

Telephone 1300 663 215
Facsimile (02) 9659 1633
PO Box 6160
Baulkham Hills BC NSW 2153

COUNCIL



R Moy & Associates Pty Ltd
T/as Greenfield Accredited Certifiers
ACN 100 924 605
ABN 23 100 924 605

Final Occupation Certificate

Issued in accordance with section 109C(1)(c) of the Environmental Planning & Assessment Act 1979.

OCCUPATION CERTIFICATE NUMBER CC2006-07305

Subject Site Address Macpherson Street, WARRIEWOOD 2102
Proposed Lot Nos 1801-1805
Stage 18
Lot 1801
Sector 8
Macpherson Street WARRIEWOOD
328260
DP PITTWATER COUNCIL
Council Area
Description of Building Work 5 x Two Storey Dwellings with detached double garages

Applicant Name Australand Holdings Limited
Applicant Address Level 3, 1C Homebush Bay Drive, RHODES 2138

Owner Name Australand Holdings Limited
Owner Address Level 3, 1C Homebush Bay Drive, RHODES

List of documents relied upon by the PCA in making the determination:
Council Submission Cheque \$30.00

Engineers Certificate For Piers And Slab
Part A And B Pest Treatment Certificates
Wet Areas Certificate
Smoke Detectors Certificate
Wet Areas Certificate
Floor Level Survey
Ridge Level Survey
Final Identification Survey
Rainwater Tank Certificate
Engineers Compliance For Civil Works
Section 73 Certificate
Photographic Evidence Of Street Trees
Landscaping Certificate

Inspections carried out during construction:

The following stages of construction were inspected and were found to be satisfactory with reference to inspection reports and/or compliance certificates issued by a certifying authority.

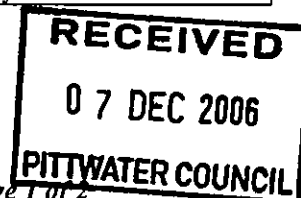
Date	Inspection	Inspected By
05/07/06	Commencement	Kieran Tobin
23/08/06	Framework	Kieran Tobin
13/09/06	Wet Areas	Rick Moy
22/09/06	Storm Water	Kieran Tobin
15/11/06	Preliminary Final	Luke Jeffree
23/11/06	Final OC Completion	Rick Moy

(Continued on Page 2)

R# 207045
\$30

Final Occupation Certificate

Page 1 of 2



07.12.06

SUBJECT SITE ADDRESS MACPHERSON STREET, WARRIEWOOD 2102


OCCUPATION CERTIFICATE NUMBER CC2006-07305

Statement by Certifying Authority:

I, the Certifying Authority for building works as described in this certificate, have satisfied myself that the following matters have been complied with:

- A current development consent or complying development certificate is in force for the building
- For building works, a current construction certificate (or complying development certificate) has been issued with respect to the plans and specifications for the building
- The building is suitable for occupation or use in accordance with its classification under the Building Code of Australia
- A fire safety certificate has been issued for the building where required under the Act
- A report from the Fire Commissioner has been considered where required under the Act

Signed
Certifying Authority
Accreditation Number
Accreditation Body



Rick Moy
2081
Department of Planning

Date of this Certificate

4/12/2006

**FIBREFLASH**

WATERPROOF SOLUTIONS

AUSTRALAND HOLDINGS LTD
LOCKED BAG 2106
NORTH RYDE NSW 2113

13 September, 2006

SUBJECT: WATERPROOFING CERTIFICATE
TFW Ref. 56793

This certifies that **FIBREFLASH** Waterproof Solutions completed installation of the waterproofing to the internal wet areas at the address below on September 13, 2006 :-

1803 CALLISTEMON WAY WARRIEWOOD

STAGE 1: Install the waterproofing membrane to the shower tray, perimeter walls and floor to all required wet areas.

STAGE 2: Provide waterproofing treatment to shower penetrations, bath seals, spindle seals and installation of the waterstop at doorways to all required wet areas.

This work was completed in accordance with Tables 2.1, 4.1 and Section 5 of Australian Standard 3740 - 2004 and the Building Code of Australia.

Yours faithfully,

Jeff SAYLE
Operations Manager
FIBREFLASH Waterproof Solutions
GOLD LICENCE: 17790C

ABN: 93 003 987 424

◆ 61 Wellington Street
Riverstone NSW 2765

◆ PO Box 257
Riverstone NSW 2765

◆ **Ph: 02 9627 5500**
Fax: 02 9627 3659

WATERPROOF SOLUTIONS

**FIBREFLASH**

WATERPROOFING

AUSTRALAND HOLDINGS LTD
LOCKED BAG 2106
NORTH RYDE NSW 2113

13 September, 2006

SUBJECT:

WATERPROOFING CERTIFICATE

TFW Ref. 56795

This certifies that **FIBREFLASH** Waterproof Solutions completed installation of the waterproofing to the internal wet areas at the address below on September 13, 2006 :-

1805 CALLISTEMON WAY WARRIEWOOD

STAGE 1: Install the waterproofing membrane to the shower tray, perimeter walls and floor to all required wet areas.

STAGE 2: Provide waterproofing treatment to shower penetrations, bath seals, spindle seals and installation of the waterstop at doorways to all required wet areas.

This work was completed in accordance with Tables 2.1, 4.1 and Section 5 of Australian Standard 3740 - 2004 and the Building Code of Australia.

Yours faithfully,

Jeff SAYLE
Operations Manager
FIBREFLASH Waterproof Solutions
GOLD LICENCE: 17790C

ABN: 93 003 987 424

◆ 61 Wellington Street
Riverstone NSW 2765

◆ PO Box 257
Riverstone NSW 2765

◆ Ph: 02 9627 5500
Fax: 02 9627 3659

11.Oct. 2006 12:10.

dias electrical

No. 7970 P. 2

**DIAS
ELECTRICAL
CONTRACTING****CERTIFICATE FOR INSTALLATION OF
RESIDENTIAL SMOKE ALARMS**

Dias Electrical Contracting Pty Ltd
ACN 056 894 303 BC NO 14573C
Suite 4, 52 Peachtree Road
Penrith NSW 2750
Telephone (02) 4721 7057
Facsimile (02) 4721 7058

PREMISES:

1801 Callistemon
Way Warriewood.

CLIENTS NAME:

Australand.

LOCATION OF DETECTORS:

1x Bottom of
Stairs, 1x Top of Stairs.**ALARM DETAILS:**

PRODUCT/MODEL No. 755 SUPPLIER: Clipsal SSL LISTING No: AS3786-93

DATE OF INSTALLATION & TESTING:

19/10/06.

THIS SMOKE ALARM HAS BEEN INSTALLED IN ACCORDANCE WITH THE
APPROVED PLANS AND AUSTRALIAN STANDARD 3716.
I ALSO CERTIFY THAT THE SMOKE DETECTORS HAVE BEEN CONNECTED TO THE
MAINS POWER, ARE INTERCONNECTED WHEN MORE THAN ONE ALARM IS
INSTALLED AND HAVE STAND-BY POWER SUPPLY.

INSTALLERS DETAILS:

DIAS ELECTRICAL CONTRACTING PTY LTD
452 PEACHTREE ROAD, PENRITH NSW 2750

TELEPHONE: 0247 217 057

FAX: 0247 217 058

SIGNATURE:

R. Dias

DATE:

19/10/06.

... TO QUALITY HOMEBUILDERS

11 Oct. 2006 12:10

dias electrical

No. 7970

**DIAS
ELECTRICAL
CONTRACTING****CERTIFICATE FOR INSTALLATION OF
RESIDENTIAL SMOKE ALARMS**

Dias Electrical Contracting Pty Ltd
ACN 056 834 301 UCN 145750
Suite 4, 52 Peachtree Road
Penrith NSW 2750
Telephone (02) 4721 7057
Facsimile (02) 4721 7058

PREMISES: 1802 Callistemon
Way Warriewood.

CLIENTS NAME: Australand.

LOCATION OF DETECTORS: 1 x Bottom of Stairs,
1 x Top of Stairs.

ALARM DETAILS:

PRODUCT/MODEL No. 755 SUPPLIER: Clipsal 551 LISTING No: A53786-93

DATE OF INSTALLATION & TESTING: 19/10/06.

THIS SMOKE ALARM HAS BEEN INSTALLED IN ACCORDANCE WITH THE
APPROVED PLANS AND AUSTRALIAN STANDARD 3114.
I ALSO CERTIFY THAT THE SMOKE DETECTORS HAVE BEEN CONNECTED TO THE
MAINS POWER, ARE INTERCONNECTED WHEN MORE THAN ONE ALARM IS
INSTALLED AND HAVE STAND-BY POWER SUPPLY.

INSTALLERS DETAILS:

DIAS ELECTRICAL CONTRACTING PTY LTD
452 PEACHTREE ROAD, PENRITH NSW 2750

TELEPHONE: 0247 217 057

FAX: 0247 217 058

SIGNATURE: R. Dias DATE: 19/10/06.

... TO QUALITY HOMEBUILDERS

11 Oct. 2006 12:10

dias electrical

No. 7970

P. 4

**DIAS
ELECTRICAL
CONTRACTING****CERTIFICATE FOR INSTALLATION OF
RESIDENTIAL SMOKE ALARMS.**

Dias Electrical Contracting Pty Ltd
ACN 056 884 303 UC NO 14575C
Suite 4, 52 Peachtree Road
Penrith NSW 2750
Telephone (02) 4721 7057
Facsimile (02) 4721 7058

PREMISES: 1803 Callistemon
Way Warriewood

CLIENTS NAME: Australand

LOCATION OF DETECTORS: 1 x Bottom of Stairs
1 x top of Stairs

ALARM DETAILS:

PRODUCT/MODEL No. 755 SUPPLIER: Clipsal 551. LISTING No: AS3786-93

DATE OF INSTALLATION & TESTING: 19/10/06

THIS SMOKE ALARM HAS BEEN INSTALLED IN ACCORDANCE WITH THE
APPROVED PLANS AND AUSTRALIAN STANDARD 3786.
I ALSO CERTIFY THAT THE SMOKE DETECTORS HAVE BEEN CONNECTED TO THE
MAINS POWER, ARE INTERCONNECTED WHEN MORE THAN ONE ALARM IS
INSTALLED AND HAVE STAND-BY POWER SUPPLY.

INSTALLERS DETAILS:

DIAS ELECTRICAL CONTRACTING PTY LTD
452 PEACHTREE ROAD, PENRITH NSW 2750

TELEPHONE: 0247 217 057

FAX: 0247 217 058

SIGNATURE: R. DiasDATE: 19/10/06

... TO QUALITY HOMEBUILDER

No. 7970 P. 5
DIAS ELECTRICAL CONTRACTING

Dias Electrical Contracting Pty Ltd
ACMA 056 884 303 LC NO 16575C
Suite 4, 52 Peachtree Road
Penrith NSW 2750
Telephone (02) 4721 7057
Facsimile (02) 4721 7058

**CERTIFICATE FOR INSTALLATION OF
RESIDENTIAL SMOKE ALARMS**

PREMISES: 1804 Callistemon
Way Warriewood.

CLIENTS NAME: Australand.

LOCATION OF DETECTORS: 1 x Bottom of stairs,
1 x Top of stairs.

ALARM DETAILS:

PRODUCT/MODEL No. 755 SUPPLIER: Clipsal SSI LISTING No: AS3786-93

DATE OF INSTALLATION & TESTING: 20/10/06.

THIS SMOKE ALARM HAS BEEN INSTALLED IN ACCORDANCE WITH THE
APPROVED PLANS AND AUSTRALIAN STANDARD 3116.
I ALSO CERTIFY THAT THE SMOKE DETECTORS HAVE BEEN CONNECTED TO THE
MAINS POWER, ARE INTERCONNECTED WHEN MORE THAN ONE ALARM IS
INSTALLED AND HAVE STAND-BY POWER SUPPLY.

INSTALLERS DETAILS:

DIAS ELECTRICAL CONTRACTING PTY LTD
452 PEACHTREE ROAD, PENRITH NSW 2750

TELEPHONE: 0247 217 057

FAX: 0247 217 058

SIGNATURE: R. Dias DATE: 20/10/06.

... TO QUALITY HOMEBUILDERS

11-Oct. 2006 12:10 dias electrical

No. 7970 P. 6

**DIAS
ELECTRICAL
CONTRACTING****CERTIFICATE FOR INSTALLATION OF
RESIDENTIAL SMOKE ALARMS.**

Dias Electrical Contracting Pty Ltd
ACN 056 886 303 UC NO 16375C
Suite 4, 52 Peachtree Road
Penrith NSW 2750
Telephone (02) 4721 7057
Facsimile (02) 4721 7058

PREMISES: 1805 Callistemon
Way WarriewoodCLIENTS NAME: Australand.LOCATION OF DETECTORS: 1x Bottom of
Stairs, 1x Top of Stairs.**ALARM DETAILS:**

PRODUCT/MODEL No. 755 SUPPLIER: Clipsal SSI LISTING No: AS3786-93

DATE OF INSTALLATION & TESTING: 20/10/06.

THIS SMOKE ALARM HAS BEEN INSTALLED IN ACCORDANCE WITH THE
APPROVED PLANS AND AUSTRALIAN STANDARD 5116.
I ALSO CERTIFY THAT THE SMOKE DETECTORS HAVE BEEN CONNECTED TO THE
MAINS POWER, ARE INTERCONNECTED WHEN MORE THAN ONE ALARM IS
INSTALLED AND HAVE STAND-BY POWER SUPPLY.

INSTALLERS DETAILS:

DIAS ELECTRICAL CONTRACTING PTY LTD
452 PEACHTREE ROAD, PENRITH NSW 2750

TELEPHONE: 0247 217 057

FAX: 0247 217 058

SIGNATURE

R. Dias

DATE

20/10/06.

SEE TO QUALITY HOMEBUILDERS

BUILDING INDUSTRY PEST SERVICES

P.C. Licence No: 611

Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200
 Phone: (02) 9709 2011 Fax: (02) 9708 6306 DDC: 11227

A.C.N. 002313439

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS: **WARRIEWOOD, 1801-1805 CALLISTEMON WAY (SEC8) (lot**

BUILDER OR OWNER: **AUSTRALAND PROPERTIES**

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or Granigard barrier ineffective.

Curing

Ref. 28467001

LEGEND

Treated area



Plumbing line



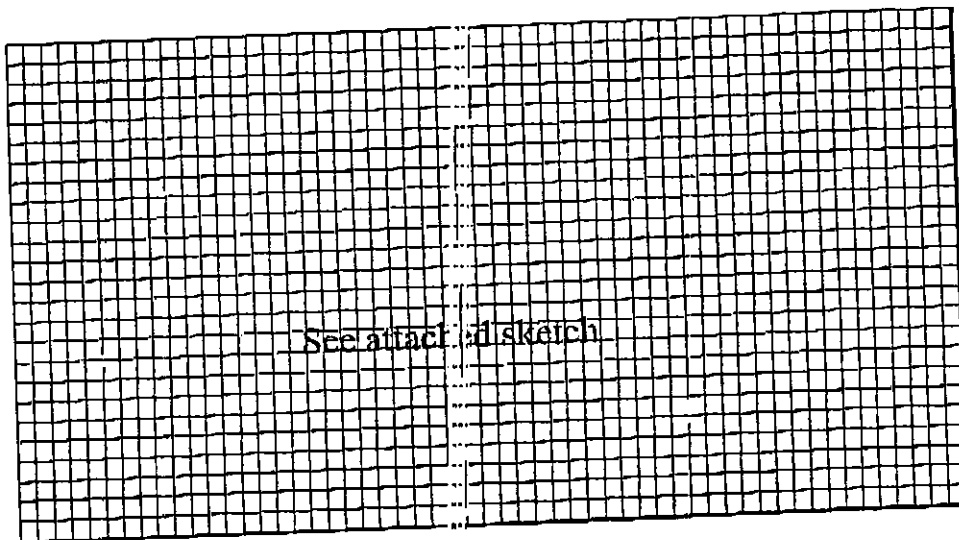
Pier



Steps



Rough sketch only - refer builder's plans for true dimensions.



DATE OF TREATMENT: 19-5-2006
 Area Protected: 85.6 square metres
 Materials Applied: PVA J51.016

Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf.

Applied by: P Nies

Signature: 

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.



A.B.N. 56 947 548 056

BUILDING INDUSTRY PEST SERVICES

SUBSIDIARY OF ENVIROPEST P.L.

Level 2, Suite 3
39 Stanley Street
Bankstown N.S.W. 2200
Tel: (02) 9793 2166
Fax: (02) 9708 6306
DX 11227, Bankstown

INSTALLATION SHEET

Builder: AUSTRALAND PROPERTIES (BIPS)
Site Address: LOT 1801-1803 CALLISTEMON WAY
WARRICWOOD
Installer: PAUL + HELEN NIES Lic No.:
SIGNED:

Date: 17-5-06

Job Sheet No.: 21651
234 67001
23 468001
Ref No.: 23469001

Environmental Information

Chemical Name
Vol of Concentration
Vol of Emulsion
Equipment:
Hand held spray ☐
Track mounted spray ☐
Other

Chemical Name
Vol of Concentration
Vol of Emulsion
Equipment:
Hand held spray ☐
Track mounted spray ☐
Other

Wind Speed Wind Direction
Time Start Time Finish

Area Protected

Under Slab M2 Perimeter L/m
Subfloor M2 Penetrations Qty.
Surre M2 428 Ringline L/m
(as per plan)

Slab ☐ Monolithic slab on ground
☐ In-fill slab ☐ Waffle pod
☐ B/A Timber floor ☐ Ultra floor

Method of Protection

☐ Physical Barrier ☐ Chemical Barrier
Type

Reticulation Legend

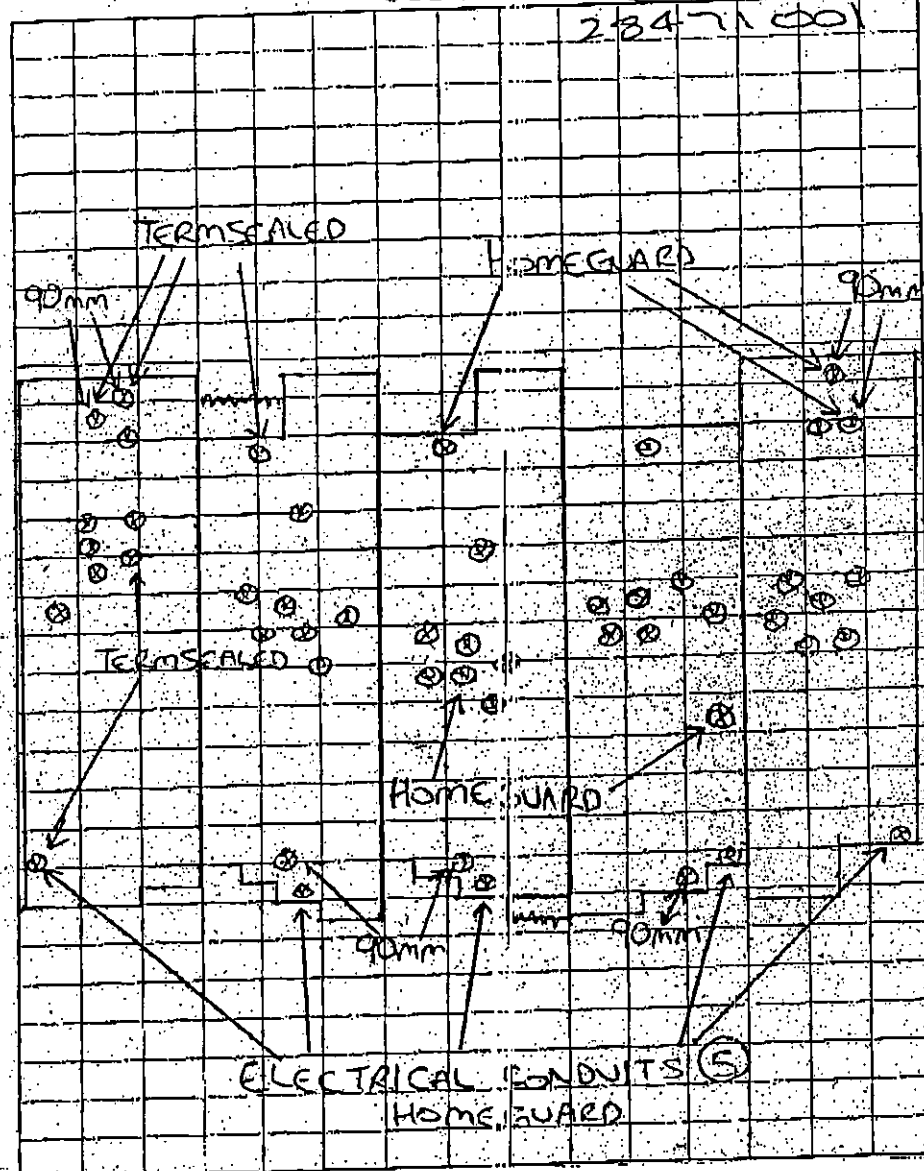
Soil trap ☒ Drilled pipe
Undrilled pipe End cap

Physical Barrier Legend

Penetration ☒ Start/Finish X
Area Protected //

JOB PLAN 23470001

23471001



BUILDING INDUSTRY PEST SERVICES

P.C. Licence No: 611

Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200
 Phone: (02) 9709 2011 Fax: (02) 9708 6306 DW: 11227

A.C.N. 002313439

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS: **WARRIEWOOD, 1801-1805 CALLISTEMON WAY (SEC8) [lot**
 BUILDER OR OWNER: **AUSTRALAND PROPERTIES**

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earthworks, including gardening adjacent to the building, may render the chemical or Grankgard barrier ineffective.

Curing

Ref. 28468001

LEGEND

Treated area



Plumbing line



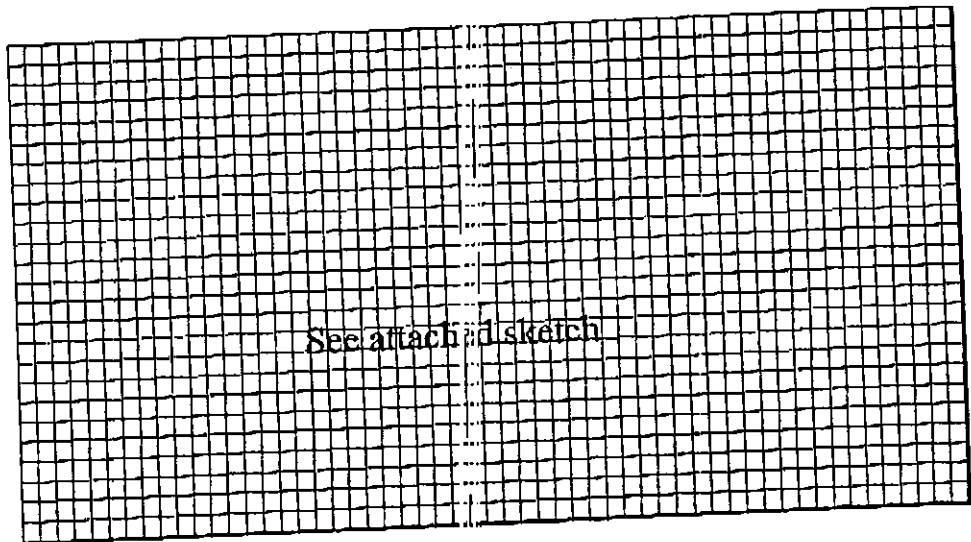
Pier



Steps



Rough sketch only - refer builder's plans for true dimensions.



DATE OF TREATMENT: 19-5-2006
 Area Protected: 85.6 square metres
 Materials Applied: PVA J51.016

Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf.

Applied by: P Nics

Signature:

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.



A.B.N. 56 947 548 056

BUILDING INDUSTRY PEST SERVICES

SUBSIDIARY OF ENVIROPEST PTY LTD

INSTALLATION SHEET

Level 2, Suite 3
39 Stanley Street
Bankstown N.S.W. 2200
Tel: (02) 9793 2166
Fax: (02) 9708 4306
DX 11227, Bankstown

Builder: AUSTRALAND PROPERTIES (BIPS)
Site Address: LOT 1801-1805 CALLISTEMON WAY
WARRIEWOOD

Date: 17-5-06

Job Sheet No.: 21651

234 67001

234 68001

Ref No.: 23469001

Installer: PAUL & HELEN NIES Lic No.:

SIGNED:

Environmental Information

Chemical Name

Vol of Concentration

Vol of Emulsion

Equipment:

Hand held spray ☐Truck mounted spray ☐

Other

Chemical Name

Vol of Concentration

Vol of Emulsion

Equipment:

Hand held spray ☐Truck mounted spray ☐

Other

Wind Speed Wind Direction

Time Start Time Finish

Area Protected

Under Slab M2 Perimeter L/m

1st floor M2 Penetrations Qty

1st floor M2 Ringline L/m
(as per plan)Lab ☐ Monolithic slab on ground☐ In-fill slab ☐ Wattle pad☐ B/I Timber floor ☐ Ultra floor

Method of Protection

☐ Physical Barrier ☐ Chemical Barrier

Reticulation Legend

th trap ☒ Drilled pipe
drilled pipe - - - End cap

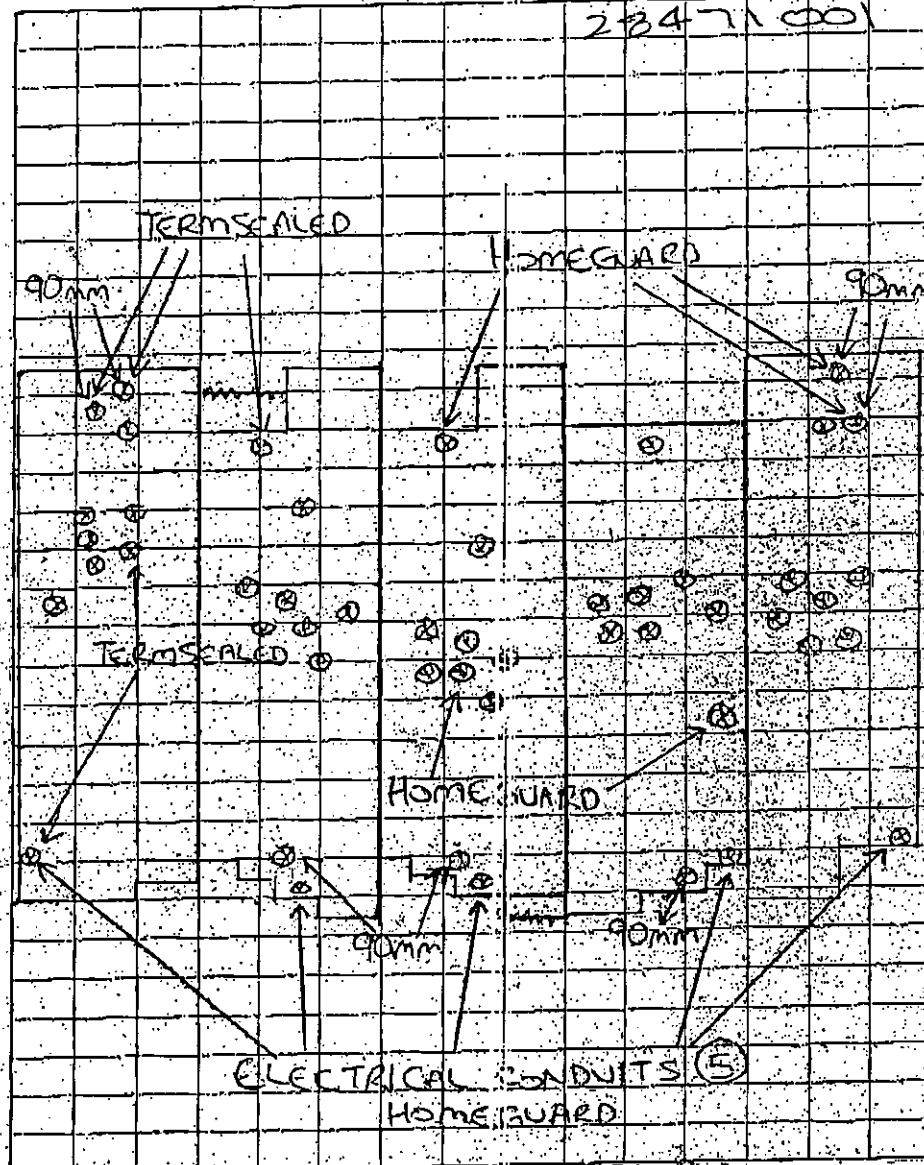
Physical Barrier Legend

migration ☒ Start/Finish X

area Protected //

JOB PLAN 23470001

23471001



BUILDING INDUSTRY PEST SERVICES

P.C. Licence No: 611

 Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200
 Phone: (02) 9709 2011 Fax: (02) 9708 6306 D.O. 11227

A.C.N. 002313439

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS: WARRIEWOOD, 1801-1805 CALLISTEMON WAY (SEC8) [lot


BUILDER OR OWNER: AUSTRALAND PROPERTIES


ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or Granitgard barrier ineffective.

