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NOTE

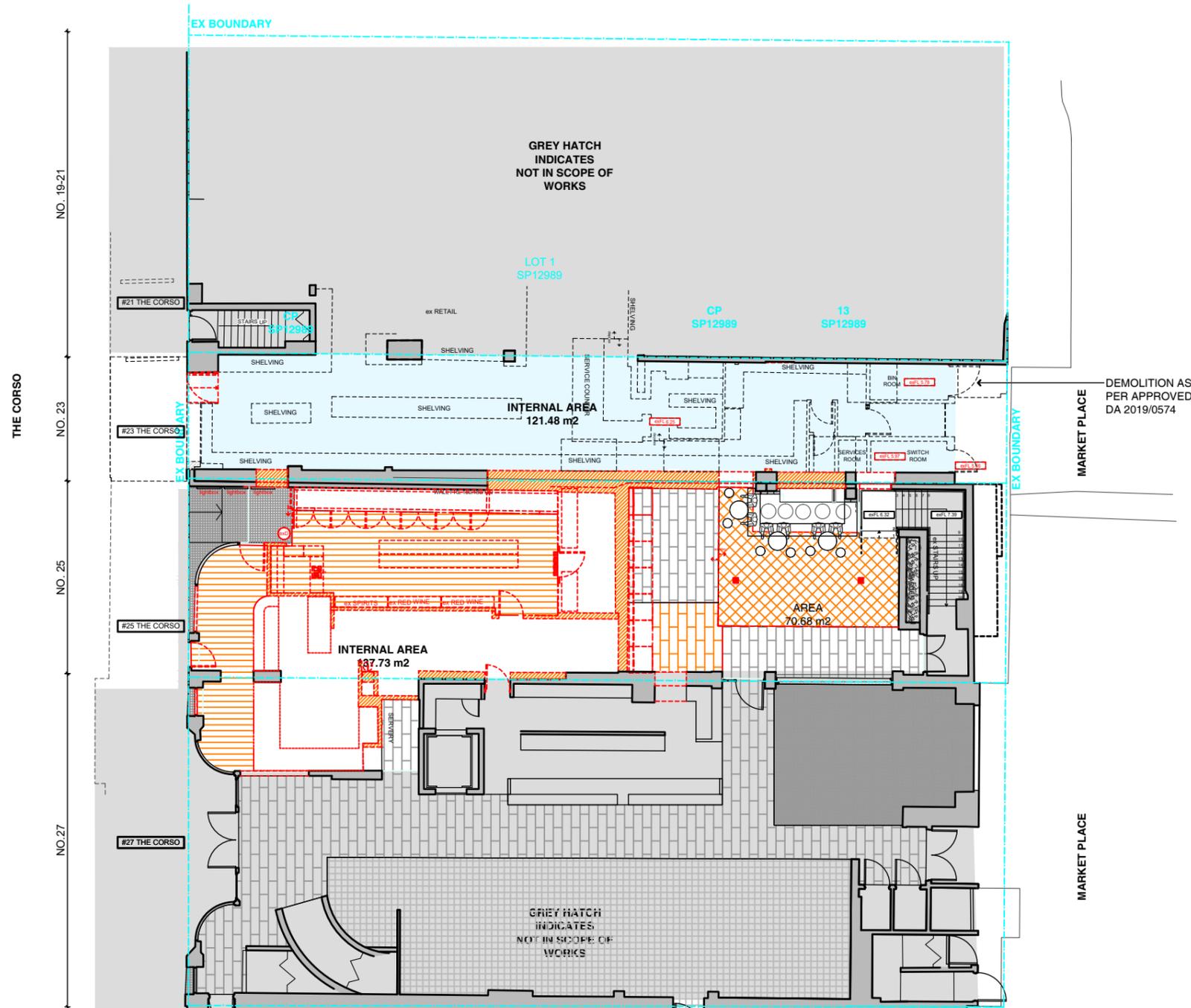
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Legend

- PROPOSED CHANGE OF USE AS PER DA2019/0574
- EXISTING HOTEL GAMING

Demolition Legend

- EXISTING WALLS TO BE RETAINED
- EXISTING TO BE DEMOLISHED



Rev	Date	Description	Checked
P5	19.08.22	ISSUE TO PLANNER	PK
P4	18.02.22	ISSUE TO CLIENT	PK
P3	09.02.22	PRELIMINARY ISSUE TO CLIENT	PK
P2	13.01.22	PRELIMINARY ISSUE TO CLIENT	PK
P1	14.12.21	PRELIMINARY ISSUE TO CLIENT	PK

IVANHOE HOTEL

19-27 The Corso, Manly NSW 2095



Ground Floor Existing and Demolition Plan

Status	DA APPLICATION
Scale	1:200@A3
Drawn	MC
Project No.	691

Drawing No.	DA	GD	1	00A	P5
Discipline Code	Level	Type	No.	Revision	

503 / 50 Holt Street
Surry Hills NSW 2010
phone: 02 9660 8299
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DEVELOPMENT APPLICATION

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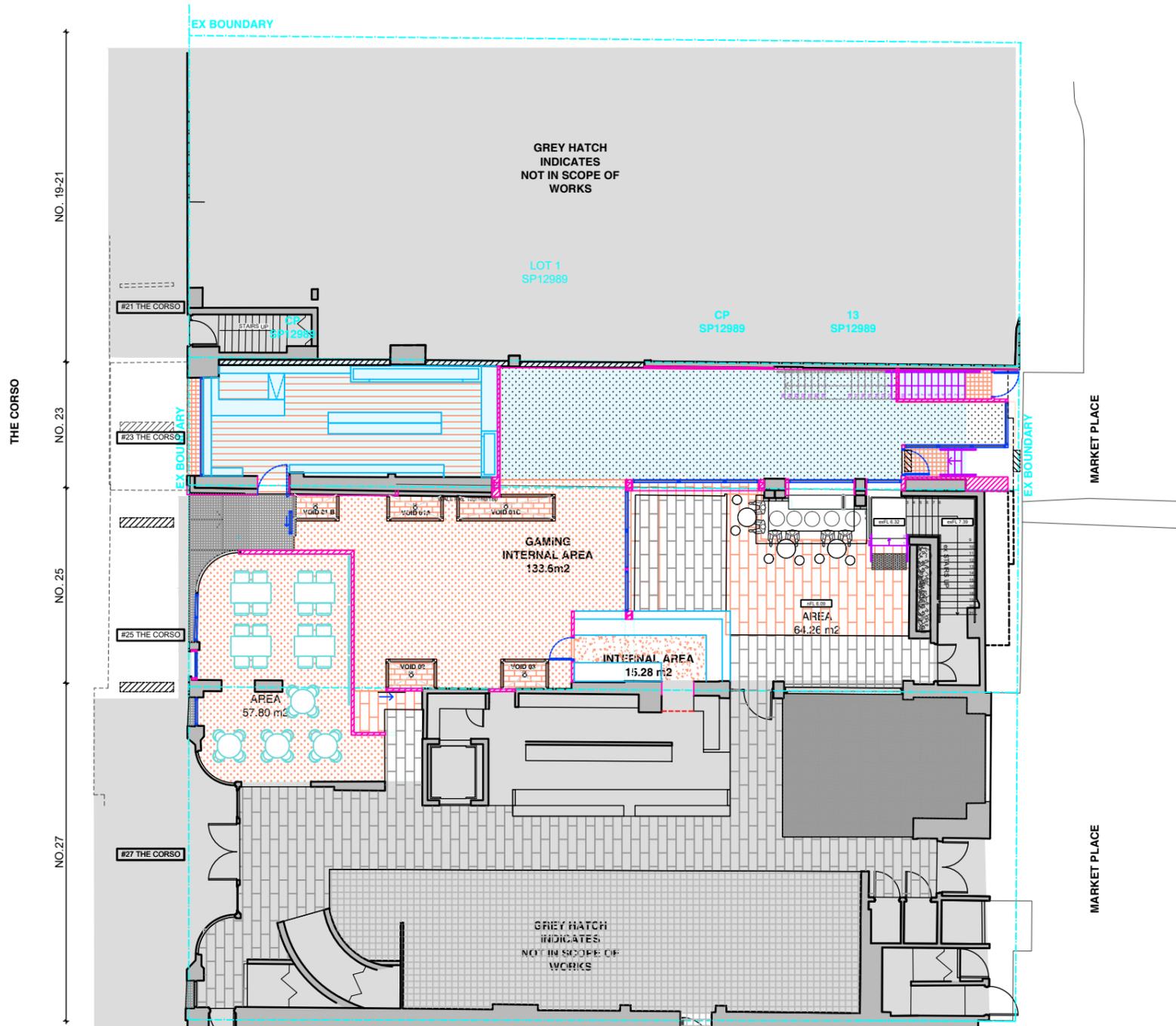
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Legend

