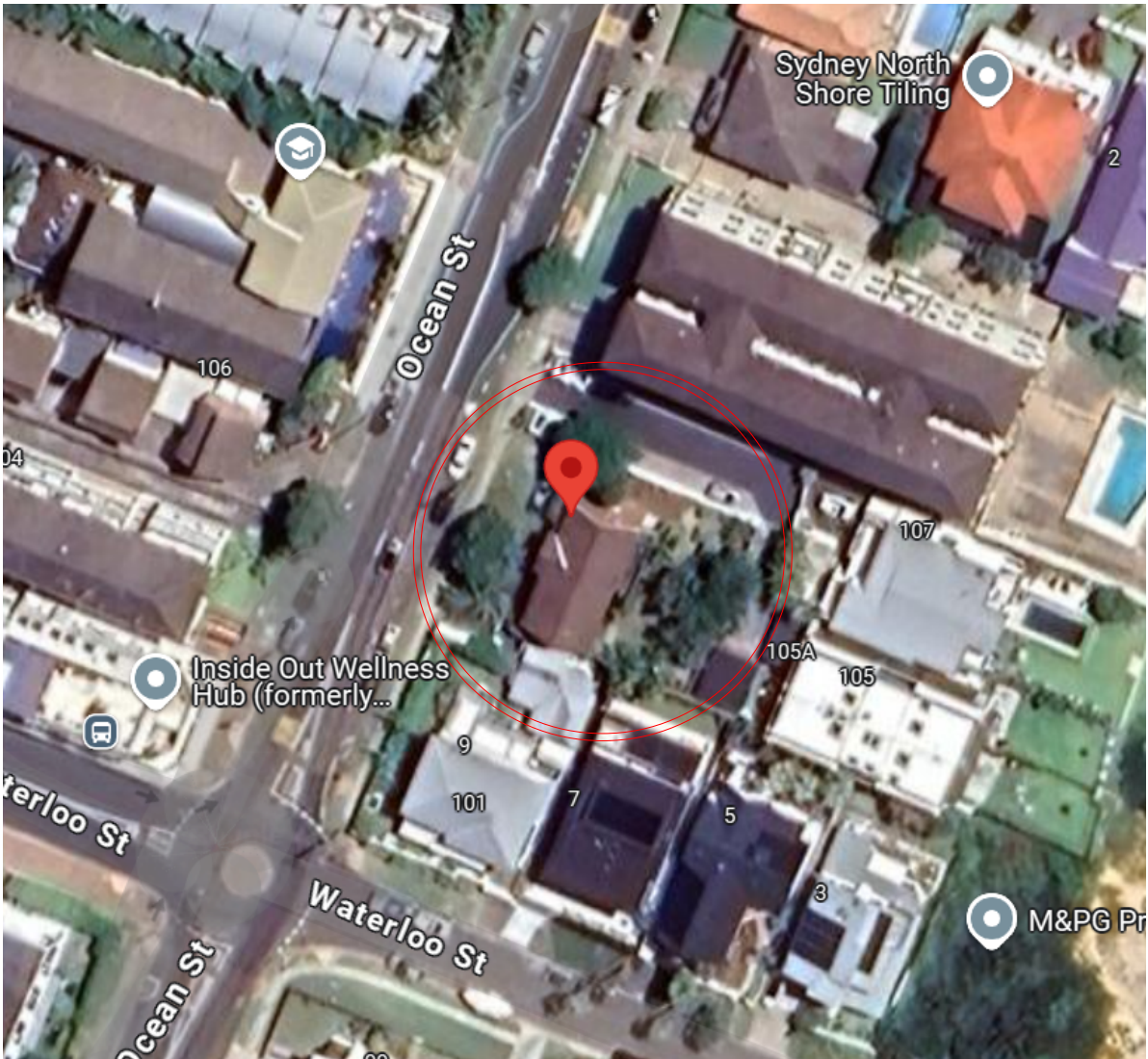




LOCATION PLAN

NTS

Ext. Walls:	Construction	Insulation	Colour		Details
	FC Clad	R2.5 added	Light		As per plans
	Concrete Lined	R2.5 added	Light		As per plans
Int. Walls:	Construction	Insulation	Details		
	Plasterboard on Stud	R2.5 added	To garage		
	Concrete with Plasterboard	None	To stairs/lift		
Floors:	Construction	Insulation	Details		
	Concrete	None	As per plans		
	Concrete	R4.0 added	Above garage		
Ceilings:	Construction	Insulation	Details		
	Plasterboard	R5.0 added	Below metal deck roof		
Roof:	Construction	Insulation	Colour	Details	
	Metal Deck	60mm Anticon (R1.3)	Light	As per plans	
	Concrete	None	Medium	Above garage	
Windows:	Product ID	Glass	Frame	Uw/SHGCw	Details
	Group A	ATB-005-03 B	Double Clear	Aluminium	2.9/0.44
	Group B	ATB-006-03 B	Double Clear	Aluminium	2.9/0.51
	Group B	ALM-004-03 A	Double Clear	Aluminium	4.3/0.53
	Group A	BRD-026-19 A	Single Low E	Aluminium	4.9/0.52
	Group B	ALS-009-21 A	Single Low E	Aluminium	4.9/0.53
	Group B	ALM-002-01 A	Single Clear	Aluminium	6.7/0.70
Skylights:	Product ID	Glass	Type	Uw/SHGCw	Details
	VEL-011-01 W	Double Fixed	Roof Light	2.6/0.24	As per plans
Other:	Orientation	Terrain	Rangehood	Recessed Downlights	Software Version
	70	Open	Ducted	Sealed LED - 1 per 5m²	HERO22
Notes: Add 1 x 1400 mm ceiling fan to Living room, Lounge, Study and all bedrooms All rooflights are operable					

NARRABEEN DUPLEX

LOT 3, DP555153 AND No. 103 Ocean Street, Narrabeen

Drawing No:	Description	Revision	Date
DA-00	COVER SHEET	B	01.07.25
DA-01	SITE ANALYSIS PLAN	B	01.07.25
DA-02	DEMOLITION PLAN	B	01.07.25
DA-03	SITE PLAN	B	01.07.25
DA-04	GROUND FLOOR PLAN	B	01.07.25
DA-05	FIRST FLOOR PLAN	B	01.07.25
DA-06	ROOF PLAN	B	01.07.25
DA-07	NORTH & WEST ELEVATION	B	01.07.25
DA-08	SOUTH & EAST ELEVATION	B	01.07.25
DA-09	DRIVEWAY DESIGN & FRONT FENCE	B	01.07.25
DA-10	SECTIONS A & B	B	01.07.25
DA-11	SECTIONS C & D	B	01.07.25
DA-12	CALCULATION PLAN	B	01.07.25
DA-13	EROSION & SED. CONTROL PLAN	B	01.07.25
DA-14	BASIX REQUIREMENTS	B	01.07.25
DA-15	SHADOW DIAGRAMS JUNE 9am	B	01.07.25
DA-16	SHADOW DIAGRAMS JUNE 12pm	B	01.07.25
DA-17	SHADOW DIAGRAMS JUNE 3pm	B	01.07.25
DA-18	FRONT PERSPECTIVES	B	01.07.25

BCA COMPLIANCE SPECIFICATION

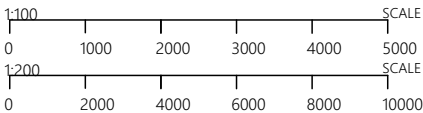
The following BCA and Australian Standard Compliance Specification shall form part of the Complying Development Certificate for this project:

- Design and all building materials comply with Building Code of Australia (NCC) 2022 DTS
- Glazing - All glazing is to be in accordance with AS 1288 (Glass in buildings - Selection and Installation)
- Termite protection is to be in accordance with Part 3.4 of the BCA
- Drainage is to be in accordance with Part 3.3 of the BCA
- Footings and slabs are to be designed and constructed in accordance with Part 4 of the BCA
- All Timber framing is to comply with AS1684
- Roof and wall cladding is to comply with Part 7 of the BCA 2022
- Glazing-All glazing is to be in accordance with AS 1288 (Glass in buildings - Selection and Installation)
- Smoke alarms to comply with BCA 2022 and AS 3786-2014
- Wet areas are to comply with AS3740-2021 and be in accordance with Part 10.2 of the ABCB Housing Provisions
- Areas requiring ventilation, which are not naturally ventilated, are to be provided with mechanical ventilation in accordance with BCA 2022
- Stair construction - All treads, internal and external, or nosings of a stairway to comply with slip-resistance classification of (AS 4586-2013 and Part 11.2 of the BCA Housing Provisions 2022)
- Continuous Balustrade or other barriers will be provided and installed in accordance with the requirements (including design and location) of Part 11.3 in BCA Housing Provisions 2022. Balustrade Height - minimum 1000mm
- Step down to all external areas from internal level as per Part 3.3.3 of Housing Provisions
- Condensation Management to H4D9 of the NCC 2022 & comply with Part 10.8 of the ABCB Housing Provisions

Design complies with BUILDING CODE OF AUSTRALIA 2022 & ABCB Housing Provisions - For Construction



Suite 11, Level 2
20 Young Street
NEUTRAL BAY, NSW
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Mob +61 412 995 480



NOTES
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect.
Do not scale the drawings.

AMENDMENTS
A ORIGINAL ISSUE
B S455

27.02.25
01.07.25

DRAWING NAME

COVER SHEET

DEVELOPMENT APPLICATION

PROJECT

NARRABEEN
DWELLINGS
DATE 01.07.25
SCALE 1:1, 1:2

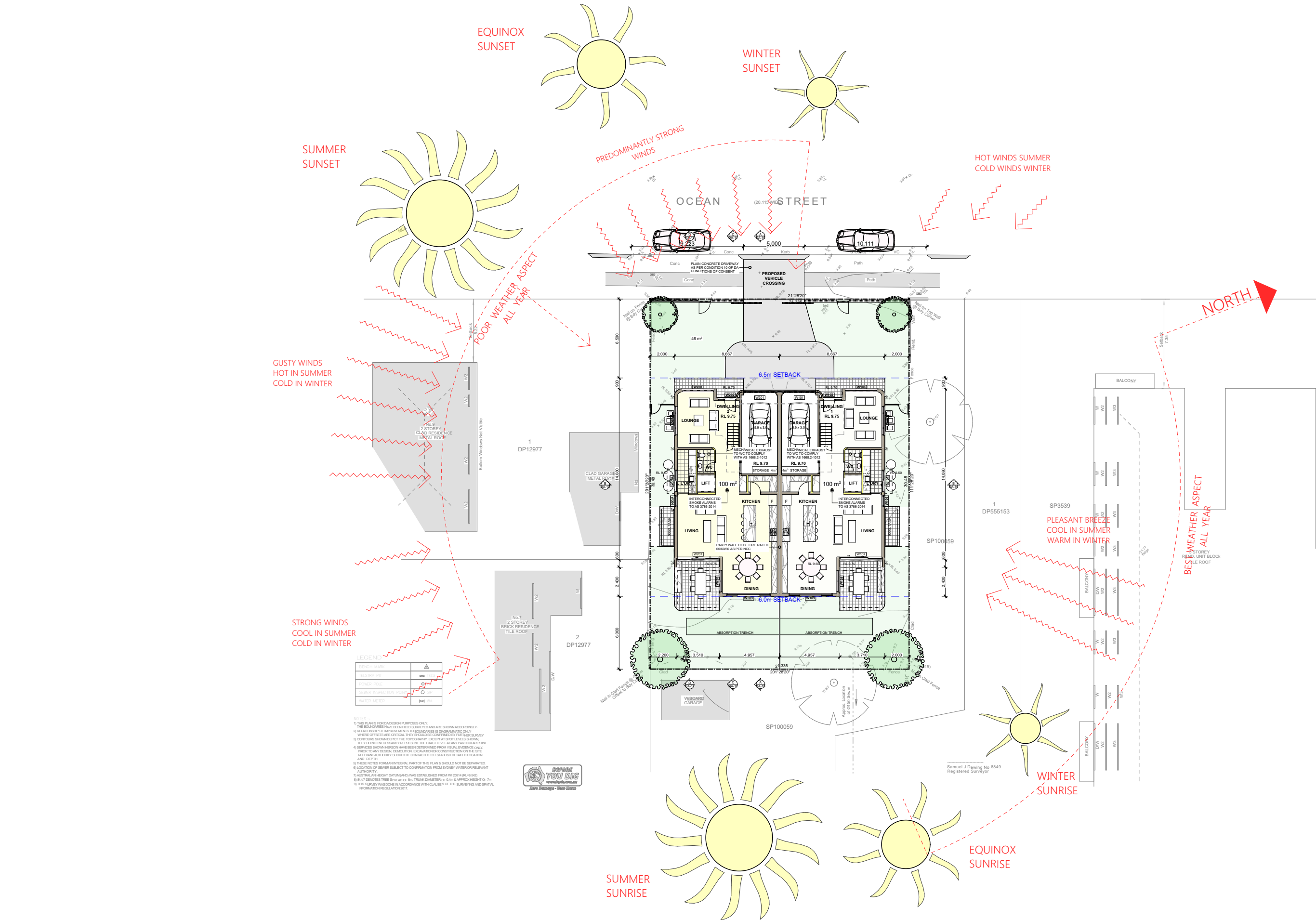
PROJ. ADDRESS

103 OCEAN STREET,
NARRABEEN , 2102
CLIENT
PHIL & LORRAINE SCOTT

PROJ. CODE

OCE103
DWG NO. DA-00
REV B

DEVELOPMENT APPLICATION



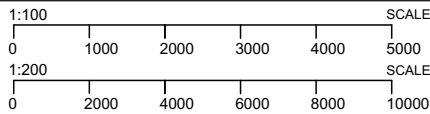
OCEAN STREET
(20.115 WID)