Curing

Ref. 28469001

LEGEND

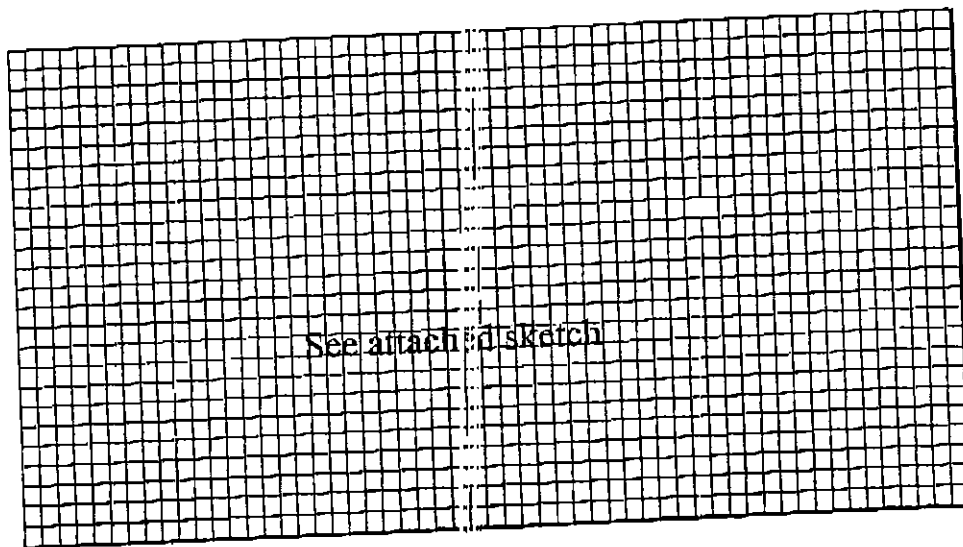
Treated area 

Plumbing line 

Pier 

Steps 

Rough sketch only - refer builder's plans for true dimensions.



DATE OF TREATMENT: 19-5-2006
 Area Protected: 85.6 square metres
 Materials Applied: PVA J51.016

Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf.

Applied by: P Nies

Signature: 

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.



A.B.N. 56 947 548 056

BUILDING INDUSTRY PEST SERVICES

SUBSIDIARY OF ENVIROPEST P/L

Level 2, Suite 3
39 Stanley Street
Bankstown N.S.W. 2200
Tel: (02) 9793 2166
Fax: (02) 9708 6306
DX 11227, Bankstown

INSTALLATION SHEET

Builder: AUSTRALAND PROPERTIES (BIPS)
Site Address: LOT 1801-1805 CALLISTEMON WAY
WARWICKWOOD
Installer: PAUL + HELEN NIES Lic No.:
SIGNED:

Date: 17-5-06
Job Sheet No.: 21651
28467001
28468001
Ref No.: 28469001

Environmental Information

Chemical Name
Vol of Concentration
Vol of Emulsion
Equipment:
Hand held spray ☐
Truck mounted spray ☐
Other

Chemical Name
Vol of Concentration
Vol of Emulsion
Equipment:
Hand held spray ☐
Truck mounted spray ☐
Other

Wind Speed Wind Direction
Time Start Time Finish

Area Protected

Under Slab M2 Perimeter L/m
subfloor M2 Penetrations Qty
Suro M2 423 Ringline L/m
Slab ☐ Monolithic slab on ground
☐ In-fill slab ☐ Waffle pod
☐ B/I Timber floor ☐ Ultra floor

Method of Protection

☐ Physical Barrier ☐ Chemical Barrier
Type

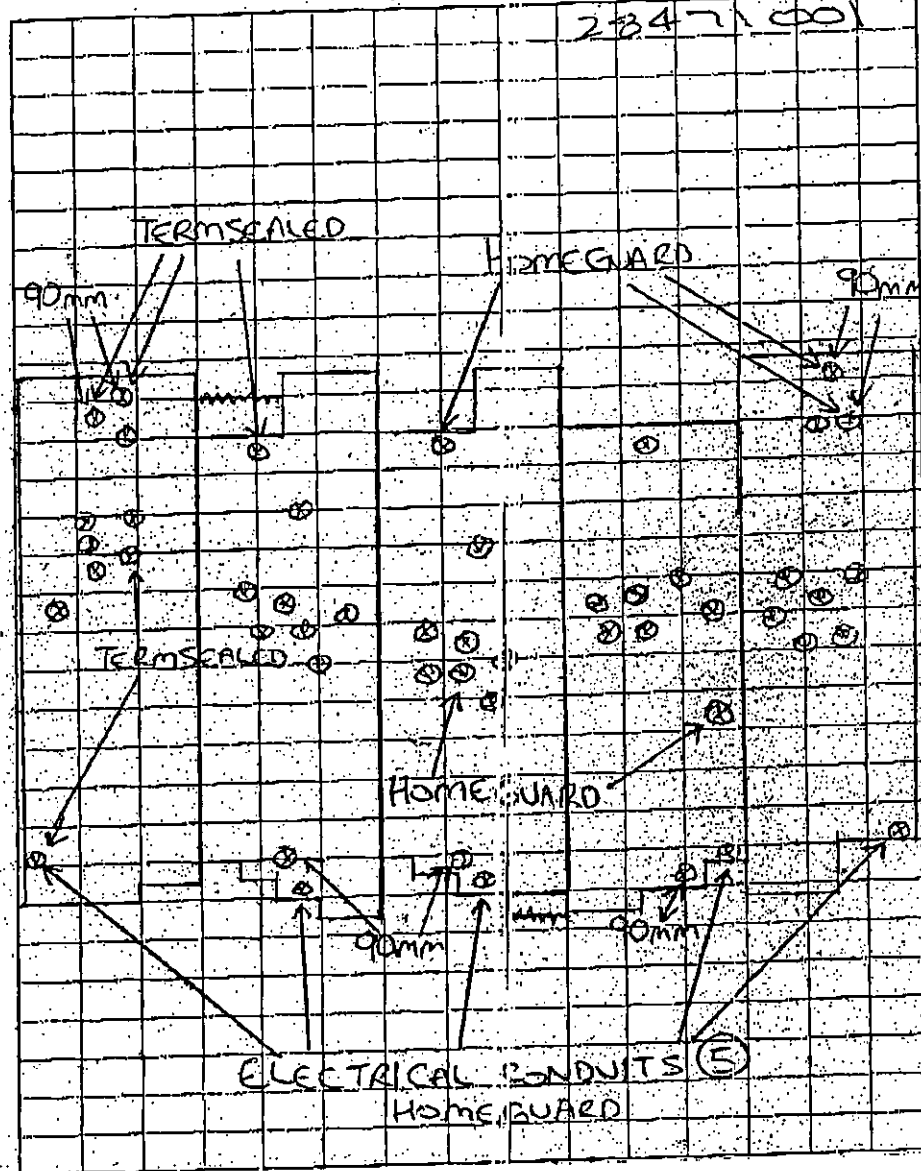
Reticulation Legend

with trap ☒ Drilled pipe
Indrilled pipe - - - End cap

Physical Barrier Legend

Penetration ☒ Start/Finish X
Area Protected //

JOB PLAN 28470001



BUILDING INDUSTRY PEST SERVICES

P.C. Licence No: 611

Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200
 Phone: (02) 9709 2011 Fax: (02) 9708 6306 EOC: 11227

A.C.N. 002313439

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS: WARRIEWOOD, 1801-1805 CALLISTEMON WAY (SEC8) [lot

BUILDER OR OWNER: AUSTRALAND PROPERTIES

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or GranGuard barrier ineffective.

Curing

Ref. 23470001

LEGEND

Treated area



Plumbing line



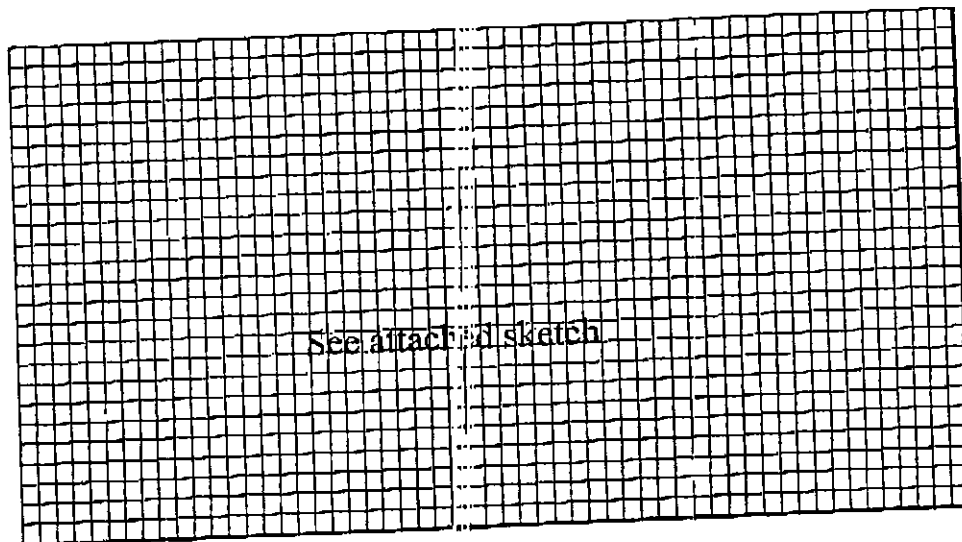
Pier



Steps



Rough sketch only - refer builder's plans for true dimensions.



DATE OF TREATMENT: 19-5-2006
 Area Protected: 85.6 square metres
 Materials Applied: PVA J51.016

Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf.

Applied by: P Nies

Signature:

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.



A.B.N. 56 947 548 056

BUILDING INDUSTRY PEST SERVICES

SUBSIDIARY OF ENVIROPEST P/L

INSTALLATION SHEET

Level 2, Suite 3
39 Stanley Street
Bankstown N.S.W. 2200
Tel: (02) 9793 2166
Fax: (02) 9708 6306
DX 11227, Bankstown

Builder: AUSTRALAND PROPERTIES (BIPS)
Site Address: LOT 1801-1805 CALLISTEMON WAY
WARRICWOOD

Date: 17-5-06

Job Sheet No.: 21651

28467001

28468001

Ref No.: 28469001

Installer: PAUL & HELEN NIES Lic No.:

SIGNED:

Environmental Information

Chemical Name

Vol of Concentration

Vol of Emulsion

Equipment:

Hand held spray ☐Truck mounted spray ☐

Other

Chemical Name

Vol of Concentration

Vol of Emulsion

Equipment:

Hand held spray ☐Truck mounted spray ☐

Other

Wind Speed

Wind Direction

Time Start

Time Finish

Area Protected

Under Slab M2

Perimeter L/m

Subfloor M2

Penetrations Qty

Slab M2 428

Ringline L/m

Slab ☐ Monolithic slab on ground☐ In-fill slab ☐ Waffle pod☐ B/T Timber floor ☐ Utra floor

Method of Protection

☐ Physical Barrier ☐ Chemical Barrier

Type

Reticulation Legend

Air trap ☒ Drilled pipe

In-drilled pipe --- End cap

Physical Barrier Legend

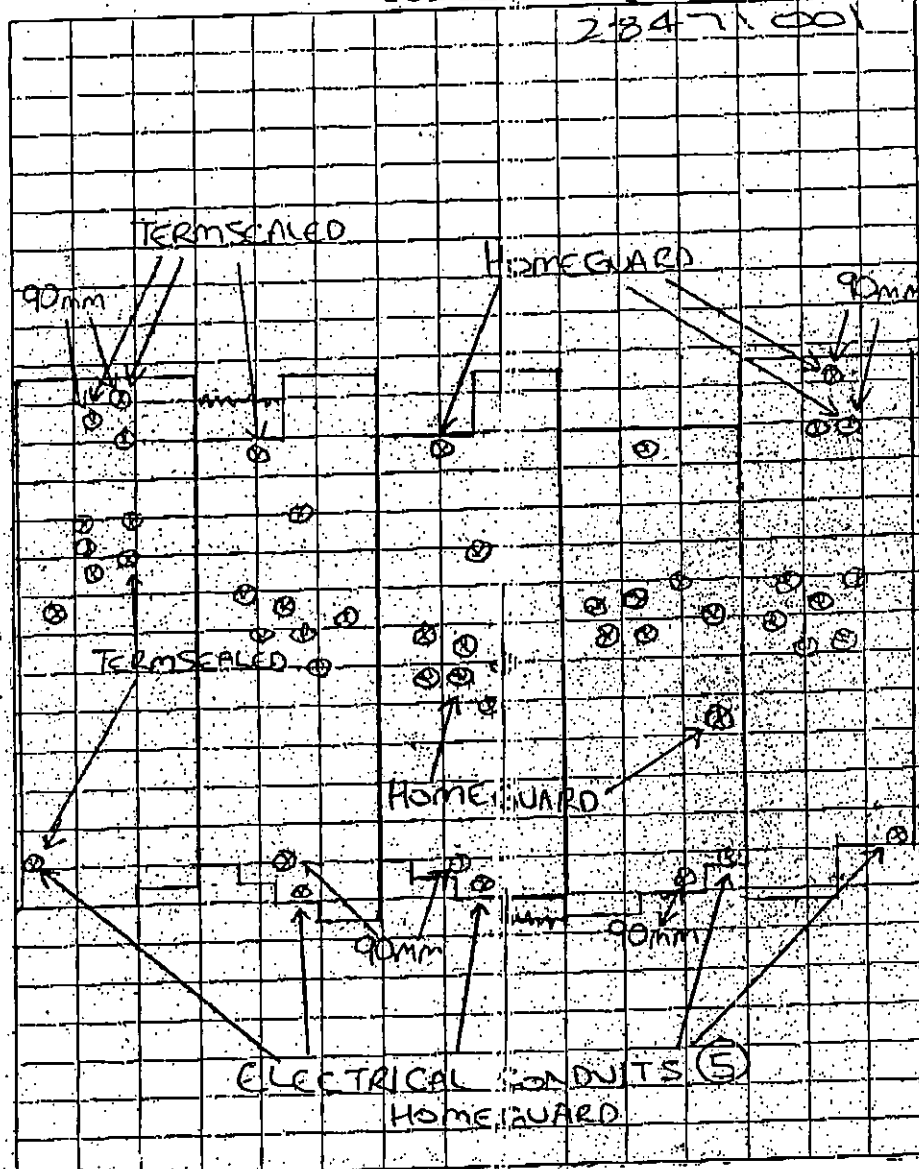
Penetration ☒ Start/Finish X

Area Protected //

JOB PLAN

28470001

28471001



BUILDING INDUSTRY PEST SERVICES

P.C. Licence No: 611

Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200
Phone: (02) 9709 2011 Fax: (02) 9708 6306 DX: 11227

A.C.N. 002313439

CERTIFICATE OF TREATMENT

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SITE ADDRESS: **WARRIEWOOD, 1801-1805 CALLISTEMON WAY (SEC8) [lot**BUILDER OR OWNER: **AUSTRALAND PROPERTIES**

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or Granitgard barrier ineffective.

Curing

Ref. 28471001

LEGEND

Treated area



Plumbing line



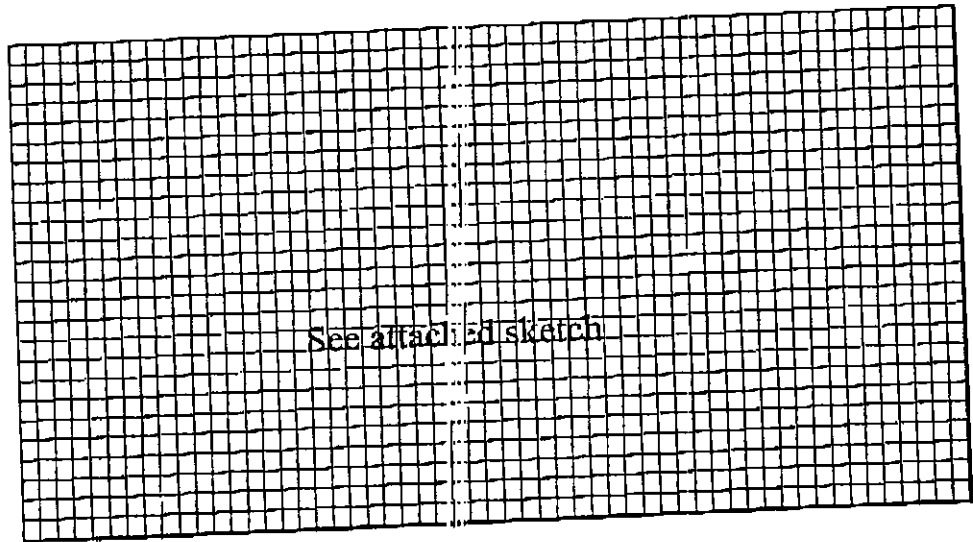
Pier



Steps



Rough sketch only - refer builder's plans for true dimensions.

DATE OF TREATMENT: 19-5-2006
Area Protected: 0 square metres**Certification**

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf.

Applied by: P Nies

Signature: 

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.



A.B.N. 56 947 548 056

BUILDING INDUSTRY PEST SERVICES

SUBSIDIARY OF ENVIROPEST P/L

INSTALLATION SHEET

Level 2, Suite 3
39 Stanley Street
Bankstown N.S.W. 2200
Tel: (02) 9793 2164
Fax: (02) 9708 6306
DX 11227, Bankstown

Builder: AUSTRALAND PROPERTIES (BIPS)
Site Address: LOT 1801-1805 CALLISTEMON WAY
WARRIEWOOD
Installer: PAUL + HELEN NIES Lic No.:
GNED:

Date: 17-5-06
Job Sheet No: 21651
284 67001
284 68001
Ref No: 28469001

Environmental Information

Chemical Name
Vol of Concentration
Vol of Emulsion
Equipment
Hand held spray ☐
Truck mounted spray ☐
Other

Chemical Name
Vol of Concentration
Vol of Emulsion
Equipment
Hand held spray ☐
Truck mounted spray ☐
Other

Wind Speed
Wind Direction
Time Start
Time Finish

Area Protected

Under Slab M2
Perimeter L/m
Lab floor M2
Penetrations Qty
Duct M2
Ringline L/m
Slab
☐ Monolithic slab on ground
☐ 10-kill slab
☐ Waffle pod
☐ B/T Timber floor
☐ Ultra floor

Method of Protection

☐ Physical Barrier
☐ Chemical Barrier

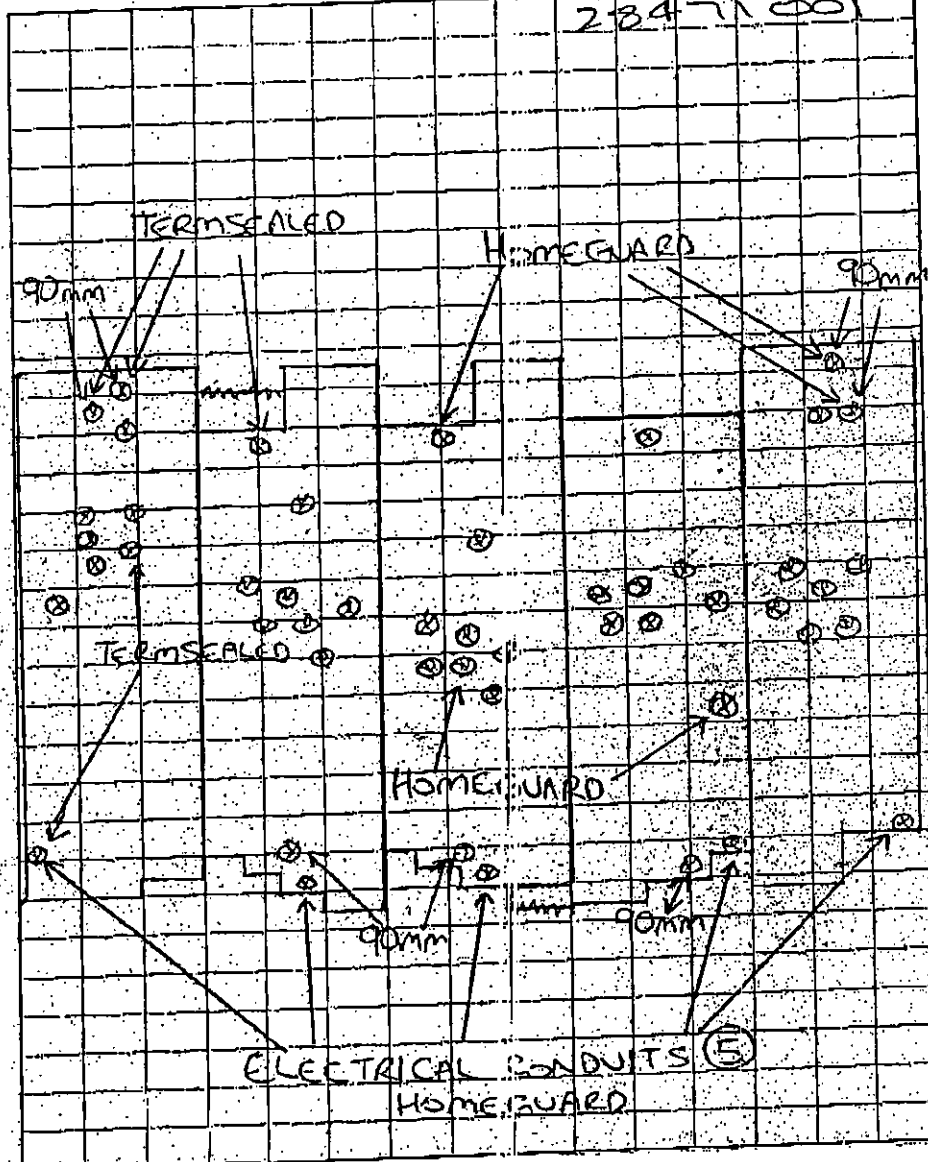
Reticulation Legend

With snap ☒
Indrilled pipe
Drilled pipe
End cap

Physical Barrier Legend

Penetration ☒
Start/Finish ☒
Area Protected //

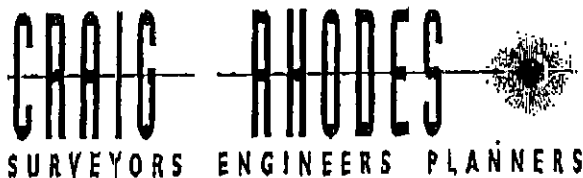
JOB PLAN 28470001
28471001



2. Nov. 2006 15:48

CRAIG & RHODES 61 2 9869 2341

No. 0822. P. 14



ABN 77 050 209 991

INCORPORATING JOHN G. NELSON & ASSOCIATES

Surveyors since 1921



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 Fax: 02 9869 2341
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 Web: www.craigandrhodes.com.au



2 November, 2006

SURVEYOR'S REPORT

Ref: 1710-8-18

Re: **Proposed Lot 1805 CALLISTEMON WAY, WARRIEWOOD.**

LAND:

... In accordance with instructions received from your firm, we have carried out a survey on Proposed Lot 1805 in unregistered D.P.1103124 situated at Callistemon Way, Warriewood, in the Local Government Area of Pittwater, Parish of Narrabeen, and County of Cumberland. D.P.1103124 is a subdivision of Lot 18 in unregistered D.P.1103287. D.P.1103287 is a subdivision of Lot 7 in unregistered D.P.1092802. D.P. 1092802 is a subdivision of Lot 10 in D.P.1092788. The current description of the subject land is part Lot 10 in D.P.1092788 being part of the land in Certificate of Title Folio Identifier 10/1092788. The subject property is shown edged green on the accompanying sketch.

EASEMENTS & RESTRICTIONS:

- ... Affecting Lot 10 D.P.1092788 but not the subject property proposed Lot 1805 is a Right of Carriageway and Easement for Services 5 wide as set out in Instrument lodged with the abovementioned D.P.1092788.
- ... Affecting Lot 10 D.P.1092788 but not the subject property proposed Lot 1805 is an Easement for Transmission Line 4.57 wide vide J1118366.
- ... Affecting Lot 10 D.P.1092788 but not the subject property proposed Lot 1805 is an Easement for Transmission Line 4.57 wide vide J1114099.

Upon registration of the abovementioned D.P.1092802, D.P.1092387 and D.P.1103124 the following additional easements and restrictions will apply to the subject property: -

- ... Affecting the land will be a Restriction on the Use of Land as set out in Instrument lodged with the abovementioned D.P.1092802.
- ... Affecting the land will be a Positive Covenant as set out in the Instrument lodged with the abovementioned D.P.1092802.
- ... Affecting and appurtenant to the land will be Easements for Support 0.3 wide as set out in Instrument to be lodged with the abovementioned D.P.1103124 shown labelled 'A' on sketch.
- ... Affecting and appurtenant to the land will be Easements for Maintenance, Access and Overhang 0.8 wide as set out in Instrument to be lodged with the abovementioned D.P.1103124 shown labelled 'B' on sketch.
- ... Appurtenant to the land will be an Easement for Television Signal Reception Services Over Existing Line of Cables as set out in Instrument to be lodged with the abovementioned D.P.1103124 shown labelled 'C' on sketch.

2 Nov. 2006 15:48

CRAIG & RHODES 61 2 9869 2341

No. 0822 P. 15

CRAIG & RHODES Pty Ltd

Page 2 of 2

Survey Report: 1710-B-18 AUSTRALAND proposed lot 1805 Callistemon Way, WARRIEWOOD 1-11-06

... Affecting the land will be a Restriction on the Use of Land as set out in Instrument to be lodged with the abovementioned D.P.1103124 and referred to hereunder.

IT IS MY OPINION:

... The 2 Storey Brick Dwelling together with Brick Garage stands in relation to the subject boundaries as shown on sketch.

... Encroachments by and/or upon the subject property exist as shown on the sketch.

... Encroachments of common walls are permitted within the terms of the abovementioned Easement for Support 0.3 wide.

... Encroachments of roof overhangs are within the abovementioned Easements for Maintenance, Access and Overhang 0.8 wide and are permitted to remain under the terms of those easements.

... The property is known as Proposed Lot 1805 Callistemon Way, Warriewood and has frontages to Callistemon Way and Songlark Way, which will be dedicated as public roads upon the registration of D.P.1092802. The part of Songlark Way labelled 'X' on sketch is public road.

... Reduced levels of the ground floor slab, first floor, and roof ridge based on Australian Height Datum are as shown in red on sketch.

... The property complies with the Restriction on the Use of Land contained in Instrument to be lodged with the abovementioned D.P.1103124.

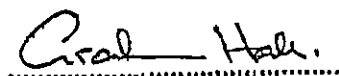
... The property is not fenced.

... Other than as shown on the sketch and referred to in the report, no visible encroachments were observed by or upon the subject property.

The subject property has been surveyed for identification purposes only and survey marks should be placed if structures are to be erected on or near the boundaries.