- PROPOSED CHANGE OF USE AS PER DA2019/0574
- EXISTING HOTEL GAMING

Legend: New Works:

- EXISTING WALLS TO BE RETAINED
- NEW WALLS AND COLUMNS
- NEW WINDOWS & DOORS
- NEW FLOOR FINISH
- NEW LOUVRES
- NEW JOINERY
- NEW STAIRS AND RAMP
- NEW FURNITURE



Rev	Date	Description	Checked
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P1	14.12.21	PRELIMINARY ISSUE TO CLIENT	PK

IVANHOE HOTEL

19-27 The Corso, Manly NSW 2095



**Ground Floor
Proposed Plan**

Status	DA APPLICATION
Scale	1:200@A3
Drawn	MC
Project No.	691

Drawing No.	DA	GD	1	00B	P5
Discipline Code	Level	Type	No.	Revision	

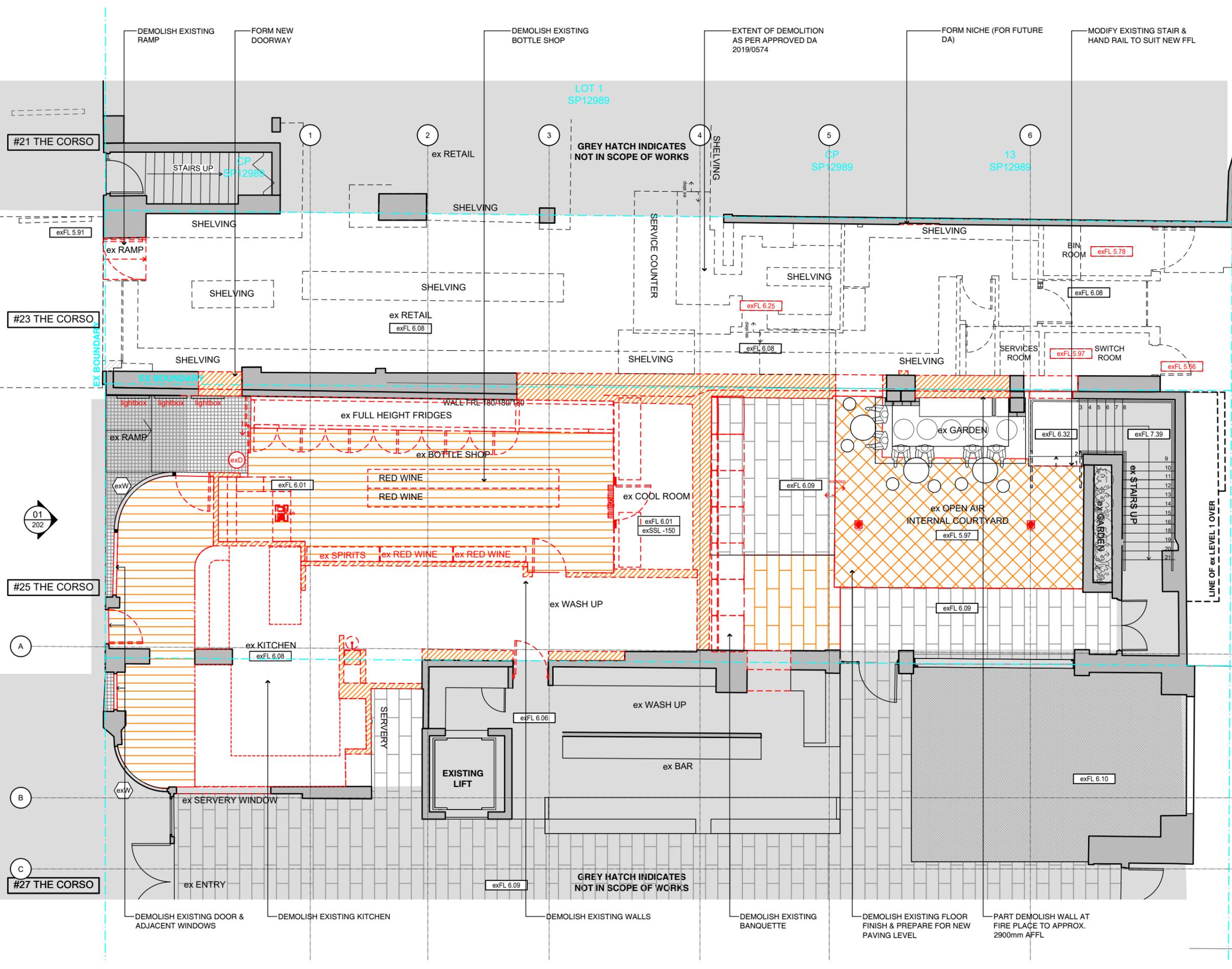
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Demolition Legend

- EXISTING WALLS TO BE RETAINED
- EXISTING TO BE DEMOLISHED

03
204

Rev	Date	Description	Checked
P5	19.08.22	ISSUE TO PLANNER	PK
P4	18.02.22	PRELIMINARY ISSUE TO CLIENT	PK
P3	09.02.22	PRELIMINARY ISSUE TO CLIENT	PK
P2	13.01.22	PRELIMINARY ISSUE TO CLIENT	PK
P1	14.12.21	PRELIMINARY ISSUE TO CLIENT	PK

IVANHOE HOTEL
 19-27 The Corso, Manly NSW 2095

Ground Floor Existing and Demolition Plan

Status: DA APPLICATION
 Scale: 1:100@A3
 Drawn: MC
 Project No.: 691

Drawing No.: **DA GD 1 01 P5**

Discipline Code	Level	Type	No.	Revision

503 / 50 Holt Street
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DEVELOPMENT APPLICATION

NEW AWNING & SIGNAGE AS PER APPROVED DA 2019/0574

NEW AUTOMATIC DOOR BUTTONS TO ACTIVATE AUTOMATIC DOORS TO BE PROVIDED ON EITHER SIDE AND LOCATED ABOVE A LEVEL SURFACE AND COMPLY WITH CL. 13.5.3 (e) AND 13.5.4 OF AS 1428.1-2009. BRAILLE AND TACTILE SIGNAGE SHALL BE PROVIDED ADJACENT TO EACH DOOR OPENING TO SPECIFY 'PUSH TO OPEN DOOR' AND INCORPORATE THE INTERNATIONAL SYMBOL OF ACCESS. THE REQUIREMENTS OF BCA SPECIFICATION D3.6 SHALL BE FOLLOWED.

NEW BOTTLE SHOP

NEW GAMING AREA

FIRE RATED INFILL COMMON WALL AS PER APPROVED DA 2019/0574

FORM NICHE (FOR FUTURE DA)

NEW FIRE ISOLATED STAIR

NEW METAL LOUVRES

NEW ILLUMINATED SIGNAGE FOR LEVEL 01 TENANT

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- NEW JOINERY
- NEW STAIRS AND RAMP
- NEW FURNITURE



Rev	Date	Description	Checked
P6	18.10.22	ISSUE TO CLIENT: FILM NOTED	PK
P5	19.08.22	ISSUE TO PLANNER	PK
P4	18.02.22	PRELIMINARY ISSUE TO CLIENT	PK
P3	09.02.22	PRELIMINARY ISSUE TO CLIENT: BCA COORD.	PK
P2	13.01.22	PRELIMINARY ISSUE TO CLIENT	PK
P1	14.21.12	PRELIMINARY ISSUE TO CLIENT	PK

IVANHOE HOTEL

19-27 The Corso, Manly NSW 2095

Ground Floor Proposed Plan

Status DA APPLICATION

Scale 1:100@A3

Drawn MC

Project No. 691

Drawing No.

