

ISSUE FOR DEVELOPMENT APPLICATION- MAY 2023

ARCHITECTURAL DRAWINGS

- JUSTIN LONG DESIGN
P: 0413 268 725
Q: JUSTIN@JLADesign.COM.AU
- A00 GENERAL NOTES & MATERIAL & FINISHES SCHEDULE
 - A01 EXISTING LOWER GROUND FLOOR PLAN
 - A02 EXISTING GROUND FLOOR PLAN
 - A03 EXISTING UPPER LEVEL FLOOR PLAN
 - A04 EXISTING ELEVATIONS
 - A05 PROPOSED LOWER GROUND FLOOR PLAN
 - A06 PROPOSED GROUND FLOOR PLAN
 - A07 PROPOSED UPPER LEVEL FLOOR PLAN
 - A08 PROPOSED ROOF PLAN
 - A09 PROPOSED LANDSCAPE PLAN
 - A10 LONGITUDINAL SECTION
 - A11 LONGITUDINAL SECTION
 - A12 ELEVATIONS
 - A13 ELEVATIONS
 - A14 ELEVATIONS
 - A15 ELEVATIONS
 - A16 SEDIMENT EROSION CONTROL PLAN

SHADOW DIAGRAMS

RA WALLS
0410 638 131
pam@rawalls.com

SHADOW DIAGRAMS

BASIX NOTES

- SWIMMING POOL:
- NEW RAINWATER TANK MIN 2351L TO COLLECT MIN 150M2 OF ROOF AREA
 - TAP REQUIRED TO TANK WITHIN 10M OF POOL
 - SWIMMING POOL TO BE MAX 57KL & INCLUDE POOL PUMP TIMER
 - ONLY SOLAR HEATING PERMITTED TO POOL

- CONSTRUCTION:
- NEW WALL INSULATION: MIN R1.7 INCL CONSTRUCTION
 - NEW CEILING/ROOF INSULATION: MIN R1.6, FOIL BACKED BLANKET 55MM

- GLAZING REQUIREMENTS:
- WINDOWS & DOORS GENERALLY STANDARD ALUMINIUM, SINGLE CLEAR OR U-VALUE 7.63, SHGC: 0.75
 - WINDOWS 1 & 5 IMPROVED ALUMINIUM, SINGLE PYROLYTIC LOW-E U-VALUE 4.48, SHGC: 0.46
 - SKYLIGHTS TIMBER, LOW-E INTERNAL/ ARGON FILL/ CLEAR EXTERNAL OR U-VALUE 2.5 / SHGC 0.456

- FIXTURES - HOUSE:
- ALL NEW SHOWERHEADS TO BE MIN 3 STAR RATING.
 - ALL NEW TOILET FLUSH SYSTEMS TO HAVE MIN 3 STAR RATING
 - ALL NEW TAPS TO HAVE MIN. 3 STAR RATING .
 - HWS: GAS INSTANTANEOUS

- LIGHTING:
- NEW ARTIFICIAL LIGHTING TO BE MIN 40% COMPACT FLUORESCENT, OR LED LAMPS.

GENERAL NOTES

- REFER ALL QUERIES & DISCREPANCIES TO THE ARCHITECT. ALL MEASUREMENTS ARE IN MM UNLESS OTHERWISE NOTED.
- BUILDING WORK THAT INVOLVES RESIDENTIAL BUILDING WORK (WITHIN THE MEANING AND EXEMPTIONS PROVIDED IN THE HOME BUILDING ACT 1989) MUST NOT BE CARRIED OUT UNLESS THE PRINCIPAL CERTIFYING AUTHORITY FOR THE DEVELOPMENT TO WHICH THE WORK RELATES HAS GIVEN COUNCIL WRITTEN NOTICE OF THE FOLLOWING:
 - IN THE CASE OF WORK FOR WHICH A PRINCIPAL CONTRACTOR IS REQUIRED TO BE APPOINTED – THE NAME AND LICENCE NUMBER OF THE PRINCIPAL CONTRACTOR AND THE NAME OF THE INSURER BY WHICH THE WORK IS INSURED UNDER PART 6 OF THAT ACT
 - IN THE CASE OF WORK TO BE DONE BY AN OWNER–BUILDER – THE NAME OF THE OWNER–BUILDER AND IF THE OWNER–BUILDER IS REQUIRED TO HOLD AN OWNER–BUILDER PERMIT UNDER THAT ACT, THE NUMBER OF THE OWNER–BUILDER PERMIT.
- IF ARRANGEMENTS FOR DOING RESIDENTIAL BUILDING WORK ARE CHANGED WHILE THE WORK IS IN PROGRESS SO THAT THE INFORMATION SUBMITTED TO COUNCIL IS OUT OF DATE, FURTHER WORK MUST NOT BE CARRIED OUT UNLESS THE PRINCIPAL CERTIFYING AUTHORITY FOR THE DEVELOPMENT TO WHICH THE WORK RELATES (NOT BEING THE COUNCIL), HAS GIVEN THE COUNCIL WRITTEN NOTICE OF THE UPDATED INFORMATION.
- FOR THE PURPOSES OF SECTION 80A (11) OF THE ACT, IT IS A PRESCRIBED CONDITION OF DEVELOPMENT CONSENT THAT IF THE DEVELOPMENT INVOLVES AN EXCAVATION THAT EXTENDS BELOW THE LEVEL OF THE BASE OF THE FOOTINGS OF A BUILDING ON ADJOINING LAND, THE PERSON HAVING THE BENEFIT OF THE DEVELOPMENT CONSENT MUST, AT THE PERSON'S OWN EXPENSE:
 - PROTECT AND SUPPORT THE ADJOINING PREMISES FROM POSSIBLE DAMAGE FROM THE EXCAVATION
 - WHERE NECESSARY, UNDERPIN THE ADJOINING PREMISES TO PREVENT ANY SUCH DAMAGE

24 NORMA ROAD PALM BEACH, NSW
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING
FOR EDWINA WITHERS

Contractors Must verify all dimensions on site prior to starting any work or making any shop drawings.
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SURVEY

SYDNEY SURVEYORS
P: 02 9708 0177

PLAN SHOWING DETAIL AND LEVELS AT 24 NORMA ROAD
PALM BEACH – LOT 392 IN DP19651

HYDRAULIC ENGINEER DRAWINGS

DEVELOPMENT ENGINEERING SOLUTIONS
P: 0411 506 738

C01 ROOF & UPPER LEVEL DRAINAGE PLAN
C02 GROUND FLOOR DRAINAGE
C03 LOWER GROUND STORMWATER

LANDSCAPE ARCHITECT DRAWINGS

DANGAR BARIN SMITH
9316 9044
jonah@dangarbarinsmith.com.au

FRONT & REAR LANDSCAPE PLANS

GEOTECHNICAL ENGINEER

CROZIER GEOTECHNICAL CONSULTANTS
9939 1882
E: info@croziergeotech.com.au

REPORT ON GEOTECHNICAL INVESTIGATION

ARBORIST REPORT

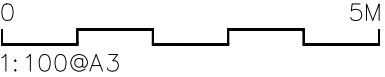
A: TREE SURVEY
0425 536 670
phil@treesurvey.com.au

ARBORICULTURAL IMPACT ASSESSMENT

SCHEDULE OF EXTERNAL FINISHES

AREA	FINISH	COMMENT	IMAGE
NEW MASONRY WALLS TO SIDES	FACE BRICK FOR PAINT FINISH	PAINT FINISH, WHITE	
NEW WALLS TO BALCONYS	OFF–FORM CONCRETE		
CLADDING TO GARAGE & GARAGE DOOR	TIMBER BATTENS 42X42MM WITH 18MM GAPS	TEAK	
SCREENS TO FRONT UPPER LEVEL	TIMBER BATTENS 42X42MM WITH 18MM GAPS	TEAK	
BALUSTRADES	FRAMELESS GLASS WITH ALUMINIUM CAPPING TO DETAIL		
DOORS & WINDOWS	VITROCSA ALUMINIUM	COLOUR TBC	
ROOFING	CONCRETE	OR COLORBOND TBC	
GUTTERS	FORMED GUTTERS IN CONCRETE ROOF TBC	PRE–FINISHED – COLOUR: 'WINDSPRAY'	
DOWNPIPES	90MM COLORBOND DOWNPIPES		
FLASHING	FOLDED COLORBOND FLASHING		
NEW TILES TO TERRACES	GREY GRANITE	LARGE FORMAT 800X400MM BRICK BOND PATTERN	
SKYLIGHT	LOW PROFILE FRAMELESS CLEAR GLASS	DOUBLE GLAZED ARGON FILLED	
POOL TILE	TBC		

THE BUILDING MUST HAVE A SMOKE ALARM SYSTEM THAT COMPLIES WITH AS3786–2014 WITH THE INDIVIDUAL SMOKE ALARMS BEING CONNECTED TO THE MAINS ELECTRICAL POWER SUPPLY AND INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM WITH A STAND–BY (BATTERY BACK–UP) POWER SUPPLY