Date of Survey:

14 September, 2006



Graham J Hall

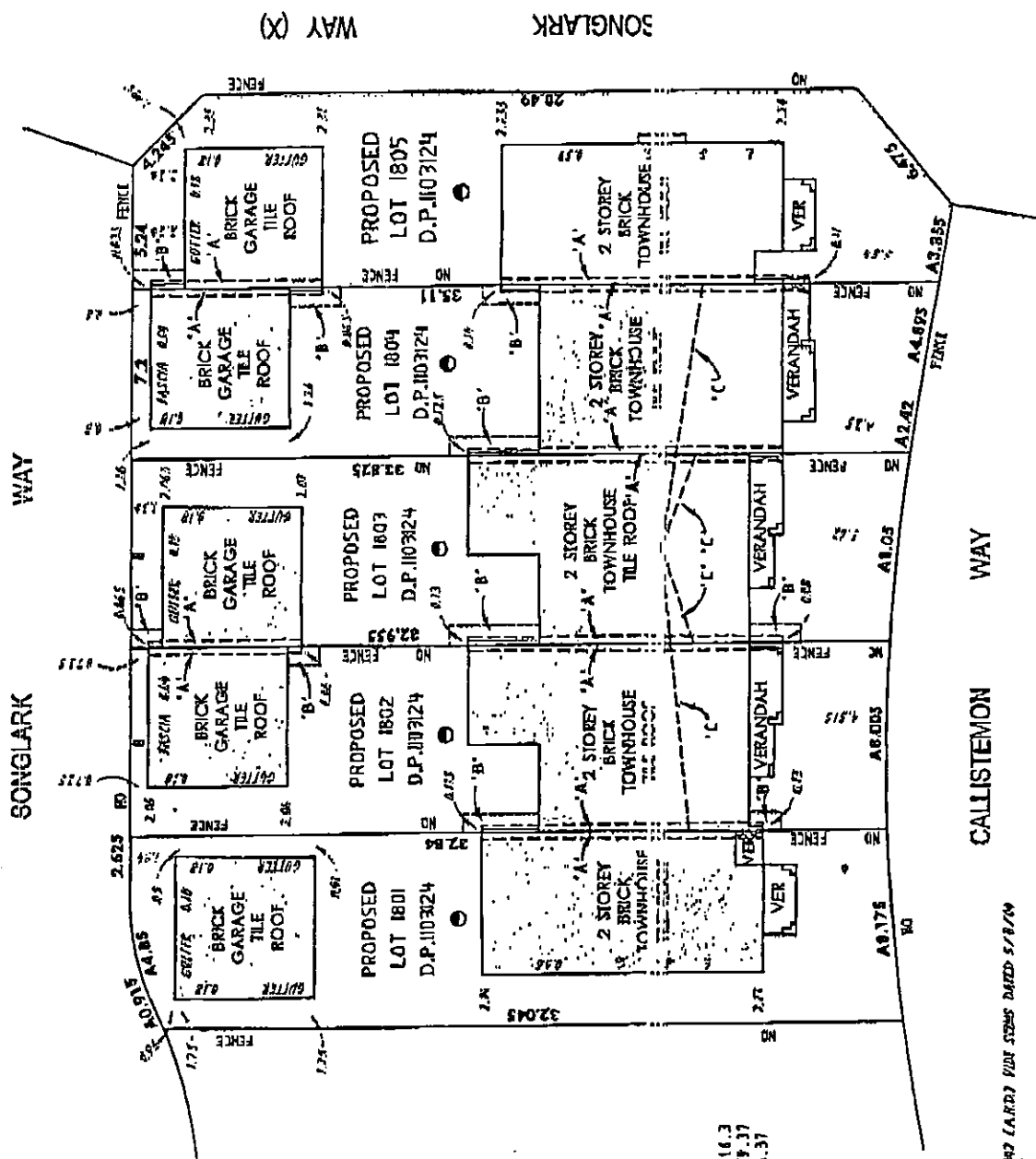
Land Surveyor registered under
The Surveying Act, 2002**Instructed by:**Australand Holdings Limited
D.X. 8419 RYDE

2 Nov. 2006 15:48

CRAIG & RHODES 61 2 9869 2341

No. 0822, P. 16

SKETCH



● PART LOT 10
D.P.1092788

LOT 1805
GROUND FLOOR LEVEL 14.3
FIRST FLOOR LEVEL 19.37
ROOF RIDGE LEVEL 24.37

QUICK & LITTLE, P. 14571 & 14572 (A. 1803) FOR STMS DATED 5/8/04

'A' - PROPOSED EASEMENT FOR SUPPORT 0.3 WIDE (VIDE D.P. 1103124)

'B' - PROPOSED EASEMENT FOR MAINTENANCE, ACCESS AND OVERHANG 0.8 WIDE (VIDE D.P. 1103124)

'C' - PROPOSED EASEMENT FOR TELEVISION SIGNAL RECEPTION SERVICES OVER EXISTING LINE OF CABLES (APPROXIMATE POSITION) (VIDE D.P. 1103124)

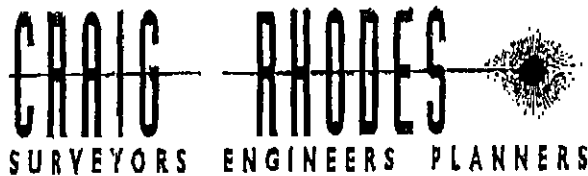
This is the sketch referred to in my report
dated 2nd November 2006 Ref: 710-8-08

Charles Hodge
Registered Land Surveyor

2 Nov. 2006 15:47

CRAIG & RHODES 61 2 9869 2341

No. 0822 P. 5



ABN 77 050 209 991

INCORPORATING JOHN G. NELSON & ASSOCIATES



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 Fax: 02 9869 2341
 Email: reception@crhodes.com.au
 Web: www.craigandrhodes.com.au



2 November, 2006

SURVEYOR'S REPORT

Ref: 1710-8-18

Re: Proposed Lot 1802 CALLISTEMON WAY, WARRIEWOOD.

LAND:

... In accordance with instructions received from your firm, we have carried out a survey on Proposed Lot 1802 in unregistered D.P.1103124 situated at Callistemon Way, Warriewood, in the Local Government Area of Pittwater, Parish of Narrabeen, and County of Cumberland. D.P.1103124 is a subdivision of Lot 18 in unregistered D.P.1103287. D.P.1103287 is a subdivision of Lot 7 in unregistered D.P.1092802. D.P. 1092802 is a subdivision of Lot 10 in D.P.1092788. The current description of the subject land is part Lot 10 in D.P.1092788 being part of the land in Certificate of Title Folio Identifier 10/1092788. The subject property is shown edged green on the accompanying sketch.

EASEMENTS & RESTRICTIONS:

- ... Affecting Lot 10 D.P.1092788 but not the subject property proposed Lot 1802 is a Right of Carriageway and Easement for Services 5 wide as set out in Instrument lodged with the abovementioned D.P.1092788.
- ... Affecting Lot 10 D.P.1092788 but not the subject property proposed Lot 1802 is an Easement for Transmission Line 4.57 wide vide J878366.
- ... Affecting Lot 10 D.P.1092788 but not the subject property proposed Lot 1802 is an Easement for Transmission Line 4.57 wide vide J654099

Upon registration of the abovementioned D.P.1092802, D.P.1092387 and D.P.1103124 the following additional easements and restrictions will apply to the subject property: -

- ... Affecting the land will be a Restriction on the Use of Land as set out in Instrument lodged with the abovementioned D.P.1092802.
- ... Affecting the land will be a Positive Covenant as set out in the Instrument lodged with the abovementioned D.P.1092802.
- ... Affecting and appurtenant to the land will be Easements for Support 0.3 wide as set out in Instrument to be lodged with the abovementioned D.P.1103124 shown labelled 'A' on sketch.
- ... Affecting and appurtenant to the land will be Easements for Maintenance, Access and Overhang 0.8 wide as set out in Instrument to be lodged with the abovementioned D.P.1103124 shown labelled 'B' on sketch.
- ... Affecting and appurtenant to the land will be Easements for Television Signal Reception Services Over Existing Line of Cables as set out in Instrument to be lodged with the abovementioned D.P.1103124 shown labelled 'C' on sketch.

2. Nov. 2006 15:47

CRAIG & RHODES 61 2 9869 2341

No. 0822, P. 6

CRAIG & RHODES Pty Ltd

Page 2 of 2

Survey Report: 1710-B-18 AUSTRALAND proposed lot 1802 Callistemon Way, WARRIEWOOD 1-11-06

... Affecting the land will be a Restriction on the Use of Land as set out in Instrument to be lodged with the abovementioned D.P.1103124 and referred to hereunder.

IT IS MY OPINION:

... The 2 Storey Brick Dwelling together with Brick Garage stands in relation to the subject boundaries as shown on sketch.

... Encroachments by and/or upon the subject property exist as shown on the sketch.

... Encroachments of common walls are permitted within the terms of the abovementioned Easement for Support 0.3 wide.

... Encroachments of roof overhangs are within the abovementioned Easements for Maintenance, Access and Overhang 0.8 wide and are permitted to remain under the terms of those easements.

... The property is known as Proposed Lot 1802 Callistemon Way, Warriewood and has frontages to Callistemon Way and Songlark Way which will be dedicated as public roads upon the registration of D.P.1092802.

... Reduced levels of the ground floor slab, first floor, and roof ridge based on Australian Height Datum are as shown in red on sketch.

... The property complies with the Restriction on the Use of Land contained in Instrument to be lodged with the abovementioned D.P.1103124.


... The property is not fenced.

... Other than as shown on the sketch and referred to in the report, no visible encroachments were observed by or upon the subject property.

The subject property has been surveyed for identification purposes only and survey marks should be placed if structures are to be erected on or near the boundaries.

Date of Survey:

14 September, 2006



Graham J Hall

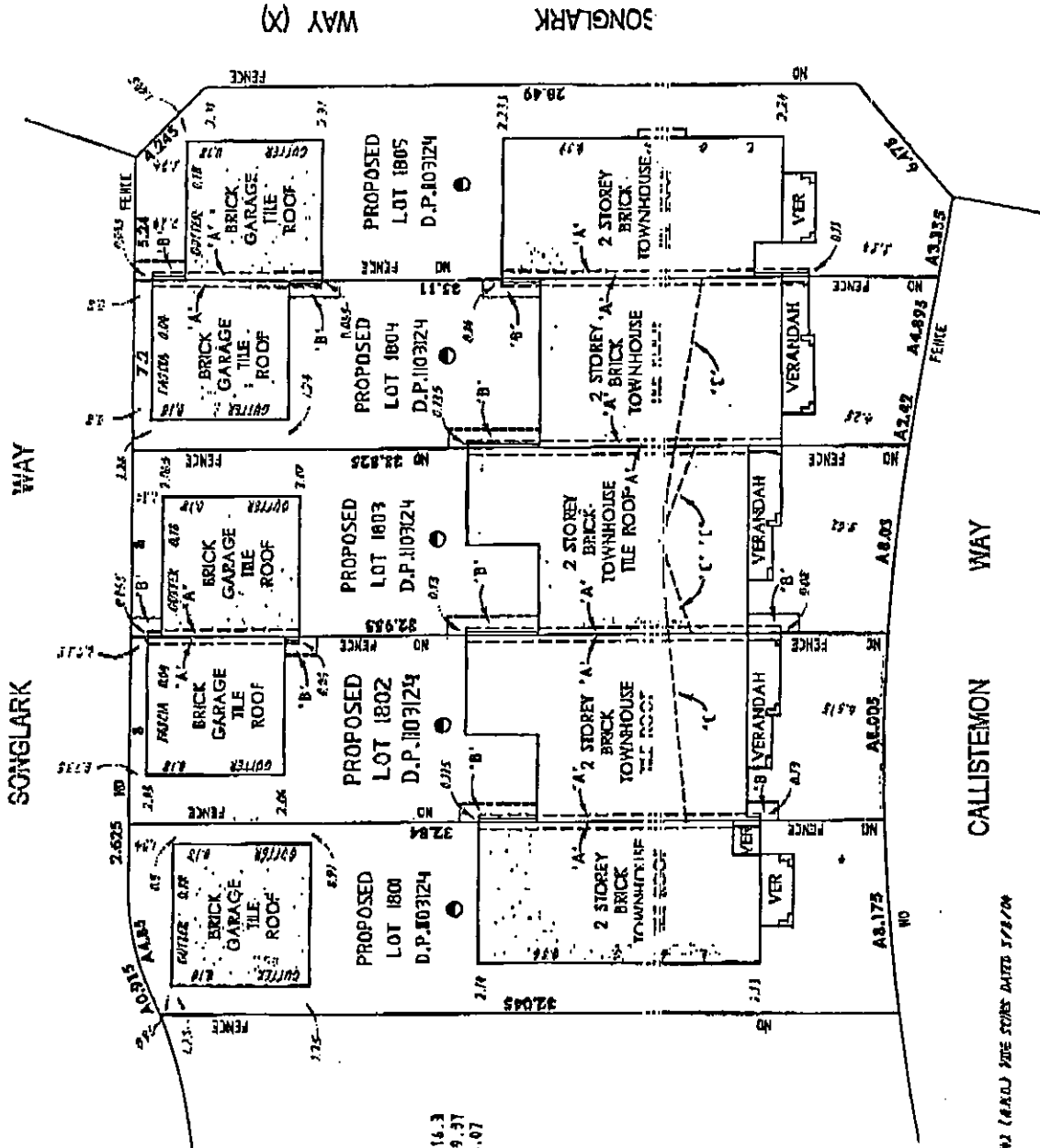
Land Surveyor registered under
The Surveying Act, 2002**Instructed by:**Australand Holdings Limited
D.X. 8419 RYDE

2 Nov. 2006 15:47

CRAIG & RHODES 61 2 9869 2341

No. 0822 P. 7

SKETCH



● PART LOT 10
D.P.1092788

This is the sketch referred to in my report
dated 2nd November 2005 Ref:710-8-18

Charles Hall

Registered Land Surveyor

SCALE OF 1:1000 (NORTH ARROW) (NAD 83) DATE 5/12/04

'A' - PROPOSED EASEMENT FOR SUPPORT 0.3 WIDE (VIDE D.P. 1103124)

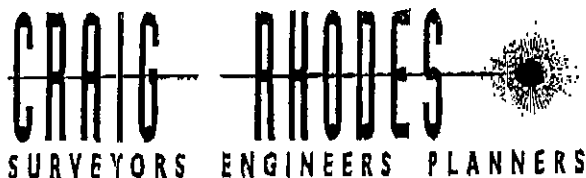
'B' - PROPOSED EASEMENT FOR MAINTENANCE, ACCESS AND OVERHANG 0.8 WIDE (VIDE D.P. 1103124)

'C' - PROPOSED EASEMENT FOR TELEVISION SIGNAL RECEPTION SERVICES OVER EXISTING LINE OF CABLES (APPROXIMATE POSITION) (VIDE D.P. 1103124)

2. Nov. 2006 15:47

CRAIG & RHODES 61 2 9869 2341

No. 0822, P. 8.



ABN 77 050 209 991

INCORPORATING JOHN G. NELSON & ASSOCIATES

Surveyors since 1871



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 Fax: 02 9869 2341
 Email: reception@crrhodes.com.au
 Web: www.craigandrhodes.com.au



2 November, 2006

SURVEYOR'S REPORT

Ref: 1710-8-18

Re: Proposed Lot 1803 CALLISTEMON WAY, WARRIEWOOD.

LAND:

... In accordance with instructions received from your firm, we have carried out a survey on Proposed Lot 1803 in unregistered D.P.1103124 situated at Callistemon Way, Warriewood, in the Local Government Area of Pittwater, Parish of Narrabeen, and County of Cumberland. D.P.1103124 is a subdivision of Lot 18 in unregistered D.P.1103287. D.P.1103287 is a subdivision of Lot 7 in unregistered D.P.1092802. D.P. 1092802 is a subdivision of Lot 10 in D.P.1092788. The current description of the subject land is part Lot 10 in D.P.1092788 being part of the land in Certificate of Title Folio Identifier 10/1092788. The subject property is shown edged green on the accompanying sketch.

EASEMENTS & RESTRICTIONS:

- ... Affecting Lot 10 D.P.1092788 but not the subject property proposed Lot 1803 is a Right of Carriageway and Easement for Services 5 wide as set out in Instrument lodged with the abovementioned D.P.1092788.
- ... Affecting Lot 10 D.P.1092788 but not the subject property proposed Lot 1803 is an Easement for Transmission Line 4.57 wide vide J178366.
- ... Affecting Lot 10 D.P.1092788 but not the subject property proposed Lot 1803 is an Easement for Transmission Line 4.57 wide vide J154099

Upon registration of the abovementioned D.P.1092802 D.P.1092387 and D.P.1103124 the following additional easements and restrictions will apply to the subject property: -

- ... Affecting the land will be a Restriction on the Use of Land as set out in Instrument lodged with the abovementioned D.P.1092802.
- ... Affecting the land will be a Positive Covenant as set out in the Instrument lodged with the abovementioned D.P.1092802.
- ... Affecting and appurtenant to the land will be Easements for Support 0.3 wide as set out in Instrument to be lodged with the abovementioned D.P.1103124 shown labelled 'A' on sketch.
- ... Affecting and appurtenant to the land will be Easements for Maintenance, Access and Overhang 0.8 wide as set out in Instrument to be lodged with the abovementioned D.P.1103124 shown labelled 'B' on sketch.
- ... Affecting the land will be Easements for Television Signal Reception Services Over Existing Line of Cables as set out in Instrument to be lodged with the abovementioned D.P.1103124 shown labelled 'C' on sketch.

2. Nov. 2006 15:48

CRAIG & RHODES 61 2 9869 2341

No. 0822 P. 9

CRAIG & RHODES Pty Ltd

Page 2 of 2

Survey Report: 1710-8-18 AUSTRALAND proposed lot 1803 Callistemon Way, WARRIEWOOD 1-11-06

... Affecting the land will be a Restriction on the Use of Land as set out in Instrument to be lodged with the abovementioned D.P.1103124 and referred to hereunder.

IT IS MY OPINION:

... The 2 Storey Brick Dwelling together with Brick Garage stands in relation to the subject boundaries as shown on sketch.

... Encroachments by and/or upon the subject property exist as shown on the sketch.

... Encroachments of common walls are permitted within the terms of the abovementioned Easement for Support 0.3 wide.

... Encroachments of roof overhangs are within the abovementioned Easements for Maintenance, Access and Overhang 0.8 wide and are permitted to remain under the terms of those easements.

... The property is known as Proposed Lot 1803 Callistemon Way, Warriewood and has frontages to Callistemon Way and Songlark Way, which will be dedicated as public roads upon the registration of D.P.1092802.

... Reduced levels of the ground floor slab, first floor, and roof ridge based on Australian Height Datum are as shown in red on sketch.

... The property complies with the Restriction on the Use of Land contained in Instrument to be lodged with the abovementioned D.P.1103124.

... The property is not fenced.

... Other than as shown on the sketch and referred to in the report, no visible encroachments were observed by or upon the subject property.

The subject property has been surveyed for **identification purposes only** and survey marks should be placed if structures are to be erected on or near the boundaries.

Date of Survey:

14 September, 2006



.....
Graham J Hall
Land Surveyor registered under
The Surveying Act, 2002

Instructed by:

Australand Holdings Limited
D.X. 8419 RYDE



Pittwater Council
Component Certificate

19804

DA No:

CC No:

Property: SECTOR 8 STAGE 18 (1801-1805)
CALLISTEMON WAY,
WARRIEWOOD

Landscaping

LS-1

I, ANNA KING of ANNA KING LANDSCAPE ARCHITECT
(Name) (Business)

at "WOLLI" PO BOX 26 BERRIMA NSW 2577
(Mailing Address)

being a:

☐ qualified horticulturist☒ landscape architect

my qualifications being:

BLARCH AILA

hereby certify that the site landscaping has been completed in accordance with the details shown on the approved plans or as required by any condition of Development Consent.

Further, I am appropriately qualified and experienced to provide the certification for this component of the project.

Signature

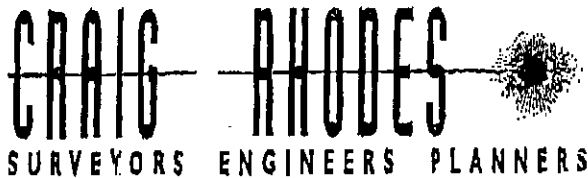
Date

23.11.2006

2. Nov. 2006 15:47

CRAIG & RHODES 61 2 9869 2341

No. 0822 P. 2



ABN 77 050 209 991

INCORPORATING JOHN G. NELSON & ASSOCIATES

Surveyors since 1961



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 DX 4408 EPPING
 Tel: 02 9869 1855
 Fax: 02 9869 2341
 Email: reception@crhodes.com.au
 Web: www.craigandrhodes.com.au



2 November, 2006

SURVEYOR'S REPORT

Ref: 1710-8-18

Re: Proposed Lot 1801 CALLISTEMON WAY, WARRIEWOOD.

LAND:

... In accordance with instructions received from your firm, we have carried out a survey on Proposed Lot 1801 in unregistered D.P.1103124 situated at Callistemon Way, Warriewood, in the Local Government Area of Pittwater, Parish of Narrabeen, and County of Cumberland. D.P.1103124 is a subdivision of Lot 18 in unregistered D.P.1103287. D.P.1103287 is a subdivision of Lot 7 in unregistered D.P.1092802. D.P. 1092802 is a subdivision of Lot 10 in D.P.1092788. The current description of the subject land is part Lot 10 in D.P.1092788 being part of the land in Certificate of Title Folio Identifier 10/1092788. The subject property is shown edged green on the accompanying sketch.

EASEMENTS & RESTRICTIONS:

- ... Affecting Lot 10 D.P.1092788 but not the subject property proposed Lot 1801 is a Right of Carriageway and Easement for Services 5 wide as set out in Instrument lodged with the abovementioned D.P.1092788.
- ... Affecting Lot 10 D.P.1092788 but not the subject property proposed Lot 1801 is an Easement for Transmission Line 4.57 wide vide J1578366.
- ... Affecting Lot 10 D.P.1092788 but not the subject property proposed Lot 1801 is an Easement for Transmission Line 4.57 wide vide J154089.

Upon registration of the abovementioned D.P.1092802, D.P.1092387 and D.P.1103124 the following additional easements and restrictions will apply to the subject property: -

- ... Affecting the land will be a Restriction on the Use of Land as set out in Instrument lodged with the abovementioned D.P.1092802.
- ... Affecting the land will be a Positive Covenant as set out in the Instrument lodged with the abovementioned D.P.1092802.
- ... Affecting and appurtenant to the land will be Easements for Support 0.3 wide as set out in Instrument to be lodged with the abovementioned D.P.1103124 shown labelled 'A' on sketch.
- ... Appurtenant to the land will be Easements for Maintenance, Access and Overhang 0.8 wide as set out in Instrument to be lodged with the abovementioned D.P.1103124 shown labelled 'B' on sketch.
- ... Appurtenant to the land will be an Easement for Television Signal Reception Services Over Existing Line of Cables as set out in Instrument to be lodged with the abovementioned D.P.1103124 shown labelled 'C' on sketch.

CRAIG & RHODES Pty Ltd

Page 2 of 2

Survey Report: 1710-8-18 AUSTRALAND proposed lot 1801 Callistemon Way, WARRIEWOOD 19-8-06

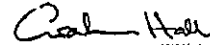
... Affecting the land will be a Restriction on the Use of Land as set out in Instrument to be lodged with the abovementioned D.P.1103124 and referred to hereunder.

IT IS MY OPINION:

- ... The 2 Storey Brick Dwelling together with Brick Garage stands in relation to the subject boundaries as shown on sketch.
 - ... Encroachments by and/or upon the subject property exist as shown on the sketch.
 - ... Encroachments of common walls are permitted within the terms of the abovementioned Easement for Support 0.3 wide.
 - ... Encroachments of roof overhangs are within the abovementioned Easements for Maintenance, Access and Overhang 0.8 wide and are permitted to remain under the terms of those easements.
 - ... The property is known as Proposed Lot 1801 Callistemon Way, Warriewood and has frontages to Callistemon Way and Songlark Way, which will be dedicated as public roads upon the registration of D.P.1092802.
 - ... Reduced levels of the ground floor slab, first floor, and roof ridge based on Australian Height Datum are as shown in red on sketch.
 - ... The property complies with the Restriction on the Use of Land contained in Instrument to be lodged with the abovementioned D.P.1103124.
 - ... The property is not fenced.
 - ... Other than as shown on the sketch and referred to in the report, no visible encroachments were observed by or upon the subject property.
- The subject property has been surveyed for identification purposes only and survey marks should be placed if structures are to be erected on or near the boundaries.

Date of Survey:

14 September, 2006

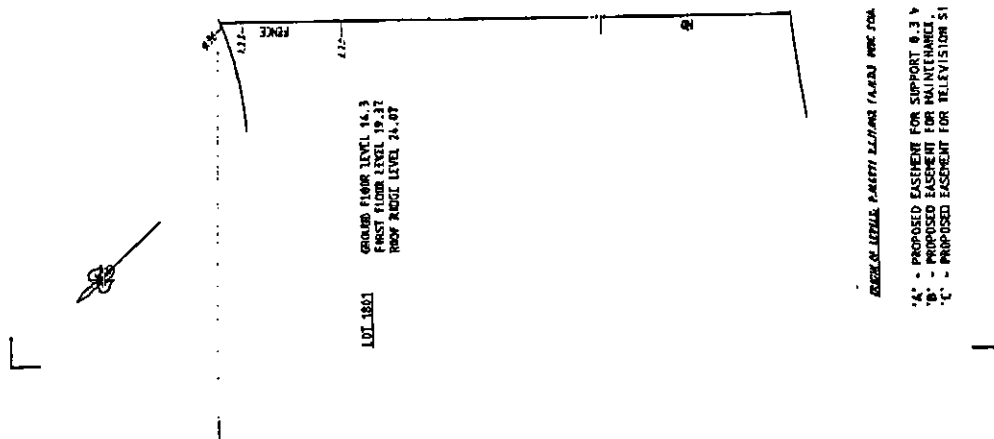


Graham J Hall

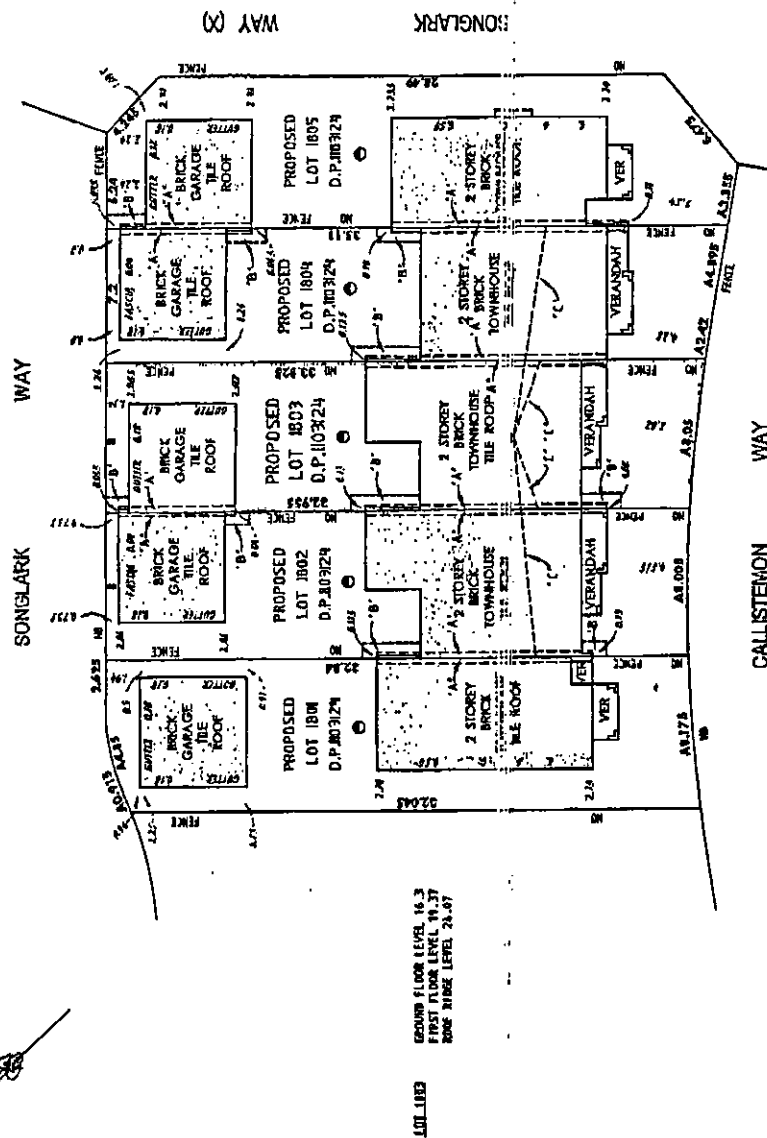
Land Surveyor registered under
The Surveying Act, 2002

Instructed by:

Australand Holdings Limited
D.X. 8419 RYDE



SKETCH



PART LOT 10
D.P. 1032788

This is the sketch referred to in my report
dated 2nd November 2006 REF: 103-0-05

Colin N. Smith
Registered Land Surveyor

NOTE: ALL LOTS ARE 11.1M X 11.1M (AREA) 124.21 SQM 124.21 SQM 11/11/06

'A' - PROPOSED EASEMENT FOR SUPPORT 0.3 WIDE (VINE D.P. 1103124)

'B' - PROPOSED EASEMENT FOR MAINTENANCE, ACCESS AND OVERHANG 0.8 WIDE (VINE D.P. 1103124)

'C' - PROPOSED EASEMENT FOR TELEVISION SIGNAL RECEPTION SERVICES OVER EXISTING LINE OF CABLES (APPROXIMATE POSITION) (VINE D.P. 1103124)

... Affecting and appurtenant to the land will be Easements for Maintenance, Access and Overhang 0.8 wide as set out in Instrument to be lodged with the abovementioned D.P. 1103124 shown labelled 'B' on sketch.

