



Corona Projects

DEVELOPMENT APPLICATION **STATEMENT OF ENVIRONMENTAL EFFECTS**

Alterations and additions to existing dwelling house

6 Wedgewood Crescent, Beacon Hill

May 2025

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PROJECT DETAILS

Client: Faz Jalali
Subject land: 6 Wedgewood Crescent, Beacon Hill
Lot Description: Lot 16 of DP 224571
Proposed development: Alterations and additions to existing dwelling house, including partial demolition, internal reconfiguration, new swimming pool and rear pergola

The report is prepared by Joseph Chan
BCP (Hons) UNSW, MCPM UNSW

I certify that the contents of the Statement of Environmental Effects to the best of my knowledge, has been prepared as follows:

- In accordance with Section 4.12 of the Environmental Planning and Assessment Act 1979 and Clause 24 of the Environmental Planning and Assessment Regulation 2021;
- The statement contains all available information that is relevant to the environmental impact assessment of the proposed development;
- To the best of my knowledge the information contained in this report is neither false nor misleading.

Quality Management

Issue	Description	Date	Written By	Reviewed By
1	SEE issued for DA lodgement	22/05/2025	JC	JC

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1.0 INTRODUCTION

This Statement of Environmental Effects has been prepared for the Property Owner to accompany a Development Application (DA) to Northern Beaches Council for the alterations and additions to existing dwelling at 6 Wedgewood Crescent, Beacon Hill.

More specifically, the proposed development comprises the following:

- Partial demolition of walls and roof of existing dwelling, and demolition of one (1) outbuilding (shed)
- Removal of three (3) trees
- Alterations and additions to ground floor, including:
 - Construction of a new front paved area
 - Internal reconfiguration to provide open plan kitchen and combined living and dining room on ground floor
 - Internal reconfiguration to relocate two (2) bedrooms
- Alterations and additions to lower ground floor, including:
 - Creation/ internal reconfiguration to relocate two (2) bedrooms, rumpus room, new bathroom and retain existing laundry room
 - Provision of new outdoor shower near swimming pool
 - Construction of a new pergola to accommodate the rear entertaining area with access to the new swimming pool and existing rear deck on lower ground floor
- Construction of a new swimming pool and spa

The proposal is permissible with consent and is suitable for the site and the area. The proposal has been designed to relate to its site and to the streetscape in terms of appearance, envelope, setbacks, bulk, and scale. The proposal will operate without any significant impact to the amenity of neighbouring properties.

This statement assesses any numeric non-compliance as acceptable on merit, resulting in no adverse impacts and in compliance with all relevant DCP and LEP objectives.

The purpose of this SEE is to:

- Describe the site to which the application applies and its context;
- Describe the proposed development;

- Describe the legislative framework against which the application is to be assessed and determined; and
- Provide an assessment of the environmental impacts in accordance with the Section 4.15 of the EP&A Act 1979.

This Statement has been prepared in reference to the following:

Document	Author	Date
Architectural Plans, Rev A	Action Plans	16/08/2024
Bushfire Assessment Report	Building Code & Bushfire Hazard Solutions Pty Ltd	3 March 2025
Survey Plan	CMS Surveyors Pty Ltd	12/10/2023

2.0 SITE ANALYSIS & CONTEXT

2.1 The Site

The site is located at 6 Wedgewood Crescent, Beacon Hill and is legally described as Lot 16 in Deposited Plan 224571. The site is located on the western side of Wedgewood Crescent. The site adjoins a woodland/ reserve to its rear.