DEMOLITION TO AS 2601-2001



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AMENDMENTS

A ORIGINAL ISSUE
B S455

27.02.25
01.07.25

DRAWING NAME

DEMOLITION PLAN

DEVELOPMENT APPLICATION

PROJECT

NARRABEEN DWELLINGS

DATE 01.07.25

SCALE 1:200

PROJ. ADDRESS

**103 OCEAN STREET,
NARRABEEN , 2102**

CLIENT

PHIL & LORRAINE SCOTT

PROJ. CODE

OCE103

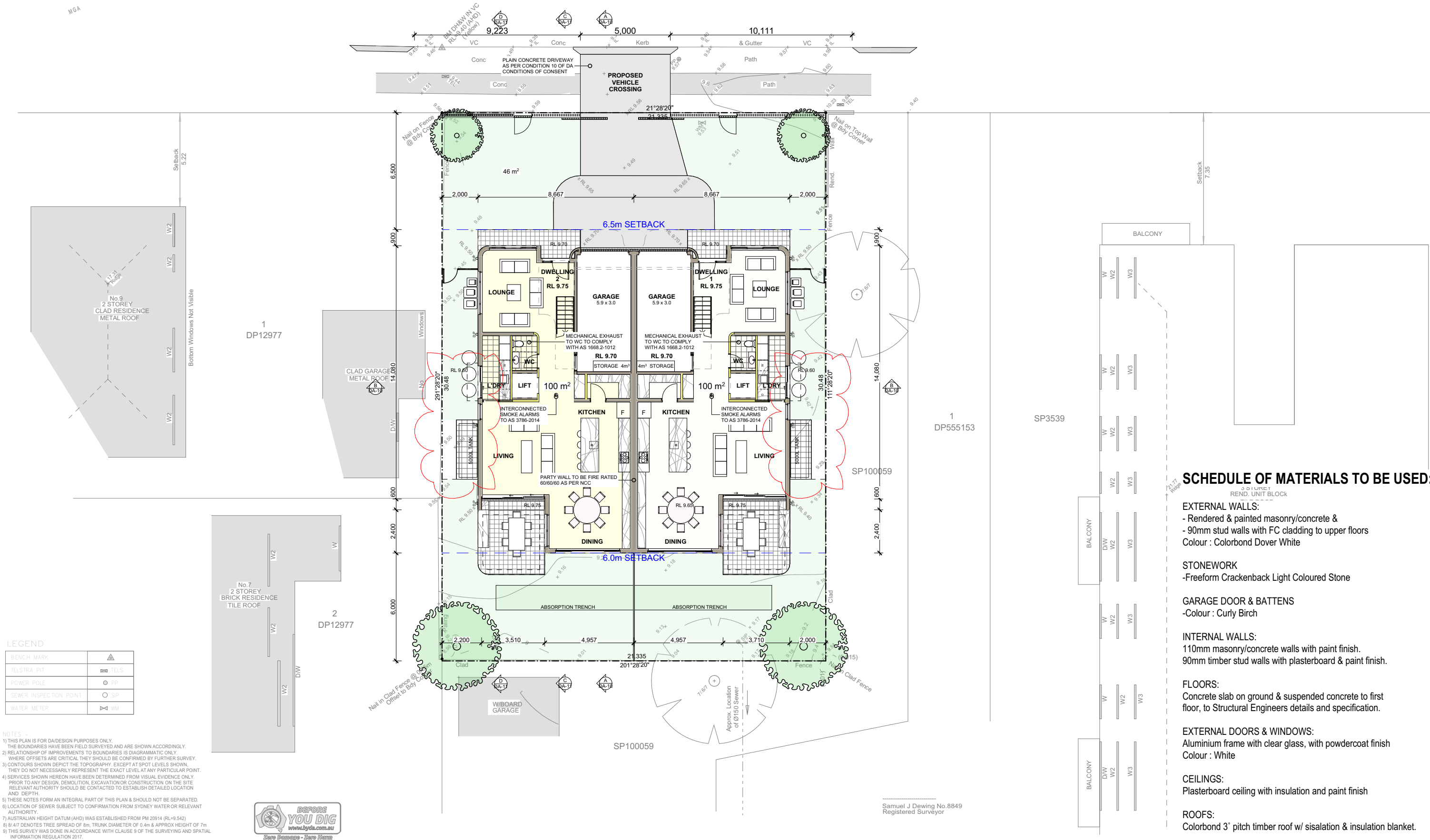
DWG NO. **DA-02**

REV **B**



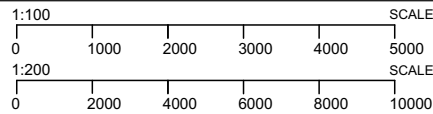
OCEAN STREET

(20.115 WID)



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AMENDMENTS

A ORIGINAL ISSUE

B S455

27.02.25

01.07.25

DRAWING NAME

SITE PLAN

DEVELOPMENT APPLICATION

PROJECT

NARRABEEN DWELLINGS

DATE

01.07.25

SCALE

1:200

PROJ. ADDRESS

103 OCEAN STREET,
NARRABEEN , 2102

CLIENT

PHIL & LORRAINE SCOTT

PROJ. CODE

OCE103

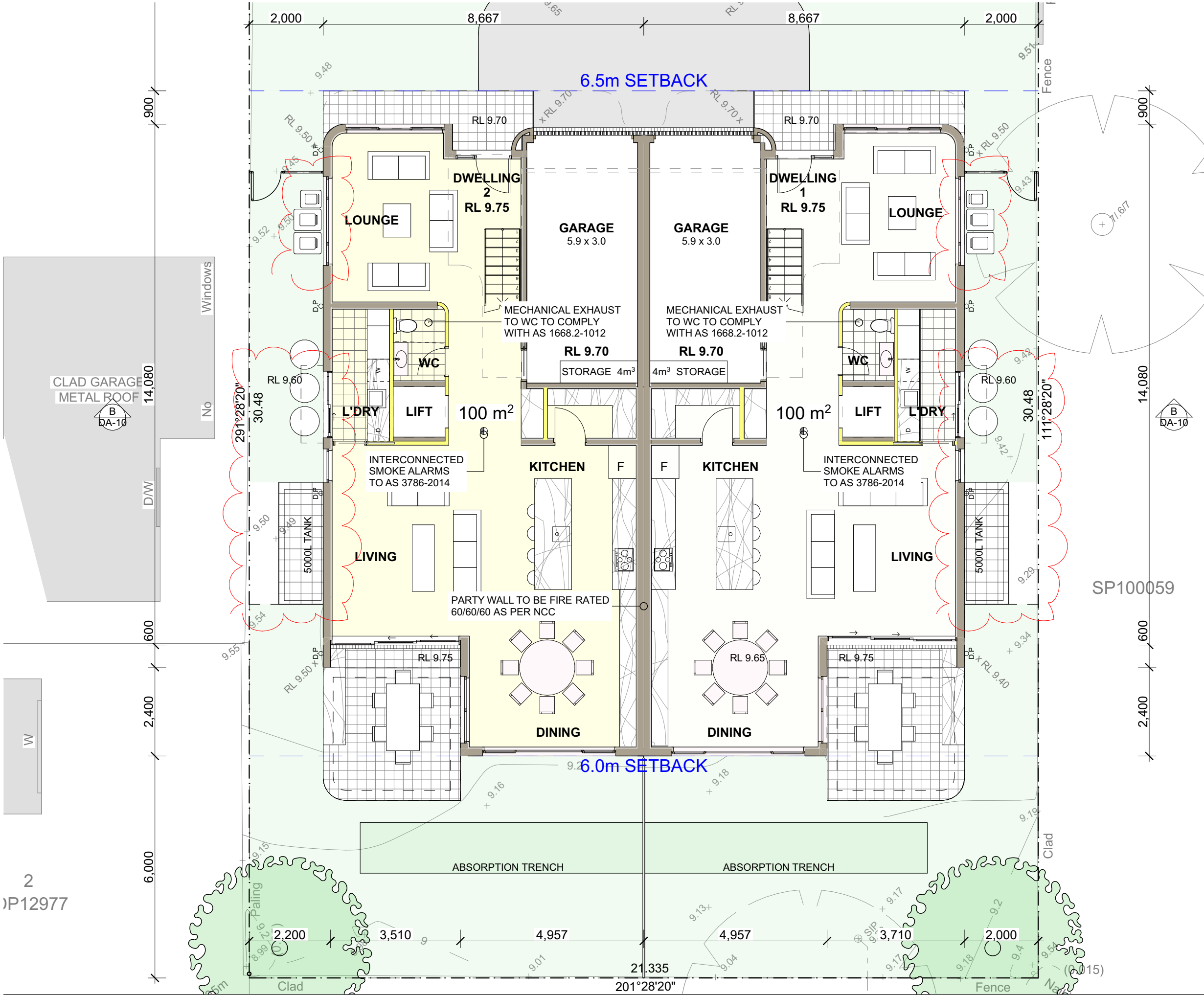
DWG NO.

DA-03

REV

B



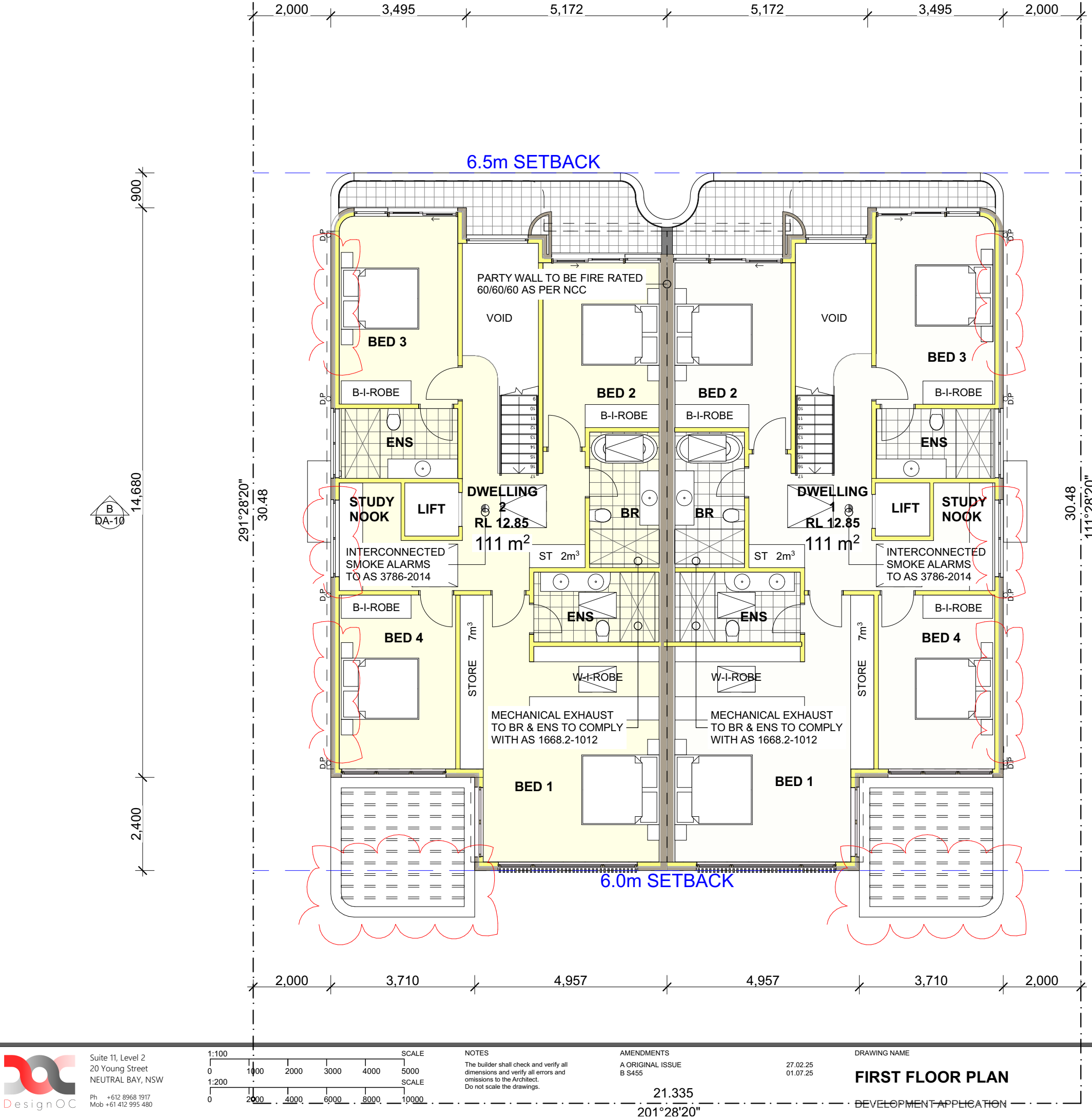


NOTE:

- WET AREAS WITH NO VENTILATION TO COMPLY WITH AS 1668.2-2012 &
- AN EXHAUST SYSTEM THAT IS NOT RUN CONTINUOUSLY AND IS SERVING A BATHROOM OR SANITARY COMPARTMENT THAT IS NOT VENTILATED IN ACCORDANCE WITH 10.6.2 (a) MUST-
 - BE INTERLOCKED WITH THE ROOMS LIGHT SWITCH &
 - INCLUDE A RUN-ON TIMER SO THAT THE EXHAUST SYSTEM CONTINUES TO OPERATE FOR 10mins AFTER THE LIGHT SWITCH IS TURNED OFF

SCHEDULE OF MATERIALS TO BE USED:

- EXTERNAL WALLS:**
- Rendered & painted masonry/concrete &
 - 90mm stud walls with FC cladding to upper floors
 - Colour : Colorbond Dover White
- STONEWORK**
- Freeform Crackenback Light Coloured Stone
- GARAGE DOOR & BATTENS**
- Colour : Curly Birch
- INTERNAL WALLS:**
- 110mm masonry/concrete walls with paint finish.
 - 90mm timber stud walls with plasterboard & paint finish.
- FLOORS:**
- Concrete slab on ground & suspended concrete to first floor, to Structural Engineers details and specification.
- EXTERNAL DOORS & WINDOWS:**
- Aluminium frame with clear glass, with powdercoat finish
 - Colour : White
- CEILINGS:**
- Plasterboard ceiling with insulation and paint finish
- ROOFS:**
- Colorbond 3° pitch timber roof w/ sisalation & insulation blanket.
- NB:** All of the above are to be in accordance with The Basic Certificate and commitments.



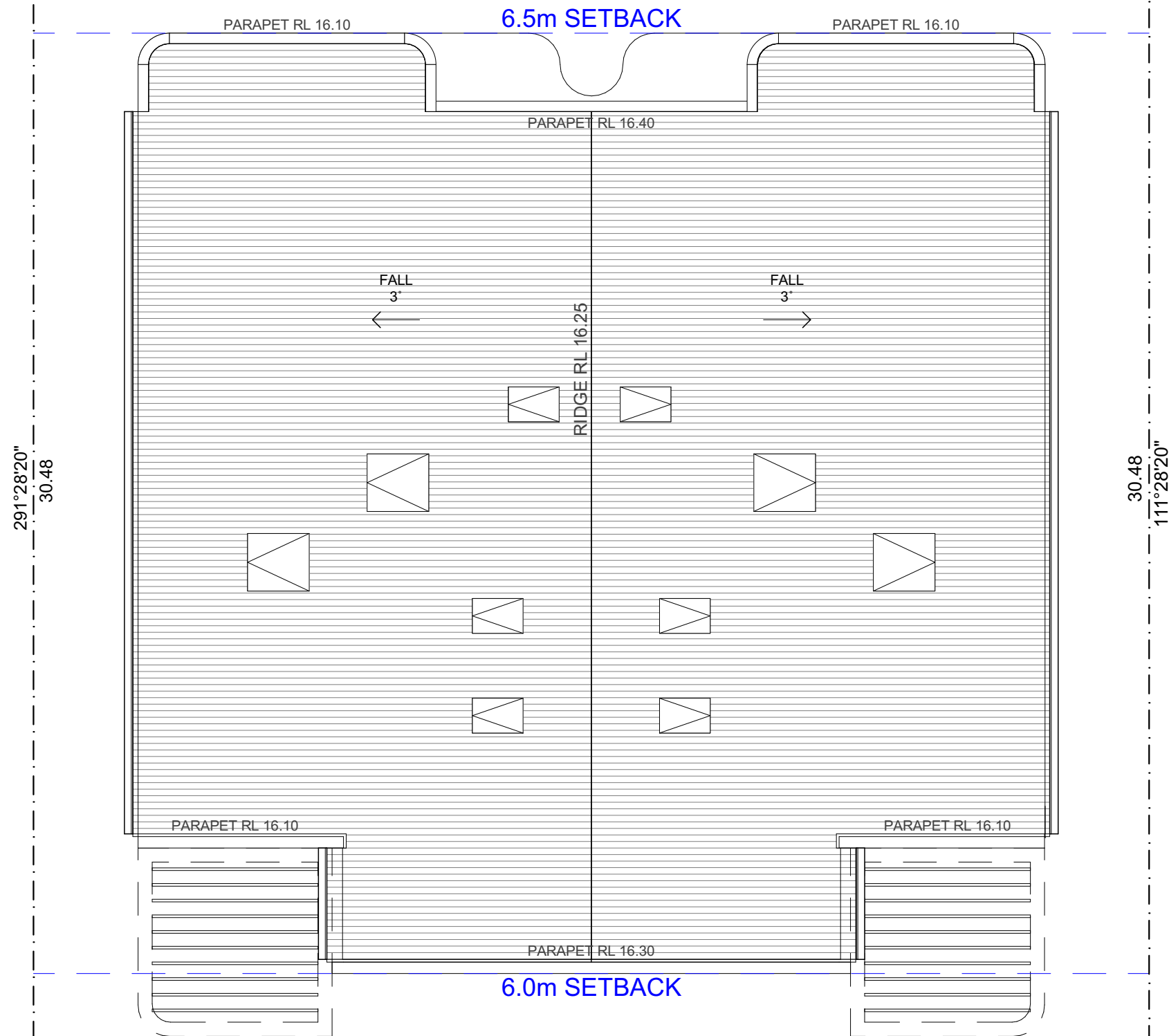
NOTE:

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- AN EXHAUST SYSTEM THAT IS NOT RUN CONTINUOUSLY AND IS SERVING A BATHROOM OR SANITARY COMPARTMENT THAT IS NOT VENTILATED IN ACCORDANCE WITH 10.6.2 (a) MUST-
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- NB:** All of the above are to be in accordance with The Basix Certificate and commitments.





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STONEWORK

- Freeform Crackenback Light Coloured Stone

GARAGE DOOR & BATTENS

- Colour : Curly Birch

INTERNAL WALLS:

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EXTERNAL DOORS & WINDOWS:

- Aluminium frame with clear glass, with powdercoat finish
- Colour : White

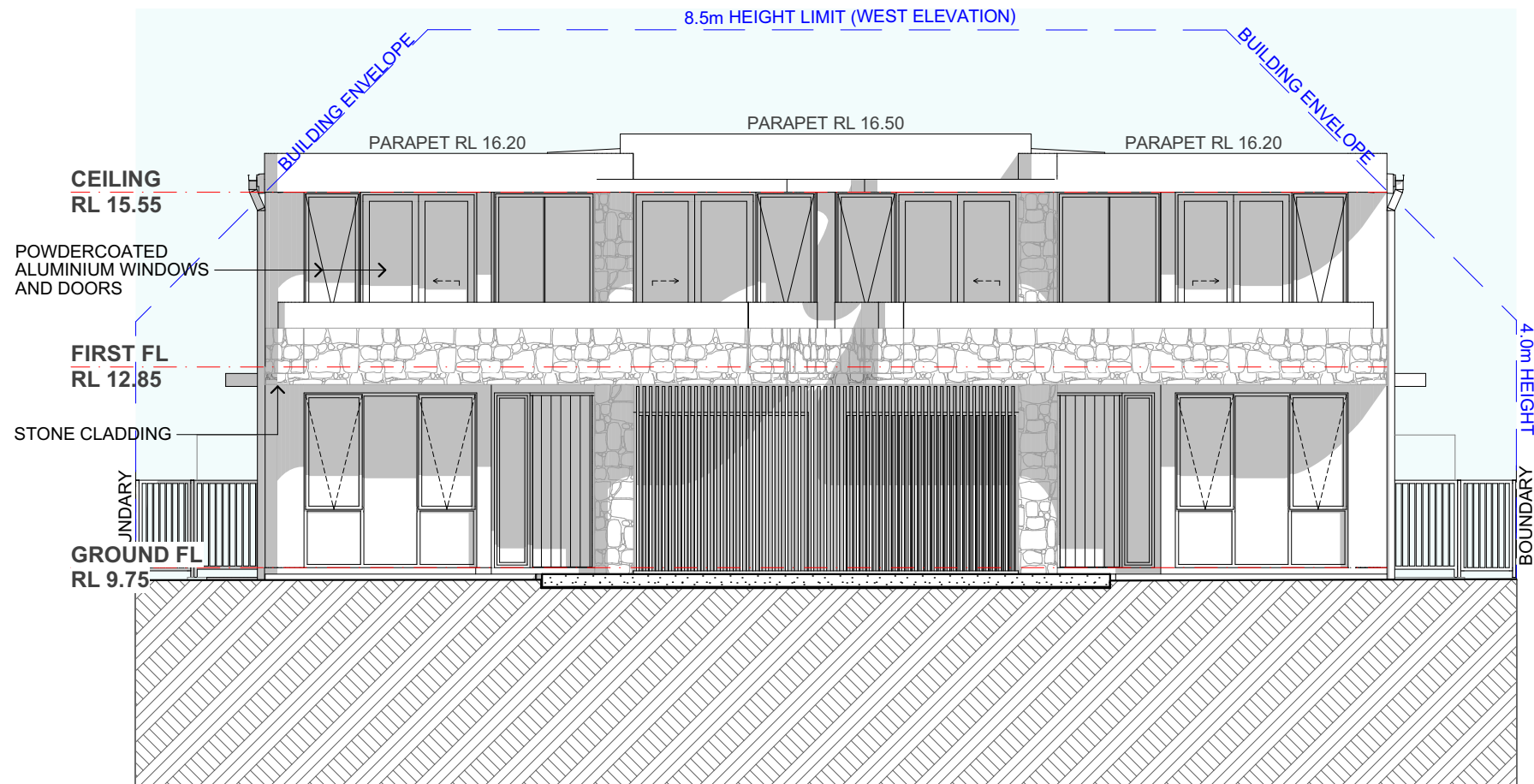
CEILINGS:

- Plasterboard ceiling with insulation and paint finish

ROOFS:

- Colorbond 3° pitch timber roof w/ sisalation & insulation blanket.

NB: All of the above are to be in accordance with The Basix Certificate and commitments.



2

WEST ELEVATION

1:100

SCHEDULE OF MATERIALS TO BE USED:

EXTERNAL WALLS:

- Rendered & painted masonry/concrete &
- 90mm stud walls with FC cladding to upper floors
- Colour : Colorbond Dover White

STONework

- Freeform Crackenback Light Coloured Stone

GARAGE DOOR & BATTENS

- Colour : Curly Birch

INTERNAL WALLS:

- 110mm masonry/concrete walls with paint finish.
- 90mm timber stud walls with plasterboard & paint finish.

FLOORS:

- Concrete slab on ground & suspended concrete to first floor, to Structural Engineers details and specification.