... Affecting and appurtenant to the land will be Easements for Television Signal Reception Services Over Existing Line of Cables as set out in Instrument to be lodged with the abovementioned D.P. 1103124 shown labelled 'C' on sketch.

CRAIG & RHODES Pty Ltd

Page 2 of 2

Survey Report: 1710-8-18 AUSTRALAND proposed lot 1804 Callistemon Way, WARRIEWOOD 1-11-06

... Affecting the land will be a Restriction on the Use of Land as set out in Instrument to be lodged with the abovementioned D.P.1103124 and referred to hereunder.

IT IS MY OPINION:

... The 2 Storey Brick Dwelling together with Brick Garage stands in relation to the subject boundaries as shown on sketch.

... Encroachments by and/or upon the subject property exist as shown on the sketch.

... Encroachments of common walls are permitted within the terms of the abovementioned Easement for Support 0.3 wide.

... Encroachments of roof overhangs are within the abovementioned Easements for Maintenance, Access and Overhang 0.8 wide and are permitted to remain under the terms of those easements.

... The property is known as Proposed Lot 1804 Callistemon Way, Warriewood and has frontages to Callistemon Way and Songlark Way, which will be dedicated as public roads upon the registration of D.P.1082802.

... Reduced levels of the ground floor slab, first floor, and roof ridge based on Australian Height Datum are as shown in red on sketch.

... The property complies with the Restriction on the Use of Land contained in Instrument to be lodged with the abovementioned D.P.1103124.

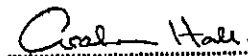
... The property is not fenced.

... Other than as shown on the sketch and referred to in the report, no visible encroachments were observed by or upon the subject property.

The subject property has been surveyed for identification purposes only and survey marks should be placed if structures are to be erected on or near the boundaries.

Date of Survey:

14 September, 2006



Graham J Hall
Land Surveyor registered under
The Surveying Act, 2002

Instructed by:

Australand Holdings Limited
D.X. 8419 RYDE

1710-8-18
AUSTRALAND
PROPOSED LOT 1804
CALLISTEMON WAY
WARRIEWOOD

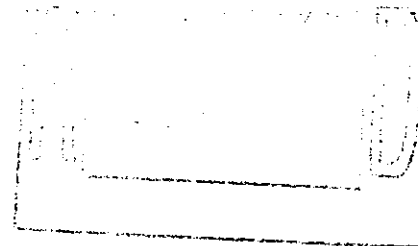
1710-8-18
AUSTRALAND
PROPOSED LOT 1804
CALLISTEMON WAY
WARRIEWOOD

CIVIL SYDNEY PTY. LTD.

1 Cornish Street
Speers Point NSW 2284
PO Box 934
Pennant Hills 1715

DIRECTORS: S.G. WOOD, B.E. (CIVIL) M.I.E. AUST.
S.G. MONTFORD, ADV. BLDG. CERT.
ABN 15 068 316 432

Phone: (02) 4965 8410
Fax: (02) 4965 8710
Mobile: 0412 514 747
www.civilsydney.com.au
Email: simon@civilsydney.com.au



27th April 2006

Job No:AUS/0615

Australand.
Locked Bag 2106,
DX 8419.
North Ryde.NSW.1670.
Ph:9767 2000Fax:9767 2944

ENGINEERS CERTIFICATE

Project:Lot 1801-1803 Callistemon Way, Warriewood

This is to certify that piles driven at the above mentioned site have been driven in accordance with AS2159 - 1995. Sets recorded indicate the piles supplied and driven are capable of supporting a safe working loads **P:70KN** calculations being based on the Hiley Formula.

S.G Wood
B.E. (Civil) M.I.E Aust.



Appleyard Forrest

Consulting Engineers

Inspection Certificate

Project No: 3621801 Date: 10.5.06 17.5.06
Client/Owner: Rylehall Pty Ltd Time: 1.25 pm 3.00 pm
Contractor: Australand Properties Inspector: R Radovancevic P Geoghegan

Appleyard Forrest
Consulting Engineers Pty Ltd
ACN 002 610 522

Project Description: Proposed Residential Development

PO Box 140
Gordon NSW 2072 Australia

This is to certify that an inspector from the above office has attended your site at
Lot 1801 (Stage 18) Callistemon Way, Warriewood and has inspected the following:

Gosford
58-60 Hills Street
Gosford NSW 2250 Australia
Telephone: 02 4324 3499
Facsimile: 02 4324 2951

Section: Drop Panel Raft Slab

Castle Hill
Unit 35, 7 Anella Avenue
Castle Hill NSW 2154 Australia
Telephone: 02 9634 6311
Facsimile: 02 9634 6544

Bowral
Suite 1, 407-409 Bong Bong Street
Bowral NSW 2576 Australia
Telephone: 02 48621507
Facsimile: 02 48621568

International
Telephone: + (612) 4324 3499
Facsimile: + (612) 4324 2951

Email
postmaster@appleyardforrest.com.au

Website
www.appleyardforrest.com.au

Items/Areas Inspected

- | | | |
|--|-------------------------------------|----------------|
| a) Subgrade | <input type="checkbox"/> | - Satisfactory |
| b) Sub Base | <input checked="" type="checkbox"/> | |
| c) Damp - Proof Membrane (to B.C.A) | <input checked="" type="checkbox"/> | |
| d) Pier Spacing and Depth | <input type="checkbox"/> | |
| e) Pier Diameter | <input type="checkbox"/> | - Satisfactory |
| f) Pier Reinforcement | <input type="checkbox"/> | |
| g) Edge Beam Size | <input checked="" type="checkbox"/> | |
| h) Edge Beam Reinforcement | <input checked="" type="checkbox"/> | |
| i) Slab on Grade Thickness | <input checked="" type="checkbox"/> | |
| j) Slab on Grade Reinforcement | <input checked="" type="checkbox"/> | |
| k) Suspended Slab (level) Thickness | <input type="checkbox"/> | |
| l) Suspended Slab (level) Reinforcement | <input type="checkbox"/> | |
| m) Strip Footing Size | <input type="checkbox"/> | |
| n) Strip Footing Reinforcement | <input type="checkbox"/> | |
| o) Retaining Wall Footings | <input type="checkbox"/> | |
| p) Retaining Wall Reinforcement | <input type="checkbox"/> | |
| q) Pool Shell Reinforcement | <input type="checkbox"/> | |
| r) Pole Holes | <input type="checkbox"/> | |
| s) Curtain Wall | <input type="checkbox"/> | |
| t) Pad Footings | <input type="checkbox"/> | |
| u) Detention Tank Base Reinforcement | <input type="checkbox"/> | |
| v) Detention Tank Lid | <input type="checkbox"/> | |

General Comments:

This certificate is issued on the assumption that good construction practice will be observed prior to placement of concrete; eg. piers to be cleaned, dewatered and any deleterious material removed from pier bases and slab area.

As a consequence of this inspection, we certify that items "b, c, g, h, i, j" have been checked and found to comply with the design requirements set out on the drawings identified hereunder.

These design requirements have been established in order to ensure that the completed building or structure will meet the appropriate Objective, Functional Statement, and Performance Requirement required by clauses B01.1, Bf1.1 and BP1.1 of BCA2005.

Appleyard Forrest Consulting Engineers Pty Ltd Drawing No(s): 362167/S1/A, S2/B, S3/A → S7/A

Date: 22 May 2006

L D Appleyard MIEAust CPEng NPER
Accredited Certifier (Civil and Structural)

SUBDIVIDER/DEVELOPER COMPLIANCE CERTIFICATE

(A certificate under Division 9 Section 73 of the Sydney Water Act, 1994)

DESCRIPTION OF SUBDIVISION/DEVELOPMENT		
Council	Pittwater Council	
Street	25 MacPherson Street Warriewood	
Lot No. (s)	1801 sector 8	
Subdivision into	Lots numbered	Development
5 lots	1801-1805	Subdivision of 1 lot into 5 and one new dwelling plus garage on each new lot at 1801 sector 8 Warriewood NSW 2102.
NAME OF APPLICANT	Australand Holdings Limited	
APPLICANT'S ADDRESS	C/- Byrne & Associates Pty Ltd Po Box 167 Narrabeen NSW 2101	

Sydney Water Corporation certifies that the above named applicant has complied with the requirements, relating to the plan of Subdivision/Development described above, of Division 9 of the Sydney Water Act, 1994.

THE FOLLOWING ITEMS 2 AND 5 APPLY TO LOTS 1801-1805 IN THE SUBDIVISION/DEVELOPMENT:

- ~~1. Water facilities are to be provided as a result of the subdivider/developer's compliance with Sydney Water's requirements.~~
2. Water facilities are available.
- ~~3. Water facilities cannot be provided within a reasonable time from the date of this certificate.~~
- ~~4. Sewerage facilities are to be provided as a result of the subdivider/developer's compliance with Sydney Water's requirements.~~
5. Sewerage facilities are available.
- ~~6. Sewerage facilities are under the control of the local council.~~
- ~~7. Sewerage facilities cannot be provided within a reasonable time from the date of this certificate.~~
- ~~8. Sydney Water's requirements for future subdivision of this dual occupancy development have NOT been met. On subdivision an additional certificate will be required.~~

THE FOLLOWING ITEMS ~~AND~~ APPLY TO LOT/S ~~IN THE SUBDIVISION/DEVELOPMENT:~~

- ~~9. Water facilities have NOT been provided. They will only be provided after compliance with Sydney Water's requirements placed on a future applicant for subdivision/development or connection.~~
- ~~10. Sewerage facilities have NOT been provided. They will only be provided after compliance with Sydney Water's requirements placed on a future applicant for subdivision/development or connection.~~
- ~~11. Sewerage facilities are under the control of the local council.~~

Applicant Reference No. **20650**

Council Reference No. **647/05**

Name **Jack Diplock**
(Approving Officer for and on behalf of Sydney Water)

Signature 

Name **John Gaffney**
(Approving Officer for and on behalf of Sydney Water)

Signature 

Development Services Office: **Head Office**

Dated: **28 April 2006**

**THIS CERTIFICATE IS ONLY VALID WHEN SIGNED BY TWO
AUTHORISED SYDNEY WATER OFFICERS**

A signed copy is held by Sydney Water

The original of this certificate must be presented to the appropriate consent authority, usually Council, with which the plan of subdivision/development was lodged so that you can satisfy the relevant condition of consent.

BUILDING INDUSTRY PEST SERVICES

P.C. Licence No: 611

 Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200
 Phone: (02) 9709 2011 Fax: (02) 9708 6306 DX: 11227

A.C.N. 002313439

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS: WARRIEWOOD, 1801-1805 CALLISTEMON WAY (SEC8) [lot

BUILDER OR OWNER: AUSTRALAND PROPERTIES

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or Grankgard barrier ineffective.

Slab Penetrations

Ref. 28467000

LEGEND

Treated area



Plumbing line



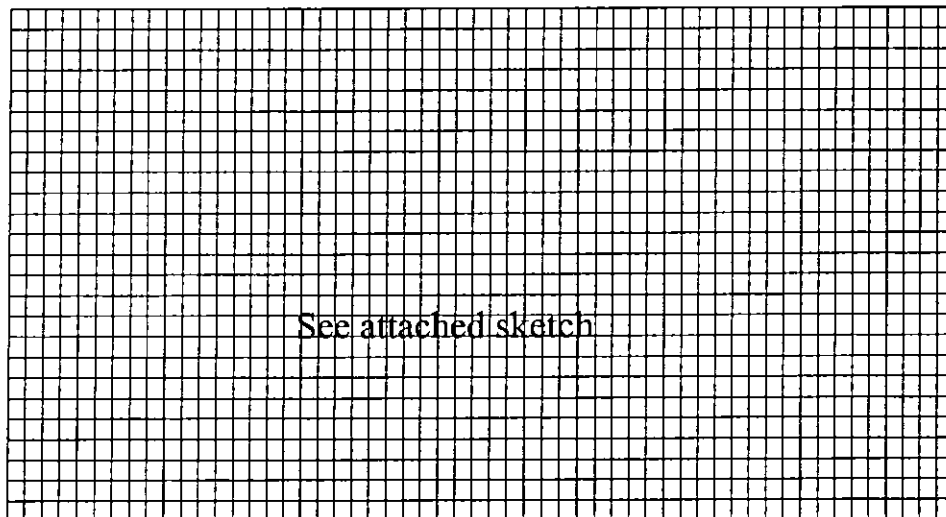
Pier



Steps



Rough sketch only - refer builder's plans for true dimensions.



DATE OF TREATMENT: 17-5-2006

Number of Penetrations: 10

Materials Applied: TERMIFLANGES

Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf.

Applied by: P Nies

Signature:

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.



A.B.N. 56 947 548 056

BUILDING INDUSTRY PEST SERVICES

SUBSIDIARY OF ENVIROPEST P/L

INSTALLATION SHEET

Level 2, Suite 3
39 Stanley Street
Bankstown N.S.W. 2200
Tel: (02) 9793 2166
Fax: (02) 9708 6306
DX 11227, Bankstown

Builder: AUSTRALAND PROPERTIES (BIPS)
Site Address: LOT 1801-1805 CALLISTEMON WAY
WARRIEWOOD

Date: 17-5-06

Job Sheet No.: 21651

Installer: PAUL + HELEN NIES Lic No.:

SIGNED:

Ref No.: 28467000
28468000
28469000
28470000
28471000

Environmental Information

Chemical Name

Vol of Concentration

Vol of Emulsion

Equipment:
☐ Hand held spray
☐ Truck mounted spray

Other

Chemical Name

Vol of Concentration

Vol of Emulsion

Equipment:
☐ Hand held spray
☐ Truck mounted spray

Other

Wind Speed Wind Direction

Time Start Time Finish

Area Protected

Under Slab M2 Perimeter L/m

Subfloor M2 Penetrations Qty. 49

Cure M2 Ringline L/m

Slab ☐ Monolithic slab on ground
☐ In-fill slab ☐ Waffle pod
☐ B/J Timber floor ☐ Ultra floor

Method of Protection

☐ Physical Barrier ☐ Chemical Barrier

Type

Reticulation Legend

Path trap ☒ Drilled pipe

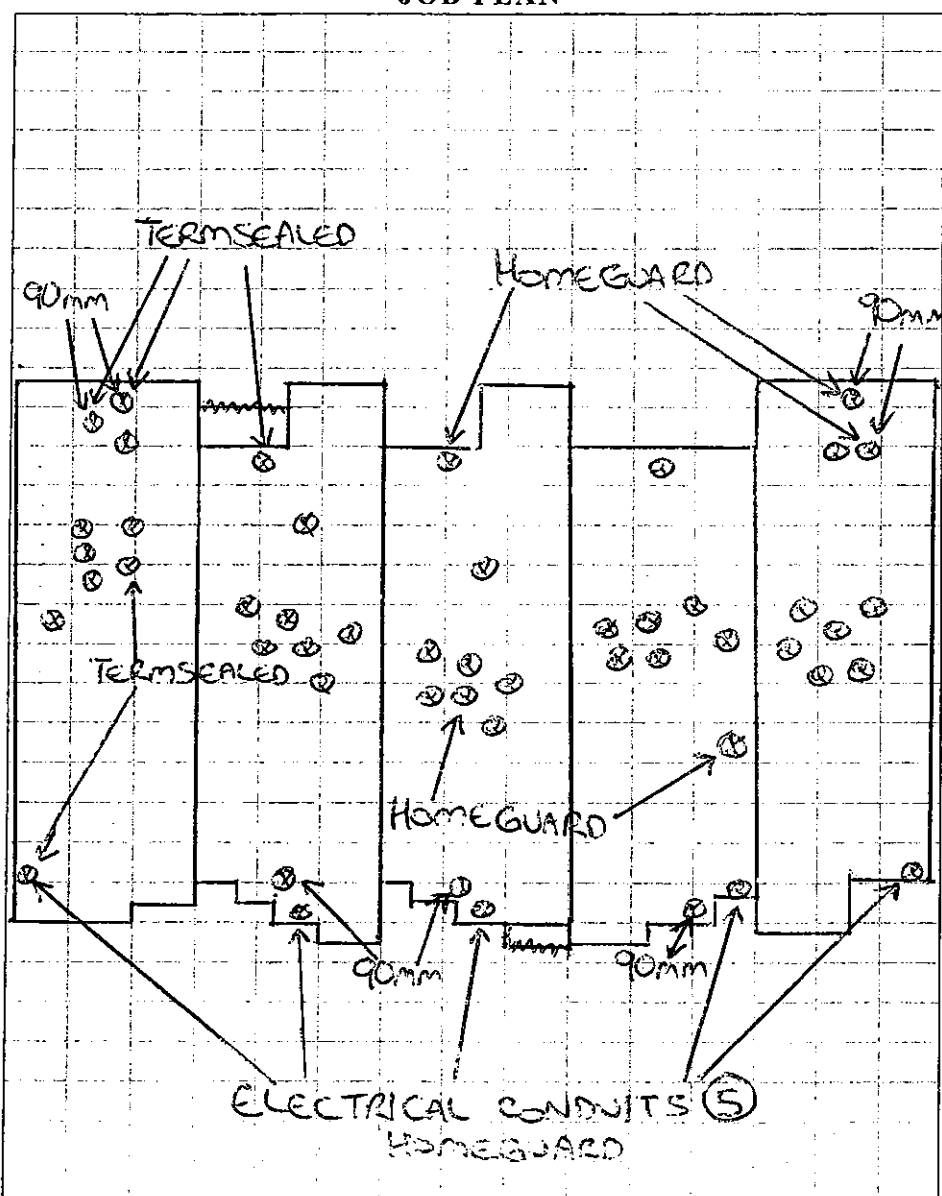
Undrilled pipe - - - - End cap - - - -

Physical Barrier Legend

Penetration ☒ Start / Finish X

Area Protected //

JOB PLAN



AUSTRALAND HOLDINGS LTD
LOCKED BAG 2106
NORTH RYDE NSW 2113

6 September, 2006

SUBJECT: WATERPROOFING CERTIFICATE
TFW Ref. 56791

This certifies that **FIBREFFLASH** Waterproof Solutions completed installation of the waterproofing to the internal wet areas at the address below on September 6, 2006 :-

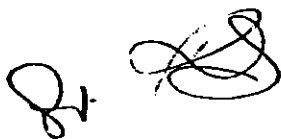
1801 CALLISTEMON WAY WARRIEWOOD

STAGE 1: Install the waterproofing membrane to the shower tray, perimeter walls and floor to all required wet areas.

STAGE 2: Provide waterproofing treatment to shower penetrations, bath seals, spindle seals and installation of the waterstop at doorways to all required wet areas.

This work was completed in accordance with Tables 2.1, 4.1 and Section 5 of Australian Standard 3740 - 2004 and the Building Code of Australia.

Yours faithfully,



Jeff SAYLE
Operations Manager
FIBREFFLASH Waterproof Solutions
GOLD LICENCE: 17790C

ABN: 93 003 987 424
◆ 61 Wellington Street
Riverstone NSW 2765
◆ PO Box 257
Riverstone NSW 2765
◆ **Ph: 02 9627 5500**
Fax: 02 9627 3659

STEVE PAYNE PLUMBING PTY LIMITED
PLUMBING DRAINAGE & GASFITTING

ABN 73 082 614 855
116 BALLANDELLA ROAD
PENDLE HILL NSW 2145
PHONE: 9896 0444 MOBILE: 0418 234 203 FAX: 9896 0455

27 September 2006

Australand Holdings Limited
Level 31CH Homebush Bay Road
Rhodes NSW 2138

Reference: Rainwater System Certification
Warriewood Sector 8

Please find certification for stormwater to 1801 Callistemon Way, Warriewood. These works have been completed to AS3500 and in accordance to Action Tanks installation requirements.

Each dwelling has a 3cubic metre volume rainwater tank to collect roof water runoff, which is stored for flushing toilets, and one (1) garden tap, which can also be incorporated into an irrigation connection.

There is a first flush device fitted with a removable clean out screen. Each tank has an overflow to the street or easement with a flap valve fitted to alleviate any surcharge that may occur. Each tank has been fitted with a top up device separate to the rainwater storage, which is also fitted with a double check valve (backflow prevention device) there is also one fitted to the dwelling.

All the stormwater pipes in ground are labelled with the appropriate hazard identification, as has all the pipe work in the dwelling been labelled the same.

Yours sincerely



Steve Payne
STEVE PAYNE PLUMBING PTY LTD



LAND DEVELOPMENT CERTIFICATES

PTY LTD

ABN 38 088 891 810

67 MELBOURNE ROAD, ST JOHNS PARK NSW 2170

Phone : 02 9810 2008 Fax : 02 9753 3118 Mobile : 0416 102008 Email : landevcert@hotmail.com

STEPHEN G JOHNSON BE MIEAust CPEng
Accreditation No. 418677

PRINCIPAL CERTIFIER-SUBDIVISION / ACCREDITED CERTIFIER(CIVIL)

COMPLIANCE CERTIFICATE

Environmental Planning and Assessment Act, 1979, Section 109C (1) (a)

Applicant:

Australand Holdings Ltd
Locked Bag 2108,
NORTH RYDE NSW 1670

Development Consent No:

DA N 0210/04

Dated: 22/12/04

S.96(2) Modifications:

Date:

Ref: Nil

Subject Land:

Lots 1 & 2 DP 18303, Lots A-C DP 328260, Lot 1 DP 593363 & Lot 12 DP 659528,
Sector 8, H/No.25 MacPherson Street, WARRIEWOOD NSW 2102

Description of Development:

Subdivision (Phase 1 -Stage 0) to create Two Superlots (8 & 9), One Lot for Temporary Road (14), Three Residue Lots (11, 11, 12 & 13) and New Public Roads.

Details of Compliance:

All engineering works as detailed in Appendix A attached, which are required by Pittwater Council's development consent (Ref. N 0210/04) dated 22 December, 2004 (as modified) being Road and Stormwater Drainage Construction, have been satisfactorily completed in accordance with the requirements of the relevant Council Codes and Conditions imposed in Pittwater Council's Development Consent.

Plans & Specifications Attached:

Work - as - Executed Plans prepared by registered surveyors, Craig & Rhodes Pty Ltd and Pavement and Lot Filling Compaction Control Reports by GeoEnviro Consultancy Pty Ltd.

Date of Inspection:


15/02/2006

Certificate No: 11057

Date of Issue: 31/03/2006

I, STEPHEN GRANT JOHNSON certify that:-

*the above described subdivision work has been completed
and complies with the attached plans and specifications
*the above development consent conditions have been
complied with,
in accordance with Section 109C (1) (a) of the
Environmental Planning & Assessment Act, 1979.
(* delete where not applicable)


Stephen Grant Johnson
Accredited Certifier (Civil) /
Principal Certifier - Subdivision
Accreditation No. 418677
Institution of Engineers, Aust

PE-033-1 Phase 1 - Compl 11057

Construction Certificates - Compliance Certificates - Subdivision Certificates - Strata Certificates

COMPLIANCE CERTIFICATE No. 11057

Annexure A

DETAILS OF COMPLIANCE

I, Stephen Grant Johnson, certify that the new public roads, temporary road within lot 14 and stormwater drainage construction have now been completed as shown on the accompanying Work-as-Executed drawings.


This Certificate covers works relating to PHASE 1 of the staged Development Consent DA N 0210/04 dated 22 December, 2004, specifically as detailed below :-

1. Road & Drainage Works within the new public roads Lomandra Way, Regent Way, Songlark Way and Callistemon Way, adjacent to the proposed superlots.
2. Roadworks within the new temporary road reserve (Lot 14).

At the time of Final Inspection shown on the face sheet of this Certificate (10/02/2005), all works required by conditions of Development Consent as detailed above, have been inspected during the course of the works to ensure compliance with Council's Construction Specification.

NOTE: As agreed with Council, road & drainage works within the above roads and MacPherson Street will be subject to a joint handover inspection with Council, prior to the release of subsequent subdivision stages creating individual residential allotments. Any remedial works identified in those inspections are to be rectified prior to the issue of Subdivision Certificates for the respective stage.

LAND DEVELOPMENT CERTIFICATES PTY LTD


Stephen Grant Johnson
Accredited Certifier (Civil) /
Principal Certifier - Subdivision
Accreditation No. 418677

STEVE PAYNE PLUMBING PTY LIMITED
PLUMBING DRAINAGE & GASFITTING

ABN 73 082 614 855
116 BALLANDELLA ROAD
PENDLE HILL NSW 2145
PHONE: 9896 0444 MOBILE: 0418 234 203 FAX: 9896 0455

27 September 2006

Australand Holdings Limited
Level 31CH Homebush Bay Road
Rhodes NSW 2138

Reference: Rainwater System Certification
Warriewood Sector 8

Please find certification for stormwater to 1802 Callistemon Way, Warriewood. These works have been completed to AS3500 and in accordance to Action Tanks installation requirements.

Each dwelling has a 3cubic metre volume rainwater tank to collect roof water runoff, which is stored for flushing toilets, and one (1) garden tap, which can also be incorporated into an irrigation connection.

There is a first flush device fitted with a removable clean out screen. Each tank has an overflow to the street or easement with a flap valve fitted to alleviate any surcharge that may occur. Each tank has been fitted with a top up device separate to the rainwater storage, which is also fitted with a double check valve (backflow prevention device) there is also one fitted to the dwelling.

All the stormwater pipes in ground are labelled with the appropriate hazard identification, as has all the pipe work in the dwelling been labelled the same.

Yours sincerely



Steve Payne

STEVE PAYNE PLUMBING PTY LTD

CIVIL SYDNEY

PTY. LTD.

1 Cornish Street
Speers Point NSW 2284
PO Box 934
Pennant Hills 1715

Phone: (02) 4965 8410

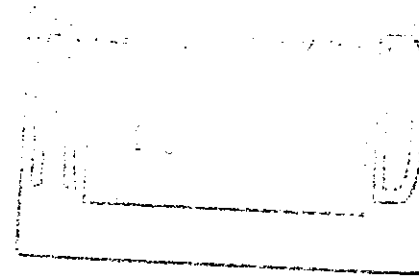
Fax: (02) 4965 8710

Mobile: 0412 514 747

www.civilsydney.com.au

Email: simon@civilsydney.com.au

DIRECTORS: S.G. WOOD, B.E. (CIVIL) M.I.E. AUST.
S.G. MONTFORD, ADV. BLDG. CERT.
ABN 15 068 316 432



27th April 2006

Job No:AUS/0615

Australand.
Locked Bag 2106,
DX 8419.
North Ryde.NSW.1670.
Ph:9767 2000Fax:9767 2944

ENGINEERS CERTIFICATE

Project:Lot 1301-1303 Callistemon Way, Warriewood

This is to certify that piles driven at the above mentioned site have been driven in accordance with AS2159 - 1995. Sets recorded indicate the piles supplied and driven are capable of supporting a safe working loads P:70KN calculations being based on the Hiley Formula.

S.G Wood

B.E. (Civil) M.I.E Aust.



Project No:	3621802	Date:	10.5.06	17.5.06
Client/Owner:	Rylehall Pty Ltd	Time:	1.20 pm	3.05 pm
Contractor:	Australand Properties	Inspector:	R Radovancevic	P Geoghegan

Appleyard Forrest
Consulting Engineers Pty Ltd
ACN 002 610 522

PO Box 140
Gordon NSW 2072 Australia

Gosford
58-60 Hills Street
Gosford NSW 2250 Australia
Telephone: 02 4324 3499
Facsimile: 02 4324 2951

Castle Hill
Unit 35, 7 Anelia Avenue
Castle Hill NSW 2154 Australia
Telephone: 02 9634 6311
Facsimile: 02 9634 6544

- a) Subgrade
- b) Sub Base
- c) Damp - Proof Membrane (to B.C.A)
- d) Pier Spacing and Depth
- e) Pier Diameter
- f) Pier Reinforcement
- g) Edge Beam Size
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- i) Slab on Grade Thickness
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- l) Suspended Slab (level) Reinforcement
- m) Strip Footing Size
- n) Strip Footing Reinforcement
- o) Retaining Wall Footings
- p) Retaining Wall Reinforcement
- q) Pool Shell Reinforcement
- r) Pole Holes
- s) Curtain Wall
- t) Pad Footings
- u) Detention Tank Base Reinforcement
- v) Detention Tank Lid

☒ - Satisfactory

☒ - Satisfactory

Bowral
Suite 1, 407-409 Bong Bong Street
Bowral NSW 2576 Australia
Telephone: 02 48621507
Facsimile: 02 48621568

International
Telephone: + (612) 4324 3499
Facsimile: + (612) 4324 2951

Email
postmaster@applefordorrest.com.a

Website
www.appleyardforrest.com.au

This certificate is issued on the assumption that good construction practice will be observed prior to placement of concrete; eg. piers to be cleaned, dewatered and any deleterious material removed from pier bases and slab area.