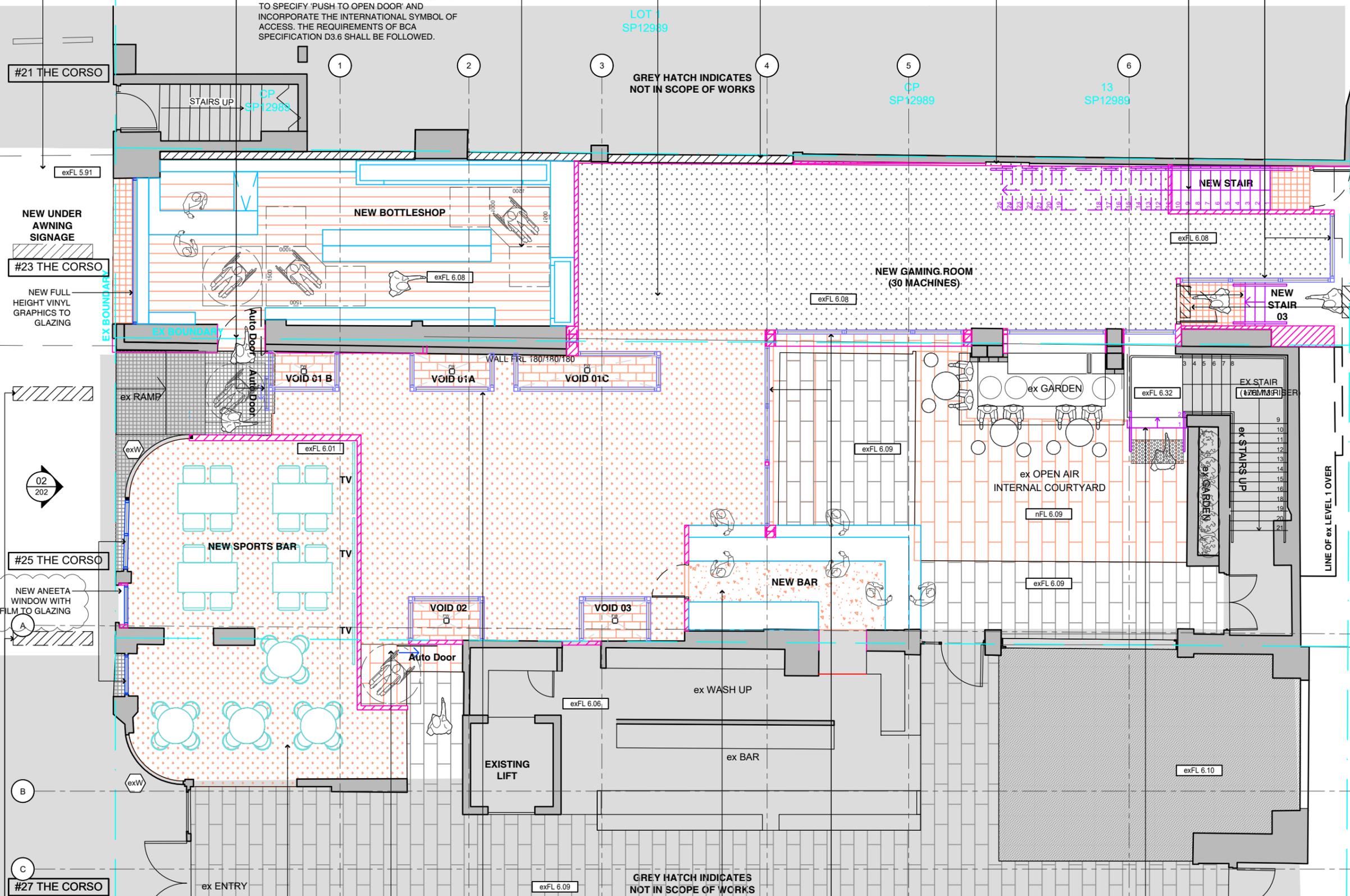
DA GD 1 02 P6

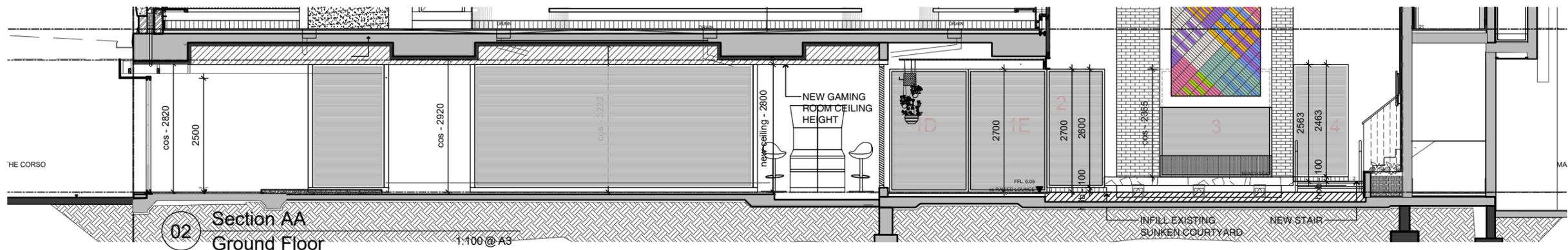
Discipline Level Type No. Revision

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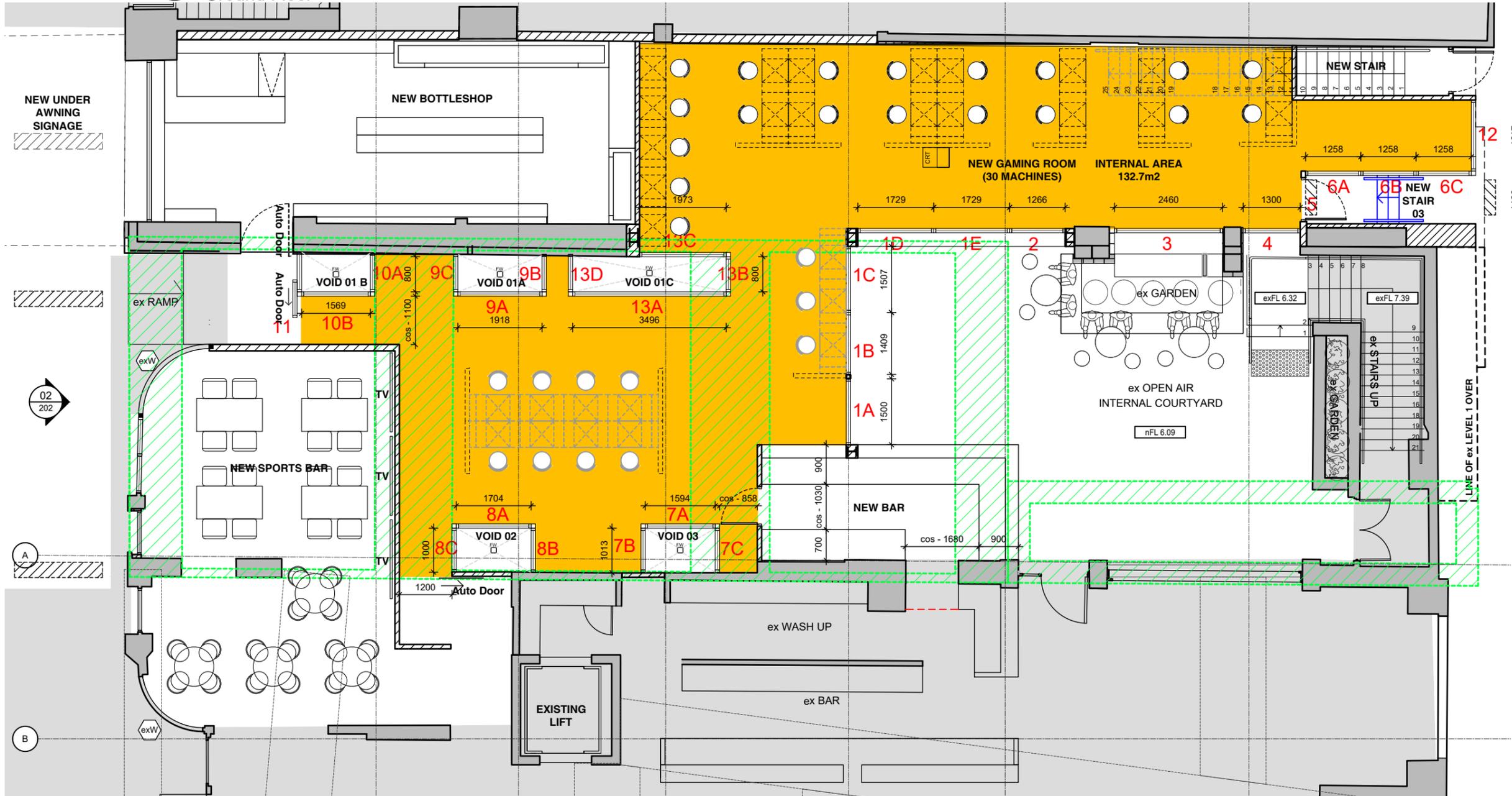
DEVELOPMENT APPLICATION





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P1	14.12.21	PRELIMINARY ISSUE TO CLIENT	PK

IVANHOE HOTEL
 19-27 The Corso, Manly NSW 2095

Ground Floor Smoking Calculations

Status: DA APPLICATION
 Scale: 1:100@A3
 Drawn: MC
 Project No.: 691

Drawing No. **DA GD 1 10 P5**
 Discipline Level Type No. Revision

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01 Smoking Calculations
 Ground Floor 1:100 @ A3

Legend:

- EXISTING LEVEL 01 FOOTPRINT OVER
- EXISTING LEVEL 01 BEAMS OVER

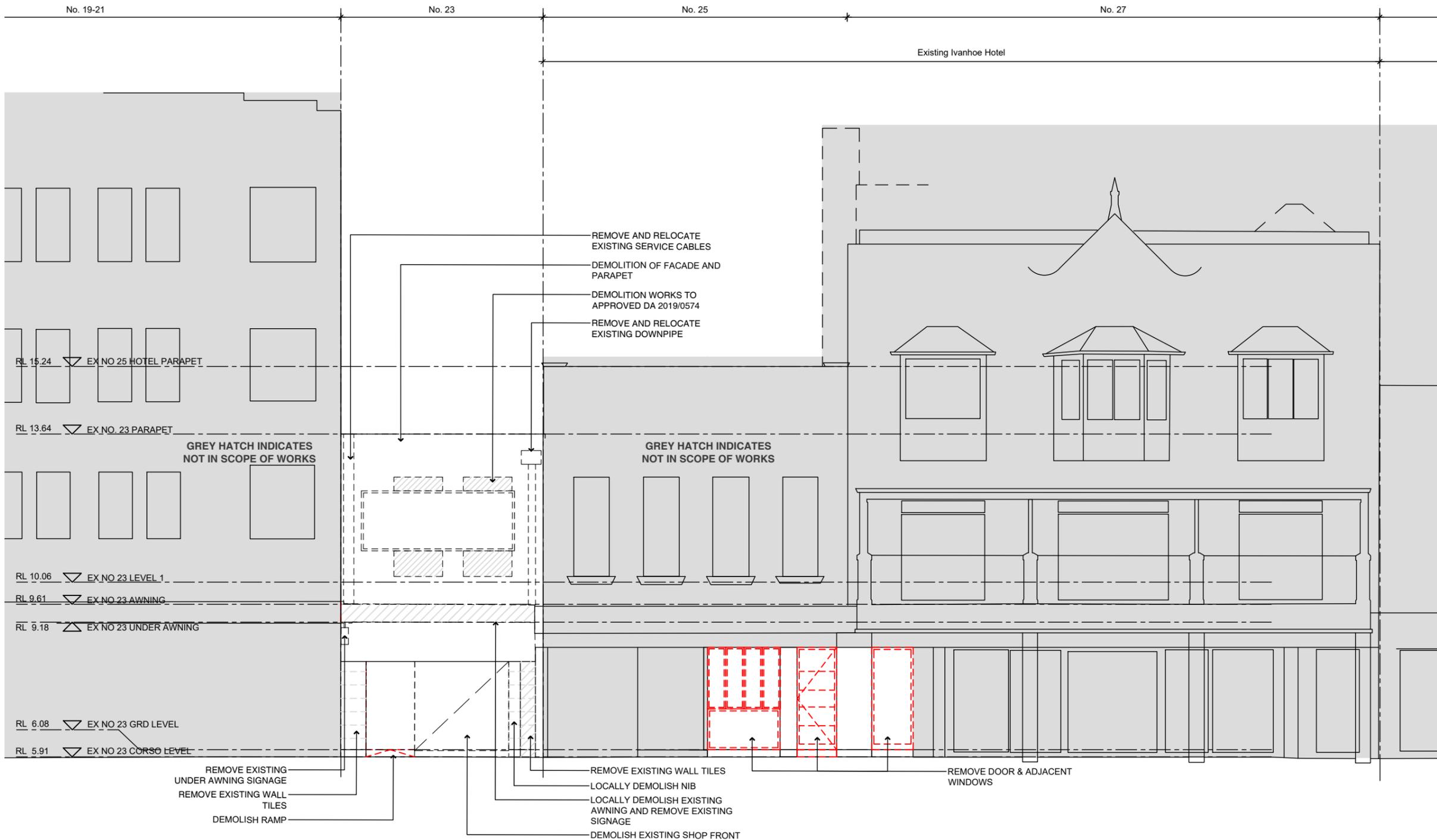
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Demolition Legend

EXISTING WALLS TO BE RETAINED
 EXISTING TO BE DEMOLISHED

Rev	Date	Description	Checked
P4	19.08.22	ISSUE TO PLANNER	PK
P3	18.01.22	ISSUE TO CLIENT	PK
P2	13.01.22	PRELIMINARY ISSUE TO CLIENT	PK
P1	14.12.21	PRELIMINARY ISSUE TO CLIENT	PK

IVANHOE HOTEL

19-27 The Corso, Manly NSW 2095

Corso Elevation Existing

Status	DA APPLICATION
Scale	1:100@A3
Drawn	MC
Project No.	691

Discipline Code	Level	Type	No.	Revision
DA	GD	2	01	P4

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01 Corso Elevation Existing 1:100 @ A3

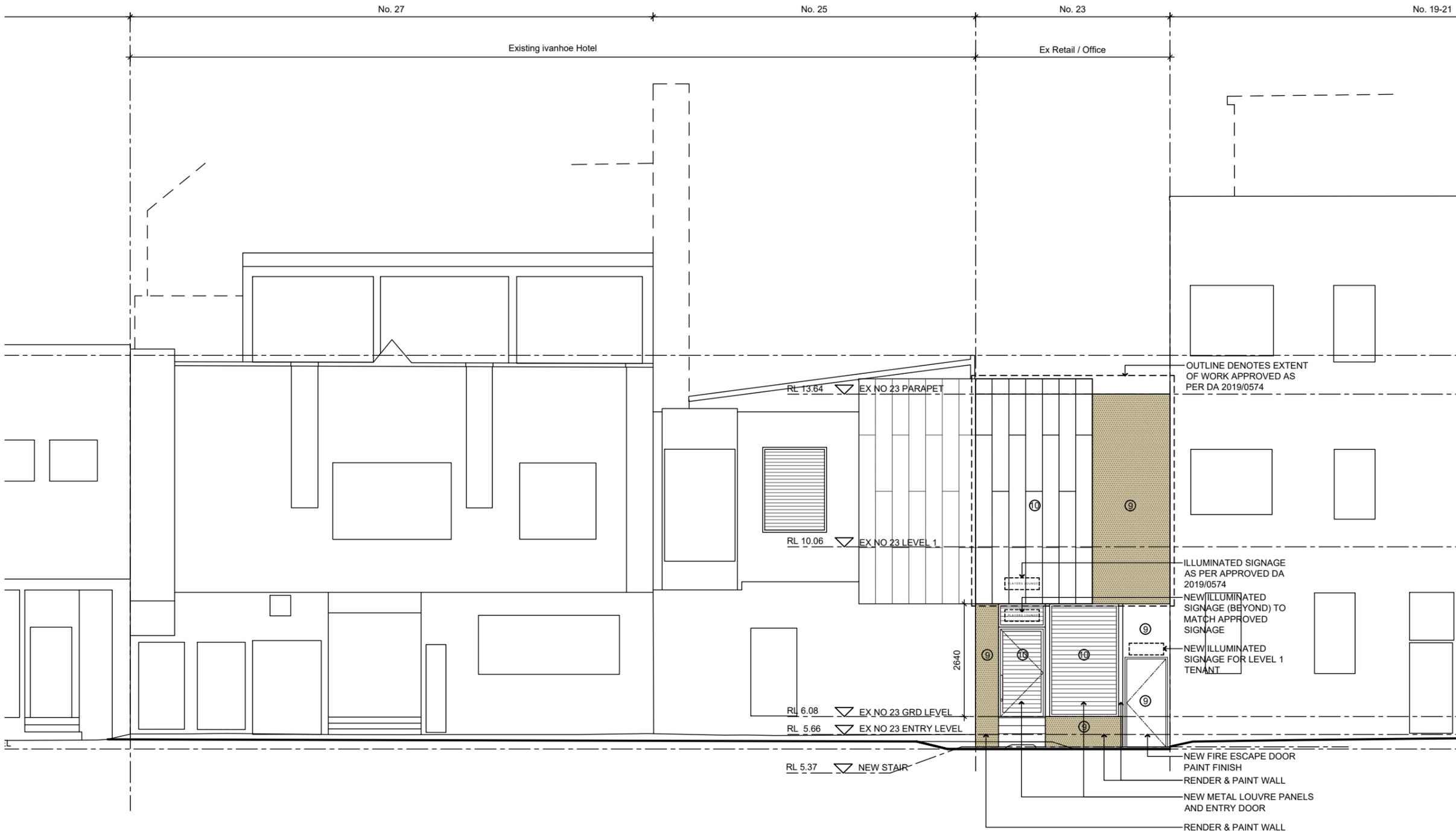
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P3	18.02.22	ISSUE TO CLIENT	PK
P2	09.02.22	PRELIMINARY ISSUE TO CLIENT	PK
P1	14.12.21	PRELIMINARY ISSUE TO CLIENT	PK

IVANHOE HOTEL

19-27 The Corso, Manly NSW 2095

Market Lane Elevation Proposed

Status DA APPLICATION

Scale 1:100@A3

Drawn MC

Project No. 691

Drawing No.