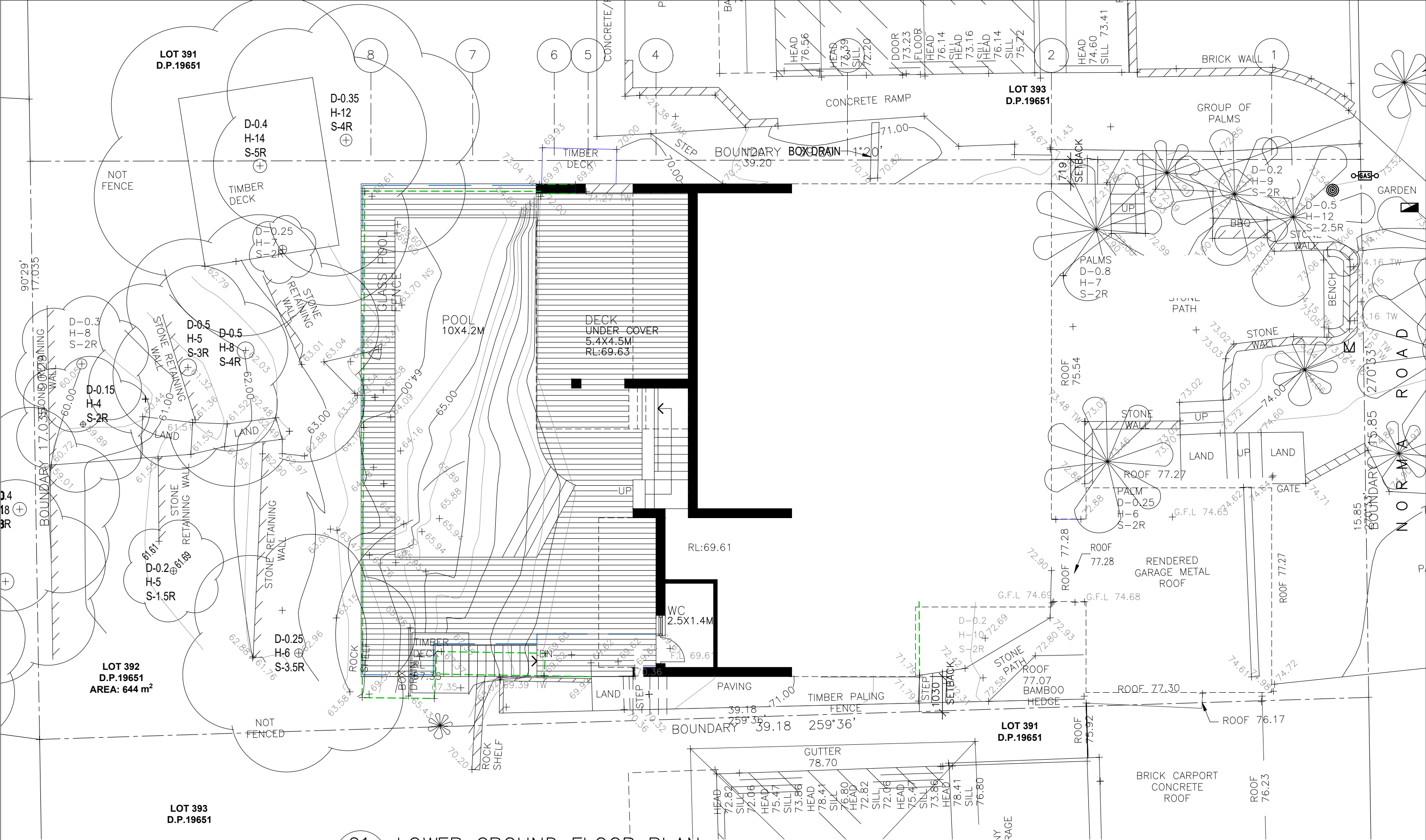


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FS	1:100	02.05.23	DA	–
drawing				
TITLE PAGE, GENERAL NOTES & SCHEDULE OF EXTERNAL FINISHES				

DA	–	DEVELOPMENT APPLICATION	02.05.23
issue	amendment		date

A00

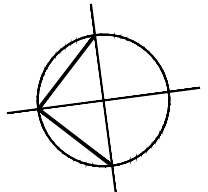


01 LOWER GROUND FLOOR PLAN
01 EXISTING
1:100

0 5M
1:100@A3

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PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING
FOR EDWINA WITHERS

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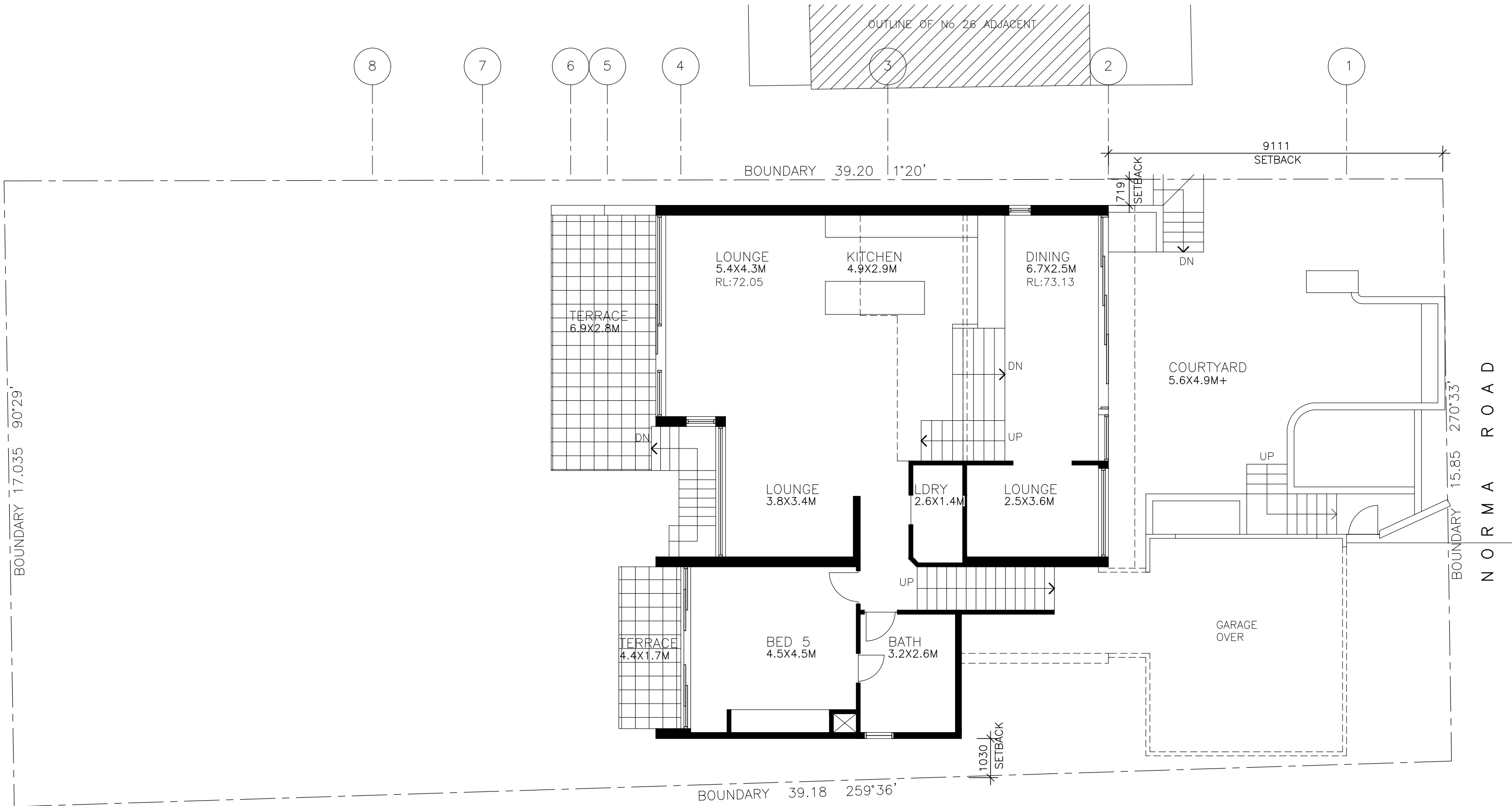


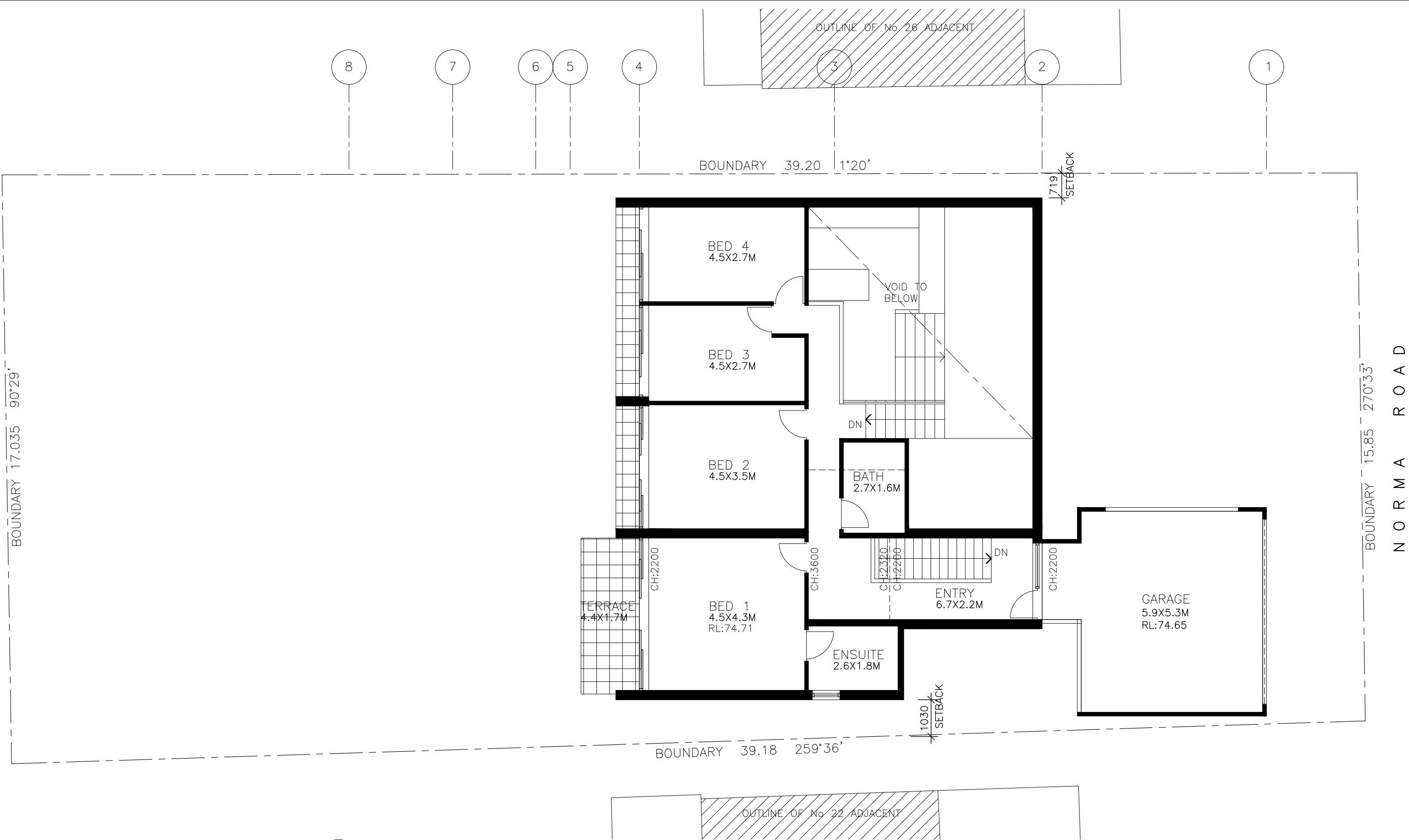
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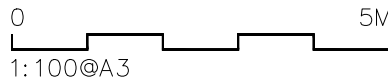
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A01