As a consequence of this inspection, we certify that items "b, c, g, h, i, j" have been checked and found to comply with the design requirements set out on the drawings identified hereunder.

These design requirements have been established in order to ensure that the completed building or structure will meet the appropriate Objective, Functional Statement, and Performance Requirement required by clauses B01.1, BF1.1 and BP1.1 of BCA2005.

Appleyard Forrest Consulting Engineers Pty Ltd Drawing No(s): 362167/S1/A, S2/B, S3/A → S7/A

Date: 22 May 2006

~~L D Appleyard MIEAust CPEng NPER~~
~~Accredited Certifier (Civil and Structural)~~

SUBDIVIDER/DEVELOPER COMPLIANCE CERTIFICATE

(A certificate under Division 9 Section 73 of the Sydney Water Act, 1994)

DESCRIPTION OF SUBDIVISION/DEVELOPMENT		
Council Pittwater Council		
Street 25 MacPherson Street Warriewood		
Lot No. (s) 1801 sector 8		
Subdivision into	Lots numbered	Development
5 lots	1801-1805	Subdivision of 1 lot into 5 and one new dwelling plus garage on each new lot at 1801 sector 8 Warriewood NSW 2102.
NAME OF APPLICANT Australand Holdings Limited		
APPLICANT'S ADDRESS C/- Byrne & Associates Pty Ltd Po Box 167 Narrabeen NSW 2101		

Sydney Water Corporation certifies that the above named applicant has complied with the requirements, relating to the plan of Subdivision/Development described above, of Division 9 of the Sydney Water Act, 1994.

THE FOLLOWING ITEMS 2 AND 5 APPLY TO LOTS 1801-1805 IN THE SUBDIVISION/DEVELOPMENT:

1. ~~Water facilities are to be provided as a result of the subdivider/developer's compliance with Sydney Water's requirements.~~
2. ~~Water facilities are available.~~
3. ~~Water facilities cannot be provided within a reasonable time from the date of this certificate.~~
4. ~~Sewerage facilities are to be provided as a result of the subdivider/developer's compliance with Sydney Water's requirements.~~
5. ~~Sewerage facilities are available.~~
6. ~~Sewerage facilities are under the control of the local council.~~
7. ~~Sewerage facilities cannot be provided within a reasonable time from the date of this certificate.~~
8. ~~Sydney Water's requirements for future subdivision of this dual occupancy development have NOT been met. On subdivision an additional certificate will be required.~~

THE FOLLOWING ITEMS ~~AND~~ APPLY TO LOT/S ~~IN THE SUBDIVISION/DEVELOPMENT:~~

9. ~~Water facilities have NOT been provided. They will only be provided after compliance with Sydney Water's requirements placed on a future applicant for subdivision/development or connection.~~
10. ~~Sewerage facilities have NOT been provided. They will only be provided after compliance with Sydney Water's requirements placed on a future applicant for subdivision/development or connection.~~
11. ~~Sewerage facilities are under the control of the local council.~~

Applicant Reference No. **20650**

Council Reference No. **647/05**

Name **Jack Diplock**
(Approving Officer for and on behalf of Sydney Water)

Signature 

Name **John Gaffney**
(Approving Officer for and on behalf of Sydney Water)

Signature 

Development Services Office: **Head Office**

Dated: **28 April 2006**

**THIS CERTIFICATE IS ONLY VALID WHEN SIGNED BY TWO
AUTHORISED SYDNEY WATER OFFICERS**

A signed copy is held by Sydney Water

The original of this certificate must be presented to the appropriate consent authority, usually Council, with which the plan of subdivision/development was lodged so that you can satisfy the relevant condition of consent.

BUILDING INDUSTRY PEST SERVICES

P.C. Licence No: 611

Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200

A.C.N. 002313439

Phone: (02) 9709 2011 Fax: (02) 9708 6306 DX: 11227

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS: **WARRIEWOOD, 1801-1805 CALLISTEMON WAY (SEC8) [lot**

BUILDER OR OWNER: **AUSTRALAND PROPERTIES**

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or Granitgard barrier ineffective.

Slab Penetrations

Ref. 28468000

LEGEND

Treated area



Plumbing line



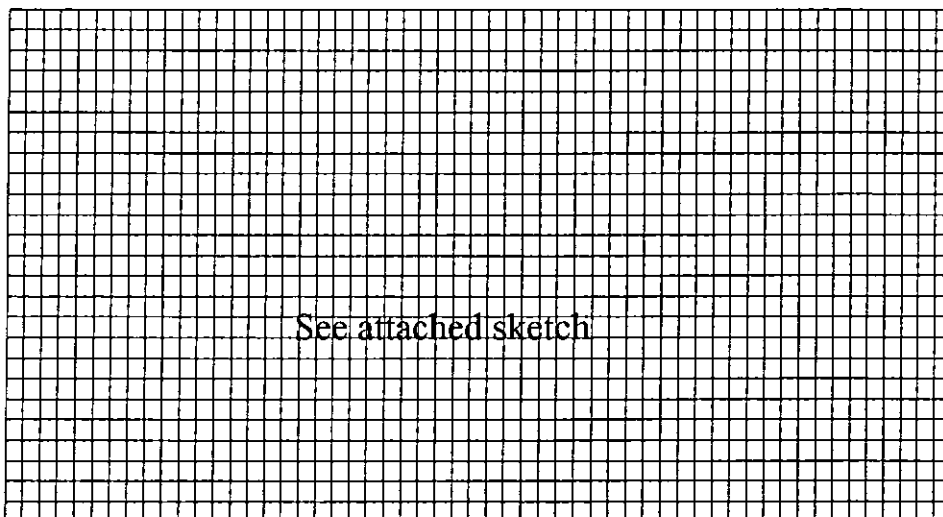
Pier



Steps



Rough sketch only - refer builder's plans for true dimensions.



DATE OF TREATMENT: 17-5-2006

Number of Penetrations: 10

Materials Applied: TERMIFLANGES

Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf.

Applied by: P Nies

Signature:

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.



A.B.N. 56 947 548 056

BUILDING INDUSTRY PEST SERVICES

SUBSIDIARY OF ENVIROPEST P/L

INSTALLATION SHEET

Level 2, Suite 3
39 Stanley Street
Bankstown N.S.W. 2200
Tel: (02) 9793 2166
Fax: (02) 9708 6306
DX 11227, Bankstown

Builder: AUSTRALAND PROPERTIES (BIPS)

Date: 17-5-06

Site Address: LOT 1801-1805 CALLISTEMON WAY
WARRIEWOOD

Job Sheet No.: 21651

Installer: PAUL + HELEN NIES Lic No.:

Ref No.: 23467000
23468000
23469000
23470000
23471000

SIGNED:

Environmental Information

External
Chemical Name
Vol of Concentration
Vol of Emulsion
Equipment:
Hand held spray ☐
Truck mounted spray ☐
Other

Cavity
Chemical Name
Vol of Concentration
Vol of Emulsion
Equipment:
Hand held spray ☐
Truck mounted spray ☐
Other

Wind Speed Wind Direction

Time Start Time Finish

Area Protected

Under Slab M2 Perimeter L/m
Subfloor M2 Penetrations Qty. 49
Cure M2 Ringline L/m

Slab ☐ Monolithic slab on ground
☐ In-fill slab ☐ Waffle pod
☐ B/I Timber floor ☐ Ultra floor

Method of Protection

☐ Physical Barrier ☐ Chemical Barrier

Type

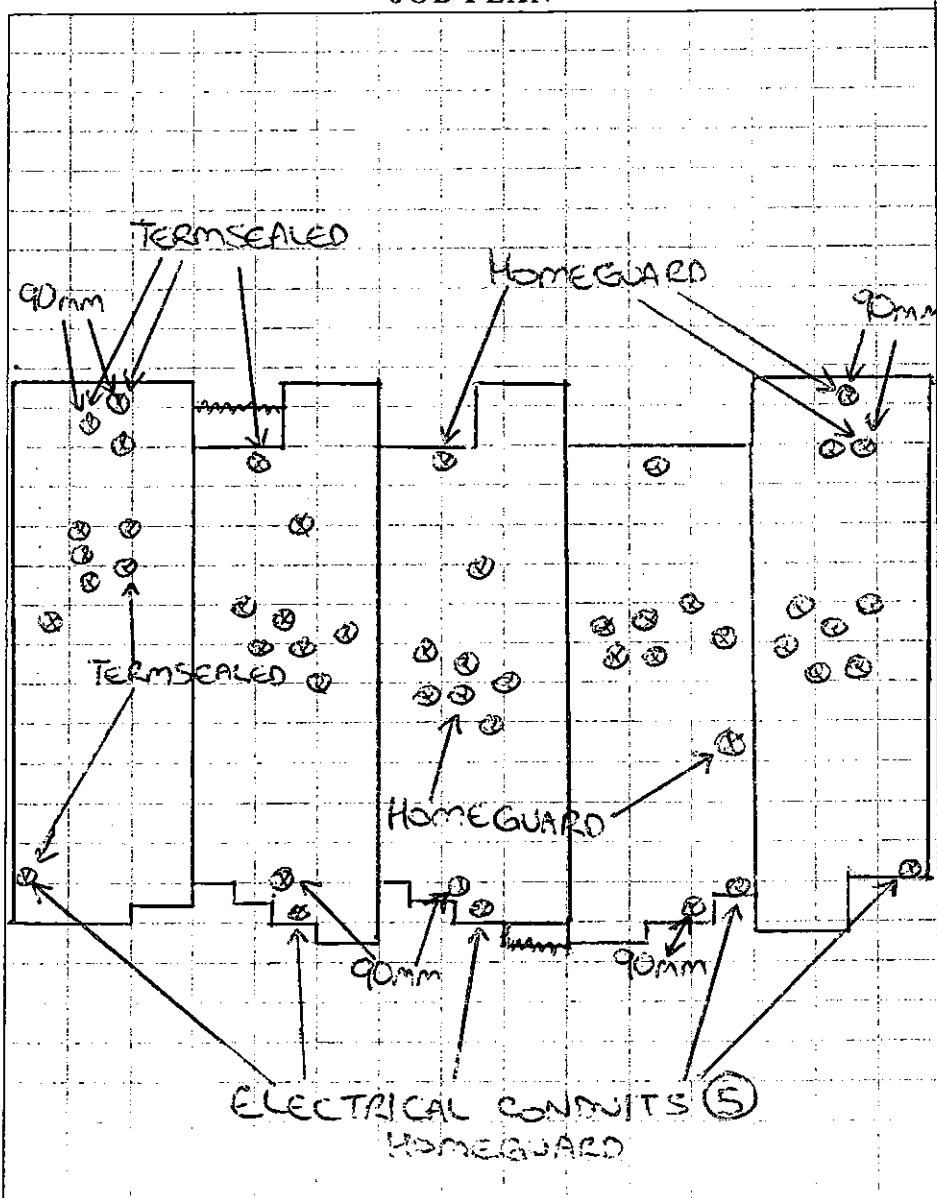
Reticulation Legend

Path trap ☒ Drilled pipe
Undrilled pipe - - - - End cap - - - -

Physical Barrier Legend

Penetration ☒ Start / Finish X
Area Protected //

JOB PLAN



AUSTRALAND HOLDINGS LTD
LOCKED BAG 2106
NORTH RYDE NSW 2113

7 September, 2006

SUBJECT: WATERPROOFING CERTIFICATE
TFW Ref. 56792

This certifies that **FIBREFFLASH** Waterproof Solutions completed installation of the waterproofing to the internal wet areas at the address below on September 7, 2006 :-

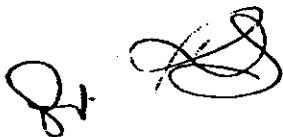
1802 CALLISTEMON WAY WARRIEWOOD

STAGE 1: Install the waterproofing membrane to the shower tray, perimeter walls and floor to all required wet areas.

STAGE 2: Provide waterproofing treatment to shower penetrations, bath seals, spindle seals and installation of the waterstop at doorways to all required wet areas.

This work was completed in accordance with Tables 2.1, 4.1 and Section 5 of Australian Standard 3740 - 2004 and the Building Code of Australia.

Yours faithfully,



Jeff SAYLE
Operations Manager
FIBREFFLASH Waterproof Solutions
GOLD LICENCE: 17790C

ABN: 93 003 987 424
◆ 61 Wellington Street
Riverstone NSW 2765
◆ PO Box 257
Riverstone NSW 2765
◆ **Ph: 02 9627 5500**
Fax: 02 9627 3659





LAND DEVELOPMENT CERTIFICATES

PTY LTD

ABN 38 088 891 810

67 MELBOURNE ROAD, ST JOHNS PARK NSW 2178

Phone : 02 9810 2008

Fax : 02 9753 3118

Mobile : 0416 102008

Email : landdevcert@hotmail.com

STEPHEN G JOHNSON BE MIEAust CPEng
Accreditation No. 418677

PRINCIPAL CERTIFIER-SUBDIVISION / ACCREDITED CERTIFIER(CIVIL)

COMPLIANCE CERTIFICATE

Environmental Planning and Assessment Act, 1979, Section 109C (1) (a)

Applicant:

Australand Holdings Ltd
Locked Bag 2106,
NORTH RYDE NSW 1670

Development Consent No:

DA N 0210/04

Dated: 22/12/04

S.96(2) Modifications:

Date:

Ref: Nil

Subject Land:

Lots 1 & 2 DP 18303, Lots A-C DP 328260, Lot 1 DP 593363 & Lot 12 DP 659528,
Sector 8, H/No.25 MacPherson Street, WARRIEWOOD NSW 2102

Description of Development:

Subdivision (Phase 1 -Stage 0) to create Two Superlots (8 & 9), One Lot for Temporary Road (14), Three Residue Lots (11, 11, 12 & 13) and New Public Roads.

Details of Compliance:

All engineering works as detailed in Appendix A attached, which are required by Pittwater Council's development consent (Ref. N 0210/04) dated 22 December, 2004 (as modified) being Road and Stormwater Drainage Construction, have been satisfactorily completed in accordance with the requirements of the relevant Council Codes and Conditions imposed in Pittwater Council's Development Consent.

Plans & Specifications Attached:

Work - as - Executed Plans prepared by registered surveyors, Craig & Rhodes Pty Ltd and Pavement and Lot Filling Compaction Control Reports by GeoEnviro Consultancy Pty Ltd.


Date of Inspection:

15/02/2006

Certificate No: 11057

Date of Issue: 31/03/2006

I, STEPHEN GRANT JOHNSON certify that:-
*the above described subdivision work has been completed
and complies with the attached plans and specifications
*the above development consent conditions have been
completed with,
in accordance with Section 109C (1) (a) of the
Environmental Planning & Assessment Act, 1979.
(* delete where not applicable)


Stephen Grant Johnson
Accredited Certifier (Civil) /
Principal Certifier - Subdivision
Accreditation No. 418677
Institution of Engineers, Aust

98-003-1 Phase 1 - Compl 11057

Construction Certificates - Compliance Certificates - Subdivision Certificates - Strata Certificates

COMPLIANCE CERTIFICATE No. 11057

Annexure A

DETAILS OF COMPLIANCE

I, Stephen Grant Johnson, certify that the new public roads, temporary road within lot 14 and stormwater drainage construction have now been completed as shown on the accompanying Work-as-Executed drawings.


This Certificate covers works relating to PHASE 1 of the staged Development Consent DA N 0210/04 dated 22 December, 2004, specifically as detailed below :-

1. Road & Drainage Works within the new public roads Lomandra Way, Regent Way, Songlark Way and Callistemon Way, adjacent to the proposed superlots.
2. Roadworks within the new temporary road reserve (Lot 14).

At the time of Final Inspection shown on the face sheet of this Certificate (10/02/2005), all works required by conditions of Development Consent as detailed above, have been inspected during the course of the works to ensure compliance with Council's Construction Specification.

NOTE: As agreed with Council, road & drainage works within the above roads and MacPherson Street will be subject to a joint handover inspection with Council, prior to the release of subsequent subdivision stages creating individual residential allotments. Any remedial works identified in those inspections are to be rectified prior to the issue of Subdivision Certificates for the respective stage.

LAND DEVELOPMENT CERTIFICATES PTY LTD


Stephen Grant Johnson
Accredited Certifier (Civil) /
Principal Certifier - Subdivision
Accreditation No. 418677

STEVE PAYNE PLUMBING PTY LIMITED
PLUMBING DRAINAGE & GASFITTING

ABN 73 082 614 855
116 BALLANDELLA ROAD
PENDLE HILL NSW 2145
PHONE: 9896 0444 MOBILE: 0418 234 203 FAX: 9896 0455

27 September 2006

Australand Holdings Limited
Level 31CH Homebush Bay Road
Rhodes NSW 2138

Reference: Rainwater System Certification
Warriewood Sector 8

Please find certification for stormwater to 1803 Callistemon Way, Warriewood. These works have been completed to AS3500 and in accordance to Action Tanks installation requirements.

Each dwelling has a 3cubic metre volume rainwater tank to collect roof water runoff, which is stored for flushing toilets, and one (1) garden tap, which can also be incorporated into an irrigation connection.

There is a first flush device fitted with a removable clean out screen. Each tank has an overflow to the street or easement with a flap valve fitted to alleviate any surcharge that may occur. Each tank has been fitted with a top up device separate to the rainwater storage, which is also fitted with a double check valve (backflow prevention device) there is also one fitted to the dwelling.

All the stormwater pipes in ground are labelled with the appropriate hazard identification, as has all the pipe work in the dwelling been labelled the same.

Yours sincerely



Steve Payne

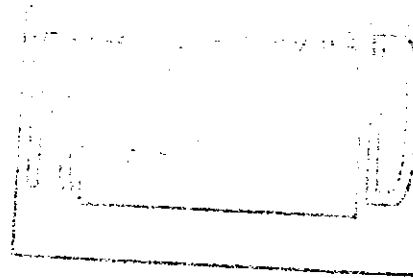
STEVE PAYNE PLUMBING PTY LTD

CIVIL SYDNEY PTY. LTD.

1 Cornish Street
Speers Point NSW 2284
PO Box 934
Pennant Hills 1715

DIRECTORS: S.G. WOOD, B.E. (CIVIL) M.I.E. AUST.
S.G. MONTFORD, ADV. BLDG. CERT.
ABN 15 068 316 432

Phone: (02) 4965 8410
Fax: (02) 4965 8710
Mobile: 0412 514 747
www.civilsydney.com.au
Email: simon@civilsydney.com.au



27th April 2006

Job No:AUS/0615

Australand.
Locked Bag 2106,
DX 8419.
North Ryde.NSW.1670.
Ph:9767 2000Fax:9767 2944

ENGINEERS CERTIFICATE

Project:Lot 1301-1303 Callistemon Way, Warriewood

This is to certify that piles driven at the above mentioned site have been driven in accordance with AS2159 - 1995. Sets recorded indicate the pilcs supplied and driven are capable of supporting a safe working loads P:70KN calculations being based on the Hiley Formula.


S.G Wood
B.E. (Civil) M.I.E Aust.



Inspection Certificate

Project No:	3621803	Date:	10.5.06	17.5.06
Client/Owner:	Rylehall Pty Ltd	Time:	1.25 pm	3.15 pm
Contractor:	Australand Properties	Inspector:	R Radovancevic	P Geoghegan

Appleyard Forrest
Consulting Engineers Pty Ltd
ACN 002 610 522

Project Description: Proposed Residential Development

PO Box 140
Gordon NSW 2072 Australia

This is to certify that an inspector from the above office has attended your site at Lot 1803 (Stage 18) Callistemon Way, Warriewood and has inspected the following:

Gosford
58-60 Hills Street
Gosford NSW 2250 Australia
Telephone: 02 4324 3499
Facsimile: 02 4324 2951

Section: Drop Panel Raft Slab

Castle Hill
Unit 35, 7 Anella Avenue
Castle Hill NSW 2154 Australia
Telephone: 02 9634 6311
Facsimile: 02 9634 6544

Items/Areas Inspected

- | | | |
|--|-------------------------------------|----------------|
| a) Subgrade | <input checked="" type="checkbox"/> | - Satisfactory |
| b) Sub Base | <input checked="" type="checkbox"/> | |
| c) Damp - Proof Membrane (to B.C.A) | <input checked="" type="checkbox"/> | |
| d) Pier Spacing and Depth | <input checked="" type="checkbox"/> | |
| e) Pier Diameter | <input checked="" type="checkbox"/> | |
| f) Pier Reinforcement | <input checked="" type="checkbox"/> | - Satisfactory |
| g) Edge Beam Size | <input checked="" type="checkbox"/> | |
| h) Edge Beam Reinforcement | <input checked="" type="checkbox"/> | |
| i) Slab on Grade Thickness | <input checked="" type="checkbox"/> | |
| j) Slab on Grade Reinforcement | <input checked="" type="checkbox"/> | |
| k) Suspended Slab (level) Thickness | <input checked="" type="checkbox"/> | |
| l) Suspended Slab (level) Reinforcement | <input checked="" type="checkbox"/> | |
| m) Strip Footing Size | <input checked="" type="checkbox"/> | |
| n) Strip Footing Reinforcement | <input checked="" type="checkbox"/> | |
| o) Retaining Wall Footings | <input checked="" type="checkbox"/> | |
| p) Retaining Wall Reinforcement | <input checked="" type="checkbox"/> | |
| q) Pool Shell Reinforcement | <input checked="" type="checkbox"/> | |
| r) Pole Holes | <input checked="" type="checkbox"/> | |
| s) Curtain Wall | <input checked="" type="checkbox"/> | |
| t) Pad Footings | <input checked="" type="checkbox"/> | |
| u) Detention Tank Base Reinforcement | <input checked="" type="checkbox"/> | |
| v) Detention Tank Lid | <input checked="" type="checkbox"/> | |

Bowral
Suite 1, 407-409 Bong Bong Street
Bowral NSW 2576 Australia
Telephone: 02 48621507
Facsimile: 02 48621568

International
Telephone: + (612) 4324 3499
Facsimile: + (612) 4324 2951

Email
postmaster@appleyardforrest.com.au

Website
www.appleyardforrest.com.au

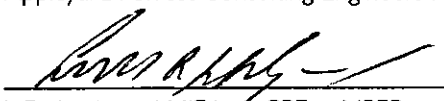
General Comments:

This certificate is issued on the assumption that good construction practice will be observed prior to placement of concrete; eg. piers to be cleaned, dewatered and any deleterious material removed from pier bases and slab area.

As a consequence of this inspection, we certify that items "b, c, g, h, i, j" have been checked and found to comply with the design requirements set out on the drawings identified hereunder.

These design requirements have been established in order to ensure that the completed building or structure will meet the appropriate Objective, Functional Statement, and Performance Requirement required by clauses B01.1, Bf1.1 and Bp1.1 of BCA2005.

Appleyard Forrest Consulting Engineers Pty Ltd Drawing No(s): 362167/S11/A, S2/B, S3/A → S7/A


L D Appleyard MIEAust CPEng NPFR
Accredited Certifier (Civil and Structural)

Date: 22 May 2006

SUBDIVIDER/DEVELOPER COMPLIANCE CERTIFICATE

(A certificate under Division 9 Section 73 of the Sydney Water Act, 1994)

DESCRIPTION OF SUBDIVISION/DEVELOPMENT		
Council Pittwater Council		
Street 25 MacPherson Street Warriewood		
Lot No. (s) 1801 sector 8		
Subdivision into 5 lots	Lots numbered 1801-1805	Development Subdivision of 1 lot into 5 and one new dwelling plus garage on each new lot at 1801 sector 8 Warriewood NSW 2102.
NAME OF APPLICANT Australand Holdings Limited		
APPLICANT'S ADDRESS C/- Byrne & Associates Pty Ltd Po Box 167 Narrabeen NSW 2101		

Sydney Water Corporation certifies that the above named applicant has complied with the requirements, relating to the plan of Subdivision/Development described above, of Division 9 of the Sydney Water Act, 1994.

THE FOLLOWING ITEMS 2 AND 5 APPLY TO LOTS 1801-1805 IN THE SUBDIVISION/DEVELOPMENT:

1. ~~Water facilities are to be provided as a result of the subdivider/developer's compliance with Sydney Water's requirements.~~
2. ~~Water facilities are available.~~
3. ~~Water facilities cannot be provided within a reasonable time from the date of this certificate.~~
4. ~~Sewerage facilities are to be provided as a result of the subdivider/developer's compliance with Sydney Water's requirements.~~
5. ~~Sewerage facilities are available.~~
6. ~~Sewerage facilities are under the control of the local council.~~
7. ~~Sewerage facilities cannot be provided within a reasonable time from the date of this certificate.~~
8. ~~Sydney Water's requirements for future subdivision of this dual occupancy development have NOT been met. On subdivision an additional certificate will be required.~~

THE FOLLOWING ITEMS ~~AND~~ APPLY TO LOT'S ~~IN~~ THE SUBDIVISION/DEVELOPMENT:

9. ~~Water facilities have NOT been provided. They will only be provided after compliance with Sydney Water's requirements placed on a future applicant for subdivision/development or connection.~~
10. ~~Sewerage facilities have NOT been provided. They will only be provided after compliance with Sydney Water's requirements placed on a future applicant for subdivision/development or connection.~~
11. ~~Sewerage facilities are under the control of the local council.~~

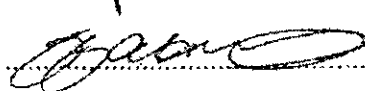
Applicant Reference No. **20650**

Council Reference No. **647/05**

Name **Jack Diplock**
(Approving Officer for and on behalf of Sydney Water)

Signature 

Name **John Gaffney**
(Approving Officer for and on behalf of Sydney Water)

Signature 

Development Services Office: **Head Office**

Dated: **28 April 2006**

**THIS CERTIFICATE IS ONLY VALID WHEN SIGNED BY TWO
AUTHORISED SYDNEY WATER OFFICERS**

A signed copy is held by Sydney Water

The original of this certificate must be presented to the appropriate consent authority, usually Council, with which the plan of subdivision/development was lodged so that you can satisfy the relevant condition of consent.

BUILDING INDUSTRY PEST SERVICES

P.C. Licence No: 611

Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200
Phone: (02) 9709 2011 Fax: (02) 9708 6306 DX: 11227

A.C.N. 002313439

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS: **WARRIEWOOD, 1801-1805 CALLISTEMON WAY (SEC8) [lot**BUILDER OR OWNER: **AUSTRALAND PROPERTIES**

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or Granitgard barrier ineffective.

Slab Penetrations

Ref. 28469000

LEGEND

Treated area



Plumbing line



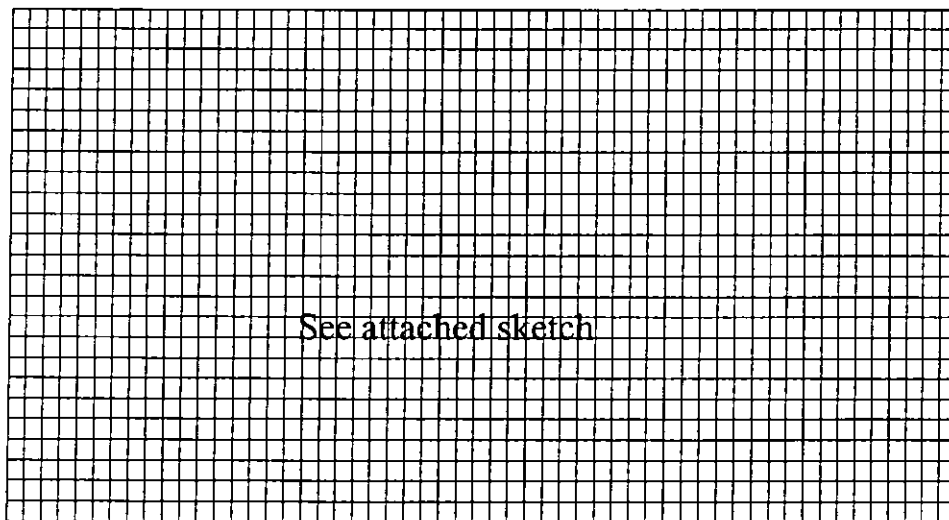
Pier



Steps



Rough sketch only - refer builder's plans for true dimensions.



