 P. 02/13 No. 0822 P. 2

Suite 400, Level 4, 16-18 Cambridge Street, Epping (Post) PO box 233, Epping NSVV 1710 DX 4408 EPPING Tel: 02 9869 1855 Fax: 03 9869 2341 Email: reception@crhodes.com.au Web: www.craigandrhodes.com.au

ABN 77 050 209 991

SURVEYORS

INCORPORATING JOHN G, NELSON & ASSOCIATES



## SURVEYOR'S REFORT

Ref: 1710-8-18

2 November, 2006

## Re: Proposed Lot 1801 CALLISTEMON WA'r', WARRIEWOOD.

## LAND:

....

In accordance with Instructions received from your firm, we have carried out a survey on Proposed Lot 1601 in unregistered D.P.1113124 situated at Callistemon Way, Warriewood, in the Local Government Area of Pittwater, Parish of Narrabeen, and County of Cumberland. D.P.1103124 is a subdivision of Lot 18 in unregistered D.P.1103287. D.P.1103287 is a subdivision of Lot 7 in unregistered D.P.1092802. D.P. 1092802 is a subdivision of Lot 10 in D.P.1062788. The current description of the subject land is part Lot 10 in D.P.1092788 being part of the land in Certificate of Title

Folio Identifier 10/1092788. The subject property is shown edged green on the accompanying sketch.

## EASEMENTS & RESTRICTIONS:

- ... Affecting Lot 10 D.P.1092788 but not the subjuct property proposed Lot 1801 is a Right of Carriageway and Easement for Servicus 5 wide as set out in Instrument lodged with the abovementioned D.P.1092788.
- ... Affecting Lot 10 D.P.1092788 but not the subject property proposed Lot 1801 is an Easement for Transmission Line 4.57 wide vide 1978366.
- ... Affecting Lot 10 D.P.1092788 but not the subjett property proposed Lot 1801 is an Easement for Transmission Line 4.57 wide vide .1154099.

Upon registration of the abovementioned D.P.1092802, D.P.1092387 and D.P.1103124 the following additional easements and restrictions will apply to the subject property: -

... Affecting the land will be a Restriction on the Lipe of Land as set out in instrument lodged with the abovementioned D.P.1092802.

... Affecting the land will be a Positive Covenant as just out in the Instrument lodged with the abovementioned D.P.1092802.

- ... Affecting and appurtenant to the land will be Eas ments for Support 0.3 wide as set out in Instrument to be lodged with the abovement loned D.P.1103124 shown labelled 'A' on sketch.
- ... Appurtenant to the land will be Easements for Millintenance, Access and Overhang 0.8 wide as set out in Instrument to be lodged with the abovementioned D.P.1103124 shown labelled 'B' on sketch.
- ... Appurtenant to the land will be an Easement for 'Television Signal Reception Services Over Existing Line of Cables as set out in Instrument to be lodged with the abovementioned D.P.1103124 shown labelled 'C' on sketch.

CRAIG & RHODES Pty Ltd	Page 2 of 2
Survey Report: 1710-8-18 AUSTRALAND proposed lot 1801 Califistur	ion Way, WARRIEWOOD 19-8-06

... Affecting the land will be a Restriction on the Use of Land as set out in Instrument to be lodged with the abovementioned D.P.1103124 and referred to hereunder.

#### IT IS MY OPINION:

- ... The 2 Storey Brick Dwelling together with Brick Garage stands in relation to the subject boundaries as shown on sketch.
- ... Encroachments by and/or upon the subject propert / exist as shown on the sketch.
- ... Encroachments of common walls are permitted within the terms of the abovementioned Easement for Support 0.3 wide.
- ... Encroachments of roof overhangs are within the abovementioned Easements for Maintenance, Access and Overhang 0.8 wide and are permitted to remain under the terms of those easements.
- ... The property is known as Proposed Lot 1801 Callittemon Way, Warriewood and has frontages to Callistemon Way and Songlark Way, which will be dedicated as public roads upon the registration of D.P.1092802.
- ... Reduced levels of the ground floor slab, first floor, and roof ridge based on Australian Height Datum are as shown in red on sketch.
- ... The property complies with the Restriction on the Use of Land contained in Instrument to be lodged with the abovementioned D.P.1103121.
- ... The property is not fenced.
- ... Other than as shown on the sketch and referred to in the report, no visible encroachments were observed by or upon the sublight property.

The subject property has been surveyed for identification purposes only and survey marks should be placed if structures are to be erected on or near the boundaries.

Date of Survey:

14 September, 2006

Hall.

Graham J Hall Land Surveyor registered under The Surveying Act, 2002

Instructed by:

Australand Holdings Limited D.X. 8419 RYDE





... Affecting and appurtenant to the land will be Easentents for Maintenance, Access and Overhang 0.8 wide as set out in instrument to be lodged with the abovementioned D.P.1103124 shown labelled 'B' on sketch.

... Affecting and appurtenant to the land will be Easements for Television Signal Reception Services Over Existing Line of Cables all set out in Instrument to be lodged with the abovementioned D.P.1103124 shown laber ed 'C' on sketch.

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- 2. Nov. 2006 15:48	CRAIG & RHODES 61 2 9869	2341 No. 0822	P. 12

CRAIG & RHODES Pty Ltd		

Survey Report: 1710-8-18 AUSTRALAND proposed lot 1804 Call Johnson Way, WARRIEWOOD 1-11-06

... Affecting the land will be a Restriction on the Use of Land as set out in Instrument to be lodged with the abovementioned D.P.1103124 and referred to hereunder.

IT IS MY OPINION:

- ... The 2 Storey Brick Dwelling together with Brick Garage stands in relation to the subject boundaries as shown on sketch.
- ... Encroachments by and/or upon the subject prope ty exist as shown on the sketch.
- ... Encroachments of common walls are permitted within the terms of the abovementioned Easement for Support 0.3 wide.
- ... Encroachments of roof overhangs are within the abovementioned Easements for Maintenance, Access and Overhang 0.8 wide and are permitted to remain under the terms of those easements.
- ... The property is known as Proposed Lot 1804 Cullistemon Way, Warriewood and has frontages to Callistemon Way and Songlark Way, which will be dedicated as public roads upon the registration of D.P.1092802.
- ... Reduced levels of the ground floor slab, first floor, and roof ridge based on Australian Height Datum are as shown in red on sketch.
- ... The property complies with the Restriction on the fuse of Land contained in Instrument to be lodged with the abovementioned D.P.1103124.
- ... The property is not fenced.
- ... Other than as shown on the sketch and refirmed to in the report, no visible encroachments were observed by or upon the subject property.

The subject property has been surveyed for identification purposes only and survey marks should be placed if structures are to be erected on or near the boundaries.

İ

Date of Survey: 14 September, 2006

Page 2 of 2

Graham J Hall Land Surveyor registered under The Surveying Act, 2002

Instructed by:

Ħ

Australand Holdings Limited D.X. 8419 RYDE

ž

Б

**BUH MILTER AL A' - PROPASED E B' - PROPOSED E L' - PROPOSED E**  CIVIL SYDNEY PTY. LTD.

**DIRECTORS:** 

S.G. WOOD, B.E. (CIVIL) M.I.E. AUST. S.G. MONTFORD, ADV. BLDG. CERT. ABN 15 068 316 432 Phone: (02) 4965 8410 Fax: (02) 4965 8710 Mobile: 0412 514 747 www.civilsydney.com.au Email: simon@civilsydney.com.au

Job No:AUS/0615

27<sup>th</sup> April 2006

Australand. Locked Bag 2106, DX 8419. North Ryde.NSW.1670. Ph:9767 2000Fax:9767 2944

### ENGINEERS CERTIFICATE

Project:Lot 1891-1805 Callistemon Way, Warriewood

This is to certify that piles driven at the above mentioned site have been driven in accordance with AS2159 - 1995. Sets recorded indicate the piles supplied and driven are capable of supporting a safe working loads **P:70KN** calculations being based on the Hiley Formula.

h/ood S.G Wood

B.E. (Civil) M.I.E Aust.



Appleyard

## Inspection Certificate

Project No:	3621801	Date:	10.5.06	17.5.06	
Client/Owner:	Rylehall Pty Ltd	Time:	1.25 pm	3.00 pm	Apple
Contractor:	Australand Properties	Inspector:	R Radovancevic	P Geoghegan	Consu

Project Description: Proposed Residential Development

This is to certify that an inspector from the above office has attended your site at Lot 1801 (Stage 18) Callistemon Way, Warriewood and has inspected the following:

Section: Drop Panel Raft Slab

Items/Areas Inspected

a) b)	Subgrade Sub Base	ഥ 던 - Satisfactory
c)	Damp - Proof Membrane (to B.C.A)	
d)	Pier Spacing and Depth	
e)	Pier Diameter Pier Reinforcement	т т
f)		
g)	Edge Beam Size Edge Beam Reinforcement	☑ - Satisfactory
h) D	Slab on Grade Thickness	
i) i)	Slab on Grade Reinforcement	M I
j) k)	Suspended Slab (level ) Thickness	
D)	Suspended Slab (level ) Reinforcement	T.
יי m)	Strip Footing Size	T.
n)	Strip Footing Reinforcement	田
o)	Retaining Wall Footings	Б
с) р)	Retaining Wall Reinforcement	Б
q)	Pool Shell Reinforcement	ф.
r)	Pole Holes	ф
s)	Curtain Wall	ф
t)	Pad Footings	ф
u)	Detention Tank Base Reinforcement	ф
vý	Detention Tank Lid	由

Appleyard Forrest Consulting Engineers Pty Ltd ACN 002 610 522

PO Box 140 Gordon NSW 2072 Australia

Gosford 58-60 Hills Street Gosford NSW 2250 Australia Telephone: 02 4324 3499 Facsimile: 02 4324 2951

#### Caste Hill Unit 35, 7 Anella Avenue Castle Hill NSW 2154 Australia Telephone: 02 9634 6311 Facsimile: 02 9634 6544

Bowral Suite 1, 407-409 Bong Bong Street Bowral NSW 2576 Australia Telephone: 02 48621507

Facsimile: 02 48621568

Telephone: + (612) 4324 3499 Facsimile: + (612) 4324 2951

Email postmaster@appleyardforrest.com.a

Website www.appleyardforrest.com.au

General Comments:

\_.....