EXTERNAL DOORS & WINDOWS:

- Aluminium frame with clear glass, with powdercoat finish
- Colour : White

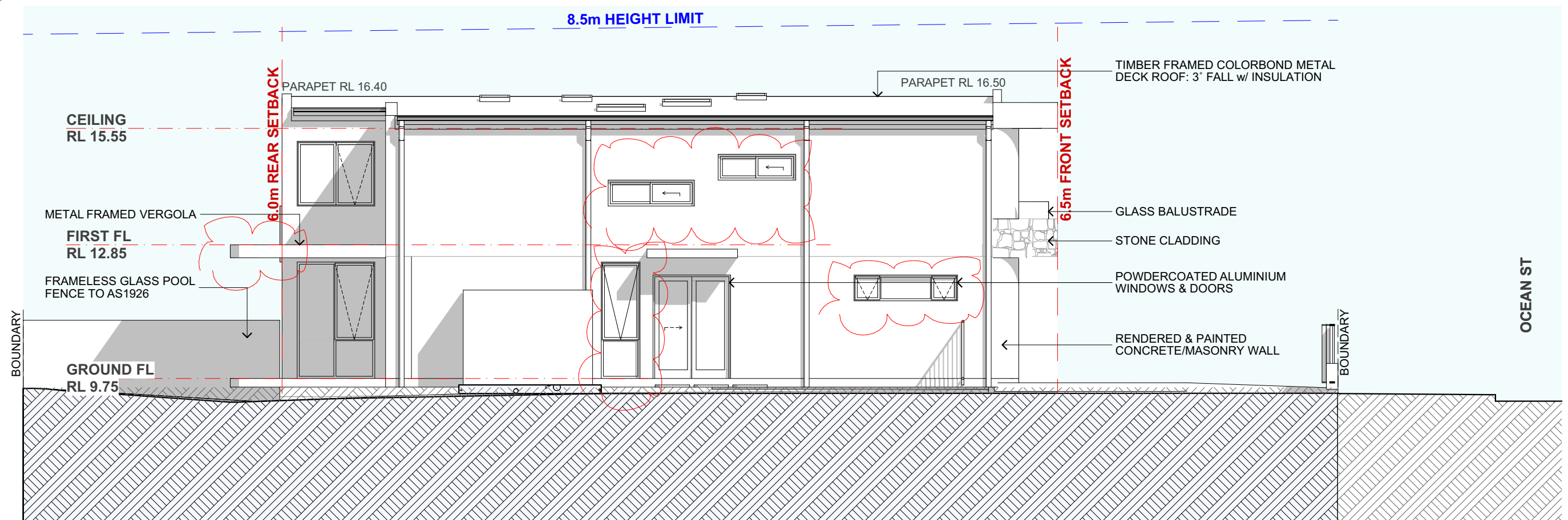
CEILINGS:

- Plasterboard ceiling with insulation and paint finish

ROOFS:

- Colorbond 3° pitch timber roof w/ sisalation & insulation blanket.

NB: All of the above are to be in accordance with The Basic Certificate and commitments.



1

NORTH ELEVATION

1:100

NOTES

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Do not scale the drawings.

AMENDMENTS

A ORIGINAL ISSUE
B S455

27.02.25
01.07.25

DRAWING NAME

NORTH & WEST ELEVATION

DEVELOPMENT APPLICATION

PROJECT

NARRABEEN
DWELLINGS

DATE SCALE
01.07.25 1:100

PROJ. ADDRESS

103 OCEAN STREET,
NARRABEEN, 2102

CLIENT
PHIL & LORRAINE SCOTT

PROJ. CODE

OCE103

DWG NO.

DA-07

REV

B



2

EAST ELEVATION
1:100

SCHEDULE OF MATERIALS TO BE USED:

EXTERNAL WALLS:

- Rendered & painted masonry/concrete &
- 90mm stud walls with FC cladding to upper floors
- Colour : Colorbond Dover White

STONEWORK

- Freeform Crackenback Light Coloured Stone

GARAGE DOOR & BATTENS

- Colour : Curly Birch

INTERNAL WALLS:

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- 90mm timber stud walls with plasterboard & paint finish.

FLOORS:

- Concrete slab on ground & suspended concrete to first floor, to Structural Engineers details and specification.

EXTERNAL DOORS & WINDOWS:

- Aluminium frame with clear glass, with powdercoat finish
- Colour : White

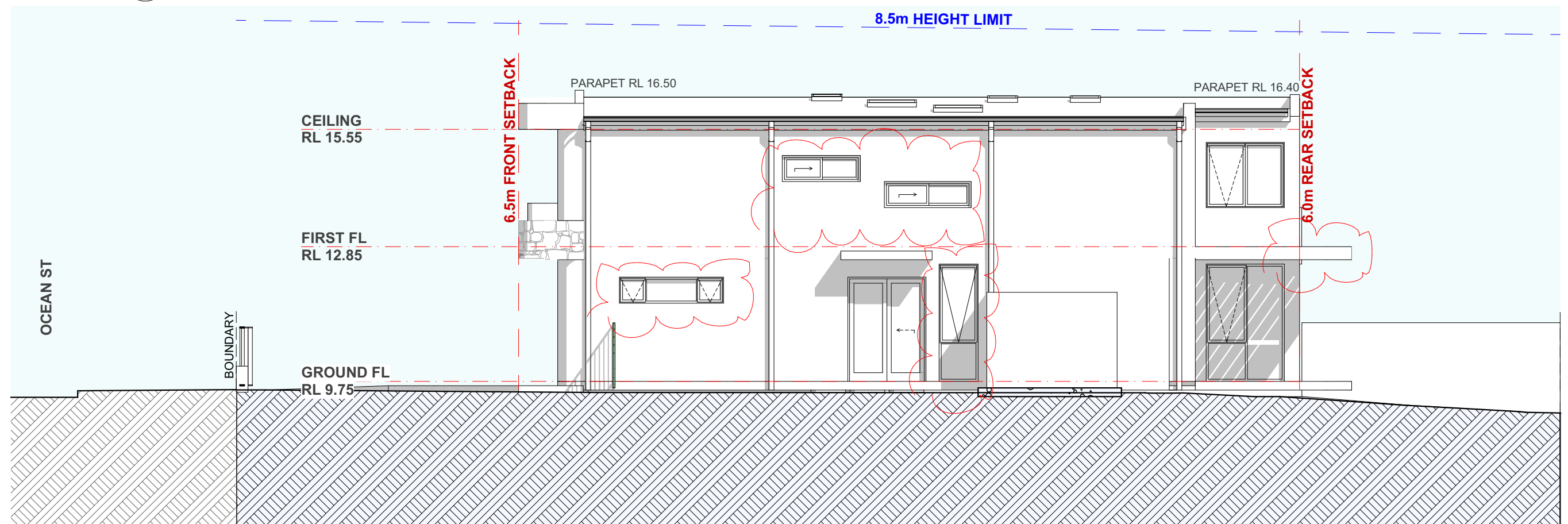
CEILINGS:

- Plasterboard ceiling with insulation and paint finish

ROOFS:

- Colorbond 3° pitch timber roof w/ sisalation & insulation blanket.

NB: All of the above are to be in accordance with The Basix Certificate and commitments.



1

SOUTH ELEVATION
1:100

NOTES

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AMENDMENTS

A ORIGINAL ISSUE
B S455

27.02.25
01.07.25

DRAWING NAME

SOUTH & EAST ELEVATION

DEVELOPMENT APPLICATION

PROJECT

NARRABEEN DWELLINGS

DATE 01.07.25
SCALE 1:100

PROJ. ADDRESS

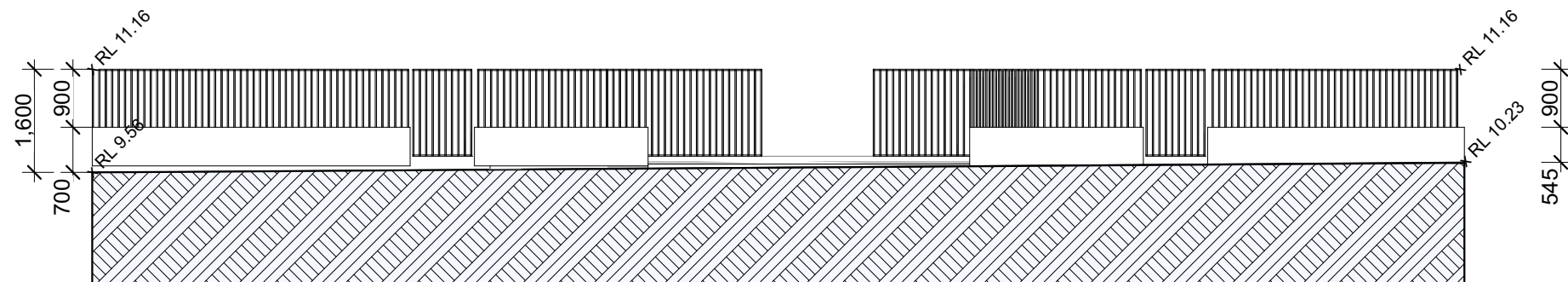
**103 OCEAN STREET,
NARRABEEN , 2102**

CLIENT
PHIL & LORRAINE SCOTT

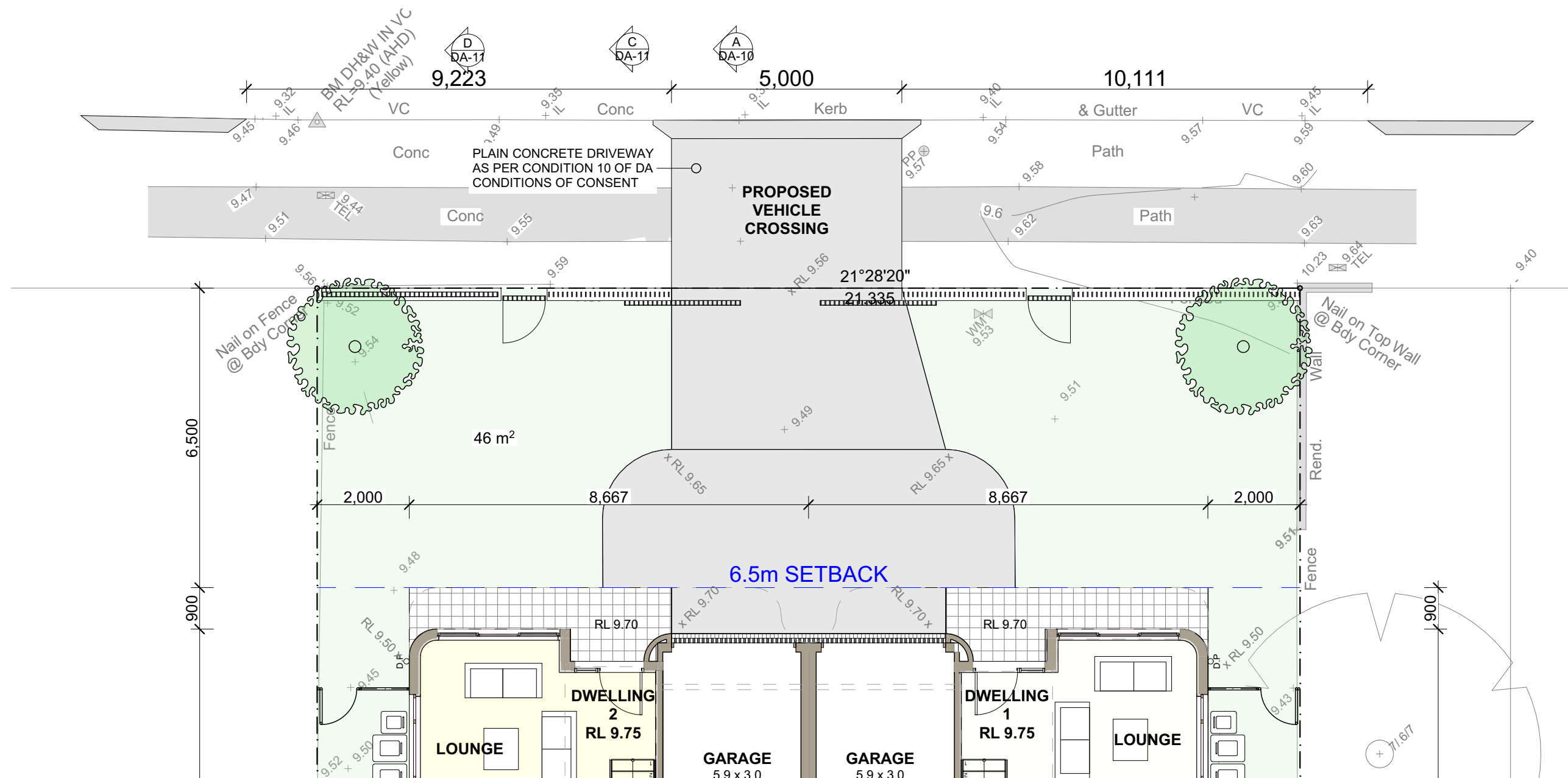
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OCE103