DATE OF TREATMENT: 17-5-2006

Number of Penetrations: 10

Materials Applied: TERMIFLANGES

Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf.

Applied by: P Nies

Signature: 

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.



A.B.N. 56 947 548 056

BUILDING INDUSTRY PEST SERVICES

SUBSIDIARY OF ENVIROPEST P/L

INSTALLATION SHEET

Level 2, Suite 3
39 Stanley Street
Bankstown N.S.W. 2200
Tel: (02) 9793 2166
Fax: (02) 9708 6306
DX 11227, Bankstown

Builder: AUSTRALAND PROPERTIES (BIPS)
Site Address: LOT 1801-1805 CALLISTEMON WAY
WARRIEWOOD

Date: 17-5-06

Job Sheet No.: 21631

Installer: PAUL & HELEN NIES Lic No.:

SIGNED:

Ref No.: 28467000
28468000
28469000
28470000
28471000

Environmental Information

JOB PLAN

External
Chemical Name
Vol of Concentration
Vol of Emulsion
Equipment:
Hand held spray ☐
Truck mounted spray ☐
Other

Cavity
Chemical Name
Vol of Concentration
Vol of Emulsion
Equipment:
Hand held spray ☐
Truck mounted spray ☐
Other

Wind Speed Wind Direction

Time Start Time Finish

Area Protected

Under Slab M2 Perimeter L/m 49

Subfloor M2 Penetrations Qty

Cure M2 Ringline L/m

Slab ☐ Monolithic slab on ground
☐ In-fill slab ☐ Waffle pod
☐ B/J Timber floor ☐ Ultra floor

Method of Protection

☐ Physical Barrier ☐ Chemical Barrier

Type

Reticulation Legend

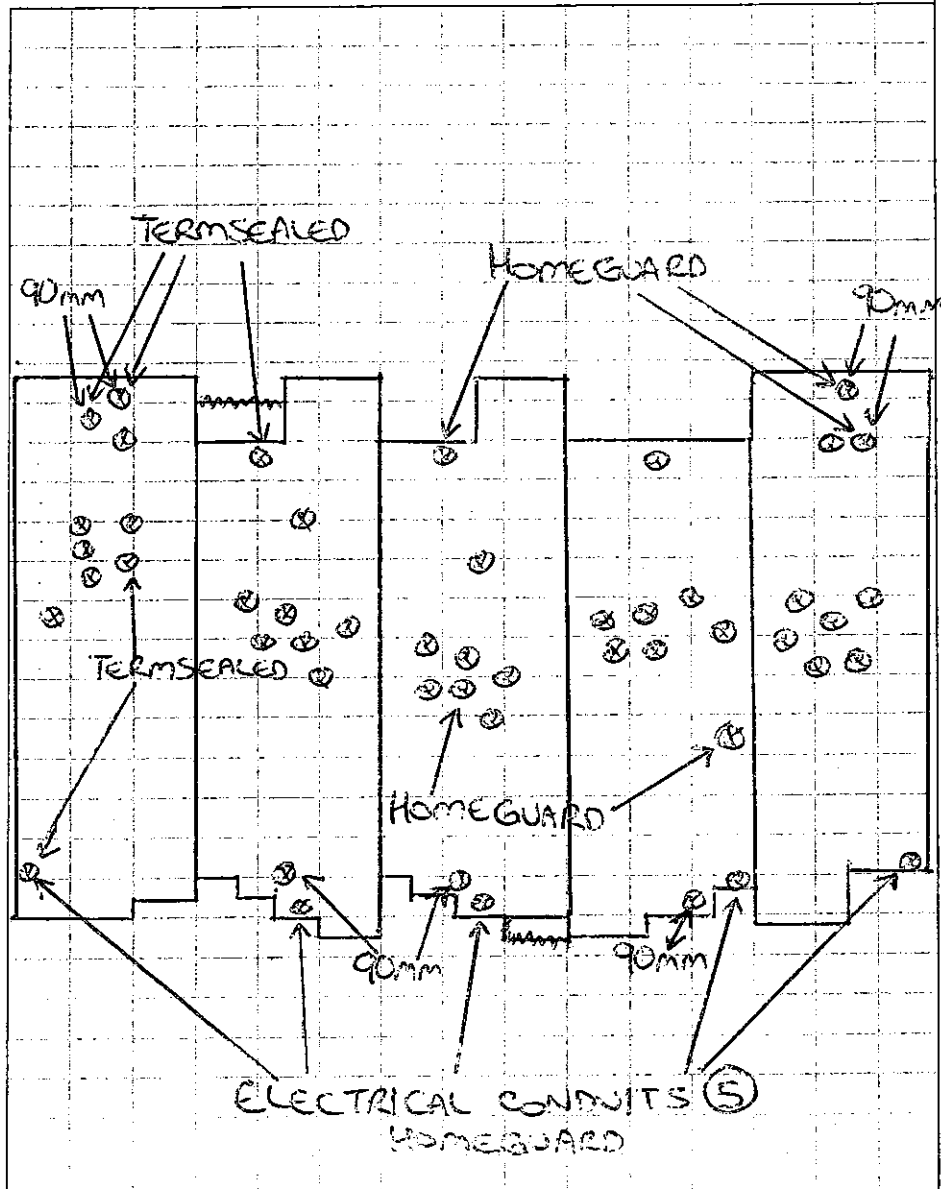
Path trap ☒ Drilled pipe

Undrilled pipe - - - - End cap ———

Physical Barrier Legend

Penetration ⊗ Start / Finish ×

Area Protected //





LAND DEVELOPMENT CERTIFICATES

PTY LTD

ABN 38 088 891 810

67 MELBOURNE ROAD, ST JOHNS PARK NSW 2178

Phone : 02 9810 2008 Fax : 02 9753 3118 Mobile : 0416 102008 Email : landevcert@hotmail.com

STEPHEN G JOHNSON BE MIEAust CPEng
Accreditation No. 418677

PRINCIPAL CERTIFIER-SUBDIVISION / ACCREDITED CERTIFIER(CIVIL)

COMPLIANCE CERTIFICATE

Environmental Planning and Assessment Act, 1979, Section 109C (1) (a)

Applicant:

Australand Holdings Ltd
Locked Bag 2108,
NORTH RYDE NSW 1670

Development Consent No:

DA N 0210/04

Dated: 22/12/04

S.96(2) Modifications:

Date:

Ref: Nil

Subject Land:

Lots 1 & 2 DP 18303, Lots A-C DP 328260, Lot 1 DP 593363 & Lot 12 DP 659528,
Sector 8, H/No.25 MacPherson Street, WARRIEWOOD NSW 2102

Description of Development:

Subdivision (Phase 1 -Stage 0) to create Two Superlots (8 & 9), One Lot for Temporary Road (14), Three Residue Lots (11, 11, 12 & 13) and New Public Roads.

Details of Compliance:

All engineering works as detailed in Appendix A attached, which are required by Pittwater Council's development consent (Ref. N 0210/04) dated 22 December, 2004 (as modified) being Road and Stormwater Drainage Construction, have been satisfactorily completed in accordance with the requirements of the relevant Council Codes and Conditions imposed in Pittwater Council's Development Consent.

Plans & Specifications Attached:

Work - as - Executed Plans prepared by registered surveyors, Craig & Rhodes Pty Ltd and Pavement and Lot Filling Compaction Control Reports by GeoEnviro Consultancy Pty Ltd.

Date of Inspection:

15/02/2006

Certificate No: 11057

Date of Issue: 31/03/2006

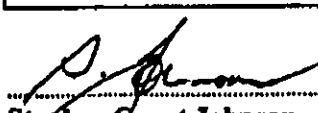
I, STEPHEN GRANT JOHNSON certify that:-

*the above described subdivision work has been completed
and complies with the attached plans and specifications

*the above development consent conditions have been
complied with,

in accordance with Section 109C (1) (a) of the
Environmental Planning & Assessment Act, 1979.

(* delete where not applicable)


Stephen Grant Johnson
Accredited Certifier (Civil) /
Principal Certifier - Subdivision
Accreditation No. 418677
Institution of Engineers, Aust

96-003-1 Phase 1 - Compl 11057

Construction Certificates - Compliance Certificates - Subdivision Certificates - Strata Certificates

LAND DEVELOPMENT CERTS PAGE 03/03

COMPLIANCE CERTIFICATE No. 11057

Annexure A

DETAILS OF COMPLIANCE

I, Stephen Grant Johnson, certify that the new public roads, temporary road within lot 14 and stormwater drainage construction have now been completed as shown on the accompanying Work-as-Executed drawings.


This Certificate covers works relating to PHASE 1 of the staged Development Consent DA N.0210/04 dated 22 December, 2004, specifically as detailed below :-

1. Road & Drainage Works within the new public roads Lomandra Way, Regent Way, Songlark Way and Callistemon Way, adjacent to the proposed superlots.
2. Roadworks within the new temporary road reserve (Lot 14).

At the time of Final Inspection shown on the face sheet of this Certificate (10/02/2005), all works required by conditions of Development Consent as detailed above, have been inspected during the course of the works to ensure compliance with Council's Construction Specification.

NOTE: As agreed with Council, road & drainage works within the above roads and MacPherson Street will be subject to a joint handover inspection with Council, prior to the release of subsequent subdivision stages creating individual residential allotments. Any remedial works identified in those inspections are to be rectified prior to the issue of Subdivision Certificates for the respective stage.

LAND DEVELOPMENT CERTIFICATES PTY LTD


Stephen Grant Johnson
Accredited Certifier (Civil) /
Principal Certifier - Subdivision
Accreditation No. 418877

CIVIL SYDNEY

PTY. LTD.

1 Cornish Street
Speers Point NSW 2284
PO Box 934
Pennant Hills 1715

Phone: (02) 4965 8410

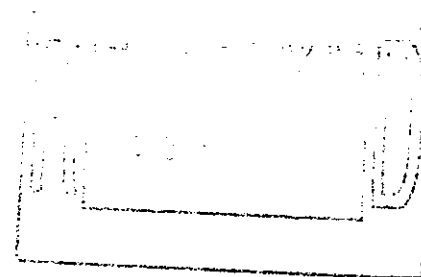
Fax: (02) 4965 8710

Mobile: 0412 514 747

www.civilsydney.com.au

Email: simon@civilsydney.com.au

DIRECTORS: S.G. WOOD, B.E. (CIVIL) M.I.E. AUST.
S.G. MONTFORD, ADV. BLDG. CERT.
ABN 15 068 316 432



27th April 2006

Job No:AUS/0615

Australand.
Locked Bag 2106,
DX 8419.
North Ryde.NSW.1670.
Ph:9767 2000Fax:9767 2944

ENGINEERS CERTIFICATE

Project:Lot 1301-1303 Callistemon Way, Warriewood

This is to certify that piles driven at the above mentioned site have been driven in accordance with AS2159 - 1995. Sets recorded indicate the piles supplied and driven are capable of supporting a safe working loads P:70KN calculations being based on the Hiley Formula.

S.G Wood

B.E. (Civil) M.I.E Aust.



Inspection Certificate

Project No:	3621804	Date:	10.5.06	17.5.06
Client/Owner:	Rylehall Pty Ltd	Time:	1.30 pm	3.20 pm
Contractor:	Australand Properties	Inspector:	R Radovancevic	P Geoghegan

Appleyard Forrest
Consulting Engineers Pty Ltd
ACN 002 610 522

Project Description: Proposed Residential Development

PO Box 140
Gordon NSW 2072 Australia

This is to certify that an inspector from the above office has attended your site at Lot 1804 (Stage 18) Callistemon Way, Warriewood and has inspected the following:

Gosford
58-60 Hills Street
Gosford NSW 2250 Australia
Telephone: 02 4324 3499
Facsimile: 02 4324 2951

Section: Drop Panel Raft Slab

Castle Hill
Unit 35, 7 Anella Avenue
Castle Hill NSW 2154 Australia
Telephone: 02 9634 6311
Facsimile: 02 9634 6544

Items/Areas Inspected

- | | | |
|--|-------------------------------------|----------------|
| a) Subgrade | <input checked="" type="checkbox"/> | - Satisfactory |
| b) Sub Base | <input checked="" type="checkbox"/> | |
| c) Damp - Proof Membrane (to B.C.A) | <input checked="" type="checkbox"/> | - Satisfactory |
| d) Pier Spacing and Depth | <input checked="" type="checkbox"/> | |
| e) Pier Diameter | <input checked="" type="checkbox"/> | |
| f) Pier Reinforcement | <input checked="" type="checkbox"/> | |
| g) Edge Beam Size | <input checked="" type="checkbox"/> | |
| h) Edge Beam Reinforcement | <input checked="" type="checkbox"/> | |
| i) Slab on Grade Thickness | <input checked="" type="checkbox"/> | |
| j) Slab on Grade Reinforcement | <input checked="" type="checkbox"/> | |
| k) Suspended Slab (level) Thickness | <input checked="" type="checkbox"/> | |
| l) Suspended Slab (level) Reinforcement | <input checked="" type="checkbox"/> | |
| m) Strip Footing Size | <input checked="" type="checkbox"/> | - Satisfactory |
| n) Strip Footing Reinforcement | <input checked="" type="checkbox"/> | |
| o) Retaining Wall Footings | <input checked="" type="checkbox"/> | |
| p) Retaining Wall Reinforcement | <input checked="" type="checkbox"/> | |
| q) Pool Shell Reinforcement | <input checked="" type="checkbox"/> | |
| r) Pole Holes | <input checked="" type="checkbox"/> | |
| s) Curtain Wall | <input checked="" type="checkbox"/> | |
| t) Pad Footings | <input checked="" type="checkbox"/> | |
| u) Detention Tank Base Reinforcement | <input checked="" type="checkbox"/> | |
| v) Detention Tank Lid | <input checked="" type="checkbox"/> | |

Bowral
Suite 1, 407-409 Bong Bong Street
Bowral NSW 2576 Australia
Telephone: 02 48621507
Facsimile: 02 48621568

International
Telephone: + (612) 4324 3499
Facsimile: + (612) 4324 2951

Email
postmaster@appleyardforrest.com.au

Website
www.appleyardforrest.com.au

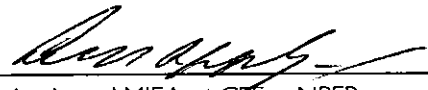
General Comments:

This certificate is issued on the assumption that good construction practice will be observed prior to placement of concrete; eg. piers to be cleaned, dewatered and any deleterious material removed from pier bases and slab area.

As a consequence of this inspection, we certify that items "b, c, g, h, i, j" have been checked and found to comply with the design requirements set out on the drawings identified hereunder.

These design requirements have been established in order to ensure that the completed building or structure will meet the appropriate Objective, Functional Statement, and Performance Requirement required by clauses B01.1, B11.1 and B11.1 of BCA2005.

Appleyard Forrest Consulting Engineers Pty Ltd Drawing No(s): 362167/S11/A, S2/B, S3/A → S7/A


L D Appleyard MIEAust, CPEng NPER
Accredited Certifier (Civil and Structural)

Date: 22 May 2006

BUILDING INDUSTRY PEST SERVICES

P.C. Licence No: 611

Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200
Phone: (02) 9709 2011 Fax: (02) 9708 6306 DX: 11227

A.C.N. 002313439

CERTIFICATE OF TREATMENT



This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS: **WARRIEWOOD, 1801-1805 CALLISTEMON WAY (SEC8) [lot**BUILDER OR OWNER: **AUSTRALAND PROPERTIES**

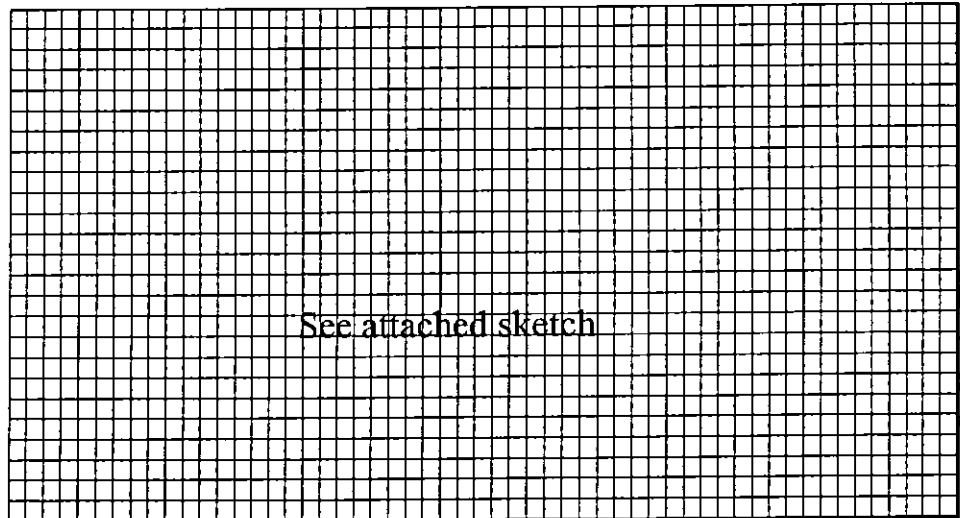
ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or Granitgard barrier ineffective.

Slab Penetrations

Ref. 28470000

LEGENDTreated area Plumbing line Pier Steps 

Rough sketch only - refer builder's plans for true dimensions.



DATE OF TREATMENT: 17-5-2006

Number of Penetrations: 10

Materials Applied: TERMIFLANGES

Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf.

Applied by: P Nies

Signature: 

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.



A.B.N. 56 947 548 056

BUILDING INDUSTRY PEST SERVICES

SUBSIDIARY OF ENVIROPEST P/L

INSTALLATION SHEET

Level 2, Suite 3
39 Stanley Street
Bankstown N.S.W. 2200
Tel: (02) 9793 2166
Fax: (02) 9708 6306
DX 11227, Bankstown

Builder: AUSTRALAND PROPERTIES (BIPS)
Site Address: LOT 1801-1805 CALLISTEMON WAY
WARRIEWOOD

Date: 17-5-06

Installer: PAUL & HELEN NIES Lic No.: _____

Job Sheet No.: 21651

SIGNED: _____

Ref No.: 28467000
28468000
28469000
28470000
28471000

Environmental Information

JOB PLAN

External
Chemical Name
Vol of Concentration
Vol of Emulsion
Equipment:
Hand held spray ☐
Truck mounted spray ☐
Other

Cavity
Chemical Name
Vol of Concentration
Vol of Emulsion
Equipment:
Hand held spray ☐
Truck mounted spray ☐
Other

Wind Speed Wind Direction

Time Start Time Finish

Area Protected

Under Slab M2 Perimeter L/m 49

Subfloor M2 Penetrations Qty.

Cure M2 Ringline L/m

Slab ☐ Monolithic slab on ground
☐ In-fill slab ☐ Waffle pod
☐ B/J Timber floor ☐ Ultra floor

Method of Protection

☐ Physical Barrier ☐ Chemical Barrier

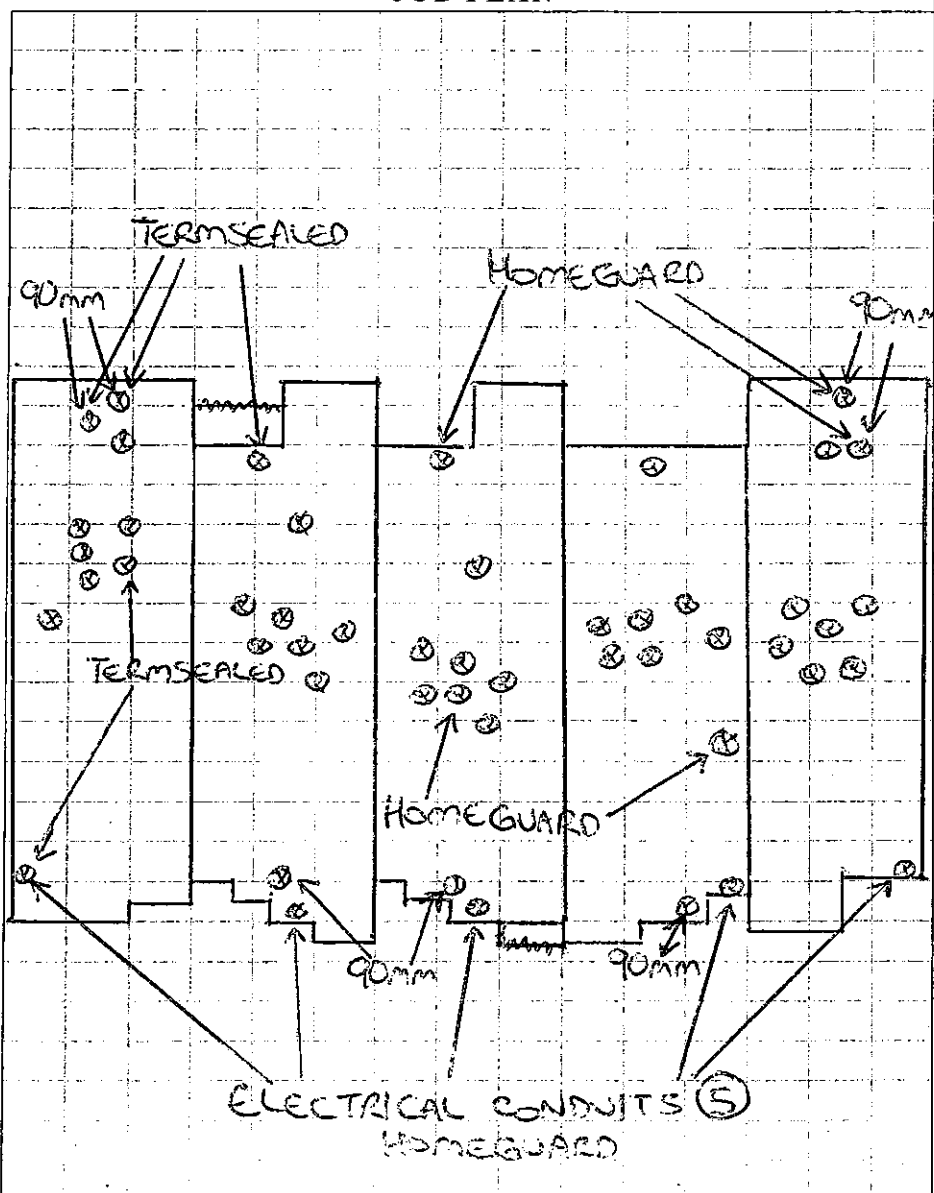
Type

Reticulation Legend

Path trap ☒ Drilled pipe _____
Undrilled pipe - - - - - End cap _____

Physical Barrier Legend

Penetration ☒ Start / Finish X
Area Protected //



AUSTRALAND HOLDINGS LTD
LOCKED BAG 2106
NORTH RYDE NSW 2113

7 September, 2006

SUBJECT: WATERPROOFING CERTIFICATE
TFW Ref. 56794

This certifies that **FIBREFLASH** Waterproof Solutions completed installation of the waterproofing to the internal wet areas at the address below on September 7, 2006 :-

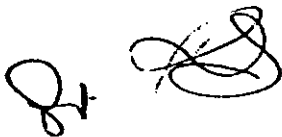
1804 CALLISTEMON WAY WARRIEWOOD

STAGE 1: Install the waterproofing membrane to the shower tray, perimeter walls and floor to all required wet areas.

STAGE 2: Provide waterproofing treatment to shower penetrations, bath seals, spindle seals and installation of the waterstop at doorways to all required wet areas.

This work was completed in accordance with Tables 2.1, 4.1 and Section 5 of Australian Standard 3740 - 2004 and the Building Code of Australia.

Yours faithfully,



Jeff SAYLE
Operations Manager
FIBREFLASH Waterproof Solutions
GOLD LICENCE: 17790C

ABN: 93 003 987 424
◆ 61 Wellington Street
Riverstone NSW 2765
◆ PO Box 257
Riverstone NSW 2765
◆ **Ph: 02 9627 5500**
Fax: 02 9627 3659

STEVE PAYNE PLUMBING PTY LIMITED
PLUMBING DRAINAGE & GASFITTING

ABN 73 082 614 855
116 BALLANDELLA ROAD
PENDLE HILL NSW 2145
PHONE: 9896 0444 MOBILE: 0418 234 203 FAX: 9896 0455

27 September 2006

Australand Holdings Limited
Level 31CH Homebush Bay Road
Rhodes NSW 2138

Reference: Rainwater System Certification
Warriewood Sector 8

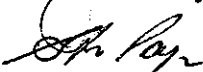
Please find certification for stormwater to 1804 Callistemon Way, Warriewood. These works have been completed to AS3500 and in accordance to Action Tanks installation requirements.

Each dwelling has a 3cubic metre volume rainwater tank to collect roof water runoff, which is stored for flushing toilets, and one (1) garden tap, which can also be incorporated into an irrigation connection.

There is a first flush device fitted with a removable clean out screen. Each tank has an overflow to the street or easement with a flap valve fitted to alleviate any surcharge that may occur. Each tank has been fitted with a top up device separate to the rainwater storage, which is also fitted with a double check valve (backflow prevention device) there is also one fitted to the dwelling.

All the stormwater pipes in ground are labelled with the appropriate hazard identification, as has all the pipe work in the dwelling been labelled the same.

Yours sincerely



Steve Payne

STEVE PAYNE PLUMBING PTY LTD

SUBDIVIDER/DEVELOPER COMPLIANCE CERTIFICATE

(A certificate under Division 9 Section 73 of the Sydney Water Act, 1994)

DESCRIPTION OF SUBDIVISION/DEVELOPMENT		
Council	Pittwater Council	
Street	25 MacPherson Street Warriewood	
Lot No. (s)	1801 sector 8	
Subdivision into	Lots numbered	Development
5 lots	1801-1805	Subdivision of 1 lot into 5 and one new dwelling plus garage on each new lot at 1801 sector 8 Warriewood NSW 2102.
NAME OF APPLICANT	Australand Holdings Limited	
APPLICANT'S ADDRESS	C/- Byrne & Associates Pty Ltd Po Box 167 Narrabeen NSW 2101	

Sydney Water Corporation certifies that the above named applicant has complied with the requirements, relating to the plan of Subdivision/Development described above, of Division 9 of the Sydney Water Act, 1994.

THE FOLLOWING ITEMS 2 AND 5 APPLY TO LOTS 1801-1805 IN THE SUBDIVISION/DEVELOPMENT:

1. ~~Water facilities are to be provided as a result of the subdivider/developer's compliance with Sydney Water's requirements.~~
2. ~~Water facilities are available.~~
3. ~~Water facilities cannot be provided within a reasonable time from the date of this certificate.~~
4. ~~Sewerage facilities are to be provided as a result of the subdivider/developer's compliance with Sydney Water's requirements.~~
5. ~~Sewerage facilities are available.~~
6. ~~Sewerage facilities are under the control of the local council.~~
7. ~~Sewerage facilities cannot be provided within a reasonable time from the date of this certificate.~~
8. ~~Sydney Water's requirements for future subdivision of this dual occupancy development have NOT been met. On subdivision an additional certificate will be required.~~

THE FOLLOWING ITEMS ~~AND~~ APPLY TO LOT/S ~~IN THE SUBDIVISION/DEVELOPMENT.~~

9. ~~Water facilities have NOT been provided. They will only be provided after compliance with Sydney Water's requirements placed on a future applicant for subdivision/development or connection.~~
10. ~~Sewerage facilities have NOT been provided. They will only be provided after compliance with Sydney Water's requirements placed on a future applicant for subdivision/development or connection.~~
11. ~~Sewerage facilities are under the control of the local council.~~

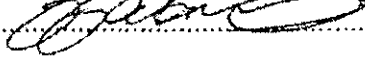
Applicant Reference No. **20650**

Council Reference No. **647/05**

Name **Jack Diplock**
(Approving Officer for and on behalf of Sydney Water)

Signature 

Name **John Gaffney**
(Approving Officer for and on behalf of Sydney Water)

Signature 

Development Services Office: **Head Office**

Dated: **28 April 2006**

**THIS CERTIFICATE IS ONLY VALID WHEN SIGNED BY TWO
AUTHORISED SYDNEY WATER OFFICERS**

A signed copy is held by Sydney Water

The original of this certificate must be presented to the appropriate consent authority, usually Council, with which the plan of subdivision/development was lodged so that you can satisfy the relevant condition of consent.



