

STATEWIDE PROJECT MANAGEMENT PTY LTD

ACCESS DESIGN REVIEW – DEVELOPMENT APPLICATION (DA)

*Flower Power Garden Centre – 277 Mona Vale Rd,
Terry Hills, NSW*



Project number: 251110
Revision: ADR 1.0
Date: 13 June 2025


JENSEN HUGHES

Quality management

Revision	Date	Revision description	
ADR 1.0	13 June 2025	This DA report is based on a review of the most current drawings provided as of 11/06/25. The below report identifies areas of non-compliance with relevant Australian Access Standards and the Building Code of Australia 2022.	
		Prepared by	Reviewed by
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DA01 – Render – A – Leffler Simes Architects

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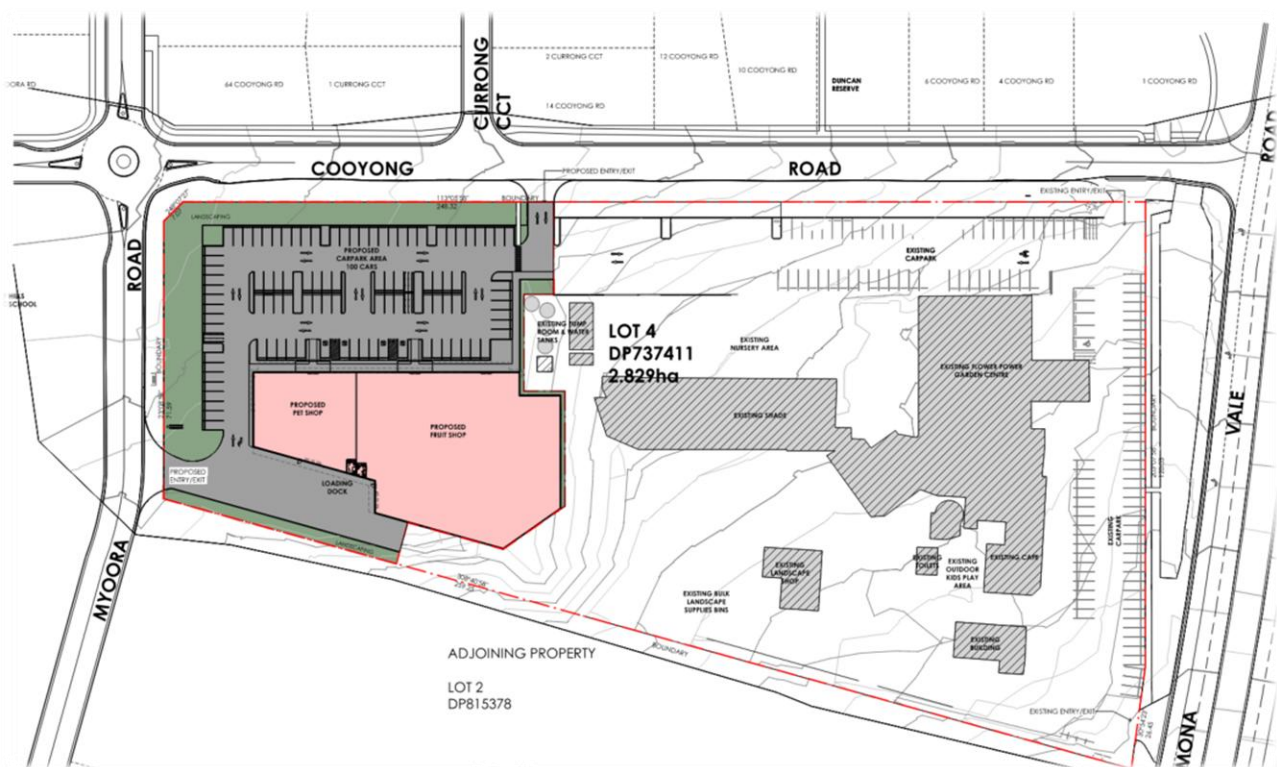
1.0 Project Overview / Summary

Jensen Hughes has reviewed the Development Application documents for the proposed commercial development identified as Flower Power Garden Centre, at 277 Mona Vale Rd, Terrey Hills.

The developer, Flower Power intends to develop two new retail shops, associated parking and sanitary facilities adjacent to the existing Flower Power Garden Centre which is beyond scope of this report.