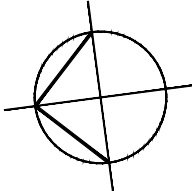




01 UPPER LEVEL FLOOR PLAN
03 EXISTING 1:100



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PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING
FOR EDWINA WITHERS
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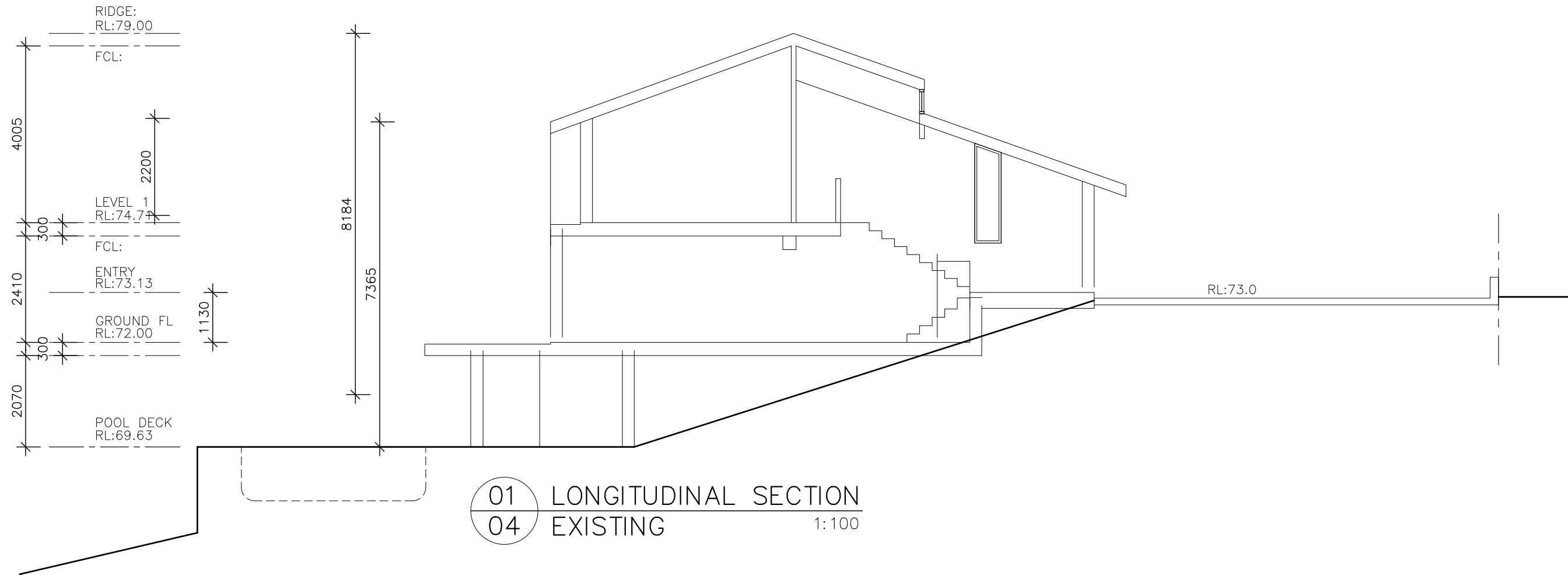


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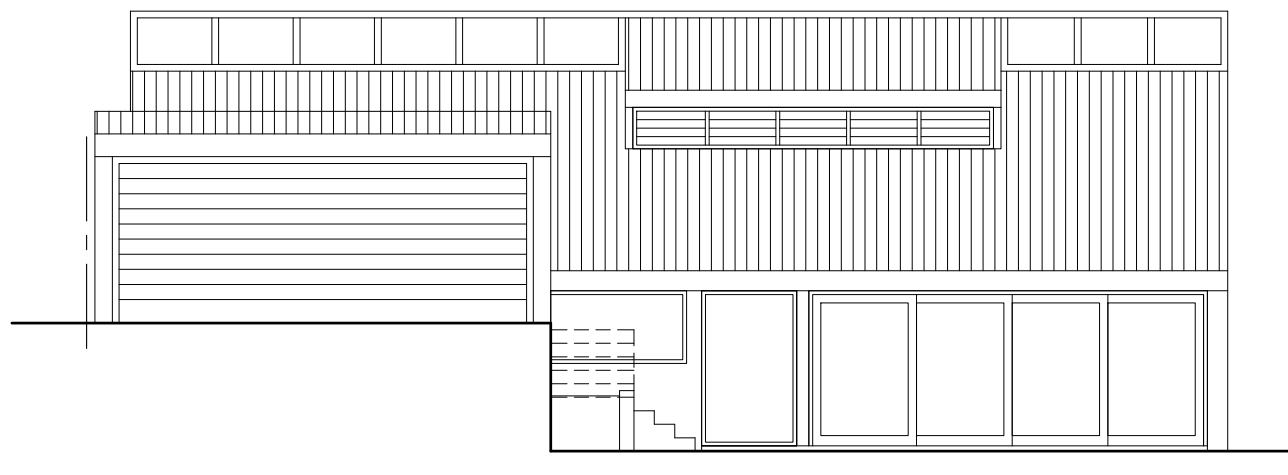
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issue	amendment	date	

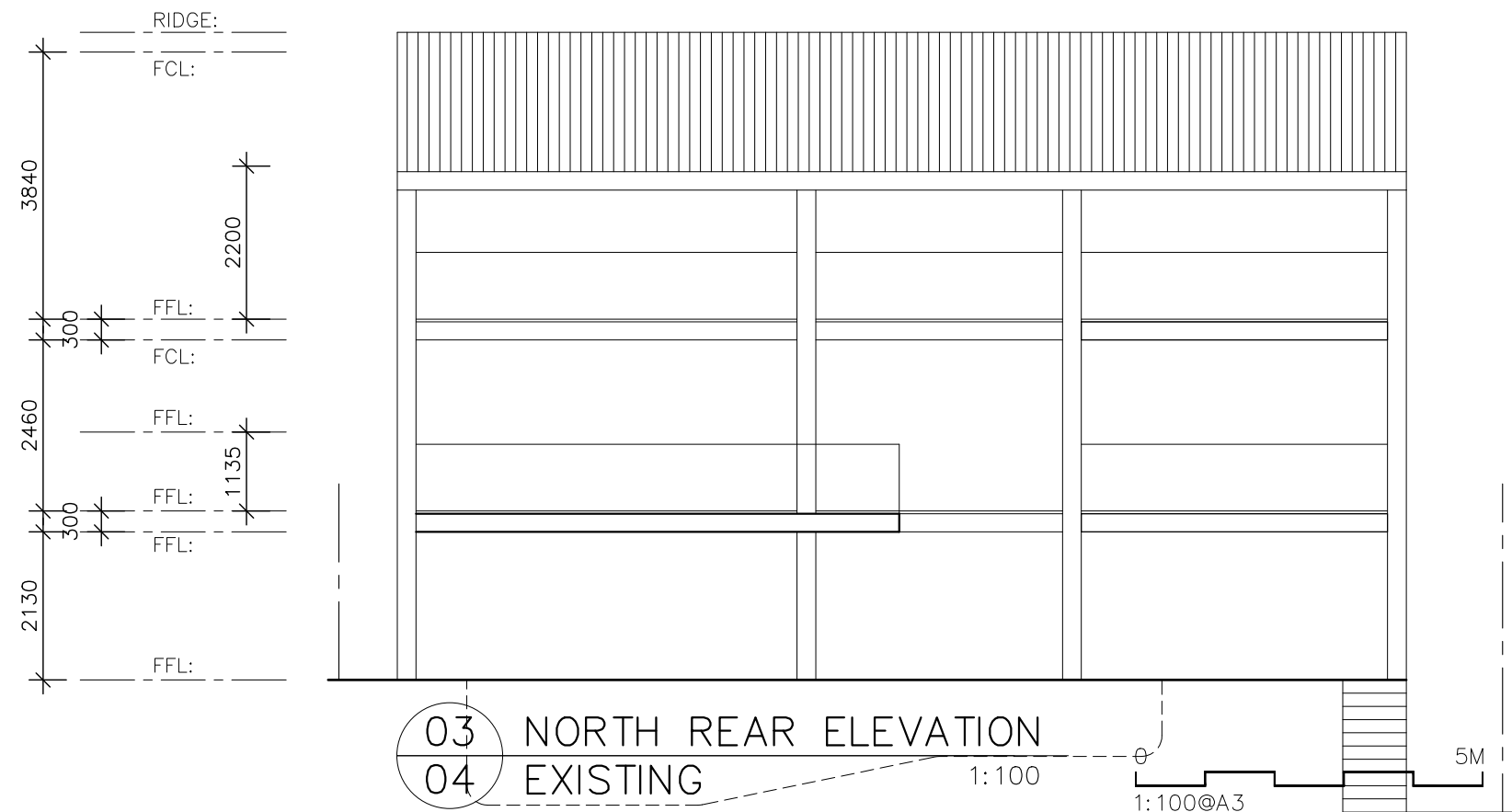
A03



01 LONGITUDINAL SECTION
04 EXISTING 1:100



02 SOUTH FRONT ELEVATION
04 EXISTING 1:100



03 NORTH REAR ELEVATION
04 EXISTING 1:100

24 NORMA ROAD PALM BEACH, NSW
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING
FOR EDWINA WITHERS

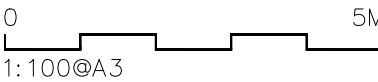
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drawn FS scale 1:100 date 02.05.23 issue DA amend -
drawing
EXISTING ELEVATIONS