DA GD 2 04 P4

Discipline Level Type No. Revision

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PAINT - LEGEND	
1	HAYMES PAINT - MISTLETOE
2	HAYMES PAINT - ATHENS GREY
3	HAYMES PAINT - DARK ADMIRALTY GREY
4	HAYMES PAINT - SUBTLE LIGHT
5	DULUX - ROSETTA
6	DULUX - VIVID WHITE
7	WHITE MARBLE (CARRARA)
8	DULUX - BLACK
9	DULUX - CALF SKIN
10	METAL CLADDING COLOUR: GRAPHITE GREY

02 Market Place Proposed 1:100 @ A3

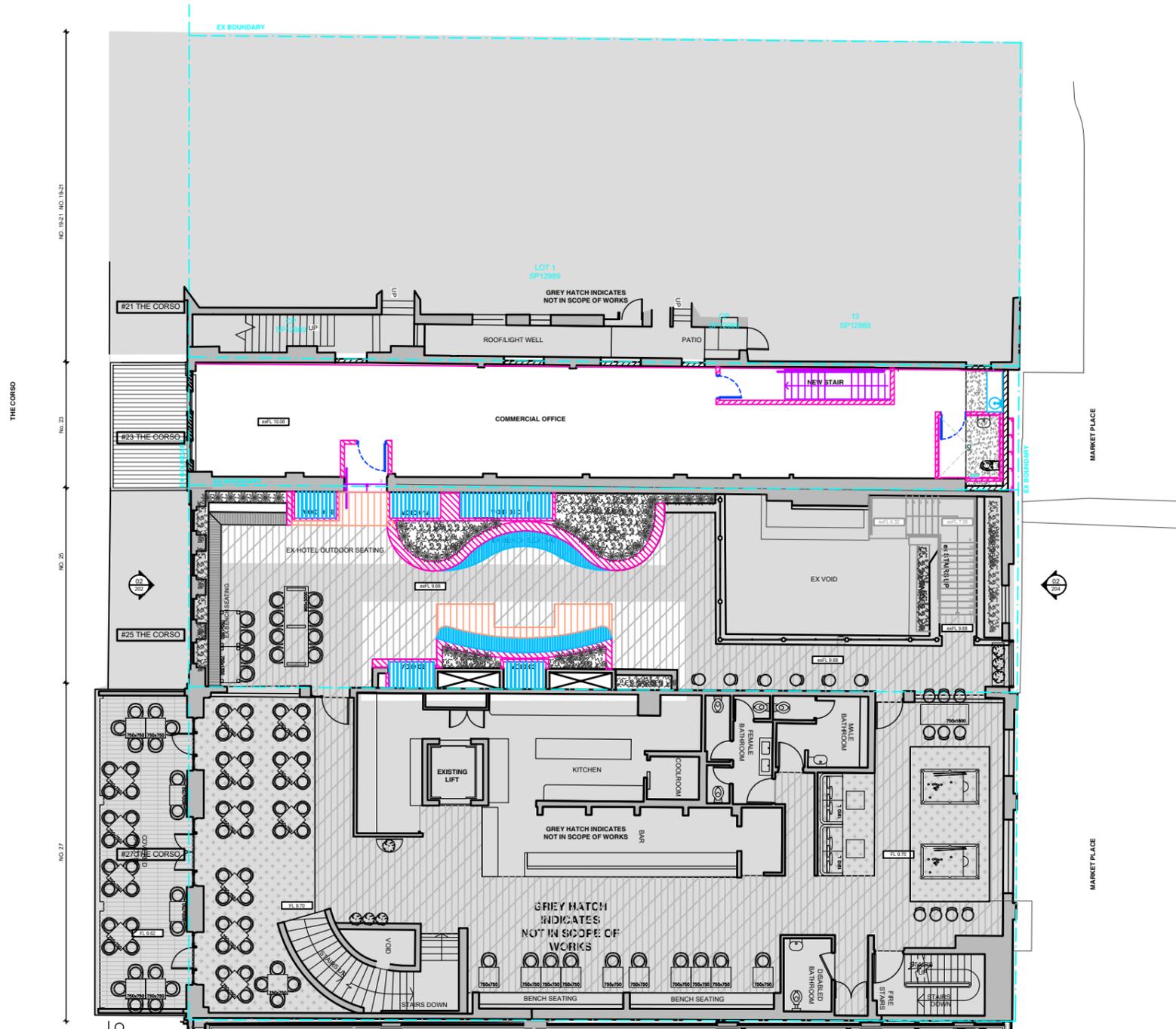
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Legend: New Works:

- EXISTING WALLS TO BE RETAINED
- NEW WALLS AND COLUMNS
- NEW WINDOWS & DOORS
- NEW FLOOR FINISH
- NEW LOUVRES
- NEW JOINERY
- NEW STAIRS AND RAMP
- NEW FURNITURE
- NEW ROOF

Rev	Date	Description	Checked
P4	19.08.22	ISSUE TO PLANNER	PK
P3	18.02.22	ISSUED FOR INFORMATION	PK
P2	09.02.22	ISSUED FOR INFORMATION	PK
P1	31.01.22	ISSUED FOR INFORMATION	PK

IVANHOE HOTEL

19-27 The Corso, Manly NSW 2095



**Level 1
Proposed Plan
Context Plan**

Status	DA APPLICATION
Scale	1:200@A3
Drawn	MC
Project No.	691

Discipline Code	Level	Type	No.	Revision
DA	L1	1	00B	P4

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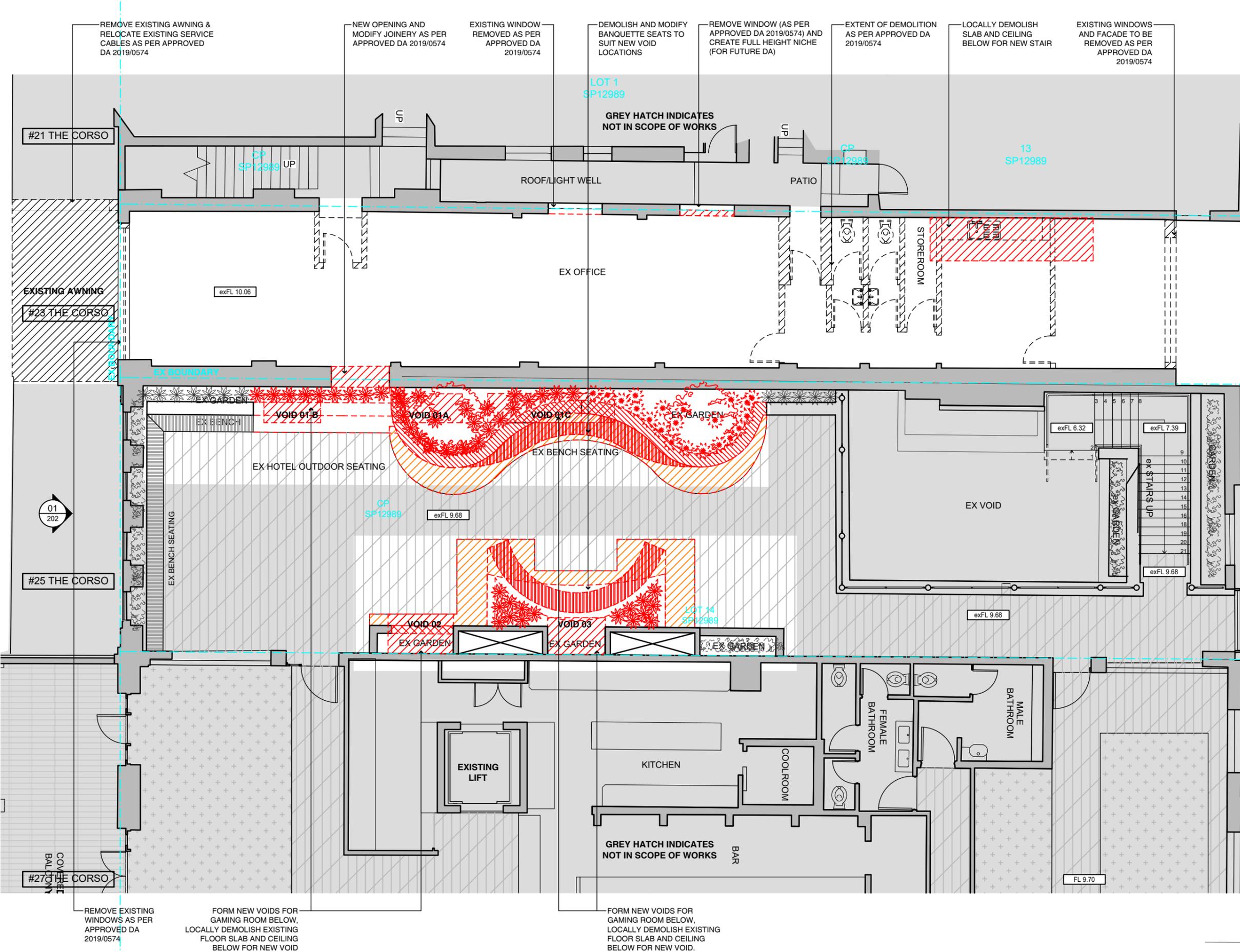
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Demolition Legend