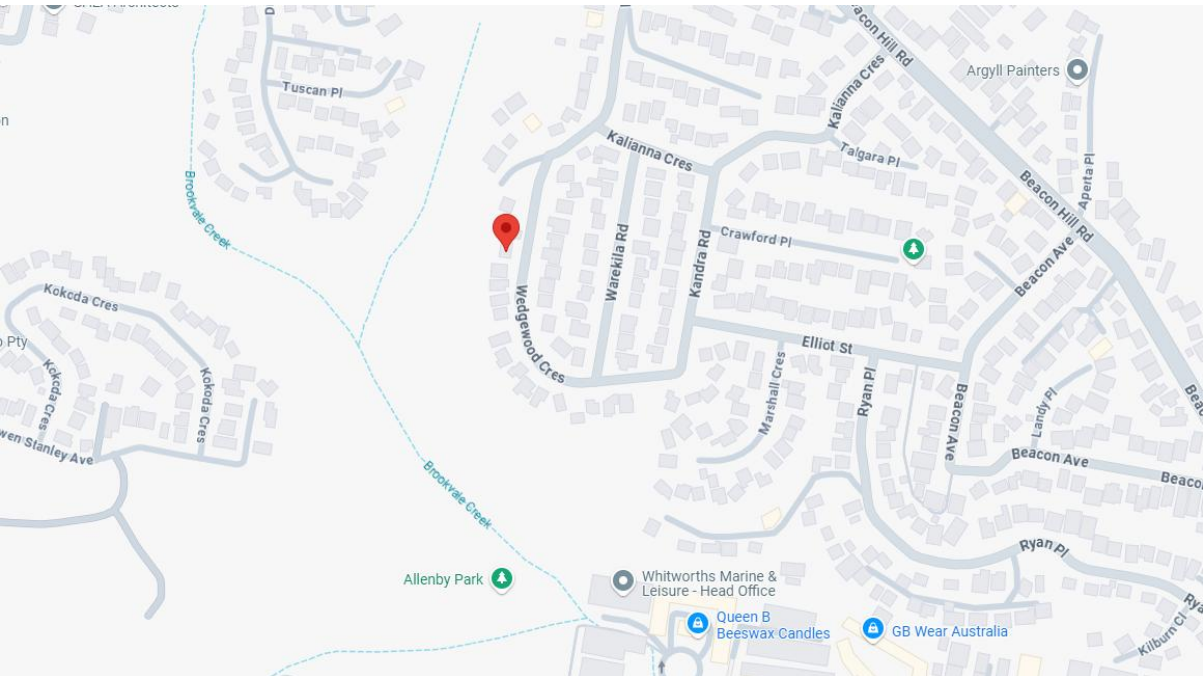


Figure 1: Site locality map (Google Maps 2025)



Figure 2: Aerial map (NSW SIX Maps 2024)

The site is irregular with a total area of 688.4 square metres by survey, with an 21.335 metre street frontage to Wedgewood Crescent. The northern side boundary measures 39.38 metres and the southern side boundary measures 36.67 metres. The rear boundary measures 12.19 metres. The site falls from the street towards the rear by approximately 8 metres.

The site currently contains a one and two storey dwelling house with a metal roof. The rear of the site is landscaped with shrubs and grass. Vehicular access is available from Wedgewood Crescent.

The land is zoned R2 Low Density Residential under the provisions of Warringah Local Environmental Plan 2011 (WLEP). The site is not identified as a heritage item, nor is it located within a Heritage Conservation Area (HCA). It is also not considered to be located within the close vicinity of any Item or HCA, or as a contributory item.

The site is subject to the below hazards/ planning map provisions:

- Bushfire prone land (the site is identified as vegetation buffer)
- Sloping land (Area B *Flanking Slopes 5 to 25 degrees*) (WLEP 2011)
- Wildlife Corridors (WDCP 2011)
- Land Adjoining Public Open Space – partial (WDCP 2011)
- Waterways and Riparian Lands – partial (WDCP 2011)



Figure 3: Subject site as viewed from Wedgewood Crescent (Real Estate 2025)

2.2 The Locality

The site is located within the residential suburb of Beacon Hill. The locality predominantly comprises one to two storey residential dwellings with varying architectural styles. The site is not located within the vicinity of any non-residential land uses. No commercial or industrial uses are located within the site vicinity.

2.3 Development History

A search on Council's DA Tracker found the following results for development applications associated with the site.