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A04



24 NORMA ROAD PALM BEACH, NSW
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING
FOR EDWINA WITHERS

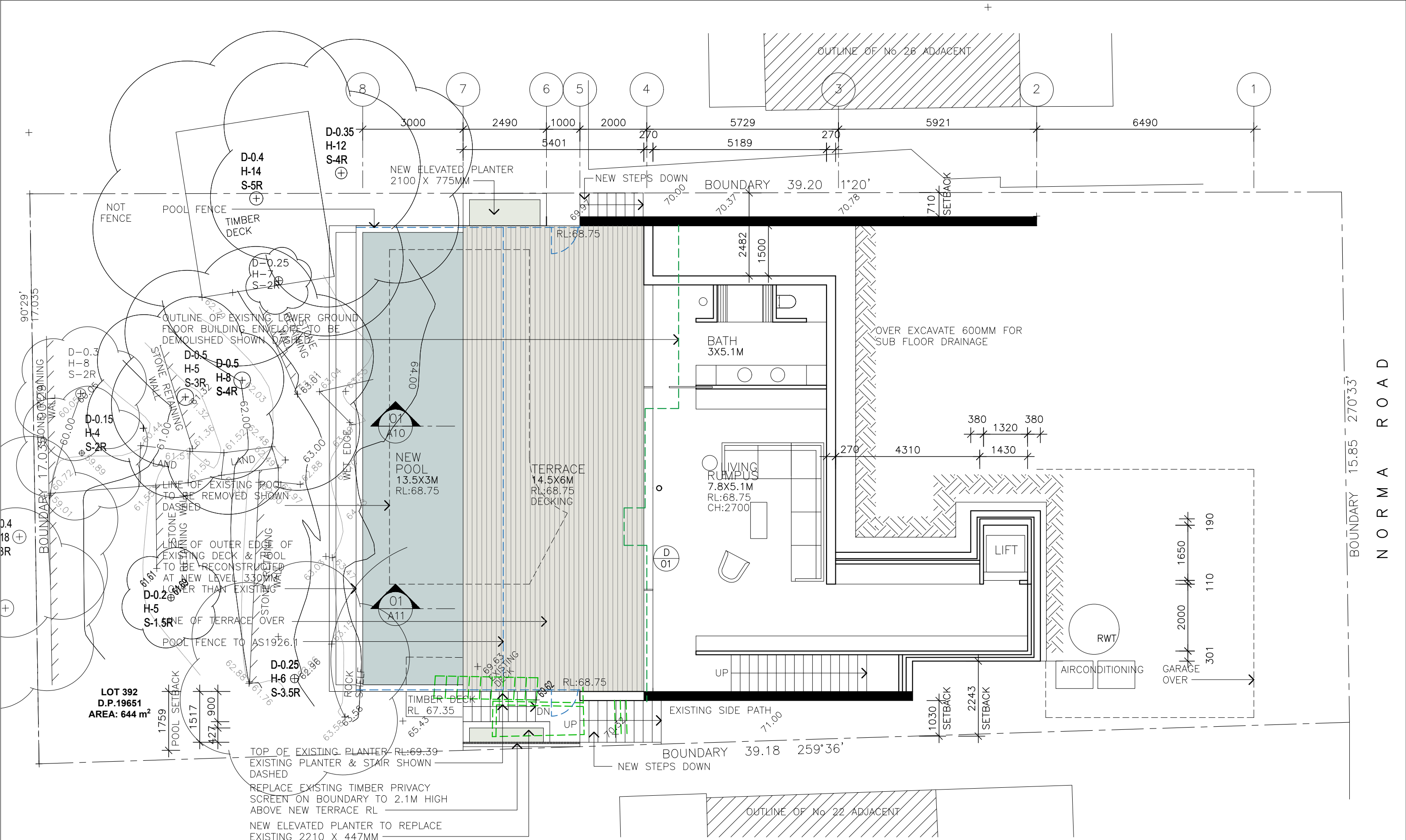
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drawing				
STREETSCAPE 3D IMAGE				

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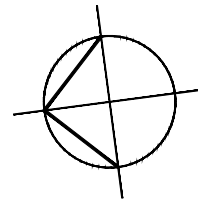
3D1



24 NORMA ROAD PALM BEACH, NSW
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING
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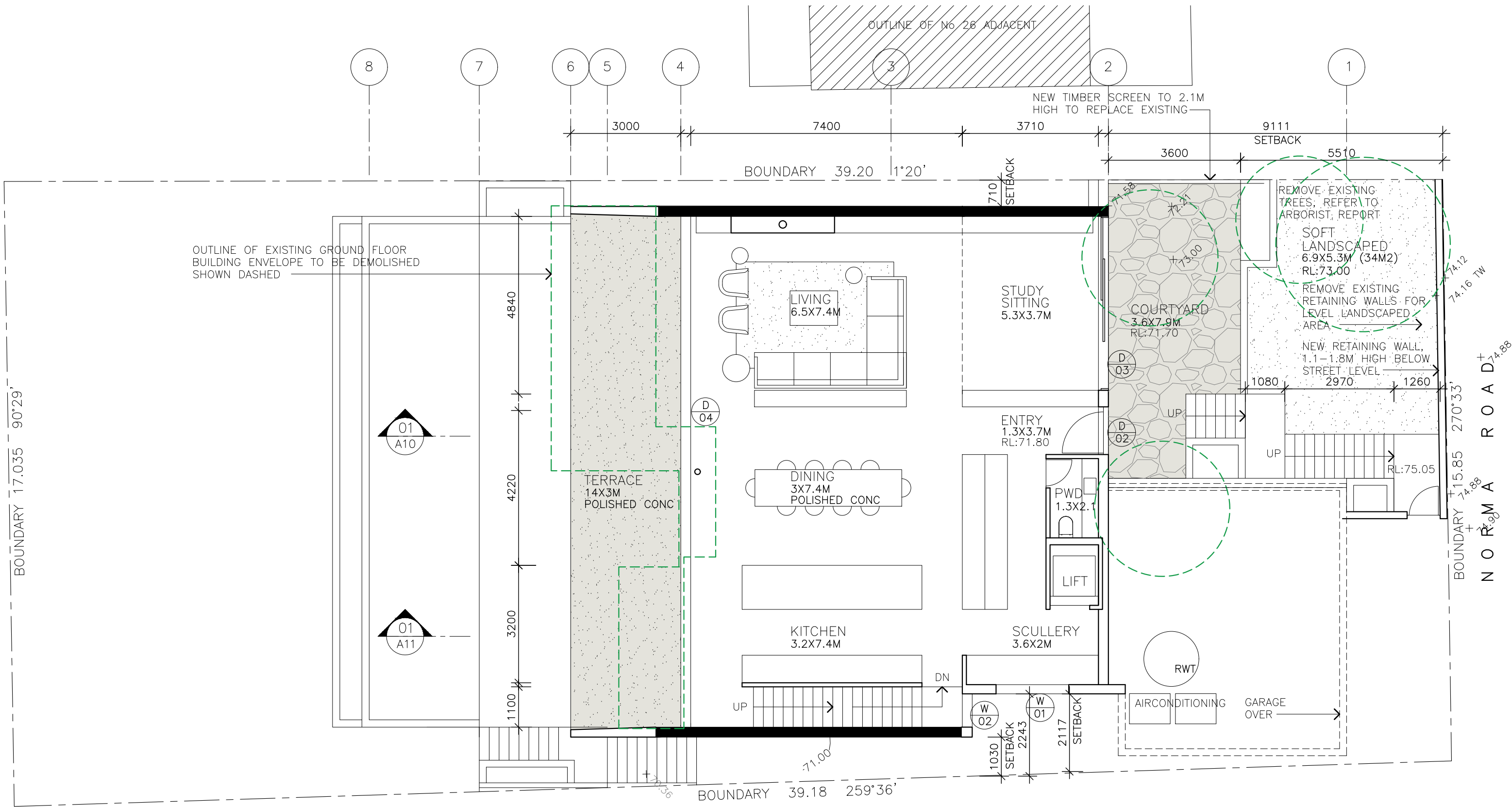


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PROPOSED LOWER GROUND FLOOR PLAN									

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A05



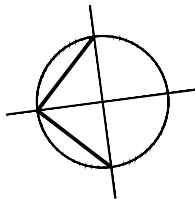
01 GROUND FLOOR PLAN
06 PROPOSED

1:100

0 5M
1:100@A3

24 NORMA ROAD PALM BEACH, NSW
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING
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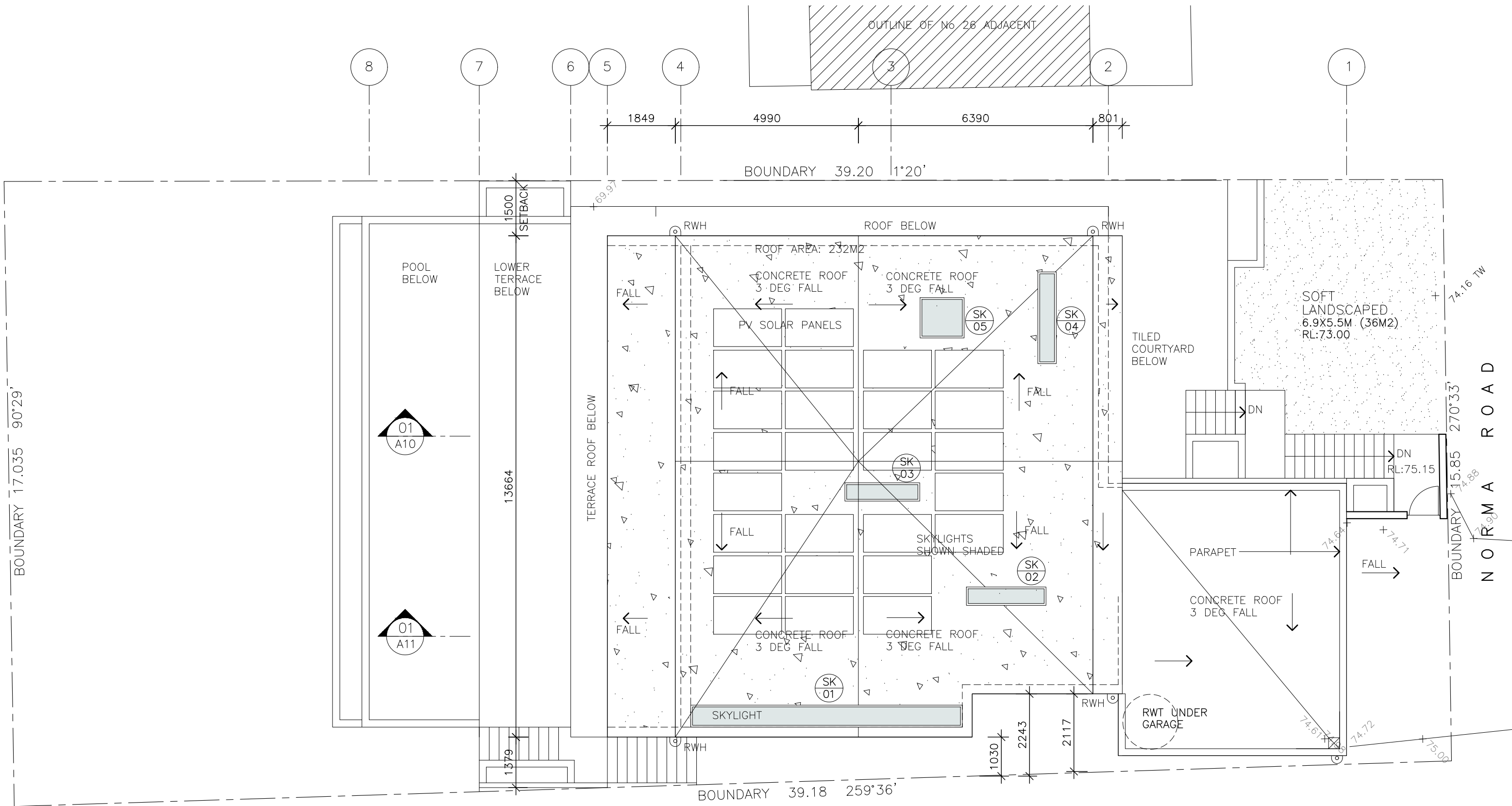