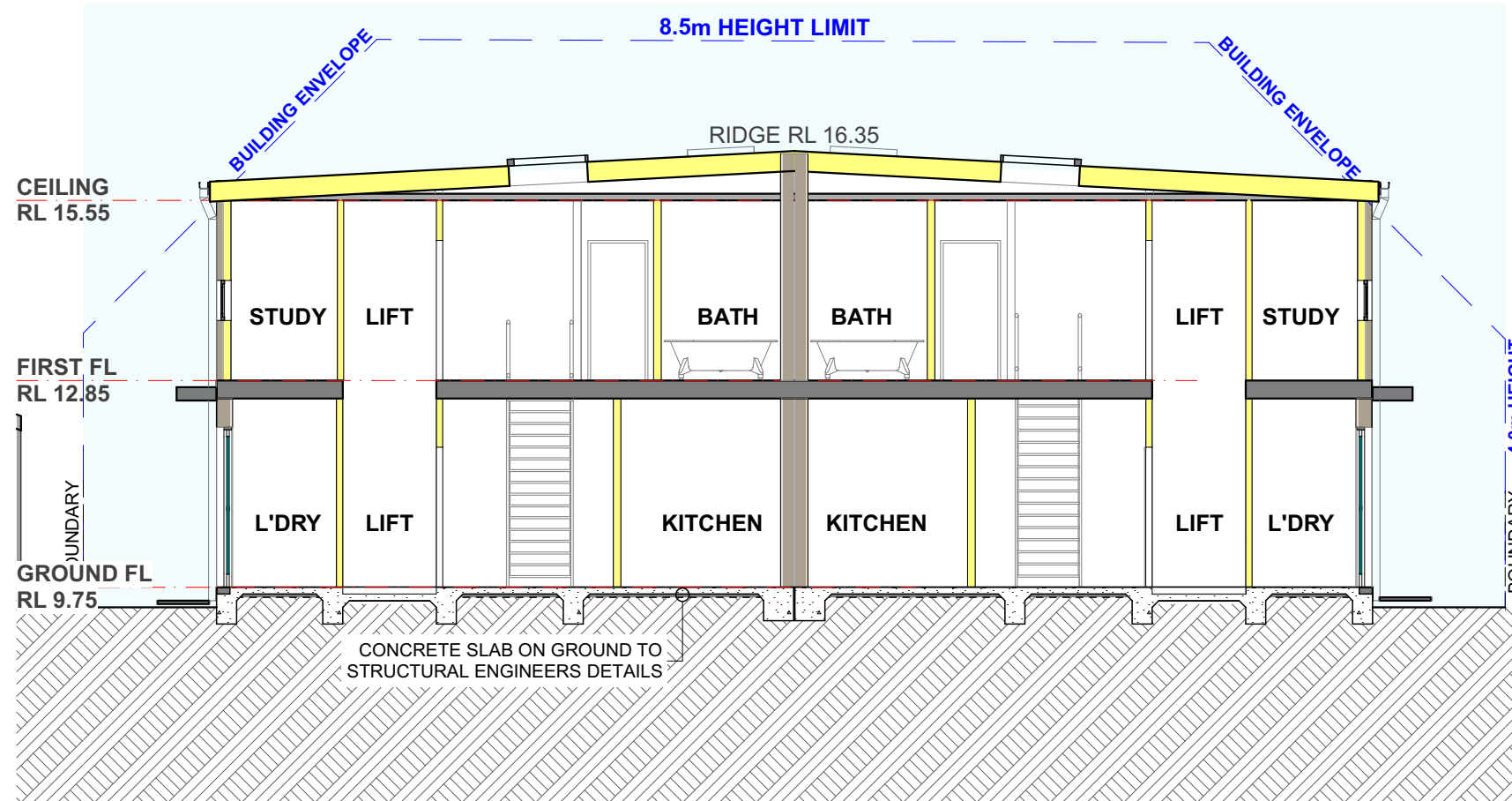
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REV **B**



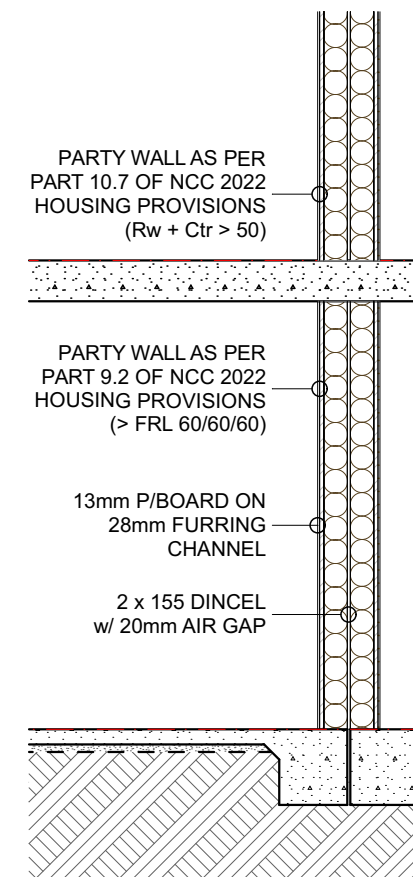
1 FRONT FENCE ELEVATION
1:100



1 DRIVEWAY DESIGN PLAN
1:100



SECTION B
1:100



PARTY WALL DETAIL
1:50

SCHEDULE OF MATERIALS TO BE USED:

EXTERNAL WALLS:

- Rendered & painted masonry/concrete &
- 90mm stud walls with FC cladding to upper floors
- Colour : Colorbond Dover White

STONEWORK

- Freeform Crackenback Light Coloured Stone

GARAGE DOOR & BATTENS

- Colour : Curly Birch

INTERNAL WALLS:

- 110mm masonry/concrete walls with paint finish.
- 90mm timber stud walls with plasterboard & paint finish.

FLOORS:

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EXTERNAL DOORS & WINDOWS:

- Aluminium frame with clear glass, with powdercoat finish
- Colour : White

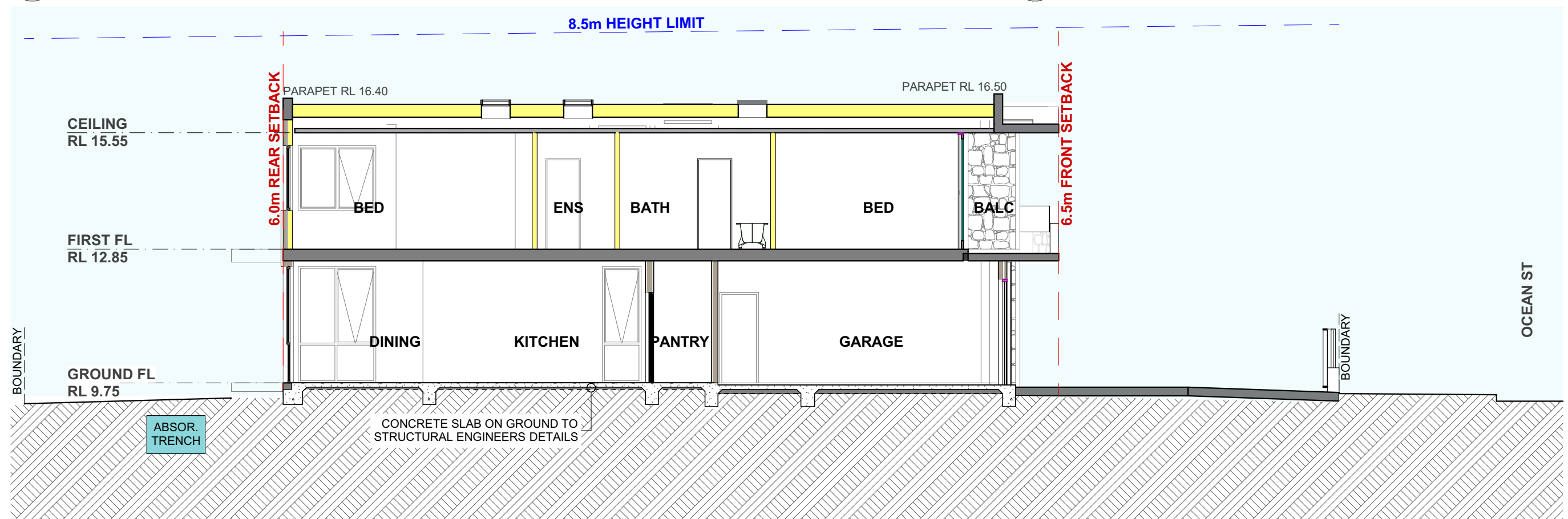
CEILINGS:

- Plasterboard ceiling with insulation and paint finish

ROOFS:

- Colorbond 3° pitch timber roof w/ sisalation & insulation blanket.

NB: All of the above are to be in accordance with The Basix Certificate and commitments.



SECTION A
1:100

NOTES

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AMENDMENTS

A ORIGINAL ISSUE
B S455

27.02.25
01.07.25

DRAWING NAME

SECTIONS A & B

DEVELOPMENT APPLICATION

PROJECT

NARRABEEN DWELLINGS

DATE

01.07.25

SCALE

1:100, 1:50

PROJ. ADDRESS

103 OCEAN STREET, NARRABEEN , 2102

CLIENT

PHIL & LORRAINE SCOTT

PROJ. CODE

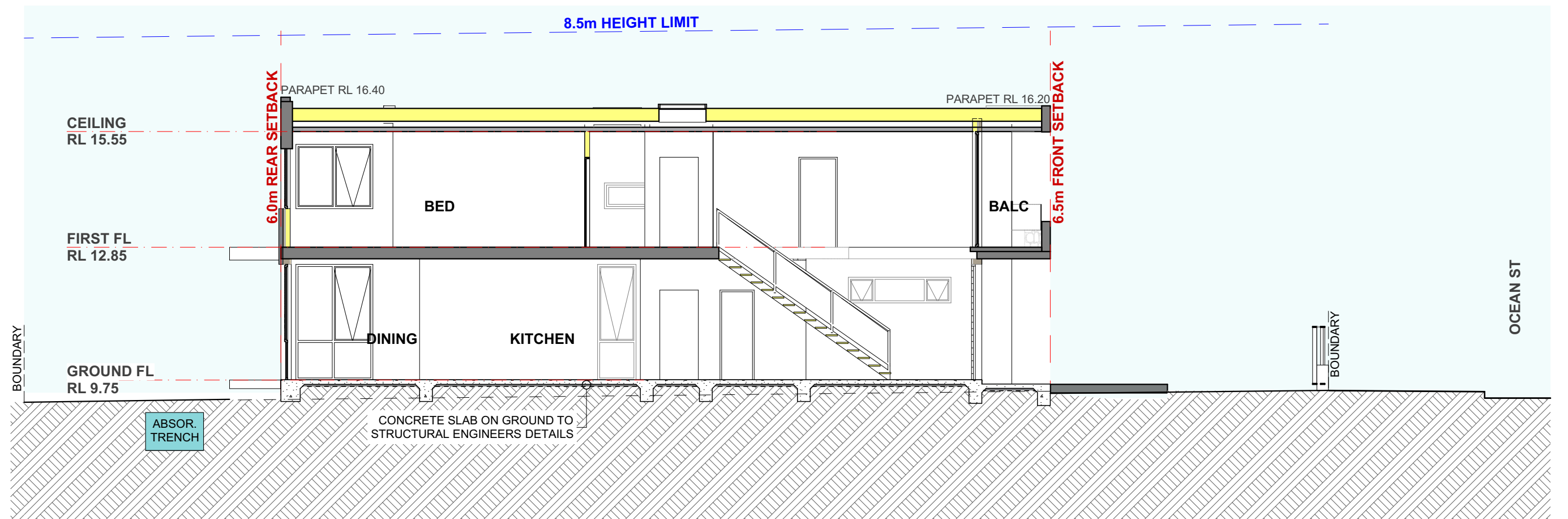
OCE103

DWG NO.