Application Number	Description	Determination & Date
DA2013/0556	Tree application for the removal of two (2) trees	Approved on 20 May 2013

Table 1. Development History

3.0 THE PROPOSAL

3.1 Overview

The Development Application proposes the partial demolition, alterations and additions to the existing dwelling. More specifically, the proposal comprises:

- Partial demolition of walls and roof of existing dwelling, and demolition of one (1) outbuilding (shed)
- Removal of three (3) trees
- Alterations and additions to ground floor, including:
 - Construction of a new front paved area
 - Internal reconfiguration to provide open plan kitchen and combined living and dining room on ground floor
 - Internal reconfiguration to relocate two (2) bedrooms
- Alterations and additions to lower ground floor, including:
 - Creation/ internal reconfiguration to relocate two (2) bedrooms, rumpus room, new bathroom and retain existing laundry room
 - Provision of new outdoor shower near swimming pool
 - Construction of a new pergola to accommodate the rear entertaining area with access to the new swimming pool and existing rear deck on lower ground floor
- Construction of a new swimming pool and spa

The proposal has been designed to relate to its site and to the streetscape in relation to appearance, envelope, setbacks, bulk, and scale. The contemporary design utilises high quality materials and detailing to present an unobtrusive visual outcome for the locality.

Please refer to plans prepared by Action Plans.

3.2 Development Configuration

The proposed development comprises the following:

Level	Use
Lower Ground Floor	Two (2) bedrooms
	Hallway with storage cabinet
	Bathroom

	Laundry room
	Internal stairs access to ground floor
	Rumpus room with access to exiting rear deck
	New covered entertaining area
	New swimming pool and spa pool
	External stairs access to ground floor and street
Ground Floor	New front paved area
	Open plan kitchen with combined living and dining room, with access to rear deck (existing)
	Two (2) bedrooms
	Bathroom
	Internal stairs to access lower ground level
	Attached single garage
	External stairs access to lower ground level and street

Table 2: Development configuration

3.3 Numerical Overview

A brief numerical overview of the development parameters for the proposed development is included in Table 1 below.

Component	Proposal
Site area	688.4m ²
Gross Floor Area	169.62m ²
Floor Space Ratio	0.25:1
Height	2 storeys 7.774m
Boundary setbacks	
Front	6.5m
Side (southern)	3.1m
Side (northern)	0.96m
Rear	12.1m
Car spaces	2 spaces (as per existing)

Table 3: Key development components

4.0 STATUTORY PLANNING FRAMEWORK AND ENVIRONMENTAL ASSESSMENT

This Chapter provides an environmental assessment in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

4.1 Statutory and Policy Compliance

The relevant matters for consideration under Section 4.15(a) of the EP&A Act, 1979, are identified as:

- State Environmental Planning Policy (Resilience and Hazards) 2021
- State Environmental Planning Policy (Sustainable Buildings) 2022
- Warringah Local Environmental Plan 2011
- Warringah Development Control Plan 2011

The primary statutory document that relates to the subject site and the proposed development is Warringah Local Environmental Plan 2011. The primary non-statutory plan relating to the subject site and the proposed development is Warringah Development Control Plan 2011.

4.1.1 State Environmental Planning Policy (Resilience and Hazards) 2021

This Policy is to provide for a state-wide planning approach to the remediation of contaminated land. Subject to Clause 4.6, considerations should be given to the suitability of land in terms of contamination.

The subject site has a long history of being used for the residential purpose. Thus, the land is not likely to be contaminated and, given that no change of use is proposed, no further consideration is required under Clause 4.6(1)(b) and (c) of the Resilience and Hazards SEPP.

4.1.2 State Environmental Planning Policy (Sustainable Buildings) 2022

SEPP (Sustainable Buildings) 2022 applies to the proposed development. A BASIX Certificate will be submitted with the application and confirms that the proposal will comply with the water, thermal comfort, and energy efficiency requirements of the policy.

4.1.3 Warringah Local Environmental Plan 2011

The development complies with the provisions of Warringah Local Environmental Plan 2011 (WLEP 2011).