LAND DEVELOPMENT CERTIFICATES

PTY LTD

ABN 38 088 891 810

67 MELBOURNE ROAD, ST JOHNS PARK NSW 2176

Phone : 02 9810 2008 Fax : 02 9753 3118 Mobile : 0416 102008 Email : landevcert@hotmail.com

STEPHEN G JOHNSON BE MIEAust CPEng
Accreditation No. 418677

PRINCIPAL CERTIFIER-SUBDIVISION / ACCREDITED CERTIFIER(CIVIL)

COMPLIANCE CERTIFICATE

Environmental Planning and Assessment Act, 1979, Section 109C (1) (a)

Applicant:

Australand Holdings Ltd
Locked Bag 2106,
NORTH RYDE NSW 1670

Development Consent No:

DA N 0210/04

Dated: 22/12/04

S.96(2) Modifications:

Date:

Ref: Nil

Subject Land:

Lots 1 & 2 DP 18303, Lots A-C DP 328260, Lot 1 DP 593363 & Lot 12 DP 659528,
Sector 8, H/No.25 MacPherson Street, WARRIEWOOD NSW 2102

Description of Development:

Subdivision (Phase 1 -Stage 0) to create Two Superlots (8 & 9), One Lot for Temporary Road (14), Three Residue Lots (11, 11, 12 & 13) and New Public Roads.

Details of Compliance:

All engineering works as detailed in Appendix A attached, which are required by Pittwater Council's development consent (Ref. N 0210/04) dated 22 December, 2004 (as modified) being Road and Stormwater Drainage Construction, have been satisfactorily completed in accordance with the requirements of the relevant Council Codes and Conditions imposed in Pittwater Council's Development Consent.

Plans & Specifications Attached:

Work - as - Executed Plans prepared by registered surveyors, Craig & Rhodes Pty Ltd and Pavement and Lot Filling Compaction Control Reports by GeoEnviro Consultancy Pty Ltd.

Date of Inspection:

15/02/2008

Certificate No: 11057

Date of Issue: 31/03/2008


I, STEPHEN GRANT JOHNSON certify that:-

*the above described subdivision work has been completed and complies with the attached plans and specifications

*the above development consent conditions have been complied with,

in accordance with Section 109C (1) (a) of the Environmental Planning & Assessment Act, 1979.

(* delete where not applicable.)


Stephen Grant Johnson
Accredited Certifier (Civil) /
Principal Certifier - Subdivision
Accreditation No. 418677
Institution of Engineers, Aust

96-023-1 Phase 1 - Compl 11057

Construction Certificates - Compliance Certificates - Subdivision Certificates - Strata Certificates

PAGE 03/03

COMPLIANCE CERTIFICATE No. 11057

Annexure A

DETAILS OF COMPLIANCE

I, Stephen Grant Johnson, certify that the new public roads, temporary road within lot 14 and stormwater drainage construction have now been completed as shown on the accompanying Work-as-Executed drawings.


This Certificate covers works relating to PHASE 1 of the staged Development Consent DA N 0210/04 dated 22 December, 2004, specifically as detailed below :-

1. Road & Drainage Works within the new public roads Lomandra Way, Regent Way, Songlark Way and Callistemon Way, adjacent to the proposed superlots.
2. Roadworks within the new temporary road reserve (Lot 14).

At the time of Final Inspection shown on the face sheet of this Certificate (10/02/2005), all works required by conditions of Development Consent as detailed above, have been inspected during the course of the works to ensure compliance with Council's Construction Specification.

NOTE: As agreed with Council, road & drainage works within the above roads and MacPherson Street will be subject to a joint handover inspection with Council, prior to the release of subsequent subdivision stages creating individual residential allotments. Any remedial works identified in those inspections are to be rectified prior to the issue of Subdivision Certificates for the respective stage.

LAND DEVELOPMENT CERTIFICATES PTY LTD


Stephen Grant Johnson
Accredited Certifier (Civil) /
Principal Certifier - Subdivision
Accreditation No. 418877

CIVIL SYDNEY PTY. LTD.

1 Cornish Street
Speers Point NSW 2284
PO Box 934
Pennant Hills 1715

Phone: (02) 4965 8410

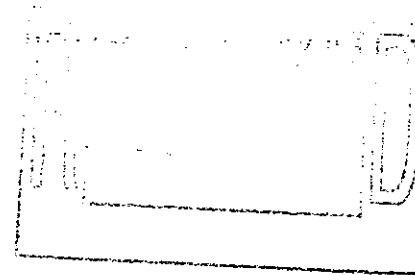
Fax: (02) 4965 8710

Mobile: 0412 514 747

www.civilsydney.com.au

Email: simon@civilsydney.com.au

DIRECTORS: S.G. WOOD, B.E. (CIVIL) M.I.E. AUST.
S.G. MONTFORD, ADV. BLDG. CERT.
ABN 15 068 316 432



27th April 2006


Job No:AUS/0615

Australand.
Locked Bag 2106,
DX 8419.
North Ryde.NSW.1670.
Ph:9767 2000Fax:9767 2944

ENGINEERS CERTIFICATE

Project:Lot 1391-1393 Callistemon Way, Warriewood

This is to certify that piles driven at the above mentioned site have been driven in accordance with AS2159 - 1995. Sets recorded indicate the piles supplied and driven are capable of supporting a safe working loads **P:70KN** calculations being based on the Hiley Formula.


S.G Wood
B.E. (Civil) M.I.E Aust.



**Appleyard
Forrest**
Consulting Engineers

Inspection Certificate

Project No: 3621805 Date: 10.5.06 17.5.06
Client/Owner: Rylehall Pty Ltd Time: 1.35 pm 3.30 pm
Contractor: Australand Properties Inspector: R Radovancevic P Geoghegan

Appleyard Forrest
Consulting Engineers Pty Ltd
ACN 002 610 522

Project Description: Proposed Residential Development

PO Box 140
Gordon NSW 2072 Australia

This is to certify that an inspector from the above office has attended your site at Lot 1805 (Stage 18) Callistemon Way, Warriewood and has inspected the following:

Gosford
58-60 Hillis Street
Gosford NSW 2250 Australia
Telephone: 02 4324 3499
Facsimile: 02 4324 2951

Section: Drop Panel Raft Slab

Castle Hill
Unit 35, 7 Anella Avenue
Castle Hill NSW 2154 Australia
Telephone: 02 9634 6311
Facsimile: 02 9634 6544

Items/Areas Inspected

- | | | |
|--|-------------------------------------|----------------|
| a) Subgrade | <input type="checkbox"/> | - Satisfactory |
| b) Sub Base | <input checked="" type="checkbox"/> | |
| c) Damp - Proof Membrane (to B.C.A) | <input checked="" type="checkbox"/> | - Satisfactory |
| d) Pier Spacing and Depth | <input checked="" type="checkbox"/> | |
| e) Pier Diameter | <input checked="" type="checkbox"/> | |
| f) Pier Reinforcement | <input checked="" type="checkbox"/> | |
| g) Edge Beam Size | <input checked="" type="checkbox"/> | |
| h) Edge Beam Reinforcement | <input checked="" type="checkbox"/> | |
| i) Slab on Grade Thickness | <input checked="" type="checkbox"/> | |
| j) Slab on Grade Reinforcement | <input checked="" type="checkbox"/> | |
| k) Suspended Slab (level) Thickness | <input checked="" type="checkbox"/> | |
| l) Suspended Slab (level) Reinforcement | <input checked="" type="checkbox"/> | |
| m) Strip Footing Size | <input type="checkbox"/> | |
| n) Strip Footing Reinforcement | <input type="checkbox"/> | |
| o) Retaining Wall Footings | <input type="checkbox"/> | |
| p) Retaining Wall Reinforcement | <input type="checkbox"/> | |
| q) Pool Shell Reinforcement | <input type="checkbox"/> | |
| r) Pole Holes | <input type="checkbox"/> | |
| s) Curtain Wall | <input type="checkbox"/> | |
| t) Pad Footings | <input type="checkbox"/> | |
| u) Detention Tank Base Reinforcement | <input type="checkbox"/> | |
| v) Detention Tank Lid | <input type="checkbox"/> | |

Bowral
Suite 1, 407-409 Bong Bong Street
Bowral NSW 2576 Australia
Telephone: 02 48621507
Facsimile: 02 48621568

International
Telephone: + (612) 4324 3499
Facsimile: + (612) 4324 2951

Email
postmaster@appleyardforrest.com.au

Website
www.appleyardforrest.com.au

General Comments:

This certificate is issued on the assumption that good construction practice will be observed prior to placement of concrete; eg. piers to be cleaned, dewatered and any deleterious material removed from pier bases and slab area.

As a consequence of this inspection, we certify that items "b, c, g, h, i, j" have been checked and found to comply with the design requirements set out on the drawings identified hereunder.

These design requirements have been established in order to ensure that the completed building or structure will meet the appropriate Objective, Functional Statement, and Performance Requirement required by clauses B01.1, BF1.1 and BP1.1 of BCA2005.

Appleyard Forrest Consulting Engineers Pty Ltd Drawing No(s): 362167/S1/A, S2/B, S3/A → S7/A


L D Appleyard MIEAust CPEng NPER
Accredited Certifier (Civil and Structural)

Date: 19 May 2006

BUILDING INDUSTRY PEST SERVICES

1805

P.C. Licence No: 611

Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200
Phone: (02) 9709 2011 Fax: (02) 9708 6306 DX: 11227

A.C.N. 002313439

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS: **WARRIEWOOD, 1801-1805 CALLISTEMON WAY (SEC8) [lot**BUILDER OR OWNER: **AUSTRALAND PROPERTIES**

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or Granitgard barrier ineffective.

Slab Penetrations

Ref. 28471000

LEGEND

Treated area



Plumbing line



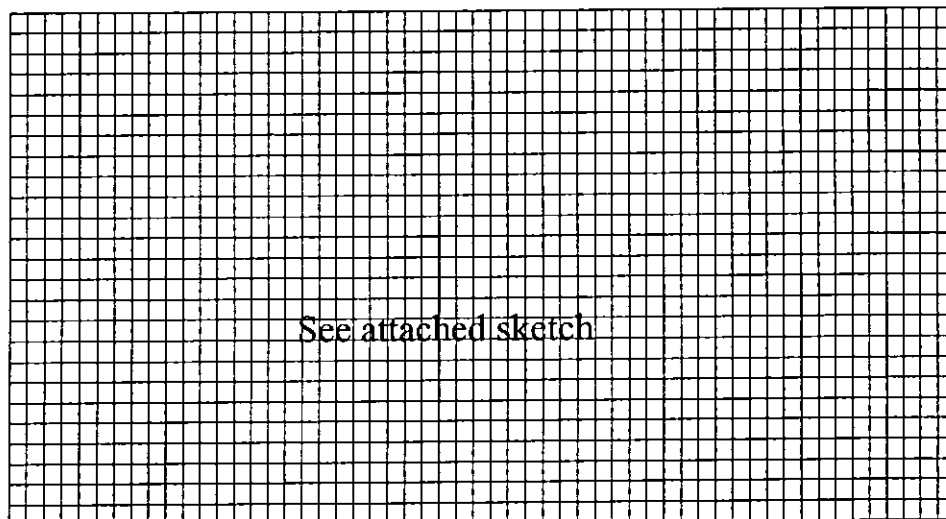
Pier



Steps



Rough sketch only - refer builder's plans for true dimensions.



DATE OF TREATMENT: 17-5-2006

Number of Penetrations: 10

Materials Applied: TERMIFLANGES

Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf.

Applied by: P Nies

Signature:

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.



A.B.N. 56 947 548 056

BUILDING INDUSTRY PEST SERVICES

SUBSIDIARY OF ENVIROPEST P/L

INSTALLATION SHEET

Level 2, Suite 3
39 Stanley Street
Bankstown N.S.W. 2200
Tel: (02) 9793 2166
Fax: (02) 9708 6306
DX 11227, Bankstown

Builder: AUSTRALAND PROPERTIES (BIPS)

Date: 17-5-06

Site Address: LOT 1801-1805 CALLISTEMON WAY

WARRIEWOOD

Job Sheet No.: 21651

Installer: PAUL + HELEN NIES

Lic No.:

SIGNED:

Ref No.:

28467000
28468000
28469000
28470000
28471000

Environmental Information

JOB PLAN

External
Chemical Name
Vol of Concentration
Vol of Emulsion
Equipment:
Hand held spray ☐
Truck mounted spray ☐
Other

Cavity
Chemical Name
Vol of Concentration
Vol of Emulsion
Equipment:
Hand held spray ☐
Truck mounted spray ☐
Other

Wind Speed Wind Direction

Time Start Time Finish

Area Protected

Under Slab M2 Perimeter L/m 49

Subfloor M2 Penetrations Qty. 49

Cure M2 Ringline L/m

Slab ☐ Monolithic slab on ground
☐ In-fill slab ☐ Waffle pod
☐ B/J Timber floor ☐ Ultra floor

Method of Protection

☐ Physical Barrier ☐ Chemical Barrier

Type

Reticulation Legend

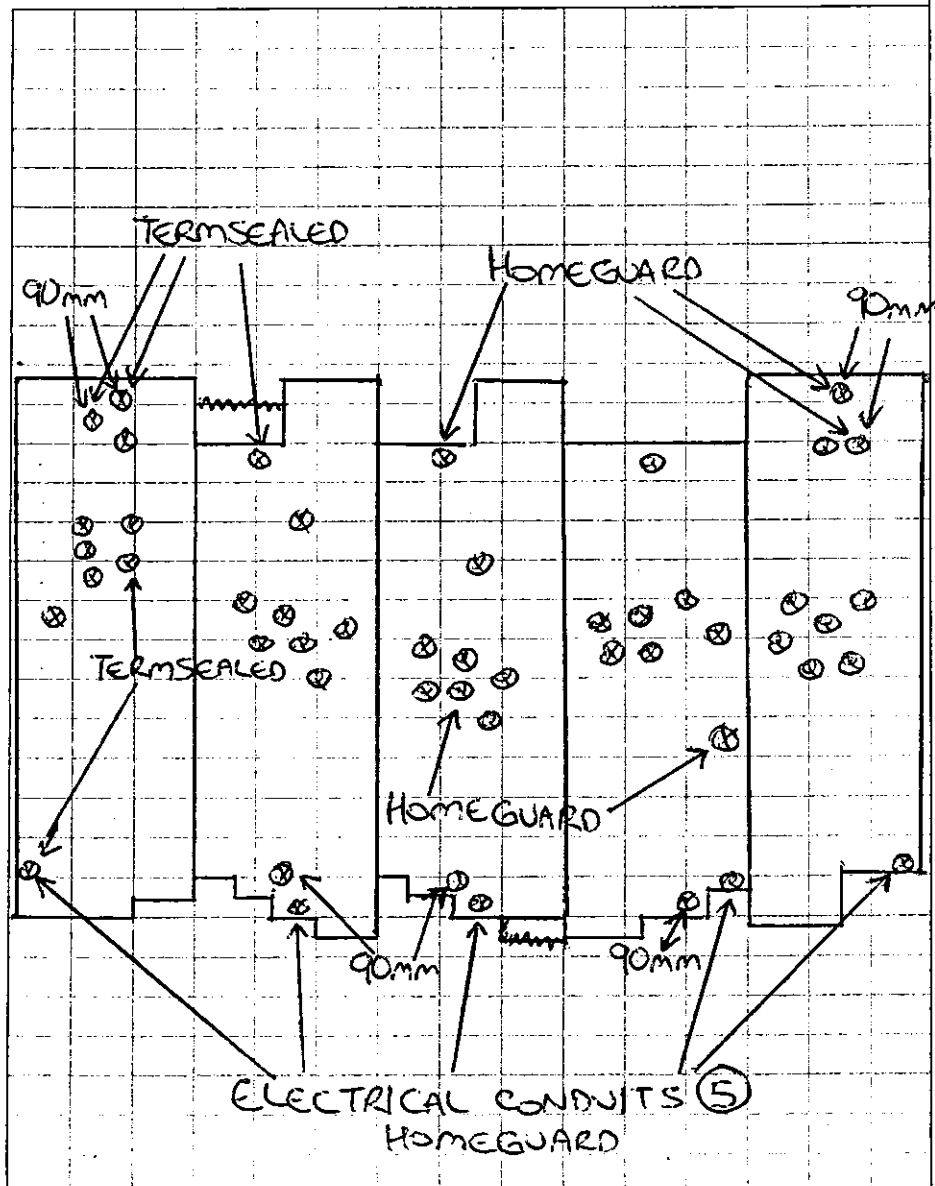
Path trap ☒ Drilled pipe ———

Undrilled pipe - - - - End cap ———

Physical Barrier Legend

Penetration ⊗ Start / Finish X

Area Protected //



STEVE PAYNE PLUMBING PTY LIMITED
PLUMBING DRAINAGE & GASFITTING

ABN 73 082 614 855
116 BALLANDELLA ROAD
PENDLE HILL NSW 2145
PHONE: 9896 0444 MOBILE: 0418 234 203 FAX: 9896 0455

27 September 2006

Australand Holdings Limited
Level 31CH Homebush Bay Road
Rhodes NSW 2138

Reference: Rainwater System Certification
Warriewood Sector 8

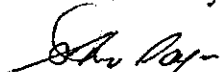
Please find certification for stormwater to 1805 Callistemon Way, Warriewood. These works have been completed to AS3500 and in accordance to Action Tanks installation requirements.

Each dwelling has a 3cubic metre volume rainwater tank to collect roof water runoff, which is stored for flushing toilets, and one (1) garden tap, which can also be incorporated into an irrigation connection.

There is a first flush device fitted with a removable clean out screen. Each tank has an overflow to the street or easement with a flap valve fitted to alleviate any surcharge that may occur. Each tank has been fitted with a top up device separate to the rainwater storage, which is also fitted with a double check valve (backflow prevention device) there is also one fitted to the dwelling.

All the stormwater pipes in ground are labelled with the appropriate hazard identification, as has all the pipe work in the dwelling been labelled the same.

Yours sincerely



Steve Payne

STEVE PAYNE PLUMBING PTY LTD

SUBDIVIDER/DEVELOPER COMPLIANCE CERTIFICATE

(A certificate under Division 9 Section 73 of the Sydney Water Act, 1994)

DESCRIPTION OF SUBDIVISION/DEVELOPMENT		
Council	Pittwater Council	
Street	25 MacPherson Street Warriewood	
Lot No. (s)	1801 sector 8	
Subdivision into	Lots numbered	Development
5 lots	1801-1805	Subdivision of 1 lot into 5 and one new dwelling plus garage on each new lot at 1801 sector 8 Warriewood NSW 2102.
NAME OF APPLICANT		
Australand Holdings Limited		
APPLICANT'S ADDRESS		
C/- Byrne & Associates Pty Ltd Po Box 167 Narrabeen NSW 2101		

Sydney Water Corporation certifies that the above named applicant has complied with the requirements, relating to the plan of Subdivision/Development described above, of Division 9 of the Sydney Water Act, 1994.

THE FOLLOWING ITEMS 2 AND 5 APPLY TO LOTS 1801-1805 IN THE SUBDIVISION/DEVELOPMENT:

- ~~1. Water facilities are to be provided as a result of the subdivider/developer's compliance with Sydney Water's requirements.~~
2. Water facilities are available.
- ~~3. Water facilities cannot be provided within a reasonable time from the date of this certificate.~~
- ~~4. Sewerage facilities are to be provided as a result of the subdivider/developer's compliance with Sydney Water's requirements.~~
5. Sewerage facilities are available.
- ~~6. Sewerage facilities are under the control of the local council.~~
- ~~7. Sewerage facilities cannot be provided within a reasonable time from the date of this certificate.~~
- ~~8. Sydney Water's requirements for future subdivision of this dual occupancy development have NOT been met. On subdivision an additional certificate will be required.~~

THE FOLLOWING ITEMS ~~AND~~ APPLY TO LOT/S ~~IN THE SUBDIVISION/~~ DEVELOPMENT:

- ~~9. Water facilities have NOT been provided. They will only be provided after compliance with Sydney Water's requirements placed on a future applicant for subdivision/development or connection.~~
- ~~10. Sewerage facilities have NOT been provided. They will only be provided after compliance with Sydney Water's requirements placed on a future applicant for subdivision/development or connection.~~
- ~~11. Sewerage facilities are under the control of the local council.~~

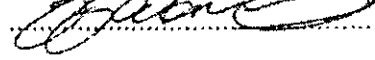
Applicant Reference No. **20650**

Council Reference No. **647/05**

Name **Jack Diplock**
(Approving Officer for and on behalf of Sydney Water)

Signature 

Name **John Gaffney**
(Approving Officer for and on behalf of Sydney Water)

Signature 

Development Services Office: **Head Office**

Dated: **28 April 2006**

**THIS CERTIFICATE IS ONLY VALID WHEN SIGNED BY TWO
AUTHORISED SYDNEY WATER OFFICERS**

A signed copy is held by Sydney Water

The original of this certificate must be presented to the appropriate consent authority, usually Council, with which the plan of subdivision/development was lodged so that you can satisfy the relevant condition of consent.



LAND DEVELOPMENT CERTIFICATES

PTY LTD

ABN 38 088 891 810

67 MELBOURNE ROAD, ST JOHNS PARK NSW 2178

Phone : 02 9810 2008

Fax : 02 9753 3118

Mobile : 0416 102008

Email : landdevcert@hotmail.com

STEPHEN G JOHNSON BE MIEAust CPEng
Accreditation No. 418677

PRINCIPAL CERTIFIER-SUBDIVISION / ACCREDITED CERTIFIER(CIVIL)

COMPLIANCE CERTIFICATE

Environmental Planning and Assessment Act, 1979, Section 109C (1) (a)

Applicant:

Australand Holdings Ltd
Locked Bag 2108,
NORTH RYDE NSW 1670

Development Consent No:

DA N 0210/04

Dated: 22/12/04

S.96(2) Modifications:

Date:

Ref: Nil

Subject Land:

Lots 1 & 2 DP 18303, Lots A-C DP 328260, Lot 1 DP 593363 & Lot 12 DP 659528,
Sector 8, H/No.25 MacPherson Street, WARRIEWOOD NSW 2102

Description of Development:

Subdivision (Phase 1 -Stage 0) to create Two Superlots (8 & 9), One Lot for Temporary Road (14), Three Residue Lots (11, 11, 12 & 13) and New Public Roads.

Details of Compliance:

All engineering works as detailed in Appendix A attached, which are required by Pittwater Council's development consent (Ref. N 0210/04) dated 22 December, 2004 (as modified) being Road and Stormwater Drainage Construction, have been satisfactorily completed in accordance with the requirements of the relevant Council Codes and Conditions imposed in Pittwater Council's Development Consent.

Plans & Specifications Attached:

Work - as - Executed Plans prepared by registered surveyors, Craig & Rhodes Pty Ltd and Pavement and Lot Filling Compaction Control Reports by GeoEnviro Consultancy Pty Ltd.

Date of Inspection:

15/02/2006

Certificate No: 11057

Date of Issue: 31/03/2006


I, STEPHEN GRANT JOHNSON certify that:-

*the above described subdivision work has been completed and complies with the attached plans and specifications

*the above development consent conditions have been complied with,

in accordance with Section 109C (1) (a) of the Environmental Planning & Assessment Act, 1979.

(* delete where not applicable)


Stephen Grant Johnson
Accredited Certifier (Civil) /
Principal Certifier - Subdivision
Accreditation No. 418677
Institution of Engineers, Aust

PS-003-1 Phase 1 - Compl 11057

Construction Certificates - Compliance Certificates - Subdivision Certificates - Strata Certificates

COMPLIANCE CERTIFICATE No. 11057

Annexure A

DETAILS OF COMPLIANCE

I, Stephen Grant Johnson, certify that the new public roads, temporary road within lot 14 and stormwater drainage construction have now been completed as shown on the accompanying Work-as-Executed drawings.

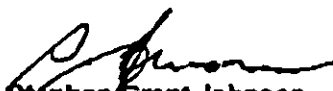
This Certificate covers works relating to PHASE 1 of the staged Development Consent DA N.0210/04 dated 22 December, 2004, specifically as detailed below :-

1. Road & Drainage Works within the new public roads Lomandra Way, Regent Way, Songlark Way and Callistemon Way, adjacent to the proposed superlots.
2. Roadworks within the new temporary road reserve (Lot 14).

At the time of Final Inspection shown on the face sheet of this Certificate (10/02/2005), all works required by conditions of Development Consent as detailed above, have been inspected during the course of the works to ensure compliance with Council's Construction Specification.

NOTE: As agreed with Council, road & drainage works within the above roads and MacPherson Street will be subject to a joint handover inspection with Council, prior to the release of subsequent subdivision stages creating individual residential allotments. Any remedial works identified in those inspections are to be rectified prior to the issue of Subdivision Certificates for the respective stage.

LAND DEVELOPMENT CERTIFICATES PTY LTD


Stephen Grant Johnson
Accredited Certifier (Civil) /
Principal Certifier - Subdivision
Accreditation No. 418677

BUILDING INDUSTRY PEST SERVICES

P.C. Licence No: 611

Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200
Phone: (02) 9709 2011 Fax: (02) 9708 6306 DX: 11227

A.C.N. 002313439

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS: WARRIEWOOD, 1801-1805 CALLISTEMON WAY (SECS) [lot 1601]




BUILDER OR OWNER: AUSTRALAND PROPERTIES

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or GranGuard barrier ineffective.

Perimeter Chemical Treatment

Ref. 28467003

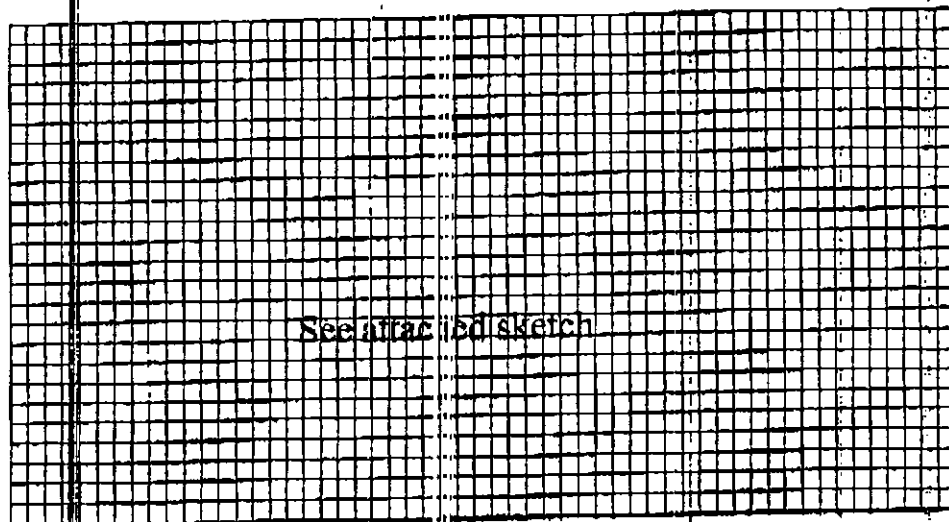
Reticulation Legend

Path map ☒ Drilled pipe 
Undrilled pipe  End cap 

Physical Barrier Legend

Penetration  Start/Finish 
Area Protected //

Rough sketch only - refer builder's plans for true dimensions.



DATE OF TREATMENT: 16-11-2006

Volume of Concentrate: 0.325 litres

Volume of Emulsion: 130 litres

Application Rate: 5 litres / sq. metre

Linear Metres: 26 metres

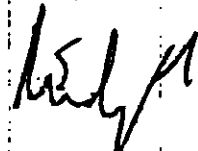
Materials Applied: .25% BIFENTHRIN

Perimeter Treatment Certificate of Completion

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf.

Applied by: M Maynard

Authorised by:



P. E. Sapsford

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.