This certificate is issued on the assumption that good construction practice will be observed prior to placement of concrete; eg. piers to be cleaned, dewatered and any deleterious material removed from pier bases and slab area.

As a consequence of this inspection, we certify that items "b, c, g, h, i, j" have been checked and found to comply with the design requirements set out on the drawings identified hereunder.

These design requirements have been established in order to ensure that the completed building or structure will meet the appropriate Objective, Functional Statement, and Performance Requirement required by clauses B01.1, BF1.1 and BP1.1 of BCA2005.

Appleyard Forrest Consulting Engineers Pty Ltd Drawing No(s):

L D Appleyard MIEAust CPEng NPER Accredited Certifier (Civil and Structural)

362167/S1/A, S2/B, S3/A → S7/A

Date: 22 May 2006



Case No. 102002

#### SUBDIVIDER/DEVELOPER COMPLIANCE CERTIFICATE (A certificate under Division 9 Section 73 of the Sydney Water Act. 1994)

	DESC	RIPTION OF SU	BDIVISION/DEVELOPMENT
Pittwate			
25 Macl	Pherson S	Street Warri	ewood
1801 sec	tor 8		
5 lots	Lots numbered	1801-1805	Development Subdivision of 1 lot into 5 and one new dwelling plus garage on each new lot at 1801 sector 8 Warriewood NSW 2102.
PPLICANT	Au	straland Hol	dings Limited
'S ADDRESS	<b>U</b> /-	-	sociates Pty Ltd rabeen NSW 2101
	25 Macl 1801 sec 5 lots PPLICANT	Pittwater Counc 25 MacPherson S 1801 sector 8 Lots numbered 5 lots PPLICANT Au 25 ADDRESS C/-	Pittwater Council         25 MacPherson Street Warrie         1801 sector 8         Lots         numbered         5 lots         1801-1805         PPLICANT         C/- Byrne & As

Sydney Water Corporation certifies that the above named applicant has complied with the requirements, relating to the plan of Subdivision/Development described above, of Division 9 of the Sydney Water Act, 1994.

THE FOLLOWING ITEMS 2 AND 5 APPLY TO LOTS 1801-1805 IN THE SUBDIVISION/DEVELOPMENT: 1.--- Water facilities are to be provided as a result of the subdivider/developer's compliance with Sydney Water's

requirements,

2. Water facilities are available.

3. Water facilities cannot be provided within a reasonable time from the date of this certificate.

4. Severage facilities are to be provided as a result of the subdivider/developer's compliance with Sydney Water's requirements.

5. Sewerage facilities are available.

6. Sewerage facilities are under the control of the local council-

7. Sewerage facilities cannot be provided within a reasonable time from the date of this certificate.

8. Sydney Water's requirements for futuro subdivision of this dual occupancy development have NOT been met. On subdivision an additional certificate will be required.

THE FOLLOWING ITEMS \_\_\_\_\_AND \_\_\_\_APPLY TO LOT/S \_\_\_\_\_IN THE SUBDIVISION/

 Water facilities have NOT been provided. They will only be provided after compliance with Sydney Water's requirements placed on a future applicant for subdivision/development or connection.

10. Severage facilities have NOT been provided. They will only be provided after compliance with Sydney Water's requirements placed on a future applicant for subdivision/development or connection.

11. Sewerage facilities are under the control of the local council.

Applicant Reference No. 20650

Name

Name Jack Diplock (Approving Officer for and on behalf of Sydney Water)

> John Gaffney (Approving Officer for and on behalf of Sydney Water)

Development Services Office: Head Office

Council Refer	ence No.	647	/05	
Signature .	÷			
		A		20

Signature

Dated: 28 April 2006

#### THIS CERTIFICATE IS ONLY VALID WHEN SIGNED BY TWO AUTHORISED SYDNEY WATER OFFICERS A signed copy is held by Sydney Water

The original of this certificate must be presented to the appropriate consent authority, usually Council, with which the plan of subdivision/development was lodged so that you can satisfy the relevant condition of consent.

## BUILDING INDUSTRY PEST SERVICES

P.C. Licence No: 611

Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200 Phone: (02) 9709 2011 Fax: (02) 9708 6306 DX: 11227 A.C.N. 002313439

## CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

#### SITE ADDRESS: WARRIEWOOD, 1801-1805 CALLISTEMON WAY (SEC8) [lot

BUILDER OR OWNER: AUSTRALAND PROPERTIES

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or Granitgard barrier ineffective.

## **Slab Penetrations**



DATE OF TREATMENT: 17-5-2006 Number of Penetrations: 10 Materials Applied: TERMIFLANGES

(, =

## Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf.

Applied by: P Nies

Signature:

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.
SUBSIDIARY OF ENVIROPEST P/L       39 Stars         A.B.N. 56 947 548 056       INSTALLATION SHEET       Barketown N. Tet: (00)         A.B.N. 56 947 548 056       INSTALLATION SHEET       39 Stars         Builder: AUSTRALAND PROFERTIES (BIPS)       Date: 17-5-06         Site Address: Lor 1801-1805 CALLISTEMON WAY         WARRIEWOOD         Job Sheet No: 21 (CONDO)         Job Sheet No: 21 (CONDO)         Installer: PAUL 1 HELE N NIES Lic No:         SIGNED:         Textronomental Information         Vol of Concentration	793 2166
Builder: AUSTRALAND ROPERTIES (BIPS) Date: 17-5-06 Site Address: Lot 1801-1805 CALLISTEMON WAY WARRIEWOOD Job Sheet No.: 210 28467000 SIGNED: Ref No.: 28469000 Environmental Information JOB PLAN Chemical Name Vol of Concentration Vol of Emulsion Entration Chemical Name Vol of Concentration Vol of Emulsion Entration Chemical Name Chemical Name C	ankstown
Installer: PUL 1 HELEN NIES Lic No.: 28467000 SIGNED: Ref No.: 28467000 Ref No.: 28467000 Ref No.: 2847000 2347100 Chemical Name Vol of Concentration Vol of Concentration Hand held spray ] Truck mounted spray ] Other Chemical Name Vol of Concentration Vol of Concentration	51
Environmental Information       JOB PLAN       23.4 7100         Chemical Name       Vol of Concentration       Vol of Concentration       Vol of Concentration         Vol of Emulsion       Equipment:       Had beld spray []       TCRMSCALCO         Other       Other       FORMSCALCO       Home CARD         Vol of Concentration       VOI of Concentration       VOI of Emulsion       Home CARD         Vol of Concentration       VOI of Concentration       VOI of Concentration       VOI of Concentration         Vol of Concentration       VOI of Concentration       VOI of Concentration       VOI of Concentration         Vol of Concentration       VOI of Emulsion       Equipment:       Had held spray []       VOI of Emulsion         Equipment:       Had held spray []       VOI of Emulsion       VOI of Emulsion       VOI of Emulsion         Vol of Emulsion       Equipment:       VOI of Emulsion       VOI of Emulsion       VOI of Emulsion         Vol of Emulsion       Equipment:       VOI of Emulsion       VOI of Emulsion       VOI of Emulsion         Vol of Emulsion       Equipment:       VOI of Emulsion       VOI of Emulsion       VOI of Emulsion         Vol of Emulsion       Equipment:       VOI of Emulsion       VOI of Emulsion       VOI of Emulsion       VOI of Emulsion	3
Chemical Name Vol of Concentration Equipment: Hand beld spray Truck mounted spray Other Vol of Concentration Vol of Concent	<u>5</u>
Under Slab M2. Perimeter L/m.   Subfloor M2. Penetrations Qty. 4.9.   Cure M2 Ringline L/m   Slab Monolithic slab on ground   In-fill slab Waffle pod   B/J Timber floor Ultra floor   Method of Protection   Physical Barrier   Chemical Barrier   Common   Reticulation Legend   Path trap ⊠   Drilled pipe   Judrilled pipe   Judrilled pipe   Physical Barrier Legend	
Penetration Start / Finish X Area Protected //	

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AUSTRALAND HOLDINGS LTD LOCKED BAG 2106 NORTH RYDE NSW 2113

6 September, 2006

### SUBJECT: WATERPROOFING CERTIFICATE TFW Ref. 56791

This certifies that **FIBREFLASH** Waterproof Solutions completed installation of the waterproofing to the internal wet areas at the address below on September 6, 2006 :-

## **1801 CALLISTEMON WAY WARRIEWOOD**

STAGE 1: Install the waterproofing membrane to the shower tray, perimeter walls and floor to all required wet areas.

STAGE 2: Provide waterproofing treatment to shower penetrations, bath seals, spindle seals and installation of the waterstop at doorways to all required wet areas.

This work was completed in accordance with Tables 2.1, 4.1 and Section 5 of Australian Standard 3740 - 2004 and the Building Code of Australia.

Yours faithfully,

Jeff SAYLE Operations Manager FIBREFLASH Waterproof Solutions GOLD LICENCE: 17790C

ABN: 93 003 987 424

- 61 Wellington Street
   Riverstone NSW 2765
- PO Box 257
   Riverstone NSW 2765
- Ph: 02 9627 5500 Fax: 02 9627 3659

# STEVE PAYNE PLUMBING PTY LIMITED PLUMBING DRAINAGE & GASFITTING

## ABN 73 082 614 855 116 BALLANDELLA ROAD PENDLE HILL NSW 2145 PHONE: 9896 0444 MOBILE: 0418 234 203 FAX: 9896 0455

27 September 2006

Australand Holdings Limited Level 31CH Homebush Bay Road Rhodes NSW 2138

> Reference: Rainwater System Certification Warriewood Sector 8

Please find certification for stormwater to 1801 Callistemon Way, Warriewood. These works have been completed to AS3500 and in accordance to Action Tanks installation requirements.

Each dwelling has a 3cubic metre volume rainwater tank to collect roof water runoff, which is stored for flushing toilets, and one (1) garden tap, which can also be incorporated into an irrigation connection.

There is a first flush device fitted with a removable clean out screen. Each tank has an overflow to the street or easement with a flap valve fitted to alleviate any surcharge that may occur. Each tank has been fitted with a top up device separate to the rainwater storage, which is also fitted with a double check valve (backflow prevention device) there is also one fitted to the dwelling.