Zoning and permissibility

The site is located in Zone R2 Low Density Residential.

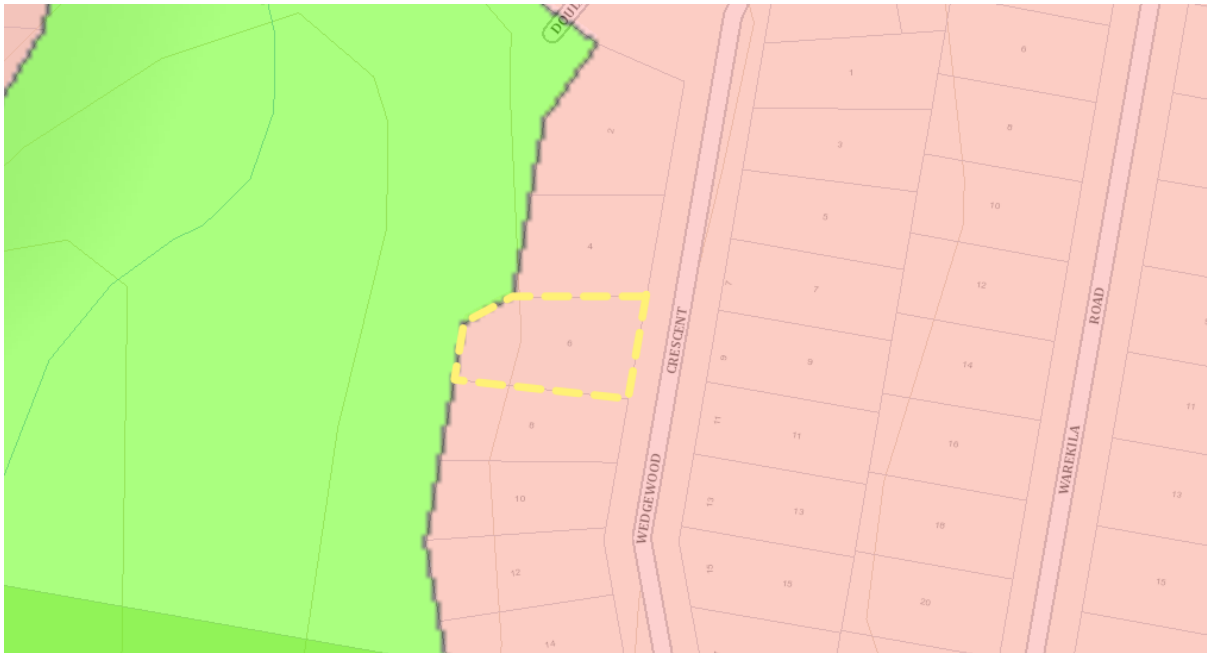


Figure 4: Land Zoning Map (NSW Spatial Planning Viewer 2024)

The development is identified to be **alterations and additions to dwelling houses**, which is permitted with consent in the R2 Low Density Residential zone.

The objectives of the zone are:

- *To provide for the housing needs of the community within a low density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To ensure that low density residential environments are characterised by landscaped settings that are in harmony with the natural environment of Warringah.*

The proposal seeks alterations and additions to the existing dwelling within a reasonable scope. No change of use is proposed. The proposal will not introduce any building feature that is incompatible with the prevailing residential use of Beacon Hill locality.

Clause 4.3 Height of buildings

The LEP Height of Building Map stipulates that the maximum building height permitted for the site is 8.5 metres. The proposed height of the development is 7.774 metres.

Clause 4.4 Floor space ratio

No FSR control is applicable to the site. Nonetheless, the proposed gross floor area measures 169.62m², or a FSR of 0.25:1.

Clause 5.10 Heritage Conservation

The site is not identified as a Heritage Item, nor is it located within a Heritage Conservation Area (HCA). It is also not considered to be located within the close vicinity of any Item or HCA, or as a contributory item.

4.1.4 Warringah Development Control Plan 2011

The development achieves a high level of compliance with the provisions of Warringah Development Control Plan 2011.