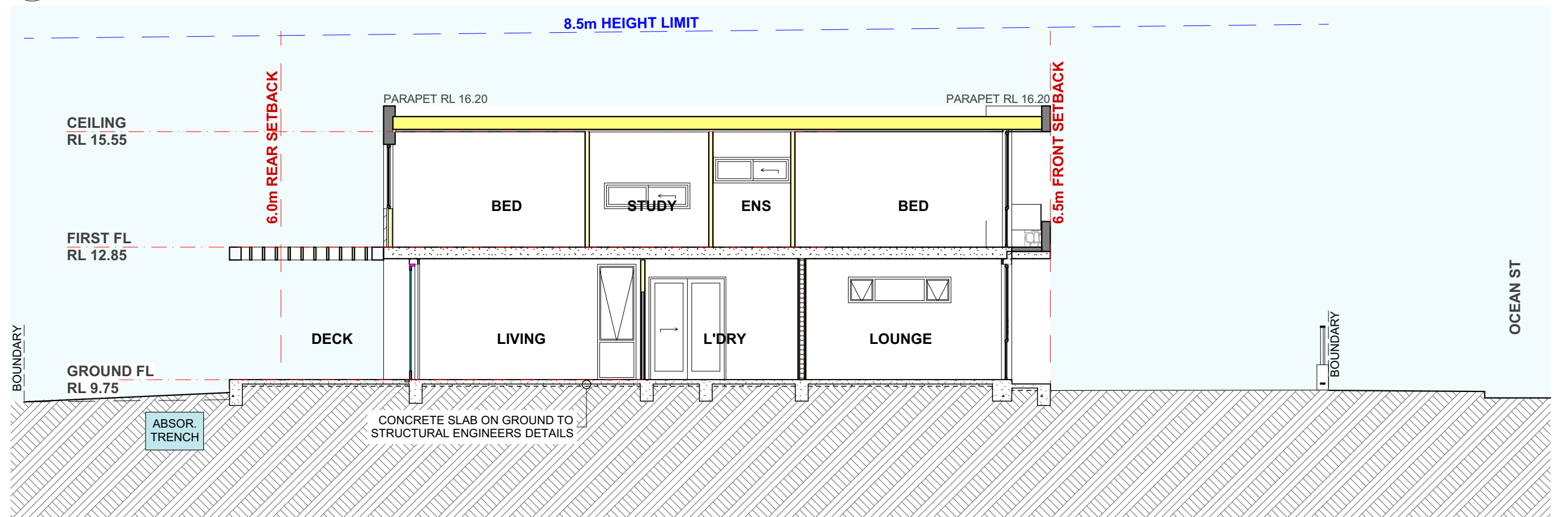
DA-10

REV

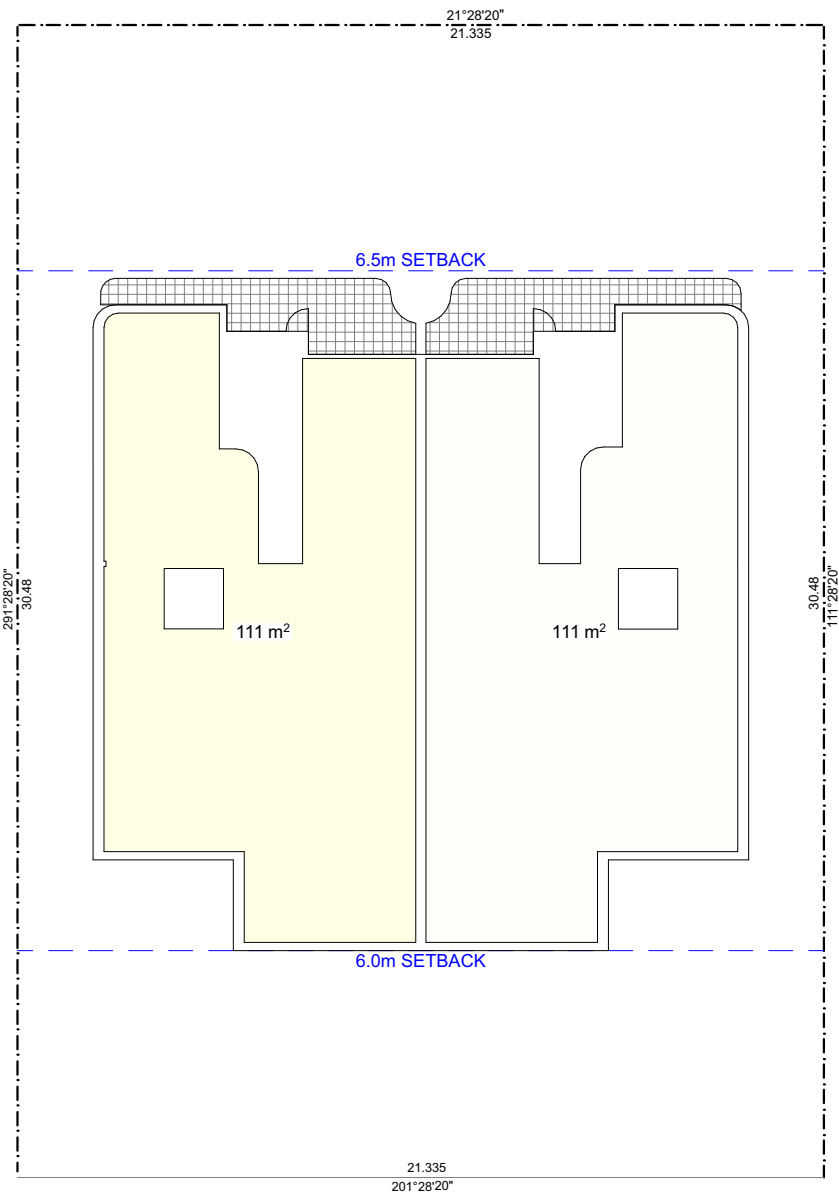
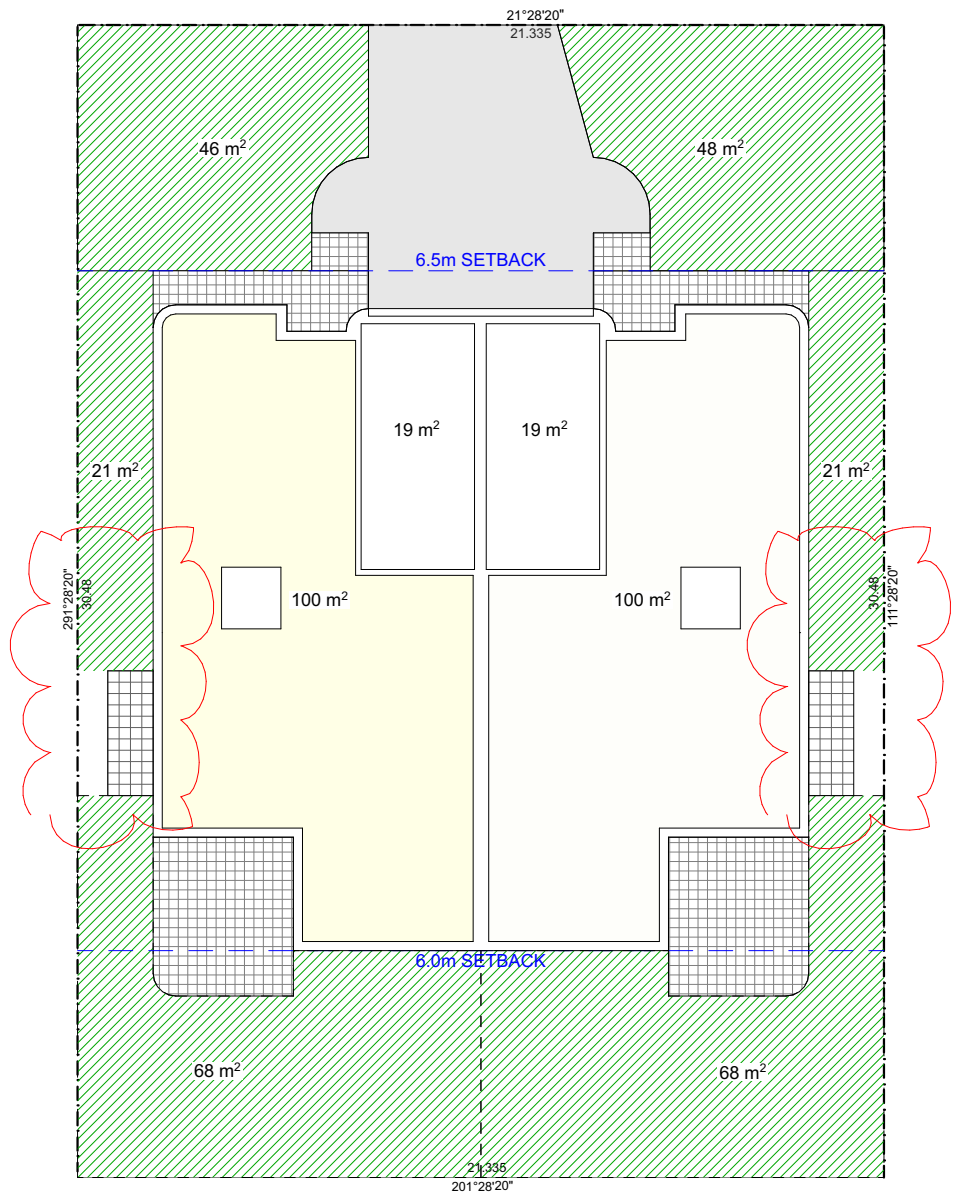
B



2 SECTION C
1:100



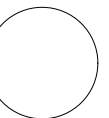
1 SECTION D
1:100

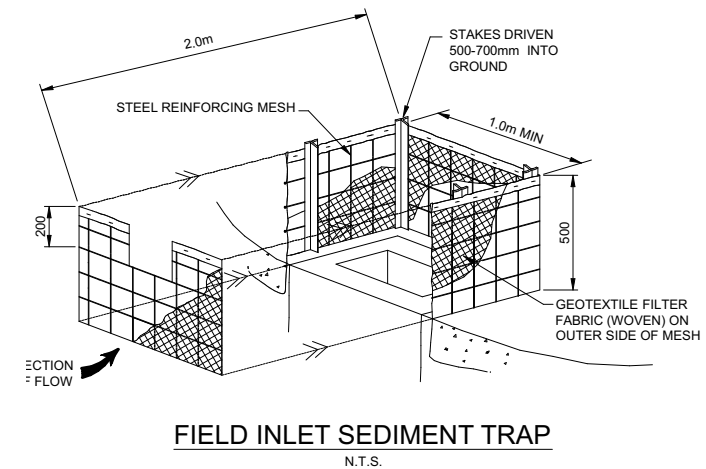
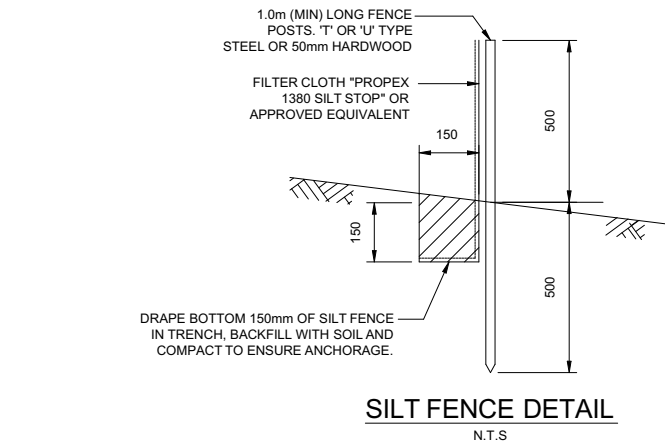
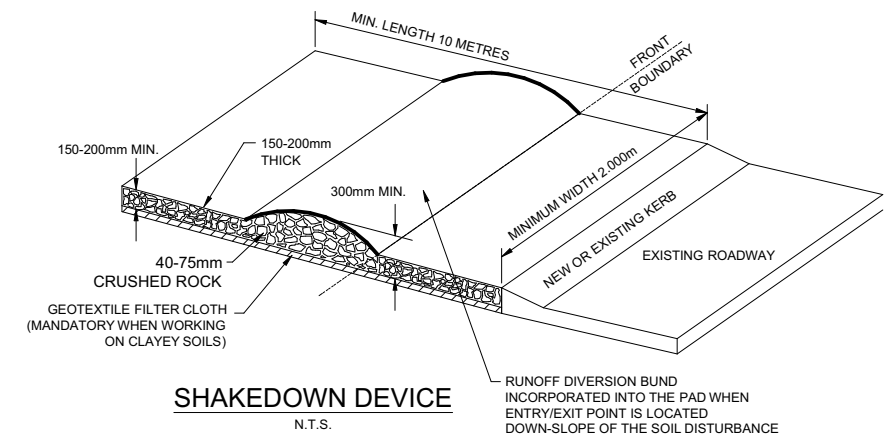
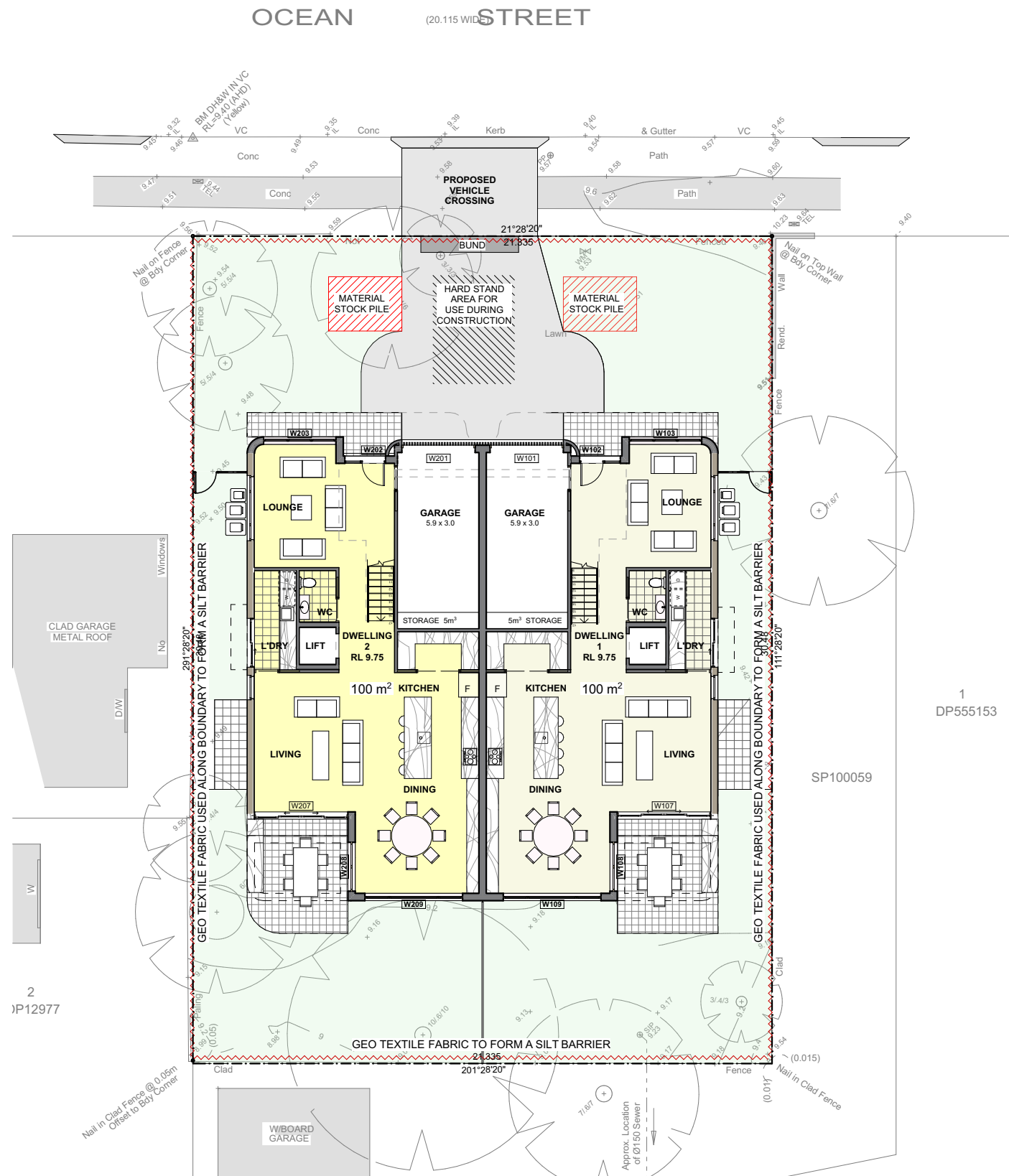