All the stormwater pipes in ground are labelled with the appropriate hazard identification, as has all the pipe work in the dwelling been labelled the same.

Yours sincerely

Alla.

Steve Payne STEVE PAYNE PLUMBING PTY LTD



LAND DEVELOPMENT CERTIFICATES

PTY LTD

ABN 38 088 891 810 67 MELBOURNE ROAD, ST JOHNS PARK NSW 2176

Fax : 02 9753 3118 Mobile : 0416 102

Mobile : 0416 102008 Email : landevcert@hotmail.com

STEPHEN G JOHNSON BE MIEAust CPEng Accreditation No. 418677 PRINCIPAL CERTIFIER-SUBDIVISION / ACCREDITED CERTIFIER(CIVIL)

# **COMPLIANCE CERTIFICATE**

Environmental Planning and Assessment Act, 1979, Section 109C (1) (a)

#### Applicant:

Australand Holdings Ltd Locked Bag 2106, NORTH RYDE NSW 1670

Phone : 02 9810 2008

#### **Development Consent** No:

DA N 0210/04 Dated: 22/12/04

Ref:

Nil

5.96(2) Nodifications:

Date:

#### Subject Land:

Lots 1 & 2 DP 18303, Lots A-C DP 328260, Lot 1 DP 593363 & Lot 12 DP 659528, Sector 8, H/No.25 MacPherson Street, WARRIEWOOD NSW 2102

#### **Description of Development:**

Subdivision (Phase 1 -Stage 0) to create Two Superiots (8 & 9), One Lot for Temporary Road (14), Three Residue Lots (11, 11, 12 & 13) and New Public Roads.

#### **Details of Compliance:**

All engineering works as detailed in Appendix A attached, which are required by Pittwater Councit's development consent (Ref. N 0210/04) dated 22 December, 2004 (as modified) being Road and Stormwater Drainage Construction, have been satisfactorily completed in accordance with the requirements of the relevant Council Codes and Conditions imposed in Pittwater Council's Development Consent.

#### Plans & Specifications Attached

Work - as - Executed Plans prepared by registered surveyors, Craig & Rhodes Pty Ltd and Pavement and Lot Filling Compaction Control Reports by GeoEnviro Consultancy Pty Ltd.

#### **Date of Inspection:**

15/02/2006

98-033-1 Phase 1 - Compl 11037

I, STEPHEN GRANT JOHNSON certify that:-\*the above described subdivision work has been completed and complies with the attached plans and specifications \*the above development consent conditions have been complied with, in accordance with Section 109C (1) (a) of the

Environmental Planning & Assessment Act, 1979. (\* delete where not applicable ) Certificate No: 11057

Date of Issue: 31/03/2006

Stophen Grant Johnson Accredited Certifier (Civil) / Principal Certifier - Subdivision Accorditation No. 418677 Institution of Engineers, Aust

Construction Certificates - Compliance Certificates - Subdivision Certificates - Strate Certificates

## **COMPLIANCE CERTIFICATE No. 11057**

## Annexure A

## DETAILS OF COMPLIANCE

I, Stephen Grant Johnson, certify that the new public roads, temporary road within lot 14 and stormwater drainage construction have now been completed as shown on the accompanying Work-as-Executed drawings.

This Certificate covers works relating to PHASE 1 of the staged Development Consent DA N 0210/04 dated 22 December, 2004, specifically as detailed below :-

- 1. Road & Drainage Works within the new public roads Lomandra Way, Regent Way, Songlark Way and Callistemon Way, adjacent to the proposed superiots.
- 2. Roadworks within the new temporary road reserve (Lot 14).

At the time of Final inspection shown on the face sheet of this Certificate (10/02/2005), all works required by conditions of Development Consent as detailed above, have been inspected during the course of the works to ensure compliance with Council's Construction Specification.

NOTE: As agreed with Council, road & drainage works within the above roads and MacPherson Street will be subject to a joint handover inspection with Council, prior to the release of subsequent subdivision stages creating individual residential allotments. Any remedial works identified in those inspections are to be rectified prior to the issue of Subdivision Certificates for the respective stage.

LAND DEVELOPMENT CERTIFICATES PTY LTD

Stephen/Grant Johnson Accredited Certifier (Civil) / Principal Certifier -- Subdivision Accreditation No. 418877

96-033-1 Plane ) - Compl ) 1057

# STEVE PAYNE PLUMBING PTY LIMITED PLUMBING DRAINAGE & GASFITTING

## ABN 73 082 614 855 116 BALLANDELLA ROAD PENDLE HILL NSW 2145 PHONE: 9896 0444 MOBILE: 0418 234 203 FAX: 9896 0455

27 September 2006

Australand Holdings Limited Level 31CH Homebush Bay Road Rhodes NSW 2138

### Reference: Rainwater System Certification Warriewood Sector 8

Please find certification for stormwater to 1802 Callistemon Way, Warriewood. These works have been completed to AS3500 and in accordance to Action Tanks installation requirements.

Each dwelling has a 3cubic metre volume rainwater tank to collect roof water runoff, which is stored for flushing toilets, and one (1) garden tap, which can also be incorporated into an irrigation connection.

There is a first flush device fitted with a removable clean out screen. Each tank has an overflow to the street or easement with a flap valve fitted to alleviate any surcharge that may occur. Each tank has been fitted with a top up device separate to the rainwater storage, which is also fitted with a double check valve (backflow prevention device) there is also one fitted to the dwelling.

All the stormwater pipes in ground are labelled with the appropriate hazard identification, as has all the pipe work in the dwelling been labelled the same.

Yours sincerely

Steve Payne STEVE PAYNE PLUMBING PTY LTD



S.G. WOOD, B.E. (CIVIL) M.I.E. AUST.

S.G. MONTFORD, ADV. BLDG, CERT.

ABN 15 068 316 432

1 Cornish Street Speers Point NSW 2284 PO Box 934 Pennant Hills 1715

Phone: (02) 4965 8410 Fax: (02) 4965 8710 Mobile: 0412 514 747 www.civilsydney.com.au Email: simon@civilsydney.com.au

27<sup>ih</sup> April 2006

**DIRECTORS:** 

Job No:AUS/0615

Australand. Locked Bag 2106, DX 8419. North Ryde.NSW.1670. Ph:9767 2000Fax:9767 2944

## ENGINEERS CERTIFICATE

Project:Lot 1301-1305 Callisiemon Way, Warriewood

This is to certify that piles driven at the above mentioned site have been driven in accordance with AS2159 - 1995. Sets recorded indicate the piles supplied and driven are capable of supporting a safe working loads P:70KN calculations being based on the Hiley Formula.

Wood S.G bod

B.E. (Civil) M.I.E Aust.



# Inspection Certificate

Project No:	3621802	Date:	10.5.06	17.5.06	
Client/Owner:	Rylehall Pty Ltd	Time:	1.20 pm	3.05 pm	Appleyard
Contractor:	Australand Properties	Inspector:	R Radovancevic	P Geoghegan	Consulting

Project Description: Proposed Residential Development

This is to certify that an inspector from the above office has attended your site at Lot 1802 (Stage 18) Callistemon Way, Warriewood and has inspected the following:

Section: Drop Panel Raft Slab

Items/Areas Inspected

a) b)	Subgrade Sub Base	<b>N</b>	- Satisfactory
c)	Damp - Proof Membrane (to B.C.A)	$\Box$	
d)	Pier Spacing and Depth	田	
e)	Pier Diameter		
f)	Pier Reinforcement		t
g)	Edge Beam Size	Ø	C. V. C. Hand
h)	Edge Beam Reinforcement	Ø	- Satisfactory
i)	Slab on Grade Thickness	M	
j)	Slab on Grade Reinforcement	Ø	
k)	Suspended Slab (level ) Thickness	Щ	
I)	Suspended Slab (level ) Reinforcement	Щ	
m)	Strip Footing Size	ж	
n)	Strip Footing Reinforcement	H H	
0)	Retaining Wall Footings	н Н	
p)	Retaining Wall Reinforcement Pool Shell Reinforcement	н	
q)	Pole Holes	Щ	
r)	Curtain Wall	Т	
s)	Pad Footings	8 8 8	
t)	Detention Tank Base Reinforcement	西	
u)	Detention Tank Lid	五	
V)			

Appleyard Forrest Consulting Engineers Pty Ltd ACN 002 610 522

PO Box 140 Gordon NSW 2072 Australia

Gosford 58-60 Hills Street Gosford NSW 2250 Australia Telephone: 02 4324 3499 Facsimile: 02 4324 2951

#### Castle Hill

Unit 35, 7 Anelia Avenue Castle Hill NSW 2154 Australia Telephone: 02 9634 6311 Facsimile: 02 9634 6544

#### Bowral

Suite I, 407-409 Bong Bong Street Bowral NSW 2576 Australia Telephone: 02 48621507 Facsimile: 02 48621568

#### International

Telephone: + (612) 4324 3499 Facsimile: + (612) 4324 2951

Email postmaster@appleyardforrest.com.a

Website www.appleyardforrest.com.au

#### General Comments:

This certificate is issued on the assumption that good construction practice will be observed prior to placement of concrete; eg. piers to be cleaned, dewatered and any deleterious material removed from pier bases and slab area.

As a consequence of this inspection, we certify that items "b, c, g, h, i, j" have been checked and found to comply with the design requirements set out on the drawings identified hereunder.

These design requirements have been established in order to ensure that the completed building or structure will meet the appropriate Objective, Functional Statement, and Performance Requirement required by clauses B01.1, BF1.1 and BP1.1 of BCA2005.