BUILDING INDUSTRY PEST SERVICES

SUBSIDIARY OF ENVIROPEST P/L

INSTALLATION SHEET

Level 2, Suite 3
39 Stanley Street
Banksstown N.S.W. 2200
Tel: (02) 9793 2166
Fax: (02) 9708 6306
DX 11227, Banksstown

Builder: Australand Date: 22-11-06
Site Address: Rd Callistemon Way
Haweswood
Installer: Malt Lic No.:
M. Magnum Ref No.: 24457008
SIGNED: _____ Job Sheet No.: 26255

Environmental Information

External

Chemical Name: Biclox
Vol of Concentration: 0.325 L
Vol of Emulsion: 30 L
Equipment:
Hand held spray ☐
Truck mounted spray ☒
Other: _____

Cavity

Chemical Name: _____
Vol of Concentration: _____
Vol of Emulsion: _____
Equipment:
Hand held spray ☐
Truck mounted spray ☐
Other: _____

Wind Speed: _____ Wind Direction: _____
Time Start: _____ Time Finish: _____

Area Protected

Under Slab M2: _____ Perimeter L/m: 26
Subfloor M2: _____ Penetrations Qty: _____
Curs M2: _____ Ringline L/m: _____

Slab ☐ Monolithic slab on ground
☐ In-fill slab ☐ Waffle pod
☐ B/I Timber floor ☐ Ultra floor

Method of Protection

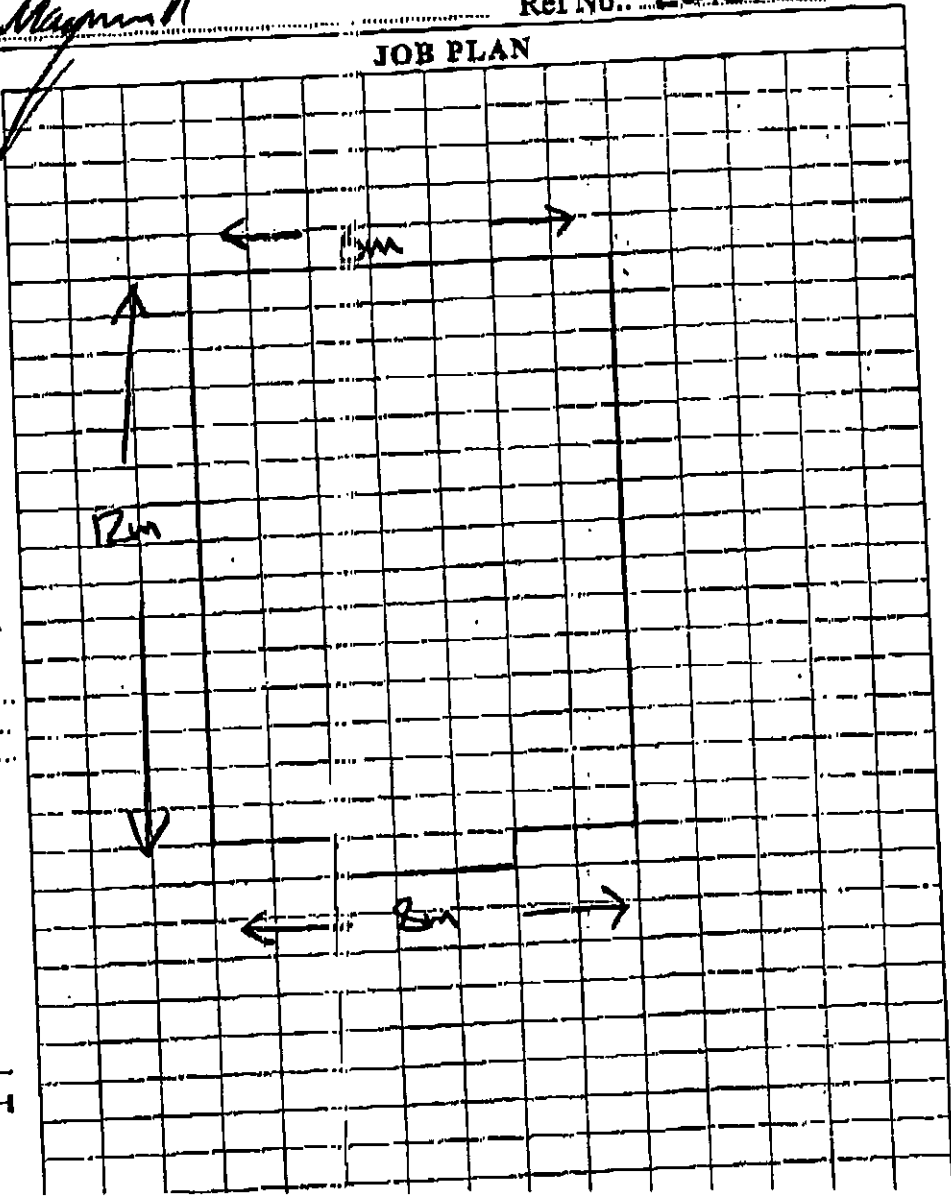
☐ Physical Barrier ☒ Chemical Barrier
Type: Post B Spray

Reticulation Legend

Push trap ☒ Drilled pipe _____
Undrilled pipe _____ End cap _____

Physical Barrier Legend

_____ Start / Finish _____



BUILDING INDUSTRY PEST SERVICES

P.C. Licence No: 611

Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200
Phone: (02) 9709 2011 Fax: (02) 9708 6306 DX: 11227

A.C.N. 002313439

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS: WARRIEWOOD, 1801-1805 CALLISTEMON WAY (SECH) [lot 1802]




BUILDER OR OWNER: AUSTRALAND PROPERTIES

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or Gran Guard barrier ineffective.

Perimeter Chemical Treatment

Ref. 28468003

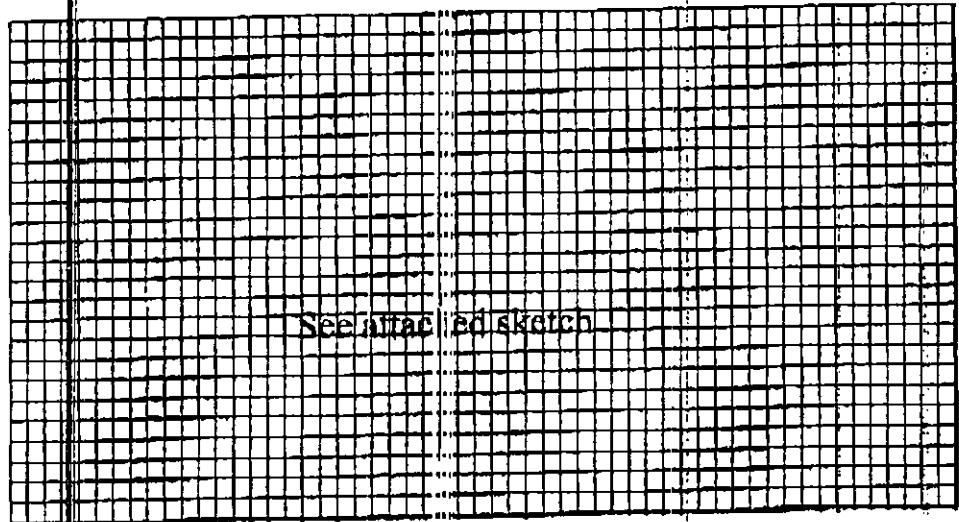
Reticulation Legend

Path trap ☒ Drilled pipe 
Undrilled pipe  End cap 

Physical Barrier Legend

Penetration  Start / Finish 
Areas Protected //

Rough sketch only - refer builder's plans for true dimensions.



DATE OF TREATMENT: 16-11-2006

Volume of Concentrate: 0.275 litres

Volume of Emulsion: 110 litres

Application Rate: 5 litres / sq. metre

Linear Metres: 22 metres

Materials Applied: .25% BIFENTHRIN

Perimeter Treatment Certificate of Completion

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf.

Applied by: M Maynard

Authorised by:

P. E. Sapsford

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.



A.B.N. 56 947 548 056

BUILDING INDUSTRY PEST SERVICES

SUBSIDIARY OF ENVIROPEST P/L

INSTALLATION SHEET

Level 2, Suite 3
 39 Stanley Street
 Bankstown N.S.W. 2200
 Tel: (02) 9793 2166
 Fax: (02) 9708 6306
 DX 11227, Bankstown

Builder: Australand Date: 22-11-06
 Site Address: Roz Calliskenon Way
Warrimood Job Sheet No.: 26256
 Installer: Matt Lic No.:
 SIGNED: M. Maynard Ref No.: 22468003

Environmental Information		JOB PLAN	
External	Chemical Name	<u>Biflex</u>	
	Vol of Concentration	<u>0.3 L</u>	
	Vol of Emulsion	<u>110 L</u>	
	Equipment:		
	Head held spray <input type="checkbox"/>		
	Truck mounted spray <input checked="" type="checkbox"/>		
	Other		
Cavity	Chemical Name		
	Vol of Concentration		
	Vol of Emulsion		
	Equipment:		
	Head held spray <input type="checkbox"/>		
	Truck mounted spray <input type="checkbox"/>		
	Other		
Wind Speed		Wind Direction	
Time Start		Time Finish	
Area Protected			
Under Slab M2		Perimeter L/m <u>22</u>	
Subfloor M2		Penetrations Qty	
Cure M2		Ringline L/m	
Slab <input type="checkbox"/> Monolithic slab on ground			
<input type="checkbox"/> hi-All slab <input type="checkbox"/> Waffle pod			
<input type="checkbox"/> B/J Timber floor <input type="checkbox"/> Ultra floor			
Method of Protection			
<input type="checkbox"/> Physical Barrier <input checked="" type="checkbox"/> Chemical Barrier			
Type <u>Port B</u> <u>Spray</u>			
Reticulation Legend			
Path trap <input checked="" type="checkbox"/> Drilled pipe			
Undrilled pipe --- End cap			
Physical Barrier Legend			
Penetration <input checked="" type="checkbox"/> Start / Finish X			

BUILDING INDUSTRY PEST SERVICES

P.C. Licence No: 611

Head Office: Suite 9, 39 Stanley Street, Banks Town NSW 2200
Phone: (02) 9709 2011 Fax: (02) 9708 6304 DX: 11227

A.C.N. 002313439

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS: WARRIEWOOD, 1801-1805 CALLISTEMON WAY (SECS) [lot 1803]




BUILDER OR OWNER: AUSTRALAND PROPERTIES

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or GranGuard barrier ineffective.



Perimeter Chemical Treatment

Ref. 28469003

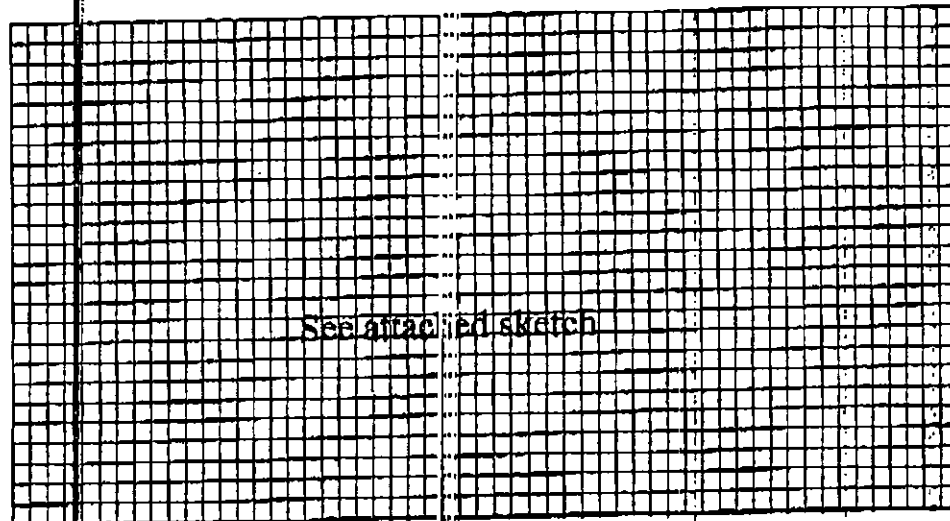
Reticulation Legend

Path map ☒ Drilled pipe 
Undrilled pipe  Bad cap 

Physical Barrier Legend

Penetration  Spot / Finish 
Area Protected //

Rough sketch only - refer builder's plans for true dimensions.



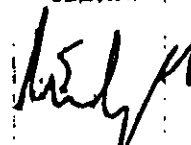
DATE OF TREATMENT: 16-11-2006
Volume of Concentrate: 0.275 litres
Volume of Emulsion: 110 litres
Application Rate: 5 litres / sq. metre
Linear Metres: 22 metres
Materials Applied: .25% BIFENTHRIN

Perimeter Treatment Certificate of Completion

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf.

Applied by: M Maynard

Authorised by:



P. E. Sapsford

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.



A.B.N. 56 947 548 056

BUILDING INDUSTRY PEST SERVICES

SUBSIDIARY OF ENVIROPEST P/L

INSTALLATION SHEET

Level 2, Suite 3
39 Stanley Street
Bankstown N.S.W. 2200
Tel: (02) 9793 2166
Fax: (02) 9708 6306
DX 11227, Bankstown

Builder: Australand Date: 22-11-06
Site Address: 1803 Callaghan Way
Wentworth
Installer: Matt Lic No.:
M. Mammund
SIGNED: Ref No.: 23469003

Environmental Information

External
Chemical Name: B-Glax
Vol of Concentration: 0.3 L
Vol of Emulsion: 110 L
Equipment:
Hand held spray ☐
Truck mounted spray ☒
Other:

Cavity
Chemical Name:
Vol of Concentration:
Vol of Emulsion:
Equipment:
Hand held spray ☐
Truck mounted spray ☐
Other:

Wind Speed: Wind Direction:

Time Start: Time Finish:

Area Protected
Under Slab M2: Perimeter L/m: 22
Subfloor M2: Penetrations Qty:
Cave M2: Ringline L/m:

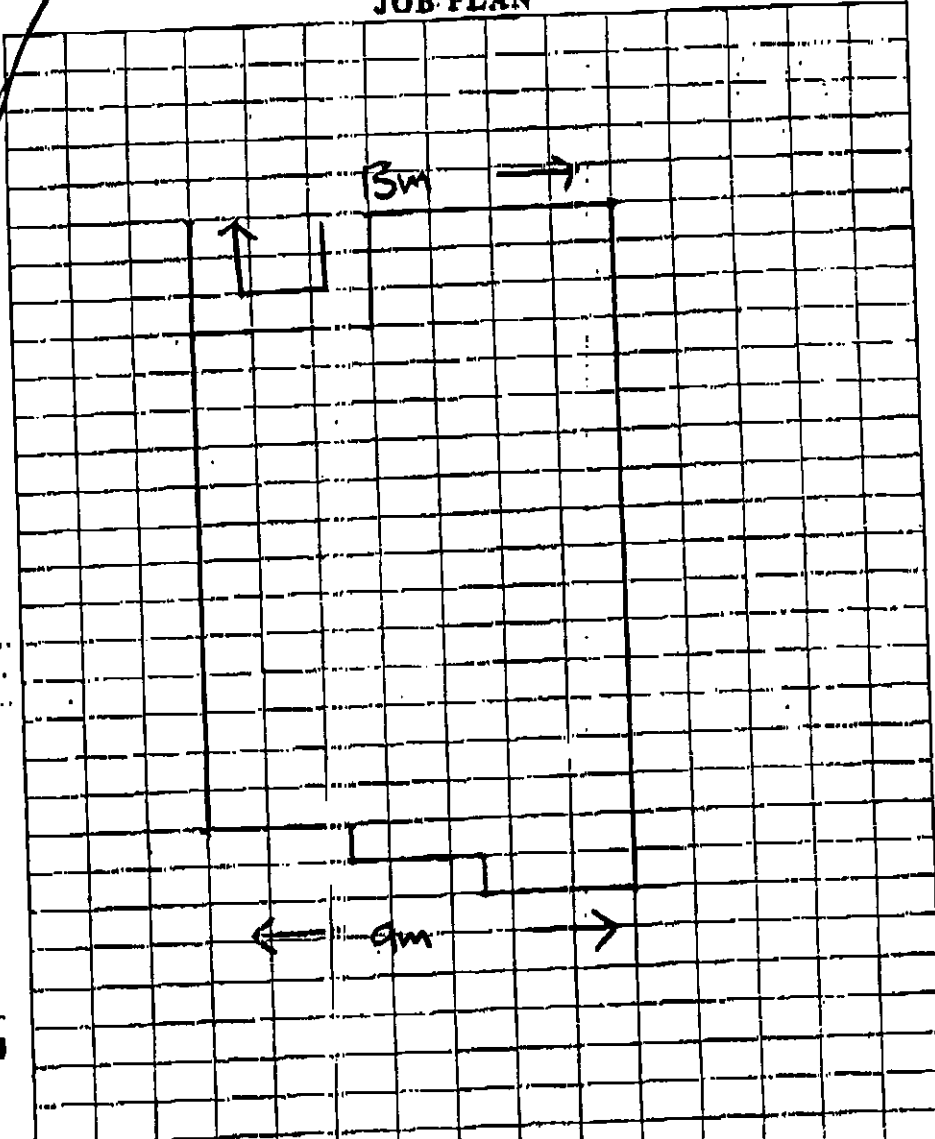
Slab ☐ Monolithic slab on ground
☐ In-fill slab ☐ Waffle pod
☐ B/T Timber floor ☐ Ultra floor

Method of Protection
☐ Physical Barrier ☒ Chemical Barrier
Type: Part B Spray

Reticalation Legend
Path trap ☒ Drilled pipe
Undrilled pipe - - - - End cap

Physical Barrier Legend
Penetration ☒ Start / Finish *

JOB PLAN



BUILDING INDUSTRY PEST SERVICES

P.C. Licence No: 611

Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200
Phone: (02) 9709 2011 Fax: (02) 9708 6306 DX: 11227

A.C.N. 002313439

CERTIFICATE OF TREATMENT

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SITE ADDRESS: **WARRIEWOOD, 1801-1805 CALLISTEMON WAY (SEC8) [lot 1804]**
BUILDER OR OWNER: **AUSTRALAND PROPERTIES**

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or GranGuard barrier ineffective.

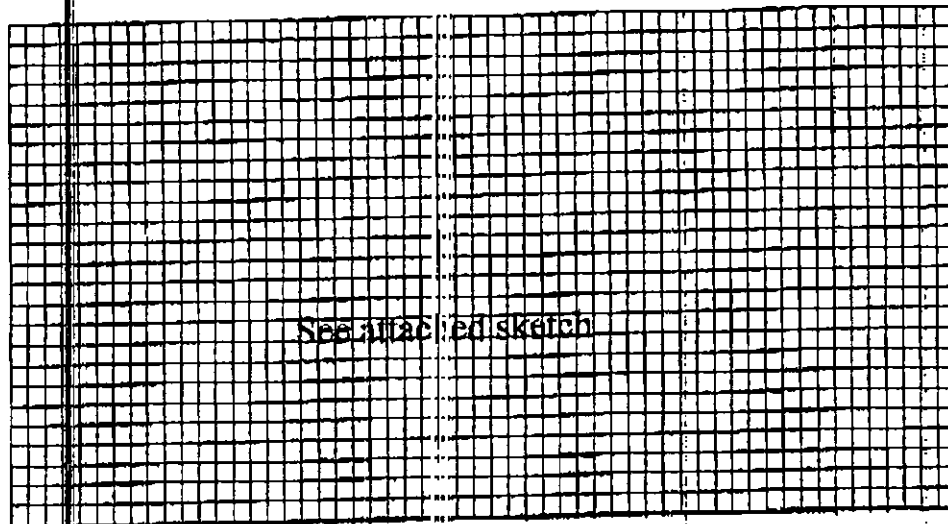
Perimeter Chemical Treatment

Ref. 28470003

Reticulation Legend
Path trap ☒ Drilled pipe _____
Undrilled pipe - - - - End cap _____

Physical Barrier Legend
Penetration ☒ Start/Finish X
Area Protected //

Rough sketch only - refer builder's plans for true dimensions.



DATE OF TREATMENT: 16-11-2006
Volume of Concentrate: 0.2125 litres
Volume of Emulsion: 85 litres
Application Rate: 5 litres / sq. metre
Linear Metres: 17 metres
Materials Applied: .25% BIFENTHRIN

Perimeter Treatment Certificate of Completion

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf.

Applied by: **M Maynard**

Authorised by:

[Signature]

P. E. Sapsford

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.



A.B.N. 56 947 548 056

BUILDING INDUSTRY PEST SERVICES

SUBSIDIARY OF ENVIROPEST P/L

INSTALLATION SHEET

Level 2, Suite 3
 39 Stanley Street
 Bankstown N.S.W. 2200
 Tel: (02) 9793 2166
 Fax: (02) 9708 6306
 DX 11227, Bankstown

Builder: Australand Date: 22-11-06
 Site Address: Red Callisman Way
Waverley Job Sheet No.: 26258
 Installer: Matt Lic No.:
 SIGNED: M. Raymond Ref No.: 29170008

Environmental Information

External
 Chemical Name: Biclox
 Vol of Concentration: 0.21 L
 Vol of Emulsion: RS L
 Equipment:
 Hand held spray ☐
 Truck mounted spray ☒
 Other:
Cavity
 Chemical Name:
 Vol of Concentration:
 Vol of Emulsion:
 Equipment:
 Hand held spray ☐
 Truck mounted spray ☐
 Other:

Wind Speed: Wind Direction:

Time Start: Time Finish:

Area Protected

Under Slab M2: Perimeter L/m: 17
 Subfloor M2: Penetrations Qty:
 Curb M2: Ringline L/m:

Slab ☐ Monolithic slab on ground
☐ In-fill slab ☐ Waffle pod
☐ B/I Timber floor ☐ Liltex floor

Method of Protection

☐ Physical Barrier ☒ Chemical Barrier
 Type: Part B spray

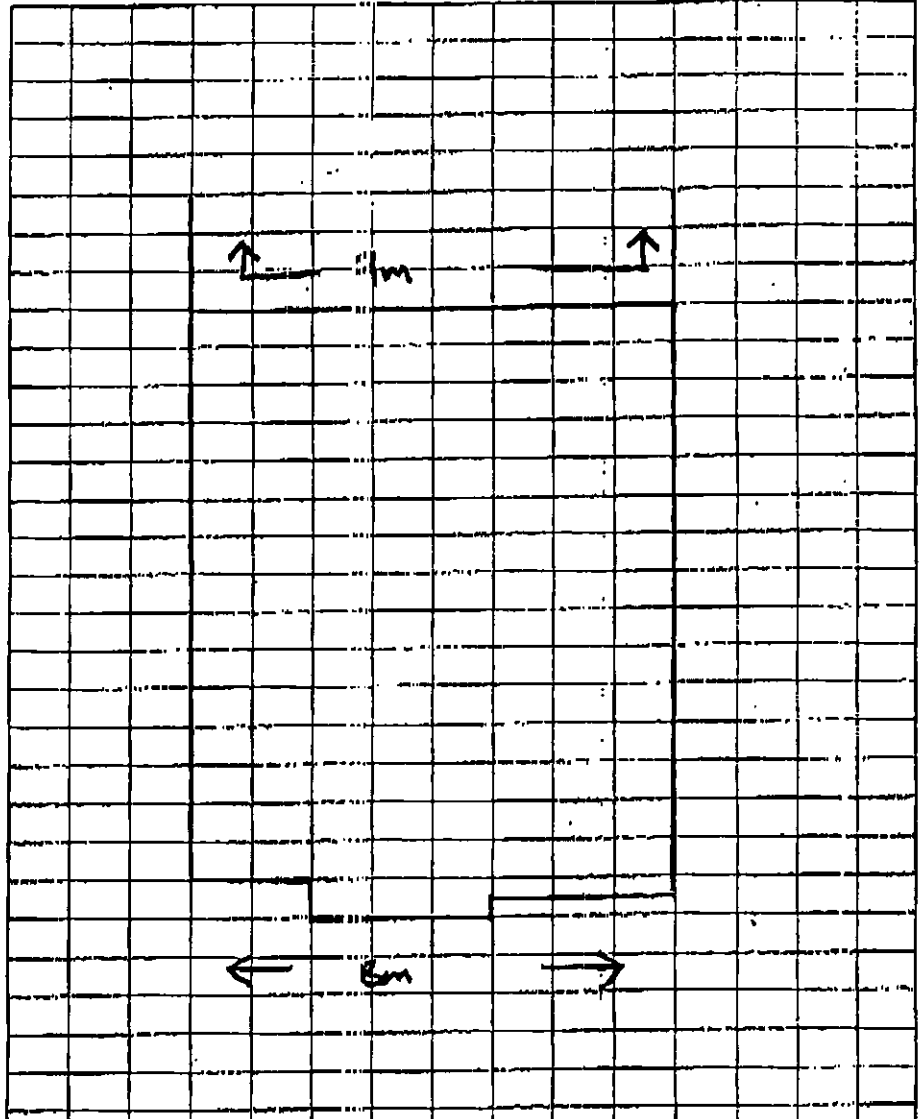
Reticulation Legend

Path trap ☒ Drilled pipe
 Undrilled pipe - - - - End cap

Physical Barrier Legend

Penetration ⊗ Start/Finish ×

JOB PLAN



BUILDING INDUSTRY PEST SERVICES

P.C. Licence No: 611

Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200
Phone: (02) 9709 2011 Fax: (02) 9708 6300 DX: 11227

A.C.N. 002313439

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS: WARRIEWOOD, 1801-1805 CALLISTEMON WAY (SECS) [lot 15-4]

BUILDER OR OWNER: AUSTRALAND PROPERTIES

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or Granitgard barrier ineffective.

Perimeter Chemical Treatment

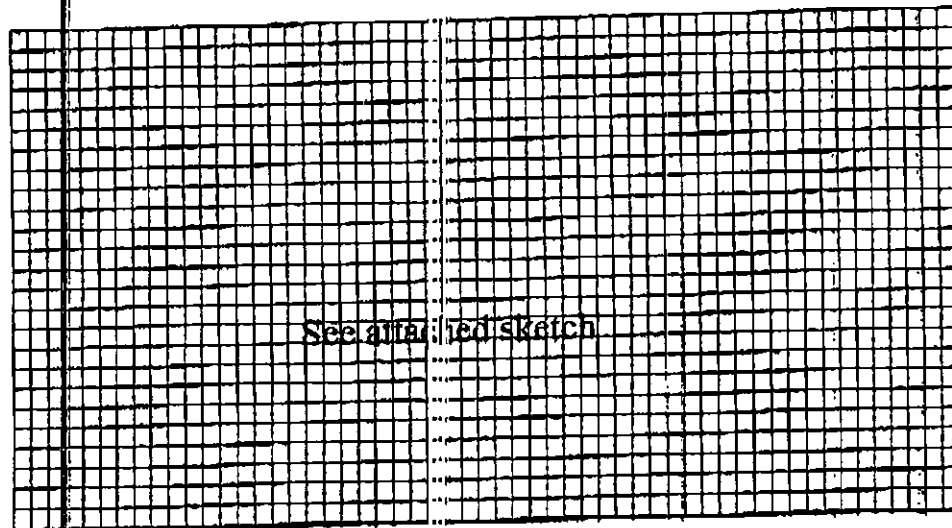
Ref. 28471003

Reticulation Legend

Peth trap ☒ Drilled pipe 
Undrilled pipe  Bed cap 

Physical Barrier Legend

Penetration  Start/Finish 
Area Protected //



Rough sketch only - refer builder's plans for true dimensions.

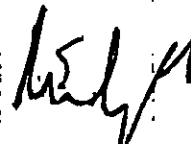
DATE OF TREATMENT: 16-11-2006
Volume of Concentrate: 0.3375 litres
Volume of Emulsion: 135 litres
Application Rate: 5 litres / sq. metre
Linear Metres: 27 metres
Materials Applied: .25% BIFENTHRIN

Perimeter Treatment Certificate of Completion

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf.

Applied by: M Maynard

Authorised by:



P. E. Sapsford

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.



AB.N. 56 947 548 056

BUILDING INDUSTRY PEST SERVICES

SUBSIDIARY OF ENVIRONPEST P/L

INSTALLATION SHEET

Level 2, Suite 3
 39 Stanley Street
 Bankstown N.S.W. 2200
 Tel: (02) 9793 2166
 Fax: (02) 9708 6306
 DX 11227, Bankstown

Builder: Australand Date: 22-11-06
 Site Address: 1805 Callistemon Way
Whimwood Job Sheet No.: 26259
 Installer: Matt Lic No.:
 SIGNED: M. Munn Ref No.: 28471003

Environmental Information

External
 Chemical Name: Biclox
 Vol of Concentration: 0.35 L
 Vol of Emulsion: 35 L
 Equipment:
 Hand held spray ☐
 Truck mounted spray ☒
 Other:

Cavity
 Chemical Name:
 Vol of Concentration:
 Vol of Emulsion:
 Equipment:
 Hand held spray ☐
 Truck mounted spray ☐
 Other:

Wind Speed: Wind Direction:
 Time Start: Time Finish:

Area Protected

Under Slab M2: Perimeter L/m: 27
 Subfloor M2: Penetration Qty:
 Curb M2: Ringline L/m:

Slab ☐ Monolithic slab on ground
☐ In-fill slab ☐ Waffle pod
☐ B/T Timber floor ☐ Ultra floor

Method of Protection

☐ Physical Barrier ☒ Chemical Barrier
 Type: Per B. Spray

Reticulation Legend

Path trap ☒ Drilled pipe
 Undrilled pipe --- Red cap

Physical Barrier Legend

Penetration ☒ Start / Finish X

JOB PLAN