DA COMPLIANCE CALCULATIONS

SITE AREA (S.A.) = 650.3m²

MINIMUM LANDSCAPE AREA	= 260.12 m ²	(40% OF S.A.m ²)
PROPOSED LANDSCAPE AREA	= 272 m ²	(>260m ²)





SILT FENCE NOTES:

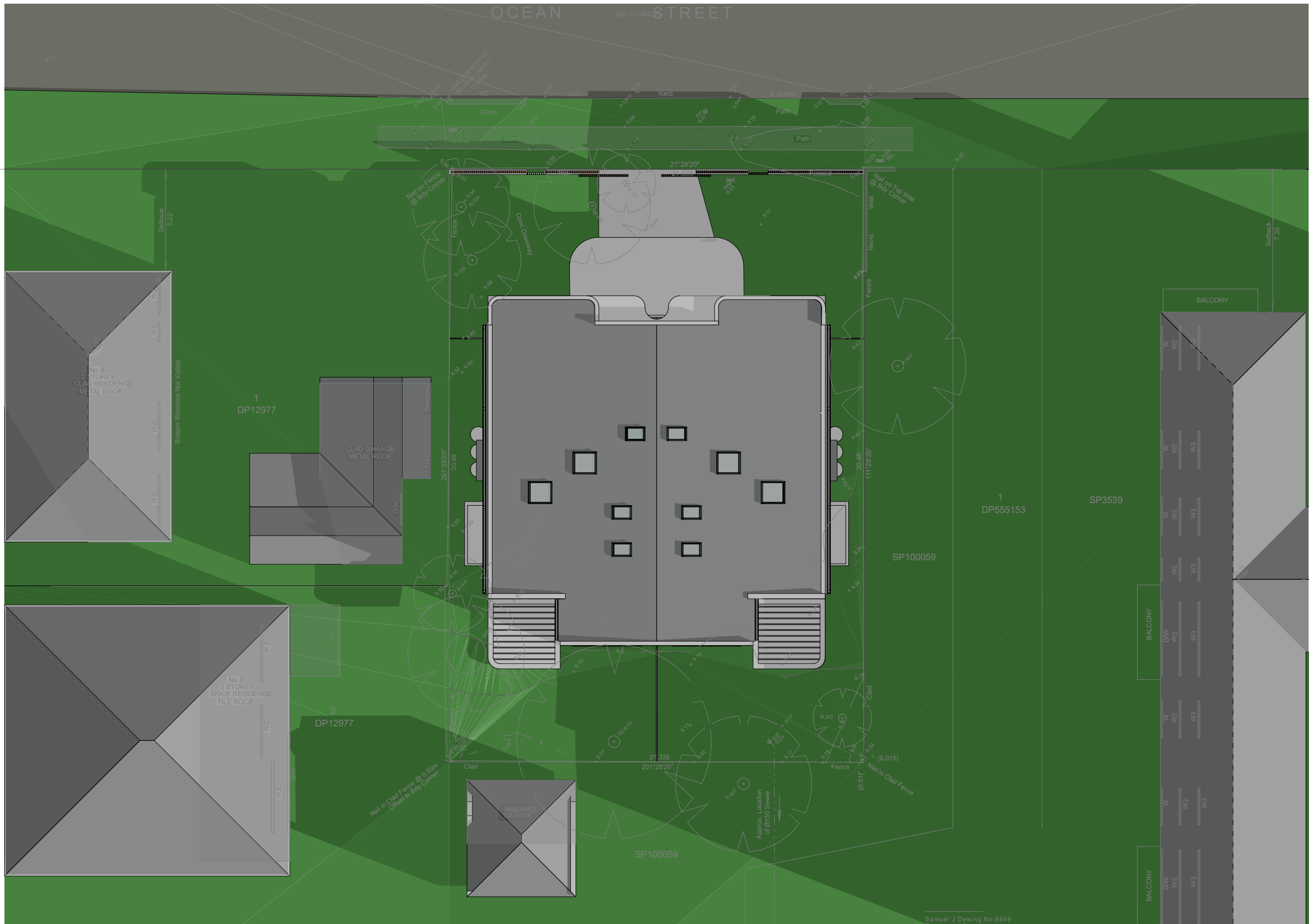
1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS WITH GALVANISED WIRE TIES, STAPLES OR ATTACHMENT BELTS.
2. POSTS SHOULD NOT BE SPACED MORE THAN 3.0m APART.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 150mm AND FOLDED.
4. FOR EXTRA STRENGTH TO SILT FENCE, WOVEN WIRE (14mm GAUGE, 150mm MESH SPACING) TO BE FASTENED SECURELY BETWEEN FILTER CLOTH AND POSTS BY WIRE TIES OR STAPLES
5. INSPECTIONS SHALL BE PROVIDED ON A REGULAR BASIS, ESPECIALLY AFTER RAINFALL AND EXCESSIVE SILT DEPOSITS REMOVED WHEN "BULGES" DEVELOP IN SILT FENCE
6. SEDIMENT FENCES SHALL BE CONSTRUCTED WITH SEDIMENT TRAPS AND EMERGENCY SPILLWAYS AT SPACINGS NO GREATER THAN 40m ON FLAT TERRAIN DECREASING TO 20m SPACINGS ON STEEP TERRAIN.