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drawing				
PROPOSED GROUND FLOOR PLAN				

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A06



REFER TO HYDRAULIC ENGINEERS
STORMWATER PLAN

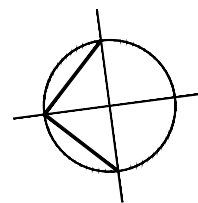
01 ROOF PLAN
08 PROPOSED

1:100

0 5M
1:100@A3

24 NORMA ROAD PALM BEACH, NSW
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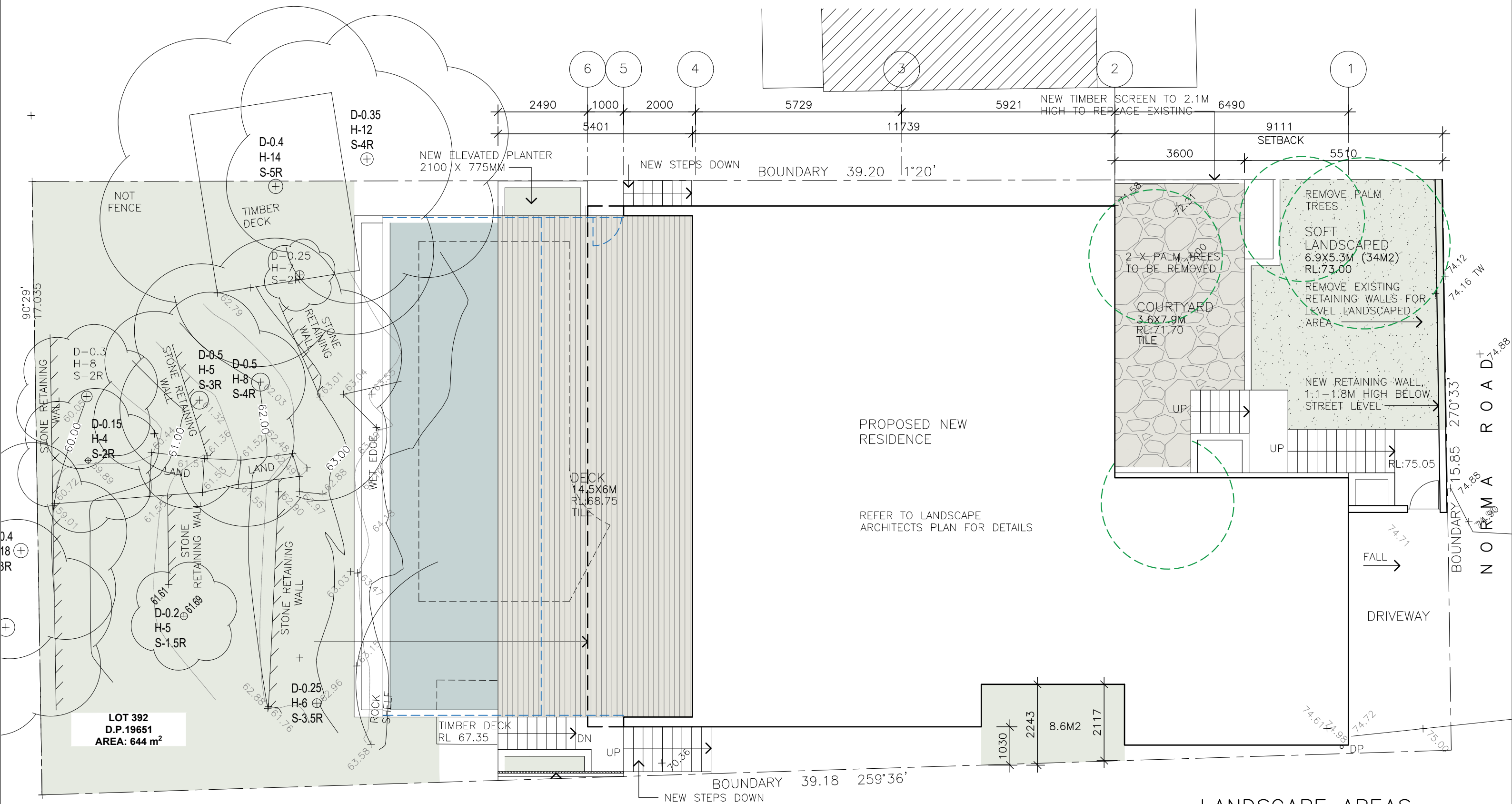


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drawing				
PROPOSED ROOF PLAN				

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A08

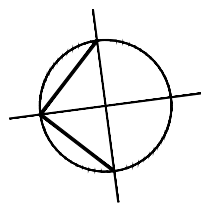


01 LANDSCAPE PLAN
09 PROPOSED

24 NORMA ROAD PALM BEACH, NSW
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING
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1:100



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drawing				
PROPOSED LANDSCAPE PLAN				

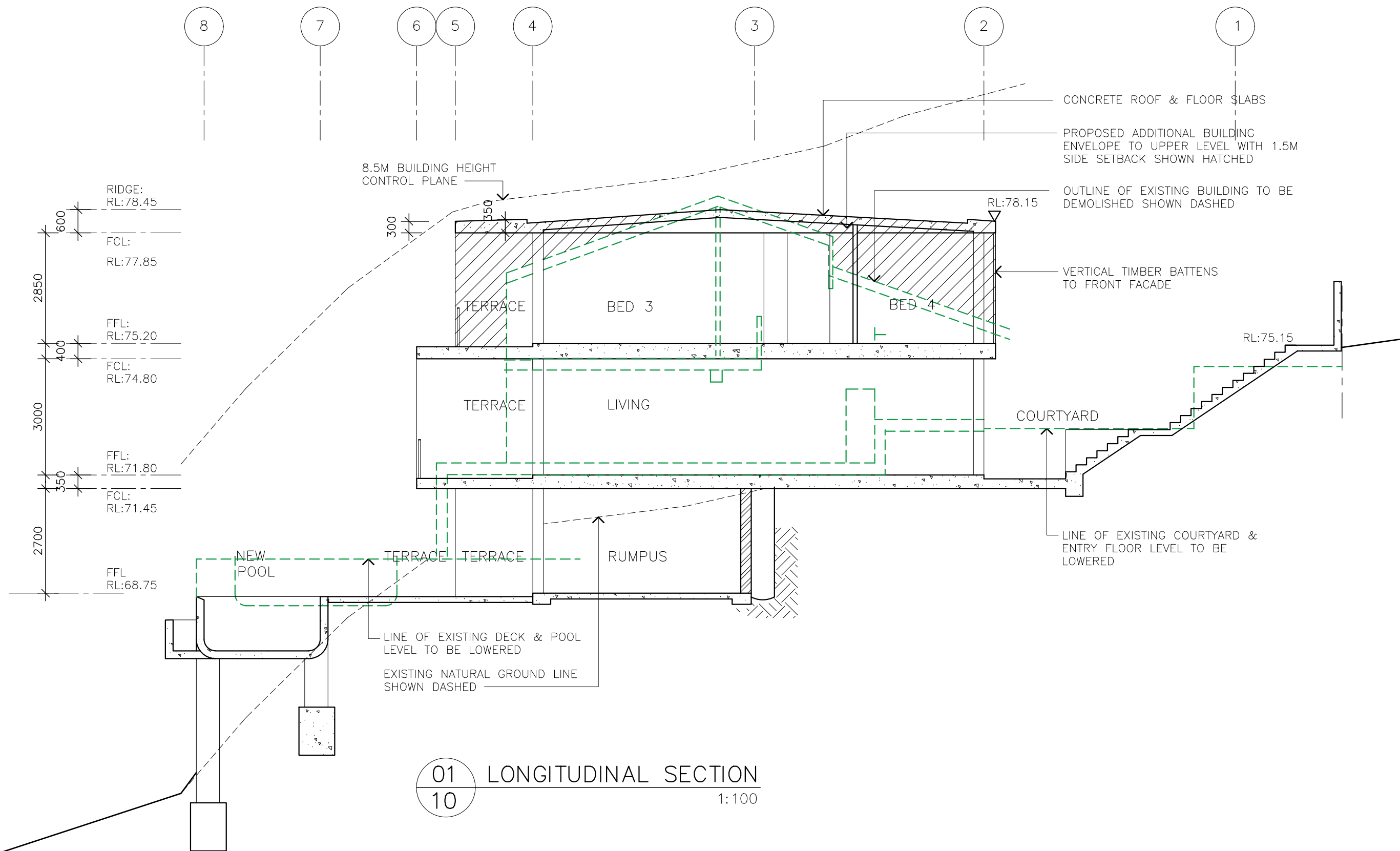
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0 5M
1:100@A3