Appleyard Forrest Consulting Engineers Pty Ltd Drawing No(s):

we apply

L D Appleyard MIEAust CEEng NPER Accredited Certifier (Civil and Structural)

362167/S1/A, S2/B, S3/A → S7/A

Date: 22 May 2006



Case No. 102002

#### SUBDIVIDER/DEVELOPER COMPLIANCE CERTIFICATE (A certificate under Division 9 Section 73 of the Sydney Water Act, 1994)

[		DESCRIPTION OF SU	BDIVISION/DEVELOPMENT
Council	Pittwater (	Council	
Street	25 MacPho	erson Street Warri	ewood
Lot No. (	(s) 1801 sector	· 8	
Subdivis into	ion Lot		Development Subdivision of 1 lot into 5 and one new dwelling plus garage on each new lot at 1801 sector 8 Warriewood NSW 2102.
NAMEC	OF APPLICANT	Australand Hol	dings Limited
APPLIC	ANT'S ADDRESS		sociates Pty Ltd
		and the second	Tabeen NSW 2101
			applicant has complied with the requirements, relating to the plan Fof the Sydney Water Act, 1994.
1. Water	OWING ITEMS 2 A	ND 5 APPLY TO LOTS I	1801-1805 IN THE SUBDIVISION/DEVELOPMENT: bdivider/developer's compliance with Sydney-Water's
3. Water	r faciliti <mark>cs are a</mark> vailal <del>- facilities cannot be p</del> roge facilities are to be	<del>ovided within a reasonabl</del>	to time from the date of this certificate. e subdivider/developer's compliance with Sydney Water's
•	<del>ements.</del> rage facilities are ava	ilable	
	•	r the control of the local e	ouncil
			nable time from the date of this certificate.
8. Sydne	<del>y Water's requiremen</del>	ts for future subdivision o	f this dual occupancy development have NOT been metOn
	Asion an accultional oc	nificate will be required.	PLY TO LOT/SIN THE SUBDIVISION!
DEVELOP			
<del>requir</del> 1 <del>0. Sewer</del> requir	ements placed on a fu age facilities have NC ements placed on a fu	wre applicant for subdivis T been provided. They w	why be provided after compliance with Sydney Water's ion/development or connection. ill only be provided after compliance with Sydney Water's ion/development or connection. ownil
	-		Council Reference No. 647/05
Appricant 1	contractivo.	:0650	Council Reference 10. 04//05
	Jack Diplock (Approving Officer for a	nd on behalf of Sydney Wate	Signature
	John Gaffney (Approving Officer for a	nd ou behalf of Sydney Wate	Signature
Developme	nt Services Office:	Head Office	Dated: 28 April 2006
-	TILIS CI	ERTIFICATE IS OF	NLY VALID WHEN SIGNED BY TWO

The original of this certificate must be presented to the appropriate consent authority, usually Council, with which the plan of subdivision/development was lodged so that you can satisfy the relevant condition of consent.

AUTHORISED SYDNEY WATER OFFICERS A signed copy is held by Sydney Water

## BUILDING INDUSTRY PEST SERVICES

P.C. Licence No: 611

Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200 Phone: (02) 9709 2011 Fax: (02) 9708 6306 DX: 11227

A.C.N. 002313439

# CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS: WARRIEWOOD, 1801-1805 CALLISTEMON WAY (SEC8) [lot

BUILDER OR OWNER: AUSTRALAND PROPERTIES

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or Granitgard barrier ineffective.



DATE OF TREATMENT: 17-5-2006 Number of Penetrations: 10 Materials Applied: TERMIFLANGES

Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf.

Applied by: P Nies

Signature:

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.

A.B.N. 56 947 548 056	19194 JILDING INDUSTRY PEST SERVICES SUBSIDIARY OF ENVIROPEST P/L STALLATION SHEET PROPERTIES (BIPS) O5 CALLISTEMEN WAY
Site Address: Lor 1801-18	OD CALLISTEMON WAY
WARRIEL Installer: PAUL 1 HELEN SIGNED:	NOOD         Job Sheet No.:         21851           J NIES         Lic No.:         28467000           28463000         28463000           28469000         28469000           Ref No.:         284690000
Environmental Information	JOB PLAN 23471000
Chemical Name	GORM / HOMEGUARD QURM / HOMEG
Time Start Time Finish	
Area Protected Under Slab M2 Perimeter L/m Subfloor M2 Penetrations Qty49 Cure M2 Ringline L/m Slab Monolithic slab on ground In-fill slab Waffle pod B/J Timber floor Ultra floor Method of Protection	TERMSCALED O BO B
Physical Barrier Chemical Barrier	
Type Reticulation Legend Path trap Drilled pipe Undrilled pipe End cap Physical Barrier Legend Penetration Start / Finish × Area Protected //	ELECTRICAL CONTUITS (5) HOMELQUARD



AUSTRALAND HOLDINGS LTD LOCKED BAG 2106 NORTH RYDE NSW 2113

7 September, 2006

## SUBJECT: WATERPROOFING CERTIFICATE TFW Ref. 56792

This certifies that **FIBREFLASH** Waterproof Solutions completed installation of the waterproofing to the internal wet areas at the address below on September 7, 2006 :-

### **1802 CALLISTEMON WAY WARRIEWOOD**

STAGE 1: Install the waterproofing membrane to the shower tray, perimeter walls and floor to all required wet areas.

STAGE 2: Provide waterproofing treatment to shower penetrations, bath seals, spindle seals and installation of the waterstop at doorways to all required wet areas.

This work was completed in accordance with Tables 2.1, 4.1 and Section 5 of Australian Standard 3740 - 2004 and the Building Code of Australia.

Yours faithfully,

Jeff SAYLE Operations Manager FIBREFLASH Waterproof Solutions GOLD LICENCE: 17790C

ABN: 93 003 987 424

- 61 Wellington Street
   Riverstone NSW 2765
- PO Box 257
   Riverstone NSW 2765
- Ph: 02 9627 5500 Fax: 02 9627 3659

LAND DEVELOPMENT CERTIFICATES

PTY LTD

Phone: 02 9810 2008

ABN 38 068 891 810 67 MELBOURNE ROAD, ST JOHNS PARK NSW 2176 Fax : 02 9753 3118 Mobile : 0416 102008 Email : landevcert@hotmail.com

STEPHEN G JOHNSON BE MIEAUST CPEng

PRINCIPAL CERTIFIER-SUBDIVISION / ACCREDITED CERTIFIER(CIVIL)

Accreditation No. 418577

# **COMPLIANCE CERTIFICATE**

Environmental Planning and Assessment Act, 1979, Section 109C (1) (a)

#### Applicant

Australand Holdings Ltd Locked Bag 2106, NORTH RYDE NSW 1670

#### Development Consent No:

DA N 0210/04 Dated: 22/12/04

Ref:

Nil

#### 5.96(2) Nodifications:

Date:

#### **Subject Land:**

Lots 1 & 2 DP 18303, Lots A-C DP 328260, Lot 1 DP 593363 & Lot 12 DP 659528, Sector 8, H/No.25 MacPherson Street, WARRIEWOOD NSW 2102

#### Description of Development:

Subdivision (Phase 1 -Stage 0) to create Two Superiots (8 & 9), One Lot for Temporary Road (14), Three Residue Lots (11, 11, 12 & 13) and New Public Roads,

#### **Details of Compliance:**

All engineering works as detailed in Appendix A attached, which are required by Pittwater Council's development consent (Ref. N 0210/04) dated 22 December, 2004 (as modified) being Road and Stormwater Drainage Construction, have been satisfactorily completed in accordance with the requirements of the relevant Council Codes and Conditions imposed in Pittwater Council's Development Consent.

#### **Piens & Specifications Attached:**

Work - as - Executed Plans prepared by registered surveyors, Craig & Rhodes Pty Ltd and Pavement and Lot Filling Compaction Control Reports by GeoEnviro Consultancy Pty Ltd.

#### **Date of Inspection:**

15/02/2008

L STEPHEN GRANT JOHNSON certify that:-\*the above described subdivision work has been completed and complies with the attached plans and specifications \*the above development consent conditions have been complied with, in accordance with Section 109C (1) (a) of the

Environmental Planning & Assessment Act, 1979. ( \* delete where not applicable )

98-033-1 2944a 1 - Compi 11037

Certificate No: 11057

Date of Issue: 31/03/2008

Stophen Grant Johnson Accredited Certifier (Civil) / Principal Certifier - Subdivision Accorditation No. 418677 Institution of Engineers, Aust

Construction Certificates - Compliance Certificates - Subdivision Certificates - Strate Certificates

## **COMPLIANCE CERTIFICATE No. 11057**

## Annexure A

## **DETAILS OF COMPLIANCE**

I. Stephen Grant Johnson, certify that the new public roads, temporary road within lot 14 and stormwater drainage construction have now been completed as shown on the accompanying Work-as-Executed drawings.

This Certificate covers works relating to PHASE 1 of the staged Development Consent DA N 0210/04 dated 22 December, 2004, specifically as detailed below :-

- 1. Road & Drainage Works within the new public roads Lomandra Way, Regent Way, Songlark Way and Callistemon Way, adjacent to the proposed superiots.
- 2. Roadworks within the new temporary road reserve (Lot 14).

At the time of Final Inspection shown on the face sheet of this Certificate (10/02/2005), all works required by conditions of Development Consent as detailed above, have been inspected during the course of the works to ensure compliance with Council's Construction Specification.

NOTE: As agreed with Council, road & drainage works within the above roads and MacPherson Street will be subject to a joint handover inspection with Council, prior to the release of subsequent subdivision stages creating individual residential allotments. Any remedial works identified in those inspections are to be rectified prior to the issue of Subdivision Certificates for the respective stage.

LAND DEVELOPMENT CERTIFICATES PTY LTD

Stephen Grant Johnson

Stephen/Grant Johnson Accredited Certifier (Civil) / Principal Certifier ~ Subdivision Acceeditation No. 418677

96-033-1 Phane 1 - Compl 11057

# STEVE PAYNE PLUMBING PTY LIMITED PLUMBING DRAINAGE & GASFITTING

## ABN 73 082 614 855 116 BALLANDELLA ROAD PENDLE HILL NSW 2145 PHONE: 9896 0444 MOBILE: 0418 234 203 FAX: 9896 0455

27 September 2006

Australand Holdings Limited Level 31CH Homebush Bay Road Rhodes NSW 2138

### Reference: Rainwater System Certification Warriewood Sector 8

Please find certification for stormwater to 1803 Callistemon Way, Warriewood. These works have been completed to AS3500 and in accordance to Action Tanks installation requirements.