Control		Comment	Compliance
PART B – Built Form Controls			
B1 Wall Heights			
1	Walls are not to exceed 7.2 metres from ground level (existing) to the underside of the ceiling on the uppermost floor of the building (excluding habitable areas wholly located within a roof space).	The proposal is only two storeys in height. The maximum wall height measures 6.88m on the northern elevation and complies with the control.	Complies
B2 Number of Storeys – control not applicable to the site			
1	Buildings on land shown coloured on the DCP Map Number of Storeys must comply with the maximum number of storeys identified on the DCP Map Number of Storeys.	As per Council’s Online DCP Mapping System, no number of storeys is applicable to the site.	Not required
B3 Side Boundary Envelope			
1	Buildings on land shown coloured on the DCP Map Side Boundary Envelopes must be sited within a building envelope determined by projecting planes at 45 degrees from a height above ground level (existing) at the side boundaries of: • 4 metres	With reference to the submitted Cross Section C-C, a small section of the proposed roof is located outside of the side boundary building envelope (see Figure 5). Due to the sloping topographical constraints and irregular lot shape, the building is not parallel with the side boundaries, therefore resulting in the minor noncompliance.	Variation requested – acceptable on merit

Control	Comment	Compliance
	<p>An assessment against the objectives of control is outlined below:</p> <ul style="list-style-type: none"> <i>To ensure that fencing, terracing and retaining walls are compatible with the existing streetscape character while creating visual interest in the public domain.</i> <p><u>Comment:</u> the proposed minor noncompliance with the side boundary envelope control is indiscernible from the street and will have no adverse impact to the streetscape. The use of hipped roof will in fact positively contribute to the streetscape and adds a new visual point of interest.</p> <ul style="list-style-type: none"> <i>To encourage innovative design solutions to improve the urban environment.</i> <p><u>Comment:</u> The existing flat roof is not considered to be the most visually appealing design. The proposal will provide a new visual point of interest to the street by providing a hipped roof with gable to front the street. The minor variation is considered necessary to facilitate a positive outcome.</p> <ul style="list-style-type: none"> <i>To avoid a 'walled in' streetscape.</i> <p><u>Comment:</u> sufficient side setbacks are provided to both side boundaries. The proposal has been designed to cater for sufficient building separation and will not create a walled in streetscape.</p>	

Control	Comment	Compliance
	In conclusion, the proposed minor variation will have no adverse impact to the streetscape and is considered acceptable on merit.	

B4 Site Coverage – control not applicable to the site
B5 Side Boundary Setbacks

1	Minimum side setback: 0.9m	Minimum 0.9m side setback is provided to both northern and southern side boundary.	Complies
2	Side boundary setback areas are to be landscaped and free of any above or below ground structures, car parking or site facilities other than driveways and fences.		

B7 Front Boundary Setback

1	Minimum front setback: 6.5m	Minimum 6.5m front setback is provided to the post of the front entry porch.	Complies
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B9 Rear Boundary Setback

1	Minimum rear setback: 6m	The proposed minimum rear setback measures 12.1m to the rear pergola. Greater rear setback (>17m) is provided to the dwelling.	Complies
2	The rear setback area is to be landscaped and free of any above or below ground structures.	The majority of the rear setback area is landscaped and not impacted by this proposal.	Complies

PART C – Siting Factors
C3 Parking Facilities

	Parking rate: 2 spaces per dwelling, except for land known as Belrose Corridor (see Part G4) which has a maximum of 2 car spaces.	The proposal accommodates one parking space within the existing garage and one on driveway.	Complies
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PART D – Design
D1 Landscaped Open Space and Bushland Setting

1	Minimum landscaped open space: 40%	The site provides 331.4sqm (48.14%) of landscaped area and complies with the control.	Complies
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D2 Private Open Space