LANDSCAPE AREAS:

SITE AREA: 644M2
EXISTING: 192.8M2 (30%)
PROPOSED FRONT: 38M2
PROPOSED REAR: 161M2
TOTAL LANDSCAPE AREA: 195.6M2 (30.3%)

A09



24 NORMA ROAD PALM BEACH, NSW
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING
FOR EDWINA WITHERS

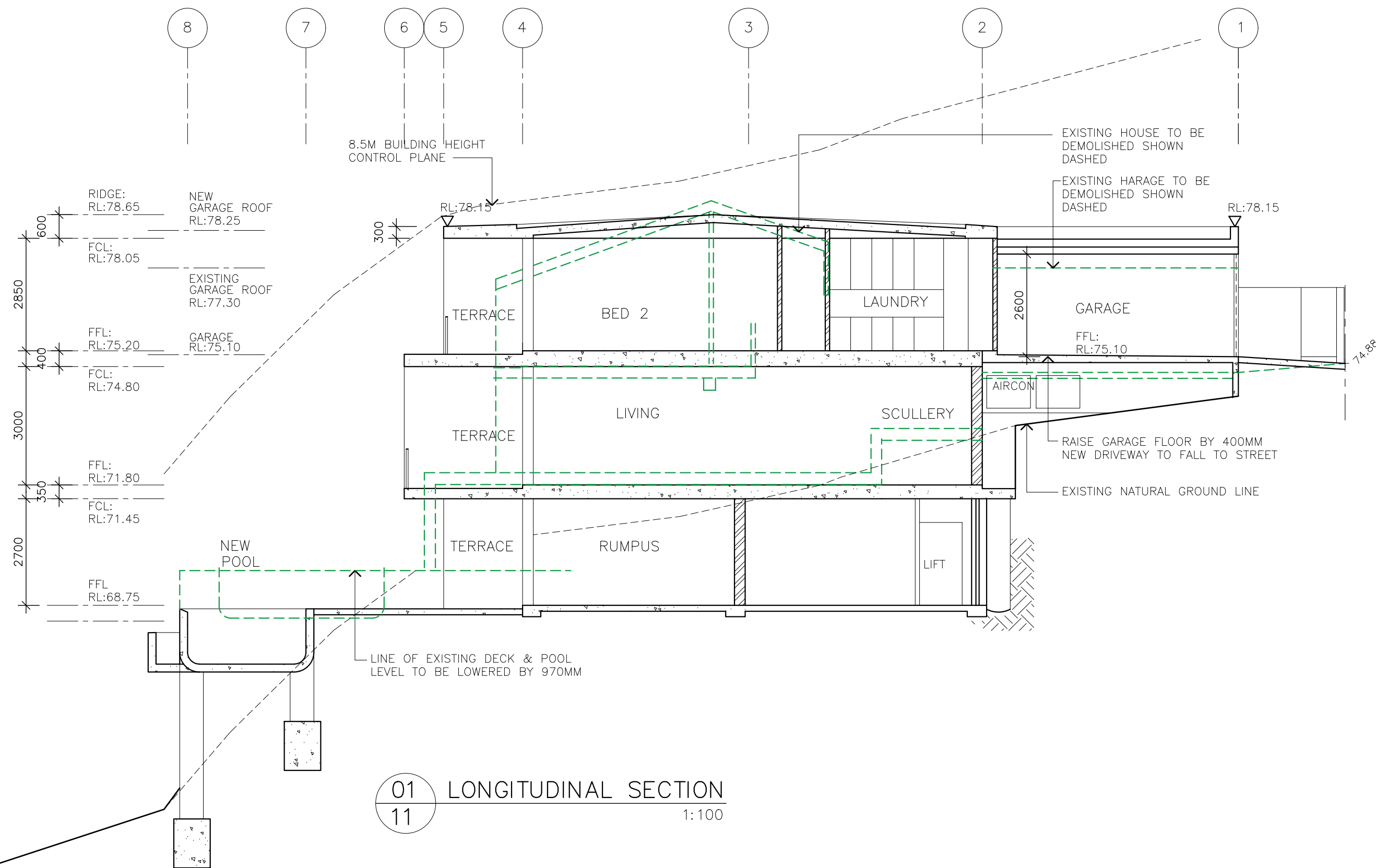
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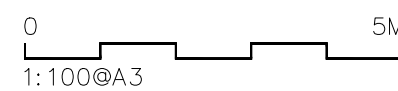
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drawing				
PROPOSED LONGITUDINAL SECTION				

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A10



01 LONGITUDINAL SECTION
11 1:100



24 NORMA ROAD PALM BEACH, NSW
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PROPOSED LONGITUDINAL SECTION				

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A11

RIDGE LINE OF EXISTING HOUSE SHOWN DASHED

BUILDING ENVELOPE CONTROL. 45 DEG ANGLE AT 3.5M ABOVE GROUND TO SIDE BOUNDARIES

OUTLINE OF 26 NORMA ROAD

OFF-FORM CONCRETE CONSTRUCTION GENERALLY THROUGHOUT

FRAMELESS GLASS BALUSTRADES SET IN RECESSED CHANNEL FLUSH WITH FLOOR TO BCA REQUIREMENTS

VITROCSA GLAZING THROUGHOUT

MASONRY PLANTER ON BOUNDARY

600MM DIA CONC PIERS TO POOL

1500
SETBACK

RL:78.15

3500

69.97

RL:70.36

RIDGE:
RL:78.45

FCL:
RL:77.85

OUTLINE OF
22 NORMA ROAD

FFL:
RL:75.20

FCL:
RL:74.80

FFL:
RL:71.80

FCL:
RL:71.45

FFL
RL:68.75

01 NORTH ELEVATION
12 REAR 1:100

0 5M
1:100@A3

24 NORMA ROAD PALM BEACH, NSW
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING
FOR EDWINA WITHERS

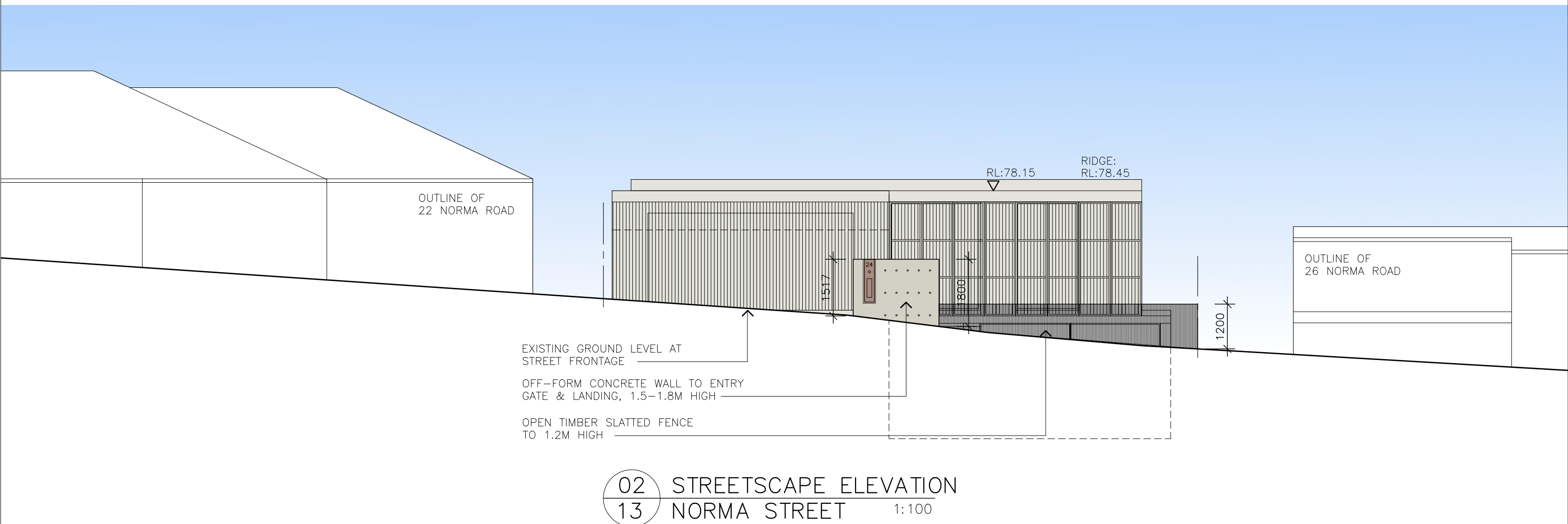
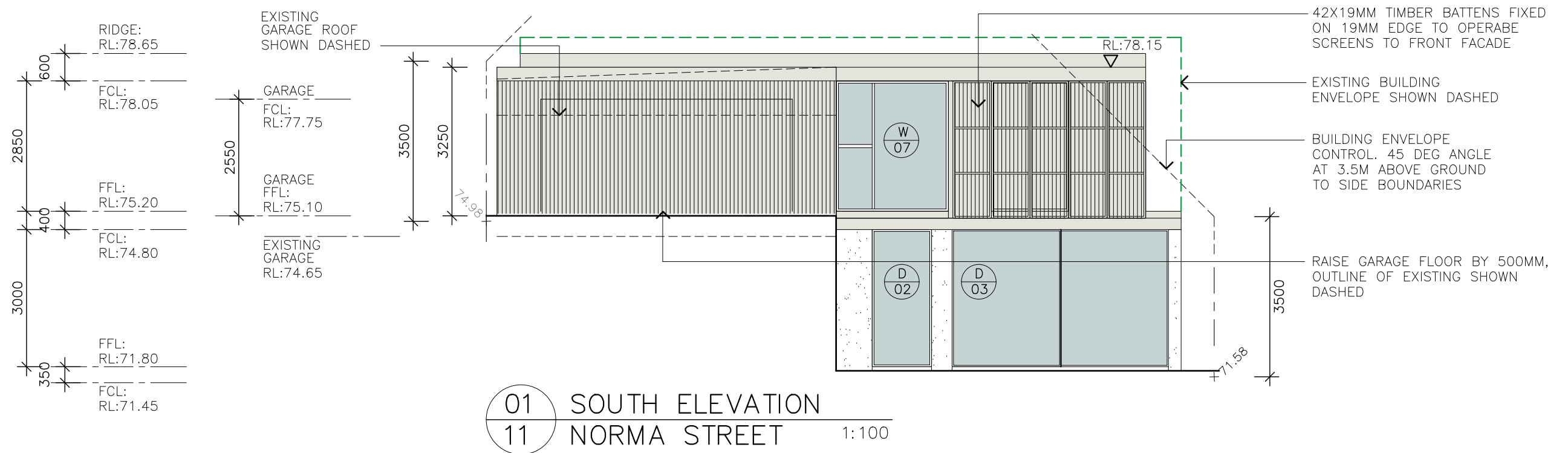
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drawing									
PROPOSED NORTH / REAR ELEVATION									