- EXISTING WALLS TO BE RETAINED
- EXISTING TO BE DEMOLISHED

Rev	Date	Description	Checked
P5	19.08.22	ISSUE TO PLANNER	PK
P4	18.02.22	ISSUE TO CLIENT	PK
P3	09.02.22	PRELIMINARY ISSUE TO CLIENT	PK
P2	13.01.22	PRELIMINARY ISSUE TO CLIENT	PK
P1	14.12.21	PRELIMINARY ISSUE TO CLIENT	PK

IVANHOE HOTEL
19-27 The Corso, Manly NSW 2095

**Level 01
Existing and Demolition Plan**

Status: DA APPLICATION
Scale: 1:100@A3
Drawn: MC
Project No.: 691

Drawing No.: **DA L1 1 01 P5**
Discipline Code: Level Type No. Revision

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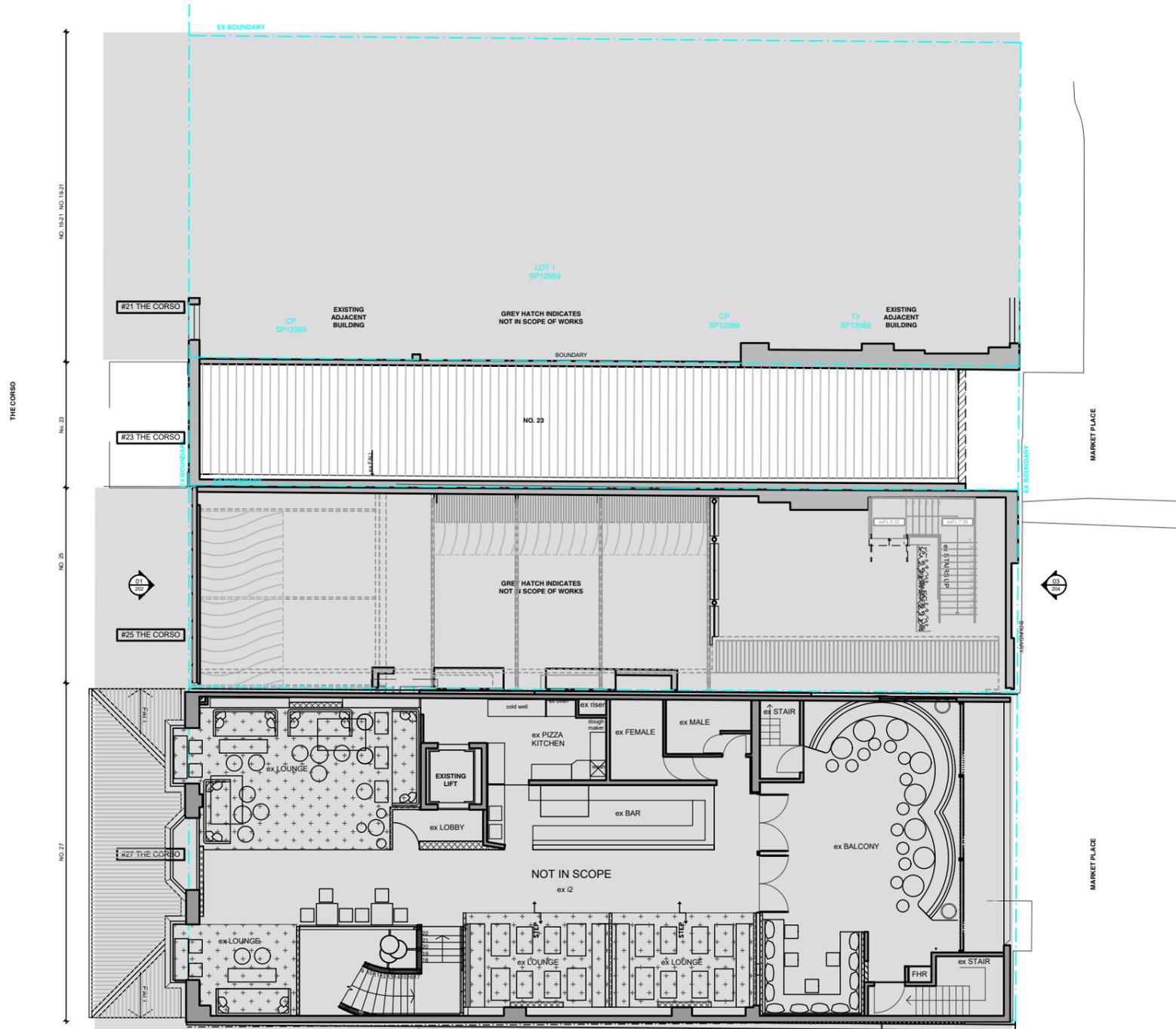
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Rev	Date	Description	Checked
P5	19.08.22	ISSUE TO PLANNER	PK
P4	25.02.22	ISSUE TO CLIENT	PK
P3	18.02.22	ISSUE TO CLIENT	PK
P2	09.02.22	PRELIMINARY ISSUE TO CLIENT	PK
P1	31.01.22	ISSUED FOR INFORMATION	PK

IVANHOE HOTEL

19-27 The Corso, Manly NSW 2095



**Level 2
Existing Context Plan**

Status	DA APPLICATION
Scale	1:100@A3
Drawn	MC
Project No.	691

Drawing No.	DA	L2	1 00A	P5
Discipline Code	Level	Type	No.	Revision

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DEVELOPMENT APPLICATION



If you need help lodging your form, contact us		Office use only	
Email	council@northernbeaches.nsw.gov.au	Form ID	2080
Phone	1300 434 434	TRIM Ref	
Customer Service Centres	Manly Town Hall, 1 Belgrave Street Manly NSW 2095	Dee Why Civic Centre, 725 Pittwater Road Dee Why NSW 2099	Last Updated
	Mona Vale 1 Park Street Mona Vale NSW 2103	Avalon 59A Old Barrenjoey Road Avalon Beach NSW 2107	Business Unit
			Development Assessment
		Application No.	

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Purpose of collection:	For Council to provide services to the community
Intended recipients:	Northern Beaches Council staff
Supply:	If you choose not to supply your personal information, it may result in Council being unable to provide the services you seek
Access/Correction:	Please contact Customer Service on 1300 434 434 to access or correct your personal information

Cost Summary Report and Quantity Surveyors Report

The estimated cost of development provided with the application will be used to calculate Development Application fees (where relevant) in accordance with Clause 255 of the Environmental Planning & Assessment Regulation, 2000 and development contribution levies (where relevant) in accordance with Clause 25J of the Environmental Planning & Assessment Regulation, 2000.

Cost Summary Reports and Quantity Surveyors Reports may be the subject of a check by Council at the time a quality check of the whole Development Application is conducted after it is lodged via the NSW Planning Portal. Should Council determine that there is a significant difference between the cost estimate provided in the Cost Summary Report and Council's estimate, the application will not be accepted, and the application will receive a request for additional information to submit a revised Cost Summary Report.

General Notice

This form is required to be submitted with all Development Applications, except where there is no associated works.

The form is to be completed by the following persons based on the estimated cost of works:

- Development with an estimated cost up to \$1,000,000 – Building Industry Professional
- Development with an estimated cost of \$1,000,001 or greater – Quantity Surveyor

Part 1: Applicant Details

Title	<input type="radio"/> Mr <input type="radio"/> Mrs <input type="radio"/> Ms <input type="radio"/> Other:		
First Name			
Last Name			
Company Name			
Address			Postcode
Phone			Mobile
Email			

Part 2: Development Analysis

The following table is to be completed for all applications:

Total floor area proposed (sqm)		Retaining walls (sqm)	
Total parking area proposed (sqm)		Sheds (sqm)	
Pergolas/Decks (sqm)		Pools (sqm)	
Fencing (metres)			

Cost Summary Report or Quantity Surveyors Report

In accordance with the Northern Beaches 7.12 Contributions Plan 2021 and Council's Development Application Requirements, for developments with a cost of works up to and including \$1,000,000, you need to complete Part A and for developments with a cost of works \$1,000,001 or greater you need to complete Part B or provide a Quantity Surveyor's Report.