Control		Comment	Compliance
2	Minimum POS requirement for dwellings with 3 or more bedrooms: A total of 60m ² with minimum dimensions of 5 metres	The existing rear deck and the rear entertaining area are identified as the private open space of the dwelling. In particular, the rear entertaining area has a minimum dimension of 5m in one direction.	Complies
3	Private open space is to be directly accessible from a living area of a dwelling and be capable of serving as an extension of the dwelling for relaxation, dining, entertainment, recreation and children's play.	The rear decks and entertaining area are directly accessible from the internal living areas (rumpus room or living/dining room).	Complies
4	Private open space is to be located and designed to ensure privacy of the occupants of adjacent buildings and occupants of the proposed development.	1.8m boundary fence is installed to block any direct sightlines between properties.	Complies
5	Private open space shall not be located in the primary front building setback.	No POS is located within the front setback area.	Complies
6	Private open space is to be located to maximise solar access.	The POS are all oriented towards northwest to maximise solar access all year round.	Complies

D6 Access to Sunlight

2	At least 50% of the required area of private open space of each dwelling and at least 50% of the required area of private open space of adjoining dwellings are to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21.	The site is of east-west orientation. As per the submitted shadow diagrams, POS and internal living area of the site and the adjoining property (8 Wedgewood Crescent) are able to receive minimum 3 hours of direct solar access on winter solstice from 12pm onwards. No further concern is raised.	Complies
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D7 Views

1	Development shall provide for the reasonable sharing of views.	The subject site adjoins a public reserve to the rear. When viewed from the street frontage, the proposal is only single storey in height and will not block any existing significant views to the reserve or sky.	Satisfactory
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Control	Comment		Compliance
D8 Privacy			
D9 Building Bulk			
3	<p>On sloping land, the height and bulk of development (particularly on the downhill side) is to be minimised, and the need for cut and fill reduced by designs which minimise the building footprint and allow the building mass to step down the slope. In particular:</p> <ul style="list-style-type: none">• The amount of fill is not to exceed one metre in depth.• Fill is not to spread beyond the footprint of the building.• Excavation of the landform is to be minimised.	<p>Minimal cut is required to accommodate the lower ground extension. The proposed design has responded to the site topography and constraints, and has complied with the WLEP building height control. The dwelling remains 2 storeys in height with minimal adverse built form and amenity impacts to the surrounding properties. The proposed building does not present any unacceptable visual bulk as it appears as a single storey dwelling when viewed from the street.</p>	Satisfactory

D13 Front Fences and Front Walls

1	Fences, including side fences, located within the street setback area are to be compatible with the existing streetscape character.	Front fencing does not form part of this application. Any side boundary fence will be reconstructed under the provisions of Codes SEPP, if required.	N/A
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PART E – The Natural Environment**E7 Development on land adjoining public open space**

1	Development on land adjoining public open space is to complement the landscape character and public use and enjoyment of the adjoining parks, bushland reserves and other public open spaces.	The site has maintained sufficient setback from the public open space. The generous rear setback has allowed a smooth transition from the green open space towards the site's private domain. No vegetation removal is proposed within the rear setback. The proposal will not significantly alter the existing landform and has been designed in response to the topographical constraints. The proposal will not impede any members of the public from access and enjoying the public open space.	Satisfactory
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Control		Comment	Compliance
3	Buildings are to be located to provide an outlook to public open space, without appearing to privatise that space.	The proposed alterations and additions are kept within the subject site and does not encroach into any public space.	Satisfactory
4	Development is to provide a visual transition between open space, bushland reserves or other public spaces and buildings, including avoiding abutting public open space with back fences.	Minimum 12.1m rear setback is provided to allow for the visual transition from the public open space to the private domain.	Satisfactory
5	Development is to protect views to and from public open space.	As the site is located on the downside of a slope, the proposal will not unreasonably block any views to and from the public open space.	Satisfactory

E8 Waterways and Riparian Lands

1	The applicant shall submit a Waterway Impact Statement.	WDCP online mapping identified rear of the site is located within Water and Riparian Land. The proposal has been designed to stay clear of the mapped area. Considering the minor and modest scale of the proposed house alterations and additions, the proposal will not create any adverse impact to the values of the waterway or land with biodiversity values. No further concern is raised in this regard.	Noted
2	Developments shall comply with the requirements of Council's Protection of Waterway and Riparian Land Policy and Water Management Policy.		
4	The Asset Protection Zone must not extend into land identified as Waterways and Riparian Land. Refer to NSW Rural Fire Service for site assessment methodology.		