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A12



0 5M
1:100@A3

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PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING
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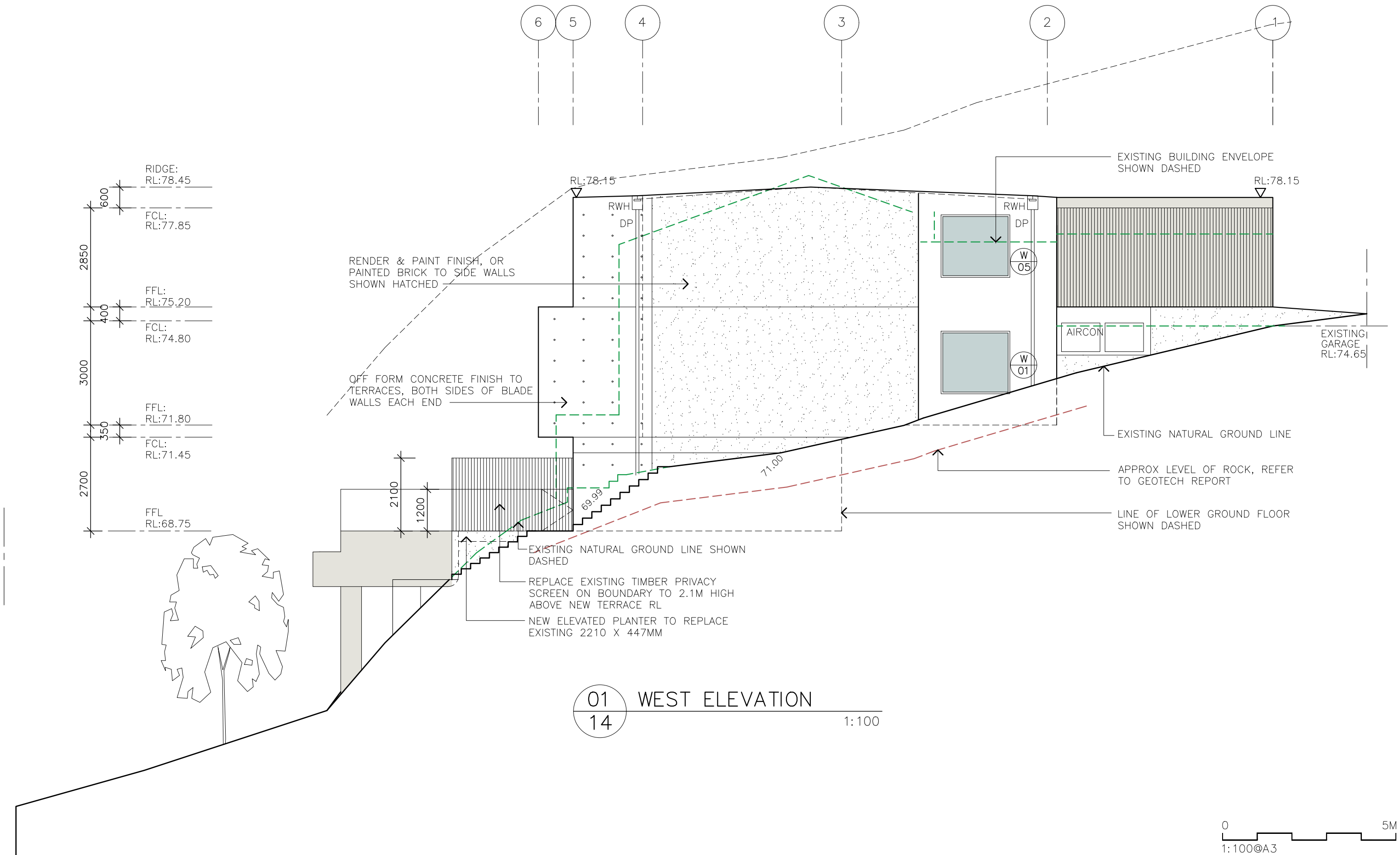
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drawing
**PROPOSED SOUTH AND
STREETSCAPE ELEVATIONS**

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A13



24 NORMA ROAD PALM BEACH, NSW
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING
FOR EDWINA WITHERS

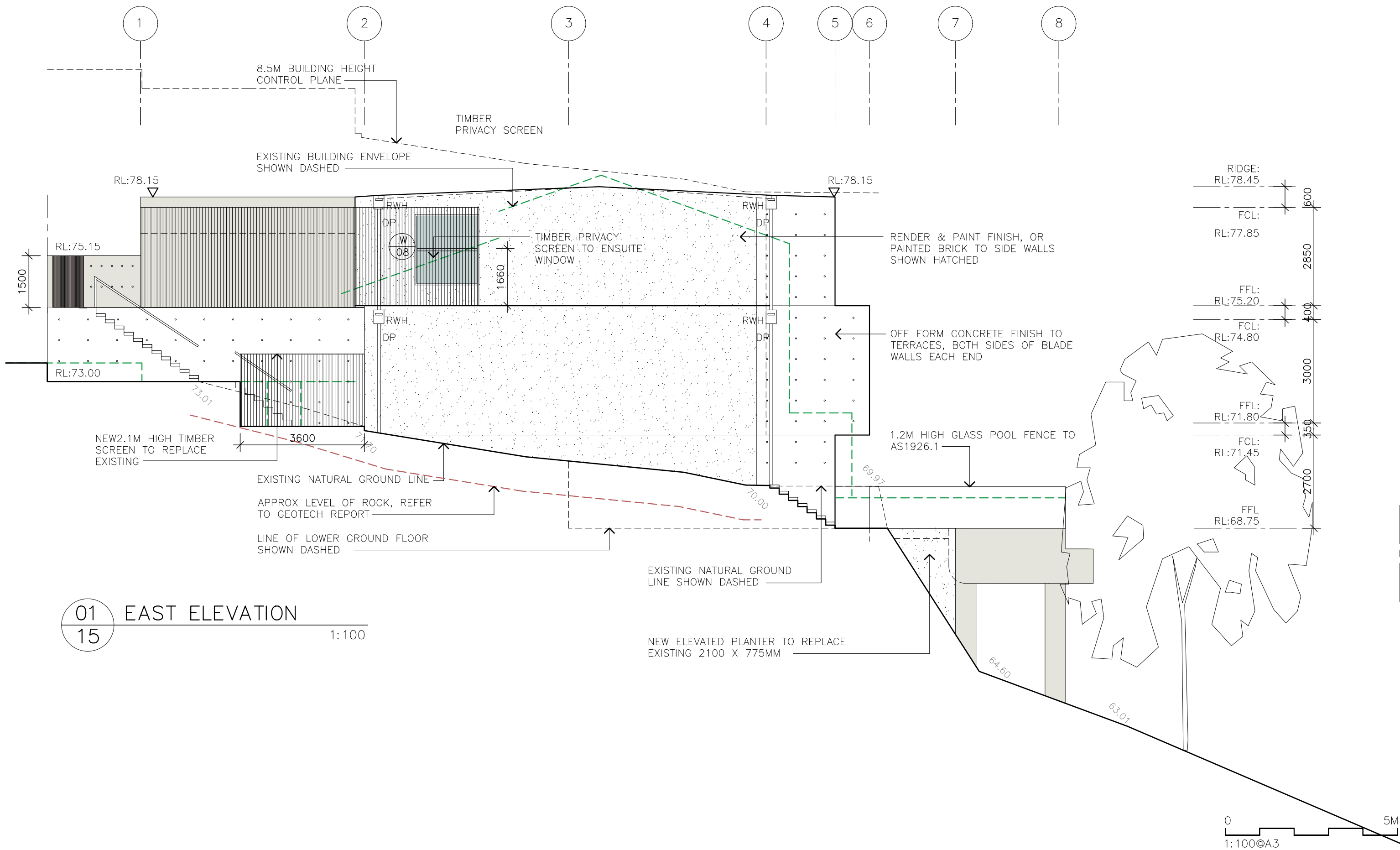
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drawing									
PROPOSED WEST ELEVATION									

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A14



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PROPOSED EAST ELEVATION				

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A15

SEDIMENT & SOIL EROSION CONTROL NOTES

SLOPING SITE FROM SOUTH TO NORTH

RESPREAD TOPSOIL & REVEGETATE ALL BARE AREAS

RETAIN TEMPORARY STRAW BALE & SILT FENCE DRAINAGE STRUCTURES UNTIL STORMWATER DRAINAGE & LANDSCAPING IS IN PLACE

DOWNSTREAM EROSION TO BE CHECKED & MAINTAINED PERIODICALLY DURING CONSTRUCTION

BUILDER TO ENSURE CONSTRUCTION & STABILISATION OF ALL CULVERTS & SURFACE DRAINAGE WORKS AT EARLIEST PRACTICAL STAGE

REMOVAL OR DISTURBANCE OF VEGETATION AND TOP SOIL IS CONFINED TO WITHIN 3M OF THE APPROVED BUILDING AREA (NO TREES ARE TO BE REMOVED WITHOUT APPROVAL)

ALL UNCONTAMINATED RUN-OFF MUST BE DIVERTED AROUND CLEARED OR DISTURBED AREAS

THE INSTALLATION OF SILT FENCES OR OTHER DEVICES MUST PREVENT SEDIMENT AND OTHER DEBRIS ESCAPING FROM THE CLEARED OR DISTURBED AREAS INTO DRAINAGE SYSTEMS OR WATERWAYS