Each dwelling has a 3cubic metre volume rainwater tank to collect roof water runoff, which is stored for flushing toilets, and one (1) garden tap, which can also be incorporated into an irrigation connection.

There is a first flush device fitted with a removable clean out screen. Each tank has an overflow to the street or easement with a flap valve fitted to alleviate any surcharge that may occur. Each tank has been fitted with a top up device separate to the rainwater storage, which is also fitted with a double check valve (backflow prevention device) there is also one fitted to the dwelling.

All the stormwater pipes in ground are labelled with the appropriate hazard identification, as has all the pipe work in the dwelling been labelled the same.

Yours sincerely

Steve Payne STEVE PAYNE PLUMBING PTY LTD CIVIL SYDNEY PTY. LTD.

DIRECTORS:

S.G. WOOD, B.E. (CIVIL) M.I.E. AUST. S.G. MONTFORD, ADV. BLDG. CERT. ABN 15 068 316 432 1 Cornish Street Speers Point NSW 2284 PO Box 934 Pennant Hills 1715

Phone: (02) 4965 8410 Fax: (02) 4965 8710 Mobile: 0412 514 747 www.civilsydney.com.au Email: simon@civilsydney.com.au

27<sup>th</sup> April 2006

Job No:AUS/0615

Australand. Locked Bag 2106, DX 8419. North Ryde.NSW.1670. Ph:9767 2000Fax:9767 2944

## ENGINEERS CERTIFICATE

Project.Lot 1891-1805 Callistemon Way, Warriewood

This is to certify that piles driven at the above mentioned site have been driven in accordance with AS2159 - 1995. Sets recorded indicate the piles supplied and driven are capable of supporting a safe working loads P:70KN calculations being based on the Hiley Formula.

Wood S.G Wood

B.E. (Civil) M.I.E Aust.



# Inspection Certificate

Project No:	3621803	Date:	10.5.06	17.5.06	
Client/Owner:	Rylehall Pty Ltd	Time:	1.25 pm	3.15 pm	Appleyard
Contractor:	Australand Properties	Inspector:	R Radovancevic	P Geoghegan	Consulting

Project Description: Proposed Residential Development

This is to certify that an inspector from the above office has attended your site at Lot 1803 (Stage 18) Callistemon Way, Warriewood and has inspected the following:

Section: Drop Panel Raft Slab

Items/Areas Inspected

a) b) c) d) e)	Subgrade Sub Base Damp - Proof Membrane (to B.C.A) Pier Spacing and Depth Pier Diameter	<del>다</del> 더 정 더	- Satisfactory
f)	Pier Reinforcement	ф	1
g) h)	Edge Beam Size Edge Beam Reinforcement	M M	- Satisfactory
i)	Slab on Grade Thickness		- Sausiactory
j	Slab on Grade Reinforcement	Ø	
k)	Suspended Slab (level ) Thickness	φ	
I)	Suspended Slab (level ) Reinforcement	ф	
m)	Strip Footing Size	ф	
n)	Strip Footing Reinforcement	ф	
o)	Retaining Wall Footings	ф	
p)	Retaining Wall Reinforcement	<u> </u>	
q)	Pool Shell Reinforcement	Ф	
r)	Pole Holes	Ξ.	
s)	Curtain Wall	<u> </u>	
t)	Pad Footings	<u> </u>	
u)	Detention Tank Base Reinforcement	3 <del>000000000000</del> 0	
v)	Detention Tank Lid		

Appleyard Forrest Consulting Engineers Pty Ltd ACN 002 610 522

PO Box 140 Gordon NSW 2072 Australia

#### Gosford

58-60 Hills Street Gosford NSW 2250 Australia Telephone: 02 4324 3499 Facsimile: 02 4324 2951

#### Castle Hill

Unit 35, 7 Anella Avenue Castle Hill NSW 2154 Australia Telephone: 02 9634 6311 Facsimile: 02 9634 6544

#### Bowral

Suite I, 407-409 Bong Bong Street Bowral NSW 2576 Australia Telephone: 02 48621507 Facsimile: 02 48621568

#### International

Telephone: + (612) 4324 3499 Facsimile: + (612) 4324 2951

Email postmaster@appleyardforrest.com.a

Website www.appleyardforrest.com.au

### General Comments:

This certificate is issued on the assumption that good construction practice will be observed prior to placement of concrete; eg. piers to be cleaned, dewatered and any deleterious material removed from pier bases and slab area.

As a consequence of this inspection, we certify that items "b, c, g, h, i, j" have been checked and found to comply with the design requirements set out on the drawings identified hereunder.

These design requirements have been established in order to ensure that the completed building or structure will meet the appropriate Objective, Functional Statement, and Performance Requirement required by clauses B01.1, BF1.1 and BP1.1 of BCA2005.

Appleyard Forrest Consulting Engineers Pty Ltd Drawing No(s):

In R hh

L D Appleyard MIEAust CPEng NPER Accredited Certifier (Civil and Structural)

362167/S1/A, S2/B, S3/A → S7/A

Date: 22 May 2006



#### Case No. 102002

#### SUBDIVIDER/DEVELOPER COMPLIANCE CERTIFICATE (A certificate under Division 9 Section 73 of the Sydney Water Act, 1994)

DESCRIPTION OF SUBDIVISION/DEVELOPMENT Council **Pittwater Council** Street 25 MacPherson Street Warriewood Lot No. (s) 1801 sector 8 Subdivision Lots Development into numbered Subdivision of 1 lot into 5 and one new 5 lots 1801-1805 dwelling plus garage on each new lot at 1801 sector 8 Warriewood NSW 2102. NAME OF APPLICANT **Australand Holdings Limited** APPLICANT'S ADDRESS C/- Byrne & Associates Pty Ltd Po Box 167 Narrabeen NSW 2101 Sydney Water Corporation certifies that the above named applicant has complied with the reauirements, relating to the plan of Subdivision/Development described above, of Division 9 of the Sydney Water Act, 1994. THE FOLLOWING ITEMS 2 AND 5 APPLY TO LOTS 1801-1805 IN THE SUBDIVISION/DEVELOPMENT: Water facilities are to be provided as a result of the subdivider/developer's compliance with Sydney-Water's requirements. Water facilities are available. Water facilities cannot be provided within a reasonable time from the date of this certificate. Sewerege facilities are to be provided as a result of the subdivider/developer's compliance with Sydney Water's requirements. Sewerage facilities are available. Sewerage facilities are under the control of the local council, Severage facilities cannot be provided within a reasonable time from the date of this certificate. Sydney Water's requirements for future subdivision of this dual occupancy development have NOT been met. On subdivision an additional certificate will be required. THE FOLLOWING ITEMS -AND APPLY TOLOT/S -IN THE SUBDIVISION DEVELOPMENT: -Water facilities have NOT been provided. They will only be provided after compliance with Sydney Water's requirements placed on a future applicant for subdivision/development or connection. 10. Seworago facilities have NOT been provided. They will only be provided after compliance with Sydney Water's requirements placed on a future applicant for subdivision/development or connection. 11 -- Sewerage facilities are under the control of the local-council. Applicant Reference No. Council Reference No. 20650 647/05 Name Signature Jack Diplock (Approving Officer for and on behalf of Sydney Water) Name Signature John Gaffney (Approving Officer for and on behalf of Sydney Water) **Development Services Office:** Dated: 28 April 2006 Head Office

#### THIS CERTIFICATE IS ONLY VALID WHEN SIGNED BY TWO AUTHORISED SYDNEY WATER OFFICERS A signed copy is held by Sydney Water

The original of this certificate must be presented to the appropriate consent authority, usually Council, with which the plan of subdivision/development was lodged so that you can satisfy the relevant condition of consent.

Sydney Water Corporation ABN 49 776 225 038

115-123 Bathurst Street Sydney NSW 2000 Australia PO Box 53 Sydney South NSW 1235 Australia Telephone 132 092 Facsimile (02) 9350 4466 DX 14 Sydney Internet www.sydneywater.com.au

# BUILDING INDUSTRY PEST SERVICES

P.C. Licence No: 611

Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200 Phone: (02) 9709 2011 Fax: (02) 9708 6306 DX: 11227

A.C.N. 002313439

# CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS: WARRIEWOOD, 1801-1805 CALLISTEMON WAY (SEC8) [lot

BUILDER OR OWNER: AUSTRALAND PROPERTIES

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or Granitgard barrier ineffective.

# **Slab Penetrations**



DATE OF TREATMENT: 17-5-2006 Number of Penetrations: 10 Materials Applied: TERMIFLANGES

Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf.

Applied by: P Nies

Signature:

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.

I —

0297533118

Phone : 02 9610 2008



LAND DEVELOPMENT CERTIFICATES

PTY LTD

ABN 38 088 891 810 67 MELBOURNE ROAD, ST JOHNS PARK NSW 2178 Fax : 02 9753 3118 Mobile : 0416 102008 Email : landevcert@hotmail.com

STEPHEN G JOHNSON BE MIEAUSI CPEng

PRINCIPAL CERTIFIER-SUBDIVISION / ACCREDITED CERTIFIER(CIVIL)

Accreditation No. 418677

# **COMPLIANCE CERTIFICATE**

Environmental Planning and Assessment Act, 1979, Section 109C (1) (a)

#### Applicant

Australand Holdings Ltd Locked Bag 2106, NORTH RYDE NSW 1670

#### **Development Consent No:**

DA N 0210/04 Dated: 22/12/04

Ref:

Nil

#### 5,96(2) Nodifications:

Date:

#### **Subject Land:**

Lots 1 & 2 DP 18303, Lots A-C DP 328260, Lot 1 DP 593363 & Lot 12 DP 659528, Sector 8, H/No.25 MacPherson Street, WARRIEWOOD NSW 2102

#### Description of Developments

Subdivision (Phase 1 -Stage 0) to create Two Superiots (8 & 9), One Lot for Temporary Road (14), Three Residue Lots (11, 11, 12 & 13) and New Public Roads.

#### **Details of Compliance:**

All engineering works as detailed in Appendix A attached, which are required by Pittwater Council's development consent (Ref. N 0210/04) dated 22 December, 2004 (as modified) being Road and Stomwater Drainage Construction, have been satisfactorily completed in accordance with the requirements of the relevant Council Codes and Conditions imposed in Pittwater Council's Development Consent.