E10 Landslip Risk

	For land identified as being in Area B or Area D: A preliminary assessment of site conditions prepared in accordance with the Checklist for Council's assessment of site conditions (see Notes) must be carried out for development. The preliminary assessment must be prepared by a suitably qualified geotechnical engineer/engineering geologist and must be submitted with the development application.	The site is mapped as Area B <i>Flanking slopes from 5 to 25 degrees</i> . A geotechnical report will be submitted to accompany the application.	Noted.
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4.2 Impacts of the Development

As noted in the above assessment against the provisions of the relevant Environmental Planning Instruments and Development Control Plan, the development is of a reasonable scale and nature, and does not present unreasonable environmental, social, and economic impacts.

4.2.1 Natural and Built Environment Impacts

The development does not impact upon native vegetation, soil conditions, foreshore environment or air quality. The proposed built form allows the neighbouring sites to retain their access to privacy, solar access, pleasant outlook, and overall residential amenity. No significant adverse built form or amenity impacts are created by the proposed design. In fact, the proposal will positively contribute to the streetscape by upgrading the dwelling's appearance through the use of hipped roof with gable.

Despite rear of the site is identified as waterways and riparian lands, the proposed additions will not encroach into the riparian zone and will have no adverse biodiversity impact.

4.2.2 Social and Economic Impacts

The development increases the amenity of the property with the proposed house alterations and additions. The development will thus also upgrade the presentation of the site to the street and improve aesthetic quality of the streetscape.

The short-term economic impacts are positive, with the generation of employment opportunity through the physical construction stages. The use of high-quality materials will ensure a durable final built outcome, reducing the need to rebuild in the near future, resulting in a positive long term financial and sustainability outcome. The proposal does not engender any negative social or economic outputs.

4.3 Suitability of the Site

The subject site is considered suitable in size and shape to accommodate the proposed alterations and additions to dwelling house. The proposal does not introduce any incompatible uses to the site. The works are permissible under the R2 Low Density Residential zone.

4.3.1 Access to Services

The site is located within an established residential area with excellent access to services and public transport. As the site is within an established urban area, electricity, sewer, telephone, and water services are readily available to the subject site.

4.3.2 Parking and Access

The on-site parking provided complies with the parking requirements as prescribed by Warringah Development Control Plan 2011. It provides a logical and considered approach to the provision of off-street car parking.

4.3.3 Hazards

The site is in an area recognised by Council as being subject to landslip and bushfire. The proposed development is not likely to increase the likelihood of such hazards occurring and is considered appropriate in this instance. Bushfire Report and Geotechnical Report will be submitted to accompany the development application.

4.4 The Public Interest

The proposal is considered to be in the public interest as it provides a more visually appealing dwelling and positively contributes to the streetscape. The proposal generally complies with most planning controls, and will not result in any adverse built form or amenity impacts to the surrounding properties.

The proposed development has been designed to relate to the size, shape and context of the site and has been designed in accordance with the desired future character for development in the area.

5.0 CONCLUSION

The Statement of Environmental Effects (SEE) has been prepared to consider the environmental, social, and economic impacts of the proposed alterations and additions to dwelling house at 6 Wedgewood Crescent, Beacon Hill. The report has addressed the applicable policies and plans, and has provided an environmental assessment in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

The application proposes a permissible development within the subject site locality. The proposal incorporates appropriate design considerations to minimise any adverse impacts on the natural and built environment, and the amenity of the surrounding neighbourhood.

Given the benefits of the development and compliance with the relevant policies and plans, we conclude that the proposed development at 6 Wedgewood Crescent, Beacon Hill as described in this application is reasonable and supportable, and worthy of approval by Northern Beaches Council.