ALL EROSION AND SEDIMENT CONTROLS ARE FULLY MAINTAINED FOR THE DURATION OF THE DEMOLITION & DEVELOPMENT WORKS

CONTROLS MUST BE PUT INTO PLACE TO PREVENT TRACKING OF SEDIMENT BY VEHICLES ONTO ADJOINING ROADWAYS

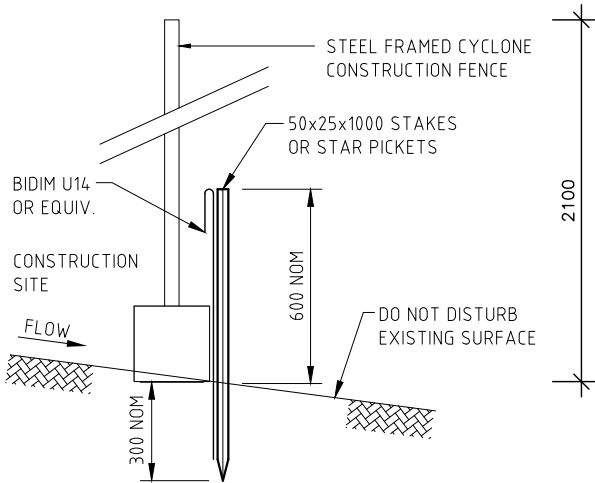
ALL DISTURBED AREAS ARE RENDERED EROSION-RESISTANT BY TURFING, MULCHING, PAVING OR SIMILAR
ALL WATER PUMPED OR OTHERWISE REMOVED FROM EXCAVATIONS OR BASEMENT AREAS MUST BE FILTERED TO ACHIEVE SUSPENDED SOLIDS/NON FILTERABLE RESIDUE LEVELS COMPLYING WITH THE AUSTRALIAN WATER QUALITY GUIDELINES FOR FRESH AND MARINE WATERS

PUMPED OR OVERLAND FLOWS OF WATER ARE TO BE DISCHARGED SO AS NOT TO CAUSE, PERMIT OR ALLOW EROSION BEFORE THE COMMENCEMENT OF WORK (AND UNTIL ISSUE OF THE OCCUPATION CERTIFICATE).

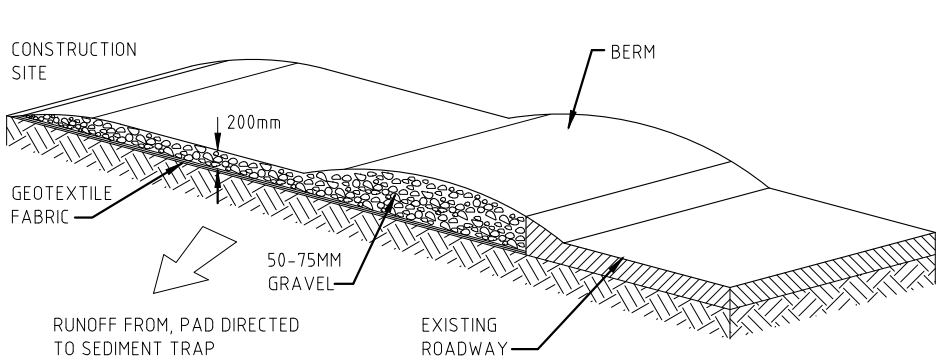
ALL EXCAVATIONS MUST BE KEPT FREE FROM WATER ACCUMULATION.

ANY EXCAVATION WORKS CARRIED OUT ON SITE SHOULD BE CLOSELY MONITORED TO ENSURE NO SIGNS OF POTENTIAL ACID SULPHATE SOIL (PASS) OR ACTUAL ACID SULPHATE SOIL (AASS) ARE OBSERVED. INDICATORS MAY INCLUDE GREY TO GREENISH BLUE CLAYS, UNUSUAL GOLD-YELLOW MOTTLING OR 'ROTTEN EGG' ODOURS. IF ANY OF THESE INDICATORS ARE OBSERVED, EXCAVATION OF THE SITE IS TO BE STOPPED IMMEDIATELY, COUNCIL IS TO BE NOTIFIED AND A SUITABLY QUALIFIED ENVIRONMENTAL SCIENTIST SHOULD BE CONTRACTED TO FURTHER ASSESS THE SITE.

IN THE EVENT OF A STORM ALL ESTABLISHED CONTROLS ARE TO BE ASSESSED & THE HYDRAULIC ENGINEER & ARCHITECT ARE TO BE NOTIFIED IMMEDIATELY OF ANY DOWNSTREAM SEDIMENTATION.



SILT FENCE DETAIL
PROPOSED NTS



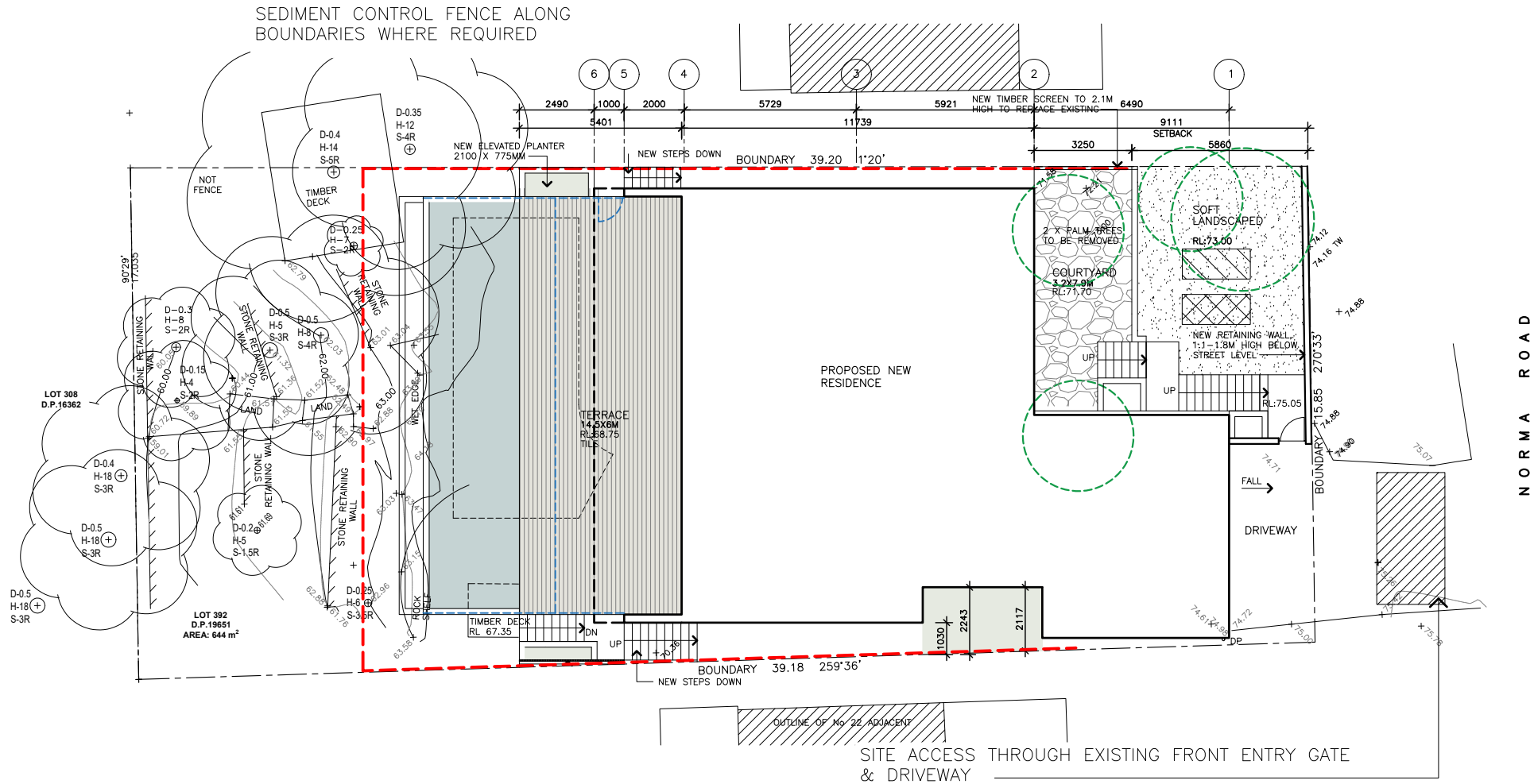
TEMPORARY CONSTRUCTION EXIT
PROPOSED NTS

LEGEND

- PROVISION AREA FOR STOCKPILING OF MATERIALS
- TRADE WASTE RECEPTABLE LOCATION
- TEMPORARY CONSTRUCTION EXIT, REFER TO DETAIL
- 2.1M HIGH STEEL FRAMED CYCLONE CONSTRUCTION FENCE & SILT FENCE, REFER TO DETAIL

SITE FENCING/SECURITY
THE SITE MUST BE APPROPRIATELY SECURED AND FENCED TO THE SATISFACTION OF COUNCIL DURING DEMOLITION, EXCAVATION AND CONSTRUCTION WORK TO ENSURE THERE ARE NO UNACCEPTABLE IMPACTS ON THE AMENITY OF ADJOINING PROPERTIES OR COUNCIL PROPERTY. PERMITS FOR HOARDINGS AND OR SCAFFOLDING ON COUNCIL LAND MUST BE OBTAINED AND CLEARLY DISPLAYED ON SITE.

NO WORKS ARE TO BE UNDERTAKEN OUTSIDE OF THE PROPERTY BOUNDARY, EXISTING SITE ENTRY TO BE USED FOR ACCESS

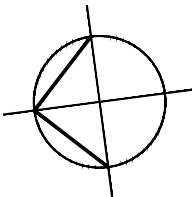


01 SEDIMENT & EROSION CONTROL PLAN
16 PROPOSED 1:100

0 5M
1:100@A3

24 NORMA ROAD PALM BEACH, NSW
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING
FOR EDWINA WITHERS

Contractors Must verify all dimensions on site prior to starting any work or making any shop drawings.
Figured dimensions are to be taken in preference to scale readings. This drawing is copyright and the property of Justin Long Design.



Architctural
justin long
design
www.jladesign.com.au

drawn	scale	date	issue	amend
FS	1:100	02.05.23	DA	-
drawing				
SEDIMENT & EROSION CONTROL PLAN				

DA	-	DEVELOPMENT APPLICATION	02.05.23
issue	amendment		date

A16