#### Plans & Specifications Attached:

Work - as - Executed Plans prepared by registered surveyors, Craig & Rhodes Pty Ltd and Pavement and Lot Filling Compaction Control Reports by GeoEnviro Consultancy Pty Ltd.

#### **Date of Inspection:**

15/02/2006

I. STEPHEN GRANT JOHNSON certify that:-\*the above described subdivision work has been completed and complies with the attached plans and specifications \*the above development consent conditions have been complied with,

in accordance with Section 109C (1) (a) of the Environmental Planning & Assessment Act, 1979. (\* delete where not applicable.)

96-033-1 25mm 1 - Contol 11037

Certificate No: 11057

Date of Issue: 31/03/2008

Stephen Grant Johnson Accredited Certifier (Civil) / Principal Certifier - Subdivision Acoustication No. 418677 Institution of Engineers, Aust

Construction Certificates - Compliance Certificates - Subdivision Certificates - Strate Certificates

# **COMPLIANCE CERTIFICATE No. 11057**

# Annexure A

# **DETAILS OF COMPLIANCE**

I, Stephen Grant Johnson, certify that the new public roads, temporary road within lot 14 and stormwater drainage construction have now been completed as shown on the accompanying Work-as-Executed drawings.

This Certificate covers works relating to PHASE 1 of the staged Development Consent DA N 0210/04 dated 22 December, 2004, specifically as detailed below :-

- 1. Road & Drainage Works within the new public roads Lomandra Way, Regent Way, Songlark Way and Callistemon Way, adjacent to the proposed superlots.
- 2. Roadworks within the new temporary road reserve (Lot 14).

At the time of Final inspection shown on the face sheet of this Certificate (10/02/2005), all works required by conditions of Development Consent as detailed above, have been inspected during the course of the works to ensure compliance with Council's Construction Specification.

NOTE: As agreed with Council, road & drainage works within the above roads and MacPherson Street will be subject to a joint handover inspection with Council, prior to the release of subsequent subdivision stages creating individual residential allotments. Any remedial works identified in those inspections are to be rectified prior to the issue of Subdivision Certificates for the respective stage.

LAND DEVELOPMENT CERTIFICATES PTY LTD

Stephen Grant Johnson Accredited Certifier (Civil) / Rrincipal Certifier -- Subdivision Accelditation No. 418677

96-033-1 Phase J - Compl 11057



DIRECTORS:

S.G. WOOD, B.E. (CIVIL) M.I.E. AUST. S.G. MONTFORD, ADV. BLDG. CERT. ABN 15 068 316 432 1 Cornish Street Speers Point NSW 2284 PO Box 934 Pennant Hills 1715

Phone: (02) 4965 8410 Fax: (02) 4965 8710 Mobile: 0412 514 747 www.civilsydney.com.au Email: simon@civilsydney.com.au

27<sup>th</sup> April 2006

Job No:AUS/0615

Australand. Locked Bag 2106, DX 8419. North Ryde.NSW.1670. Ph:9767 2000Fax:9767 2944

### ENGINEERS CERTIFICATE

## Project:Lot 1301-1805 Callistemon Way, Warriewood

This is to certify that piles driven at the above mentioned site have been driven in accordance with AS2159 - 1995. Sets recorded indicate the piles supplied and driven are capable of supporting a safe working loads P:70KN calculations being based on the Hiley Formula.

Wood S.G bod

B.E. (Civil) M.I.E Aust.



# Inspection Certificate

Project No:	3621804	Date:	10.5.06	17.5.06	
Client/Owner:	Rylehall Pty Ltd	Time:	1.30 pm	3.20 pm	Appleyard f
Contractor:	Australand Properties	Inspector:	R Radovancevic	P Geoghegan	Consulting

Project Description: Proposed Residential Development

This is to certify that an inspector from the above office has attended your site at Lot 1804 (Stage 18) Callistemon Way, Warriewood and has inspected the following:

Section: Drop Panel Raft Slab

Items/Areas Inspected

a) b) c) d) e)	Subgrade Sub Base Damp - Proof Membrane (to B.C.A) Pier Spacing and Depth Pier Diameter	90000000000000000000000000000000000000	- Satisfactory
f)	Pier Reinforcement	Ξ	
g)	Edge Beam Size	$\Box$	
h)	Edge Beam Reinforcement		- Satisfactory
i)	Slab on Grade Thickness	N	
j)	Slab on Grade Reinforcement		
k)	Suspended Slab (level ) Thickness	田	
I)	Suspended Slab (level ) Reinforcement	里	
m)	Strip Footing Size	<u><u><u></u></u></u>	
n)	Strip Footing Reinforcement	Ξ.	
0)	Retaining Wall Footings	Щ	
p)	Retaining Wall Reinforcement	里	
q)	Pool Shell Reinforcement	里	
r)	Pole Holes	里	
s)	Curtain Wall	Ξ	
t)	Pad Footings	3 <del>88888888888</del> 88	
u)	Detention Tank Base Reinforcement	Ψ	
v)	Detention Tank Lid		

Appleyard Forrest Consulting Engineers Pty Ltd ACN 002 610 522

PO Box 140 Gordon NSW 2072 Australia

#### Gosford

58-60 Hills Street Gosford NSW 2250 Australia Telephone: 02 4324 3499 Facsimile: 02 4324 2951

#### Castle Hill

Unit 35, 7 Anella Avenue Castle Hil! NSW 2154 Australia Telephone: 02 9634 6311 Facsimile: 02 9634 6544

#### Bowral

Suite 1, 407-409 Bong Bong Street Bowral NSW 2576 Australia Telephone: 02 48621507 Facsimile: 02 48621568

#### International

Telephone: + (612) 4324 3499 Facsimile: + (612) 4324 2951

Email postmaster@appleyardforrest.com.a

Website www.appleyardforrest.com.au

#### General Comments:

This certificate is issued on the assumption that good construction practice will be observed prior to placement of concrete; eg. piers to be cleaned, dewatered and any deleterious material removed from pier bases and slab area.

As a consequence of this inspection, we certify that items "b, c, g, h, i, j" have been checked and found to comply with the design requirements set out on the drawings identified hereunder.

These design requirements have been established in order to ensure that the completed building or structure will meet the appropriate Objective, Functional Statement, and Performance Requirement required by clauses B01.1, BF1.1 and BP1.1 of BCA2005.

Appleyard Forrest Consulting Engineers Pty Ltd Drawing No(s):

nahan-

L D Appleyard MIEAust CPEng NPER Accredited Certilier (Civil and Structural)

362167/S1/A, S2/B, S3/A → S7/A

Date: 22 May 2006

## BUILDING INDUSTRY PEST SERVICES

P.C. Licence No: 611

Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200 Phone: (02) 9709 2011 Fax: (02) 9708 6306 DX: 11227 A.C.N. 002313439

# CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS: WARRIEWOOD, 1801-1805 CALLISTEMON WAY (SEC8) [lot BUILDER OR OWNER: AUSTRALAND PROPERTIES

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works,

including gardening adjacent to the building, may render the chemical or Granit gard barrier ineffective.

# Slab Penetrations



DATE OF TREATMENT: 17-5-2006 Number of Penetrations: 10 Materials Applied: TERMIFLANGES

Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf.

Applied by: P Nies

Signature:

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.

A.B.N. 56 947 548 056	19194 UILDING INDUSTRY PEST SERVICES SUBSIDIARY OF ENVIROPEST P/L NSTALLATION SHEET PROPERTIES (BIPS) Date: 7-5-06
Site Address: 67 1801-19	805 CALLISTEMON WAY
WARRIE	
Installer: Paul + HELE	28463880
SIGNED:	Ref No.: 28469000
Environmental Information	JOB PLAN 234-71000
Chemical Name	TERMSEALED GOMM COM CO



AUSTRALAND HOLDINGS LTD LOCKED BAG 2106 NORTH RYDE NSW 2113

7 September, 2006

## SUBJECT: WATERPROOFING CERTIFICATE TFW Ref. 56794

This certifies that **FIBREFLASH** Waterproof Solutions completed installation of the waterproofing to the internal wet areas at the address below on September 7, 2006 :-

## **1804 CALLISTEMON WAY WARRIEWOOD**

STAGE 1: Install the waterproofing membrane to the shower tray, perimeter walls and floor to all required wet areas.

STAGE 2: Provide waterproofing treatment to shower penetrations, bath seals, spindle seals and installation of the waterstop at doorways to all required wet areas.

This work was completed in accordance with Tables 2.1, 4.1 and Section 5 of Australian Standard 3740 - 2004 and the Building Code of Australia.

Yours faithfully,

Jeff SAYLE Operations Manager **FIBREFLASH** Waterproof Solutions **GOLD LICENCE:** 17790C

ABN: 93 003 987 424

- ♦ 61 Wellington Street
   Riverstone NSW 2765
- PO Box 257
   Riverstone NSW 2765
- Ph: 02 9627 5500 Fax: 02 9627 3659

# STEVE PAYNE PLUMBING PTY LIMITED PLUMBING DRAINAGE & GASFITTING

## ABN 73 082 614 855 116 BALLANDELLA ROAD PENDLE HILL NSW 2145 PHONE: 9896 0444 MOBILE: 0418 234 203 FAX: 9896 0455

27 September 2006

Australand Holdings Limited Level 31CH Homebush Bay Road Rhodes NSW 2138

## Reference: Rainwater System Certification Warriewood Sector 8

Please find certification for stormwater to 1804 Callistemon Way, Warriewood. These works have been completed to AS3500 and in accordance to Action Tanks installation requirements.

Each dwelling has a 3cubic metre volume rainwater tank to collect roof water runoff, which is stored for flushing toilets, and one (1) garden tap, which can also be incorporated into an irrigation connection.

There is a first flush device fitted with a removable clean out screen. Each tank has an overflow to the street or easement with a flap valve fitted to alleviate any surcharge that may occur. Each tank has been fitted with a top up device separate to the rainwater storage, which is also fitted with a double check valve (backflow prevention device) there is also one fitted to the dwelling.

All the stormwater pipes in ground are labelled with the appropriate hazard identification, as has all the pipe work in the dwelling been labelled the same.