Part 2A: Development Cost Summary (Development up to and Including \$1,000,000.00)

Description	Genuine Estimate \$	Description	Genuine Estimate \$
Proposed Works	\$	Change of Use	\$
Alterations and Additions	\$	Subdivision	\$
Demolition Works	\$	Services (gas, telephone electricity)	\$
Site Preparation	\$	Other (specify)	\$
Excavation Works	\$		\$
External Works (Landscaping, pools fences walls etc.)	\$		\$
Services (fire, mechanical, hydraulic etc.)	\$		\$
Preliminaries and Margin	\$	Goods and Services Tax	\$
Subtotal	\$	Total Estimated Cost of Works incl GST	\$

Development details		<i>Note: If certain works do not form part of your application, insert "N/A"</i>	
Gross Floor Area - Commercial	\$	Gross Floor Area - Other	\$
Gross Floor Area - Residential	\$	Total Gross Floor Area	\$
Gross Floor Area - Retail	\$	Total Site Area	\$
Gross Floor Area - Car Parking	\$	Total Car Parking Spaces	\$
Total Development Cost	\$	Total Construction Cost	\$
Total GST			\$

I certify that I have:			
<ul style="list-style-type: none"> • Provided the genuine costs of the development proposed by this application. These costs are based on industry recognised process, • Included GST in the calculation of the development costs, • Referred to Section 25J and / or Section 2555 of the Environmental Planning & Assessment Regulation, 2000, • Acknowledge that Council may review the information provided and may see further information or make its own fee determination. 			
Print Name			
Qualification/Builder's Licence No.		Phone number	
Contact Address			
Signature		Date	

Part 2B: Quantity Surveyors Declaration (Development with an estimated cost of \$1,000,001.00 or greater.)

A Quantity Surveyor's report is required for all developments over \$1,000,000 and must be provided at time of lodgement.

Please note the Quantity Surveyor must be a member of the Australian Institute of Quantity Surveyors.

Estimate Details	
Excavation	\$
Cost per square metre of site area	\$/m2
Demolition and Site Preparation	\$
Cost per square metre of site area	\$/m2
Construction – Commercial	\$
Cost per square metre of commercial area	\$/m2
Construction – Residential	\$
Cost per square metre of residential area	\$/m2
Construction – Retail	\$
Cost per square metre of retail area	\$/m2
Car Park	\$
Cost per square metre of site area	\$/m2
Cost per space	\$/m2
Fit-out – Commercial	\$
Cost per m2 of commercial area	\$/m2
Fit-out – Residential	\$
Cost per m2 of residential area	\$/m2
Fit-out – Retail	\$
Cost per m2 of retail area	\$/m2
Professional Fees	\$
% of Development Cost	%
% of Construction Cost	%

GST \$164,442

Total Development Cost (Incl GST) \$1,808,853

I certify that I have:			
<ul style="list-style-type: none"> • Provided the genuine costs of the development proposed by this application. These costs are based on industry recognised process, • Included GST in the calculation of the development costs, • Referred to Section 25J and / or Section 2555 of the Environmental Planning & Assessment Regulation, 2000, • Acknowledge that Council may review the information provided and may see further information or make its own fee determination. 			
Print Name			
Qualification/Builder's Licence No.		Phone number	
Contact Address			
Signature		Date	18-Aug-22

Disclaimer
The information provided on this form will be used by Northern Beaches Council or its agents to process the application. Once collected by Council, the information can be accessed by you in accordance with Council's Access to Information Policy and Privacy Management Plan or in special circumstances, where Commonwealth legislation requires or where you give permission for third party access.

Part 3: Declaration

I certify that I have:			
Inspected the plans, subject of the application for development consent or construction certificate			
Calculated the development costs in accordance with the definition of development costs in Clause 25J of the Environmental Planning and Assessment Regulation 2000 at current prices.			
Included GST in the calculation of Total Development Cost			
Signature of Qualified Person Certifying the Value of Work		Date	18-Aug-22
Print Name			
Qualification/Builder's Licence No.			

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Demolition Legend

-  EXISTING WALLS TO BE RETAINED
-  EXISTING TO BE DEMOLISHED

03
204

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P1	14.12.21	PRELIMINARY ISSUE TO CLIENT	PK

IVANHOE HOTEL

19-27 The Corso, Manly NSW 2095

**Roof
Existing and Demolition Plan**

Status DA APPLICATION

Scale 1:100@A3

Drawn MC

Project No. 691

Drawing No.

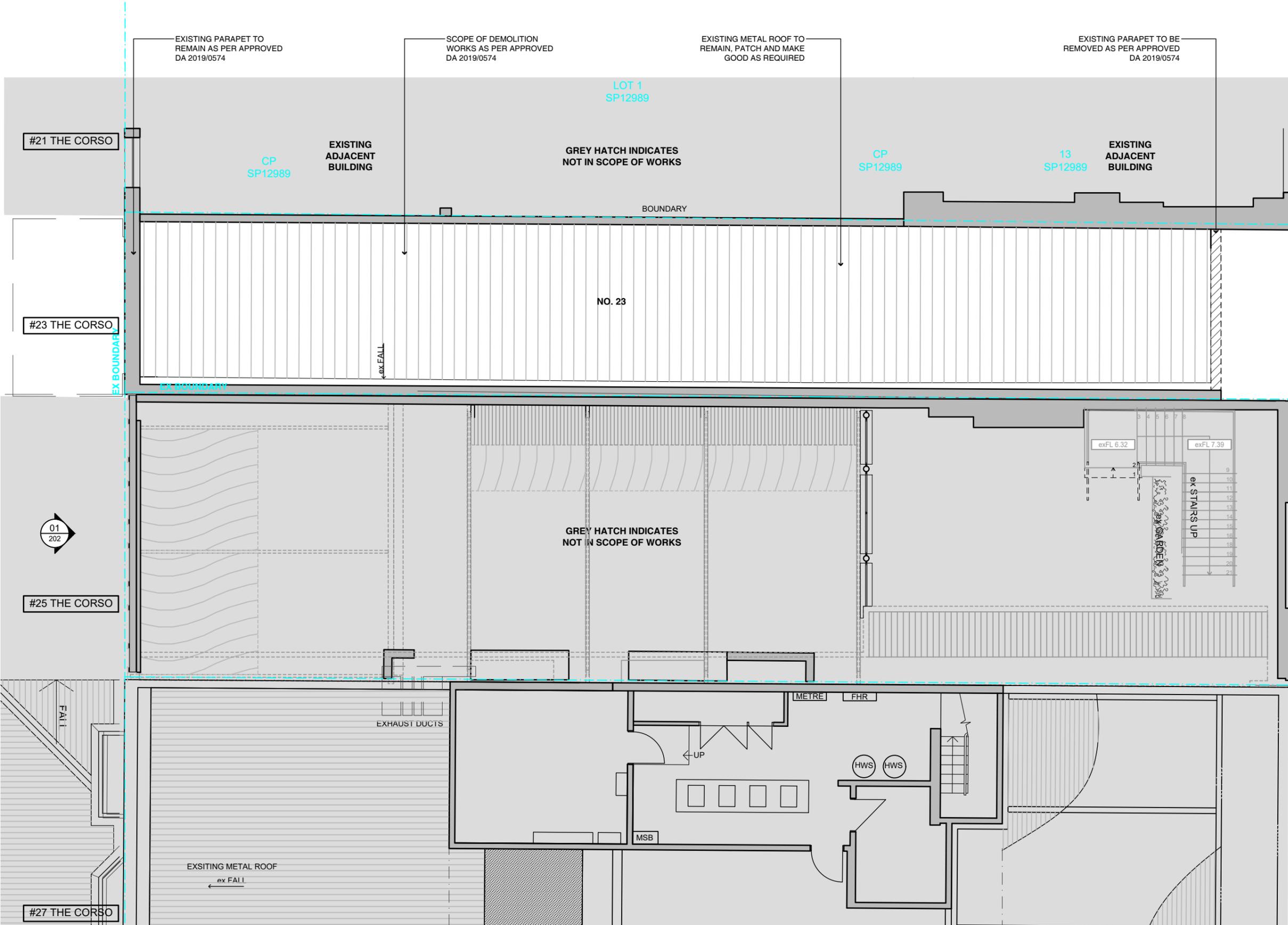
DA RF 1 01 P5

Discipline Level Type No. Revision

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- NEW FURNITURE
- NEW ROOF

02
204

Rev	Date	Description	Checked
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P4	18.02.22	PRELIMINARY ISSUE TO CLIENT	PK
P3	09.02.22	PRELIMINARY ISSUE TO CLIENT	PK
P2	13.01.22	PRELIMINARY ISSUE TO CLIENT	PK
P1	14.12.21	PRELIMINARY ISSUE TO CLIENT	PK