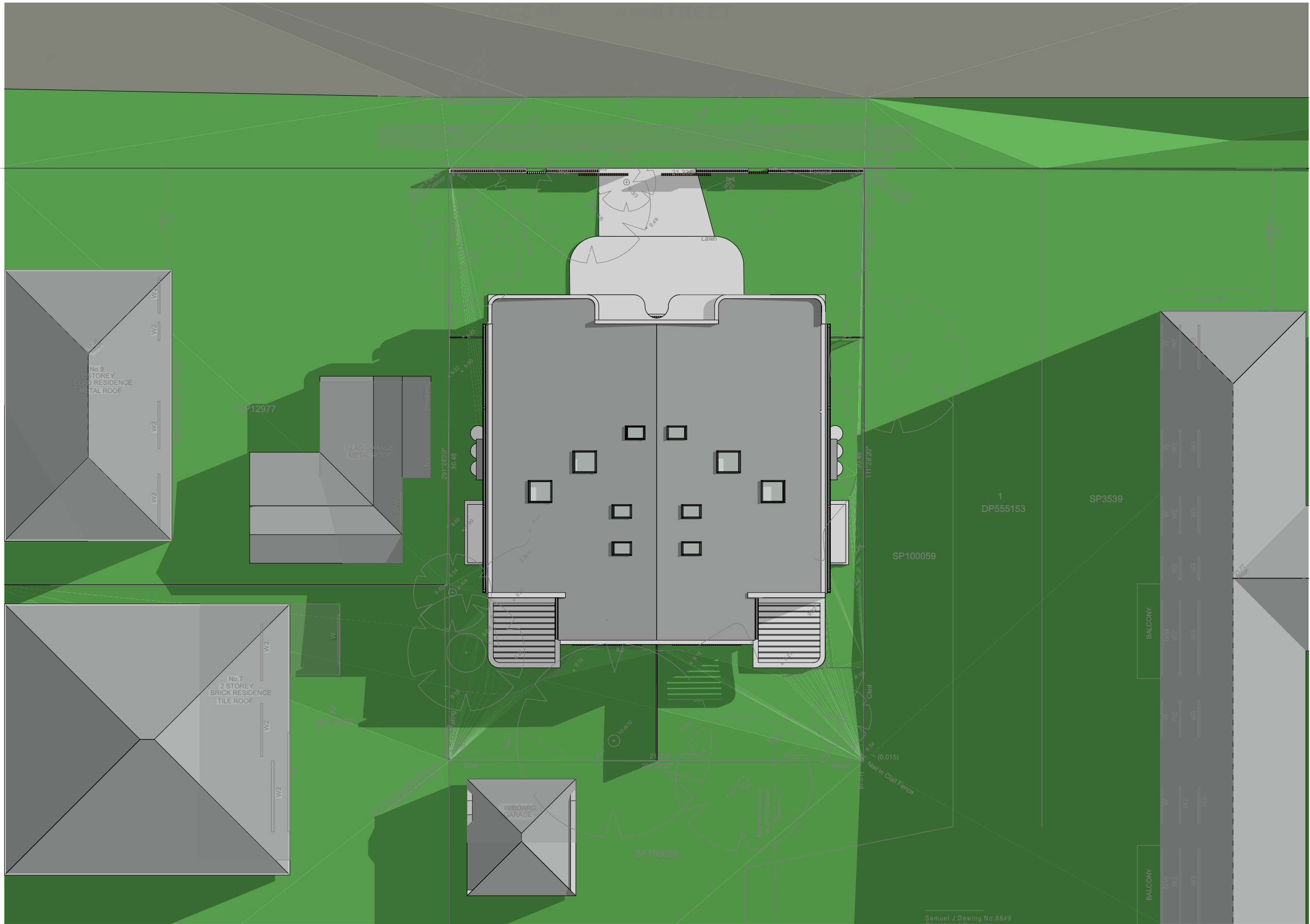
EROSION AND SEDIMENT CONTROLS

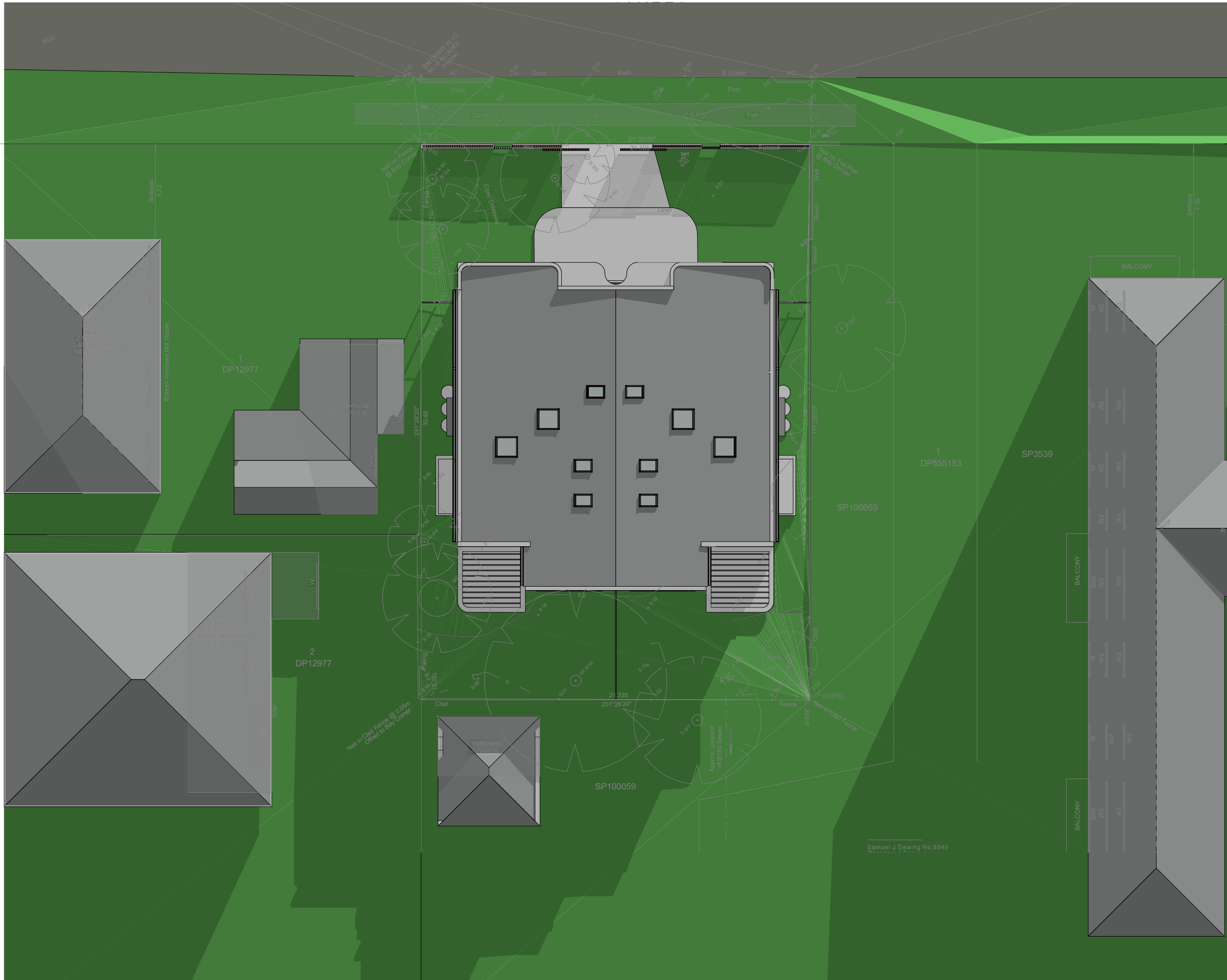
THESE RUN-OFF AND EROSION CONTROLS ARE TO BE COMPLIED TO DURING THE CONSTRUCTION AND MAINTENANCE OF THE SITE

RUN-OFF AND EROSION CONTROLS MUST BE IMPLEMENTED TO PREVENT SOIL EROSION, WATER POLLUTION OR THE DISCHARGE OF LOOSE SEDIMENT ON THE SURROUNDING LAND BY:

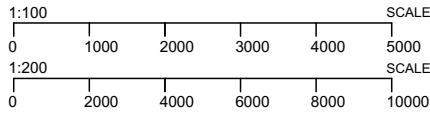
- A DIVERTING UNCONTAMINATED RUN-OFF AROUND CLEARED OR DISTURBED AREAS, AND
- B ERECTING A SILT FENCE TO PREVENT DEBRIS ESCAPING INTO DRAINAGE SYSTEMS AND WATERWAYS, AND
- C PREVENTING TRACKING OF SEDIMENT BY VEHICLES ONTO ROADS, AND
- D STOCKPILING TOP SOIL, EXCAVATED MATERIALS, CONSTRUCTION AND LANDSCAPING SUPPLIES AND DEBRIS WITHIN THE LOT







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Mob +61 412 995 480



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AMENDMENTS
A ORIGINAL ISSUE
B S455

27.02.25
01.07.25

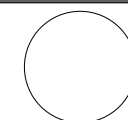
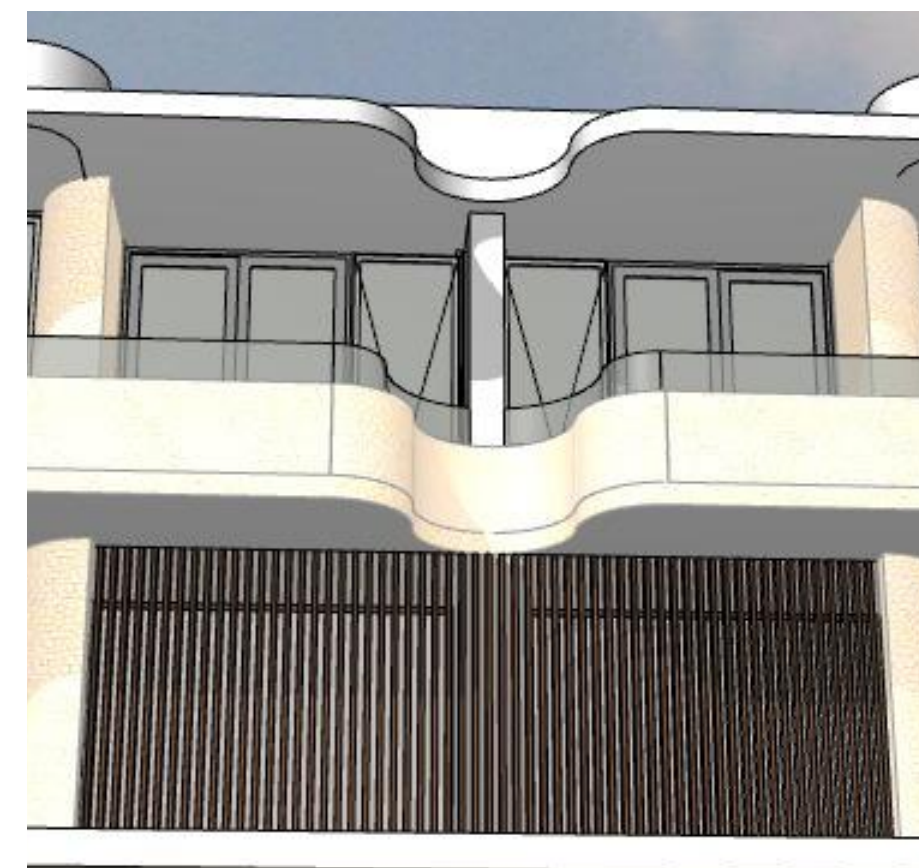
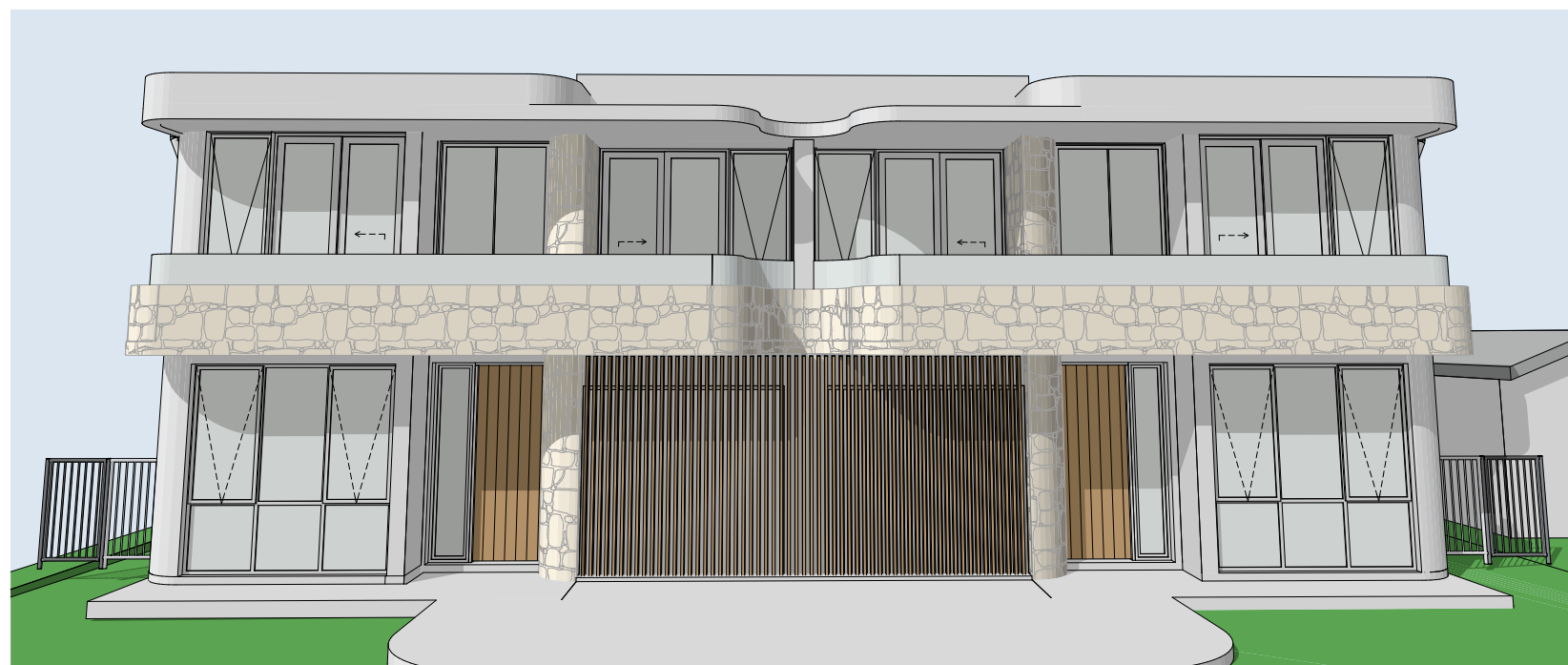
DRAWING NAME
SHADOW DIAGRAMS JUNE 3pm
DEVELOPMENT APPLICATION

PROJECT
NARRABEEN DWELLINGS
DATE 01.07.25
SCALE 1:200

PROJ. ADDRESS
103 OCEAN STREET, NARRABEEN , 2102
CLIENT
PHIL & LORRAINE SCOTT

PROJ. CODE
OCE103
DWG NO. **DA-17**
REV **B**



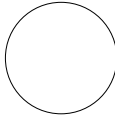


Window List									
ID	W101	W102	W103	W104	W105	W106	W107	W108	W109
Height	2,550	2,700	2,700	600	2,400	2,700	2,700	2,700	2,700
Width	2,700	920	2,670	2,400	1,800	900	3,510	1,800	3,600
W/D nominal sill height	0	0	0	1,800	0	0	0	0	0
2D Symbol									
3D Front View									

Window List										
ID	W110	W111	W112	W113	W114	W116	W117	W119	W120	W121
Height	2,700	2,700	2,700	2,700	2,700	600	600	1,500	1,500	1,500
Width	925	1,890	1,557	1,800	870	1,800	2,000	2,700	1,800	3,600
W/D nominal sill height	0	0	0	0	0	1,500	900	900	900	900
2D Symbol										
3D Front View										

AW - AWNING, L - LOUVRED, SL - SLIDING, F - FIXED,
P - PANEL FOLD DOORS, SD - SLIDING DOOR, HD - HINGED DOOR
OBS - OBCURE GLASS

NOTE : ALL WINDOWS TO COMPLY WITH BASIX CERTIFICATE 1785814M
ALL WINDOWS ON THE FIRST FLOOR TO BE FITTED WITH RESTRICTORS.
(RESTRICTION OF OPENABLE PART OF WINDOWS TO 125mm)
CHILD SAFE WINDOWS TO BEDROOMS GREATER THAN 2m AS PER
PART 11.3.7 OF THE BCA 2022
ALL WINDOW SIZES SHOWN ARE OPENING SIZES
ALL WINDOWS ARE ALUMINIUM FRAMED POWDERCOATED
COLOUR : PEARL WHITE



Window List									
ID	W201	W202	W203	W204	W205	W206	W207	W208	W209
Height	2,550	2,700	2,700	600	2,400	2,700	2,700	2,700	2,700
Width	2,700	920	2,670	2,400	1,800	900	3,510	1,800	3,600
W/D nominal sill height	0	0	0	1,800	0	0	0	0	0
2D Symbol									
3D Front View									

Window List										
ID	W210	W211	W212	W213	W214	W216	W217	W219	W220	W221
Height	2,700	2,700	2,700	2,700	2,700	600	600	1,500	1,500	1,500
Width	925	1,890	1,590	1,800	870	1,800	2,000	2,700	1,800	3,600
W/D nominal sill height	0	0	0	0	0	1,500	900	900	900	900
2D Symbol										
3D Front View										

AW - AWNING, L - LOUVRED, SL - SLIDING, F - FIXED,
P - PANEL FOLD DOORS, SD - SLIDING DOOR, HD - HINGED DOOR
OBS - OBCURE GLASS

NOTE : ALL WINDOWS TO COMPLY WITH BASIX CERTIFICATE 1785814M
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