Yours sincerely

Steve Payne STEVE PAYNE PLUMBING PTY LTD



Case No. 102002

#### SUBDIVIDER/DEVELOPER COMPLIANCE CERTIFICATE (A certificate under Division 9 Section 73 of the Sydney Water Act, 1994)

Γ		DECODIDITION	el montretrorior		
Counci	ii	DESCRIPTION OF	SUBDIVISION/DE	EVELOPMENT	
	Pittwate	r Council			
Street	Street 25 MacPherson Street Warriewood				
Lot No	(s) 1801 see	tor 8	1		
Subdiv into		Lots numbered 1801-180	5 dwelling p	ision of 1 lot into 5 and one new olus garage on each new lot at 180 or 8 Warriewood NSW 2102.	)1
NAME	OF APPLICANT	Australand I	Ioldings Limit	ted	
APPLIC	CANT'S ADDRESS	C/- Dyrne &	Associates Pty arrabeen NSV		
		rtifies that the abave name escribed above, of Divisio		mplied with the requirements, relating to the pl Vater Act, 1994.	lan
requi 2. Wat 3. Wak 4. Sew 5. Sew 6. Sew 6. Sew 6. Sew 8. Syde subd	irements. ter facilities are avai er facilities cannot be erage facilities are to irements. erage facilities are u erage facilities canno rey Water's requirem ivision an additional J.OWING ITEMS	llable. provided within a reason be provided as a result of ivallable. ider the control of the lose t be provided within a rea- cents for future subdivision certificate will be require	nble time from the c the subdivider/deve al-conneil, sonable time from the n of this dual-occupe	elop <del>or's compliance with Sydney Water's</del> <del>he date of this certificate. ancy development have NOT been met. On</del>	
9. Wate requi 10. Sowe requi	er facilities have NO irements placed on a engo facilities have } irements placed on a	future applicant for subdi	vision/development / will only be provid vision/development	ded after compliance with Sydney Water's	
Applicant	Reference No.	20650	Council Ref	ference No. 647/05	
Name	Jack Diplock (Approving Officer fo	<b>r</b> and on <b>behalf</b> of Sydney W	Signature (ster)	1	
vame	John Gaffney (Approving Officer fo	r and on bohalf of Sydney W	Signature ater)	Jahno	
)evelopm	ent Services Office:	Head Office	Dated:	28 April 2006	

#### THIS CERTIFICATE IS ONLY VALID WHEN SIGNED BY TWO AUTHORISED SYDNEY WATER OFFICERS A signed copy is held by Sydney Water

The original of this certificate must be presented to the appropriate consent authority, usually Council, with which the plan of subdivision/development was lodged so that you can satisfy the relevant condition of consent.



LAND DEVELOPMENT CERTIFICATES

PTY LTD

ABN 38 088 891 810 67 MELBOURNE ROAD, ST JOHNS PARK NSW 2176 Fax : 02 9753 3118 Mobile : 0416 102008 Email : landevcert@hotmail.com Phone : 02 9810 2008

STEPHEN G JOHNSON BE MIEAUST CPEng Accreditation No. 418677

PRINCIPAL CERTIFIER-SUBDIVISION / ACCREDITED CERTIFIER(CIVIL)

# **COMPLIANCE CERTIFICATE**

Environmental Planning and Assessment Act, 1979, Section 109C (1) (a)

#### Applicant:

Development Consent No:

DA N 0210/04 Dated: 22/12/04

Australand Holdings Ltd Locked Bag 2106, NORTH RYDE NSW 1670

Ref:

Nil

5.96(2) Nodifications:

Date:

# **Subject Land:**

Lots 1 & 2 DP 18303, Lots A-C DP 328260, Lot 1 DP 593363 & Lot 12 DP 659528, Sector 8, H/No.25 MacPherson Street, WARRIEWOOD NSW 2102

#### **Description of Developments**

Subdivision (Phase 1 -Stage 0) to create Two Superiots (8 & 9), One Lot for Temporary Road (14), Three Residue Lots (11, 11, 12 & 13) and New Public Roads.

#### **Details of Compliance:**

All engineering works as detailed in Appendix A attached, which are required by Pittwater Council's development consent (Ref. N 0210/04) dated 22 December, 2004 (as modified) being Road and Stormwater Drainage Construction, have been satisfactorily completed in accordance with the requirements of the relevant Council Codes and Conditions imposed in Pittwater Council's Development Consent.

#### Plans & Specifications Attached:

Work - as - Executed Plans prepared by registered surveyors, Craig & Rhodes Pty Ltd and Pavement and Lot Filling Compaction Control Reports by GeoEnviro Consultancy Pty Ltd.

#### **Date of Inspection:**

15/02/2006

98-033-1 25440 1 - Contol 11037

I. STEPHEN GRANT JOHNSON certify that:-\*the above described subdivision work has been completed and complies with the attached plans and specifications \*the above development consent conditions have been complied with. in accordance with Section 109C (1) (a) of the

Environmental Planning & Assessment Act, 1979. ( \* delete where not applicable )

Certificate No: 11057

Date of Issue: 31/03/2008

Stephen Crant Johnson Accredited Certifier (Civil) / Principal Certifier - Subdivision Accorditation No. 418677 Institution of Engineers, Aust

Construction Certificates - Compliance Certificates - Subdivision Certificates - Strata Certificates

# COMPLIANCE CERTIFICATE No. 11057

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## Annexure A

## DETAILS OF COMPLIANCE

I, Stephen Grant Johnson, certify that the new public roads, temporary road within lot 14 and stormwater drainage construction have now been completed as shown on the accompanying Work-as-Executed drawings.

This Certificate covers works relating to PHASE 1 of the staged Development Consent DA N 0210/04 dated 22 December, 2004, specifically as detailed below :-

- 1. Road & Drainage Works within the new public roads Lomandra Way, Regent Way, Songlark Way and Callistemon Way, adjacent to the proposed superiots.
- 2. Roadworks within the new temporary road reserve (Lot 14).

At the time of Final Inspection shown on the face sheet of this Certificate (10/02/2005), all works required by conditions of Development Consent as detailed above, have been inspected during the course of the works to ensure compliance with Council's Construction Specification.

NOTE: As agreed with Council, road & drainage works within the above roads and MacPherson Street will be subject to a joint handover inspection with Council, prior to the release of subsequent subdivision stages creating individual residential allotments. Any remedial works identified in those inspections are to be rectified prior to the issue of Subdivision Certificates for the respective stage.

LAND DEVELOPMENT CERTIFICATES PTY LTD

Stephen Grant Johnson Accredited Certifier (Civil) / Rrincipal Certifier - Subdivision Accreditation No. 418877

98-033-1 Phase i - Compl 11057



DIRECTORS:

S.G. WOOD, B.E. (CIVIL) M.I.E. AUST. S.G. MONTFORD, ADV. BLDG. CERT. ABN 15 068 316 432 1 Cornish Street Speers Point NSW 2284 PO Box 934 Pennant Hills 1715

Phone: (02) 4965 8410 Fax: (02) 4965 8710 Mobile: 0412 514 747 www.civilsydney.com.au Email: simon@civilsydney.com.au

27<sup>th</sup> April 2006

Job No:AUS/0615

Australand. Locked Bag 2106, DX 8419. North Ryde.NSW.1670. Ph:9767 2000Fax:9767 2944

### ENGINEERS CERTIFICATE

Project:Lot 1301-1805 Callistemon Way, Warriewood

This is to certify that piles driven at the above mentioned site have been driven in accordance with AS2159 - 1995. Sets recorded indicate the piles supplied and driven are capable of supporting a safe working loads P:70KN calculations being based on the Hiley Formula.

Wood S.G Wood

B.E. (Civil) M.I.E Aust.



# Inspection Certificate

Project No:	3621805	Date:	10.5.06	17.5.06		
Client/Owner:	Rylehall Pty Ltd	Time:	1.35 pm	3.30 pm	Appleya	
Contractor:	Australand Properties	Inspector:	R Radovancevic	P Geoghegan	Consult	

Project Description: Proposed Residential Development

This is to certify that an inspector from the above office has attended your site at Lot 1805 (Stage 18) Callistemon Way, Warriewood and has inspected the following:

Section:

Drop Panel Raft Slab

a) b)	Subgrade Sub Base	🔟 🗹   - Satisfactory
c)	Damp - Proof Membrane (to B.C.A)	
d)	Pier Spacing and Depth	щ Щ
e)	Pier Diameter	五
f)	Pier Reinforcement	ф ф
g)	Edge Beam Size	
ĥ)	Edge Beam Reinforcement	🗹 🛛 - Satisfactory
i)	Slab on Grade Thickness	
j	Slab on Grade Reinforcement	
k)	Suspended Slab (level ) Thickness	ф.
1)	Suspended Slab (level ) Reinforcement	Щ
m)	Strip Footing Size	中
n)	Strip Footing Reinforcement	ф
o)	Retaining Wall Footings	ф
p)	Retaining Wall Reinforcement	ф
q)	Pool Shell Reinforcement	
r)	Pole Holes	ф
s)	Curtain Wall	ф
t)	Pad Footings	ф
u)	Detention Tank Base Reinforcement	ф
v)	Detention Tank Lid	Ш

Appleyard Forrest Consulting Engineers Pty Ltd ACN 002 610 522

PO Box 140 Gordon NSW 2072 Australia

#### Gosford

58-60 Hills Street Gosford NSW 2250 Australia Telephone: 02 4324 3499 Facsimile: 02 4324 2951

#### Castle Hill

Unit 35, 7 Anella Avenue Castle Hill NSW 2154 Australia Telephone: 02 9634 6311 Facsimile: 02 9634 6544

#### Bowral

Suite I, 407-409 Bong Bong Street Bowral NSW 2576 Australia Telephone: 02 48621507 Facsimile: 02 48621568

## International

Telephone: + (612) 4324 3499 Facsimile: + (612) 4324 2951

Email postmaster@appleyardforrest.com.a

Website www.appleyardforrest.com.au

### General Comments:

This certificate is issued on the assumption that good construction practice will be observed prior to placement of concrete; eg. piers to be cleaned, dewatered and any deleterious material removed from pier bases and slab area.