IVANHOE HOTEL
 19-27 The Corso, Manly NSW 2095

Roof Proposed Plan

Status: DA APPLICATION
 Scale: 1:100@A3
 Drawn: MC
 Project No.: 691

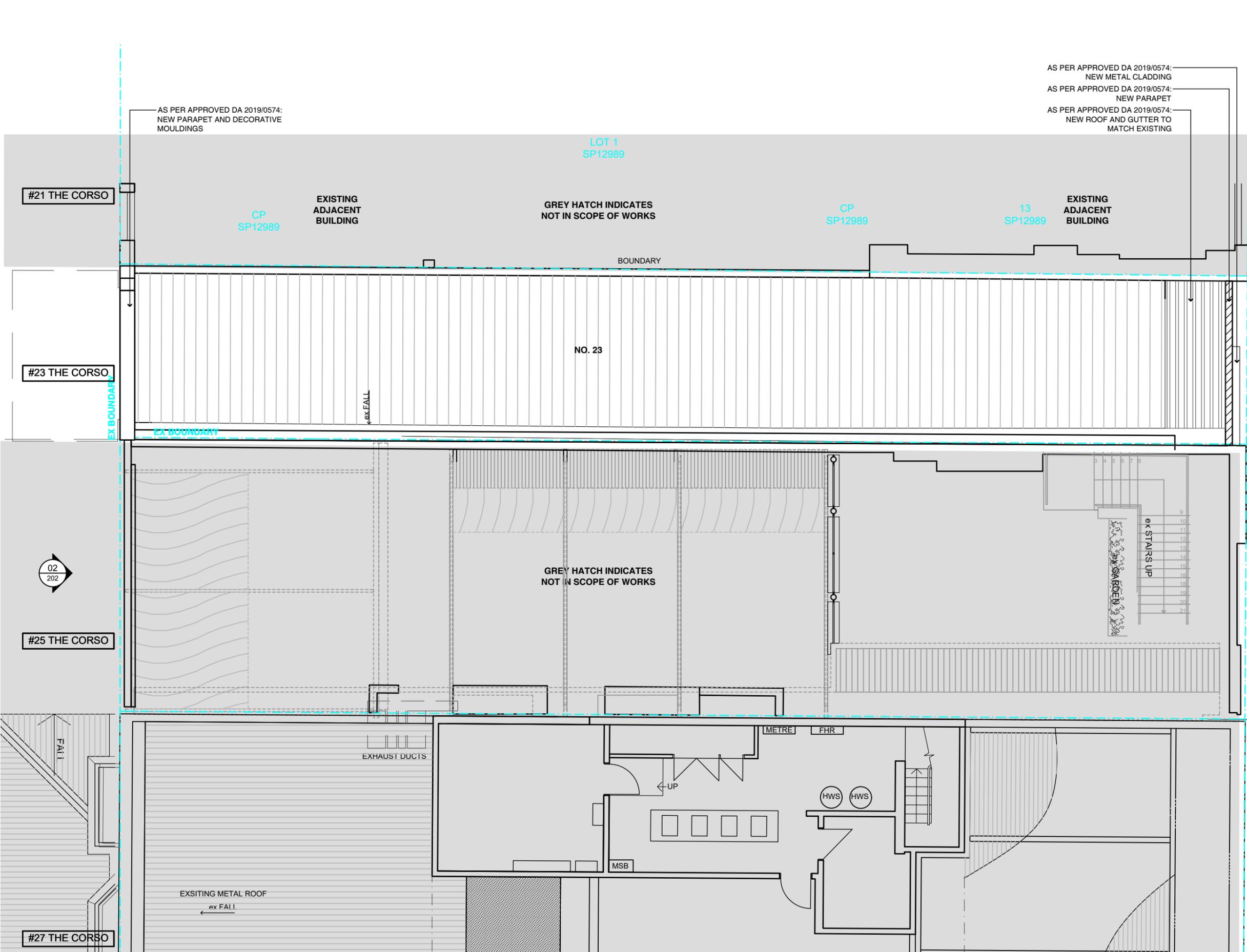
Drawing No. **DA RF 1 02 P5**

Discipline Level Type No. Revision
 Code Code Code

503 / 50 Holt Street
 Surry Hills NSW 2010
 phone: 02 9660 8299
 www.paulkellydesign.com.au



DEVELOPMENT APPLICATION



AS PER APPROVED DA 2019/0574:
 NEW PARAPET AND DECORATIVE
 MOULDINGS

AS PER APPROVED DA 2019/0574:
 NEW METAL CLADDING
 AS PER APPROVED DA 2019/0574:
 NEW PARAPET
 AS PER APPROVED DA 2019/0574:
 NEW ROOF AND GUTTER TO
 MATCH EXISTING

GREY HATCH INDICATES
 NOT IN SCOPE OF WORKS

GREY HATCH INDICATES
 NOT IN SCOPE OF WORKS

EXISTING METAL ROOF
 ← ex FALL



Document Transmittal: SECTION 4.55

Job Number **691**
 Project **The Ivanhoe s4.55**
 From **Paul Kelly Design**

s4.55 Overall Plans
 Issued for Information
 s4.55 #19-21 & #23
 Boundary location
 update
 s4.55 Issue
 Issued to Planner:
 Remove reference of
 s4.55

Date of Issue	14	13	31	09	18	25	19	18		
	12	01	01	02	02	02	08	10		
	21	22	22	22	22	22	22	22		

Distribution		14	13	31	09	18	25	19	18
Iris Capital	Warwick Bowyer	1	1	1	1	1	1	1	1
PKD									
PKD									
PKD									
(Hydraulic)									
AED Group (BCA)	Ben Murrow			1	1				
James Taylor & Associates (Structural)	Richard Yates				1				
GHD (Fire)	Mark Cooney				1				
(Builder)									
Hamptons Property Services (Planner)	Kristy Hodgkinson				1		1	1	

Dwg. No.	Drawing Title	Scale	14	13	31	09	18	25	19	18
PLANS										
COVER PAGE										
DA 0 00	COVER PAGE	NTS	P1	●		P2	P3		P4	
01 SERIES - PLANS										
GROUND FLOOR										
DA GD 1 00A	GROUND FLOOR: EXISTING AND DEMOLITION PLAN CONTEXT PLAN	1:200@A3	P1	P2		P3	P4		P5	
DA GD 1 00B	GROUND FLOOR: PROPOSED PLAN CONTACT PLAN	1:200@A3	P1	P2		P3	P4		P5	
DA GD 1 01	GROUND FLOOR EXISTING AND DEMOLITION PLAN	1:100@A3	P1	P2		P3	P4		P5	
DA GD 1 02	GROUND FLOOR PROPOSED PLAN	1:100@A3	P1	P2		P3	P4		P5	P6
DA GD 1 10	GROUND FLOOR SMOKING CALCULATIONS	1:100@A3	P1	P2		P3	P4		P5	
LEVEL 1										
DA L1 1 00A	LEVEL 1: EXISTING AND DEMOLITION PLAN CONTEXT PLAN	1:200@A3			P1	P2	P3		P4	
DA L1 1 00B	LEVEL 1: PROPOSED PLAN CONTEXT PLAN	1:200@A3			P1	P2	P3		P4	
DA L1 1 01	LEVEL 1: EXISTING AND DEMOLITION PLAN	1:100@A3	P1	P2		P3	P4		P5	
DA L1 1 02	LEVEL 1: PROPOSED PLAN	1:100@A3	P1	P2		P3	P4		P5	
LEVEL 2										
DA L2 1 00A	LEVEL 2: EXISTING CONTEXT PLAN	1:200@A3			P1	P2	P3	P4	P5	
ROOF										
DA RF 1 01	ROOF: EXISTING / DEMOLITION PLAN	1:100@A3	P1	P2		P3	P4		P5	
DA RF 1 02	ROOF: PROPOSED PLAN	1:100@A3	P1	P2		P3	P4		P5	
02 SERIES - EXTERNAL ELEVATIONS										
DA GD 2 01	CORSO ELEVATION: EXISTING	1:100@A3	P1	P2		●	P3		P4	
DA GD 2 02	CORSO ELEVATION: PROPOSED	1:100@A3	P1	●		P2	P3		P4	P5
DA GD 2 03	MARKET LANE ELEVATION: EXISTING	1:100@A3	P1	●		●	P2		P3	
DA GD 2 04	MARKET LANE ELEVATION: PROPOSED	1:100@A3	P1	●		P2	P3		P4	
03 SERIES - INTERNAL SECTIONS										
04 SERIES - ENLARGED DETAILS										
GROUND FLOOR										
LEVEL 1										
05 JOINERY										
GROUND FLOOR										
LEVEL 1										
06 SERIES - DOOR AND WINDOW SCHEDULES										
GROUND FLOOR										
LEVEL 1										
07 SERIES - ARCHITECTURAL DETAIL										
GROUND FLOOR										
08 SERIES - RCP DETAILS										
GROUND FLOOR										
LEVEL 1										
09 SERIES - SCHEDULES										
A 9 01	FINISHES SCHEDULE									
A 9 02	FURNITURE SCHEDULE									
A 9 03	FFE SCHEDULE									
A 9 04	LIGHTING SCHEDULE									
10 SERIES - OTHER										