As a consequence of this inspection, we certify that items "b, c, g, h, i, j" have been checked and found to comply with the design requirements set out on the drawings identified hereunder.

These design requirements have been established in order to ensure that the completed building or structure will meet the appropriate Objective, Functional Statement, and Performance Requirement required by clauses B01.1, BF1.1 and BP1.1 of BCA2005.

Appleyard Forrest Consulting Engineers Pty Ltd Drawing No(s):

MBLA

L D Appleyard MIEAust CPEng NPER Accredited Certifier (Civil and Structural)

362167/S1/A, S2/B, S3/A → S7/A

Date: 19 May 2006

## BUILDING INDUSTRY PEST SERVICES

P.C. Licence No: 611

Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200 Phone: (02) 9709 2011 Fax: (02) 9708 6306 DX: 11227 A.C.N. 002313439

Sen 1

# CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS: WARRIEWOOD, 1801-1805 CALLISTEMON WAY (SEC8) [lot

BUILDER OR OWNER: AUSTRALAND PROPERTIES

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or Granit gard barrier ineffective.

## **Slab Penetrations**



DATE OF TREATMENT: 17-5-2006 Number of Penetrations: 10 Materials Applied: TERMIFLANGES

Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf.

Applied by: P Nies

Signature:

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.

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# STEVE PAYNE PLUMBING PTY LIMITED PLUMBING DRAINAGE & GASFITTING

## ABN 73 082 614 855 116 BALLANDELLA ROAD PENDLE HILL NSW 2145 PHONE: 9896 0444 MOBILE: 0418 234 203 FAX: 9896 0455

27 September 2006

Australand Holdings Limited Level 31CH Homebush Bay Road Rhodes NSW 2138

### Reference: Rainwater System Certification Warriewood Sector 8

Please find certification for stormwater to 1805 Callistemon Way, Warriewood. These works have been completed to AS3500 and in accordance to Action Tanks installation requirements.

Each dwelling has a 3cubic metre volume rainwater tank to collect roof water runoff, which is stored for flushing toilets, and one (1) garden tap, which can also be incorporated into an irrigation connection.

There is a first flush device fitted with a removable clean out screen. Each tank has an overflow to the street or easement with a flap valve fitted to alleviate any surcharge that may occur. Each tank has been fitted with a top up device separate to the rainwater storage, which is also fitted with a double check valve (backflow prevention device) there is also one fitted to the dwelling.

All the stormwater pipes in ground are labelled with the appropriate hazard identification, as has all the pipe work in the dwelling been labelled the same.

Yours sincerely

An Pag-

Steve Payne STEVE PAYNE PLUMBING PTY LTD


Case No. 102002

### SURDIVIDER/DEVELOPER COMPLIANCE CERTIFICATE (A certificate under Division 9 Section 73 of the Sydney Water Act, 1994)

		DESCRIPTION OF SU	BDIVISION/DE	EVELOPMENT
Counci	<sup>1</sup> Pittwate	r Council		
Street		herson Street Warri	ewood	
Lot No	. (s) 1801 sec	tor 8		
Subdiv into		Lots numbered 1801-1805	dwelling p	ision of 1 lot into 5 and one new dus garage on each new lot at 1801 or 8 Warriewood NSW 2102.
NAME	OF APPLICANT	Australand Hol	dings Limit	ed
APPLIC	CANT'S ADDRESS	CF Dyrne & As	•	
		Po Box 167 Nar		
		rtifies that the above named a lescribed above, of Division 9		nplied with the requirements, relating to the plan ater Act, 1994.
1. Wat required 2. Wat 3. Wat 4. Sew 5. Sew 6. Sew 7. Sew 8. Sydr 6. Sew 7. Sew 8. Sydr 7. Sew 8. Sew 8. Sew 8. Sydr 7. Sew 8. Sydr 7. Sew 8. Sydr 7. Sew 8. Sydr 7. Sew 8. Sydr 7. Sew 8. Sew 8. Sydr 7. Sew 7. S	er facilities are to be irements. er facilities cannot b erage facilities are te irements. erage facilities are u erage facilities are u ivision an additional LOWING ITEMS. PMENT: refacilities have NO irements placed on a	provided as a result of the su flable. • provided within a reasonabl • be provided as a result of the nder the control of the local ex at be provided within a reason rents for future subdivision of certificate will be required. AND	hdivider/develop e time from the c subdivider/deve ouncil, while time from t f this dual occups this dual occups this dual occups this dual occups this dual occups	eloper'o compliance with Sydney Water's he date of this certificate. aney development have NOT been met. On IN THE SUBDIVISION/ after compliance with Sydney Water's
H. Sewe	rago facilities are un	future applicant for subdivisi der the control of the local oc	<del>xuncil.</del>	
Applicant	Reference No.	20650	Council Re	ference No. 647/05
Name	Jack Diplock (Approving Officer fo	ur and on behalf of Sydney Water	Signature 1)	
Name	John Gaffney (Approving Officer fo	n and on behalf of Sydney Water	Signature )	June -
Developm	ent Services Office:	Head Office	Dated:	28 April 2006

THIS CERTIFICATE IS ONLY VALID WHEN SIGNED BY TWO AUTHORISED SYDNEY WATER OFFICERS A signed copy is held by Sydney Water

The original of this certificate must be presented to the appropriate consent authority, usually Council, with which the plan of subdivision/development was lodged so that you can satisfy the relevant condition of consent.



LAND DEVELOPMENT CERTIFICATES

PTY LTD

ABN 38 688 891 810 67 MELBOURNE ROAD, ST JOHNS PARK NSW 2176

Mobile : 0416 102008 Email : landevcert@hotmail.com Phone: 02 9810 2008 Fax: 02 9753 3118

STEPHEN G JOHNSON BE MIEAUST CPEng Accreditation No. 418677

PRINCIPAL CERTIFIER-SUBDIVISION / ACCREDITED CERTIFIER(CIVIL)

# **COMPLIANCE CERTIFICATE**

Environmental Planning and Assessment Act, 1979, Section 109C (1) (a)

#### Applicant:

#### **Development Consent No:**

DA N 0210/04 Dated: 22/12/04

Australand Holdings Ltd Locked Bag 2106, NORTH RYDE NSW 1670

5.96(2) Nodifications:

Date:

Ref:

Nil

## Subject Land:

Lots 1 & 2 DP 18303, Lots A-C DP 328260, Lot 1 DP 593363 & Lot 12 DP 659528, Sector 8, H/No.25 MacPharson Street, WARRIEWOOD NSW 2102

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98-033-1 29mm 1 - Compi 11057

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# Annexure A

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LAND DEVELOPMENT CERTIFICATES PTY LTD

Stephen Grant Johnson Accredited Certifier (Civil) / Principal Certifier - Subdivision Abereditation No. 418877

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		INDUSTRY PEST SI RVICES		
T	Phon	flee: Suite 9, 39 Stanley Street, Bank nown NSW 2200 : (02) 9709 2011 Fax: (02) 9708 6306 DX: 11227	A.C.N.	002313439
C	ER1	IFICATE OF TREATMENT		
EST SERVICES to provide p lay be required to completely p ITE ADDRESS: WAR UILDER OR OWNER: AUS TTENTION: While the barrier system	rotecti protect LRIEW IRALA m provid	hat the building described has been treated by BUI n from subterranean termite atlack. Please note the your home. NOD, 1801-1805 CALLISTEMO "WAY (SECS) [lot ND PROPERTIES a significant protection for many years, annual, complete ins ing or breaching has occurred or is theppeted. Any additionar, render the charmical or Grankgard be "lor ineffective.	BOJ-]	comme ndëd.
	Pe	meter Chemical Trealment		1
Ref. 28470003 Reticulation Legend Path way Duilled pipe End cap Physical Barrier Legend Penetration Start/Finish × Area Protected // Ough sketch only - refer builder's ans for true dimensions. DATE OF TREATMENT: 1 Volume of Concentrate: 0.21 Volume of Emulsion: 85 litre Application Rate: 5 litres / so Linear Metres: 17 metres Materials Applied: .25% BIR	l 25 litre es q. metre			
Perim	ieter	reatment Certificate of Completion		, ,
This document certifies the been treated in accordance he limitations listed above pplied by: M Maynard	hat th ce wit e &/or	above structure has AS3660-1 except for overleaf.	Autho	rised by: A apsford
arranty is 12 months unless is	ndicate	otherwise. See Warranty Conditions overleaf.		

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	end Office: Suite 9, 39 Stanley Street, Bankilown NSW 2200	A.C.N.	002313439
P.C. Licence No: 611 H	Phone: (02) 9709 2011 Fax: (02) 9708 6306 DX: 11227	:	
CE	RTIFICATE OF TREATMENT		
PEST SERVICES to provide pro may be required to completely pr SITE ADDRESS: WARE BUILDER OR OWNER: AUSTI ATTENTION: Whilst the barrier system	ation that the building described hai been treated by BI tection from subterranean termite stack. Please note otect your home. IEWOOD, 1801-1805 CALLISTEM(): NWAY (SECS) [lot tAL. ND PROPERTIES provides significant protection for many years, annual, complete in a briging or breaching has occurred or is a uspected. Any addition ig, my render the chemical or Grankgard builder ineffective.	leed	
including Gattlining adjacent to the putor	Perimeter Chemical Treatment		<del> </del>
Ref. 28471003   Reticulation Legend   Peth trap [S] Drilled pipe	S litra 8 mor NTHRIN		
Perime	ter Treatment Certificate of Completion	<u> </u>	······
This document certifies the been treated in accordance the limitations listed above	at the above structure has win AS3660-1 except for &/or overleaf.	Antho	nised by:
Applied by: M Maynard	icated otherwise. See Warranty Coulditions overleaf.	P.E.S	Sapsford

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	LDING INDUSTRY SUBSIDIARY OF ENVI	IIIIDPEST P/L 39 Stanley Strate Bankstown N.S.W. 2200 Tai: (7) 9793 2166
AB.N. 56 947 548 056 IN	STALLATION	<b>SHEET</b> Fax: (02) 9708 6306 DX 11227, Bankstown
Builder: Astronand		Date: 22-11-06
Site Address:		
htma		
Installer: Matt	Lic No.:	
		DB PLAN
Environmental Information		
Chemical North		
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