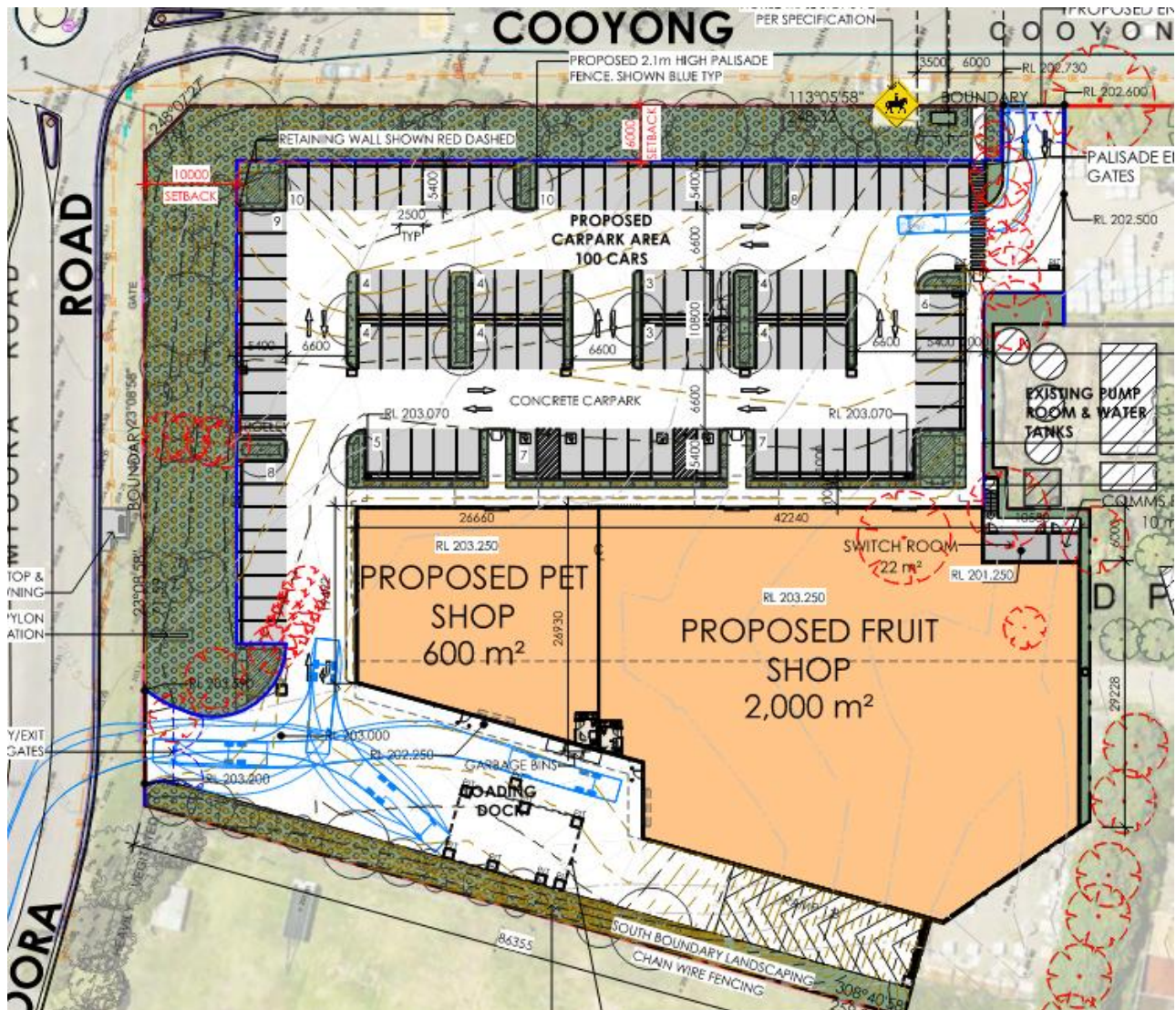
The following report provides a summary of the findings relevant to the proposed works, highlighting the legislative and technical requirements to ensure all building occupants are afforded equitable, dignified access to the degree necessary.

1.1 Site plan (isometric images)



DA14 – A – Site Coverage Area Plan – Leffler Simes Architects

1.2 Floor Plan



DA100 – A – Floor Plan – Leffler Simes Architects

1.3 Review summary

A detailed review has been undertaken of the documentation listed within this report (refer below) against the following:

- + Principles of Universal Design
- + Objects of the *Disability Discrimination Act 1992*
- + *Disability (Access to Premises- Buildings) Standards 2010*.
- + Building Code of Australia 2022 (BCA2022) Volume 1 – Part D4 and Clauses E3D7 and F4D5
- + Applicable Australian Standards AS1428.1:2009, AS1428.4.1:2009 and AS2890.6:2009, AS1735.12-1999.

The design review includes general areas of the proposed development including but not limited to items as noted below:

- + Accessways (continuous accessible path of travel) from the allotment boundary and any accessible parking bay within the allotment associated with the building.
- + Building entrances.
- + Provision of vertical transport (where relevant)
- + Doors (hinged/sliding) and doorway circulation space.
- + Stairs, ramps, and walkway/pathway requirements.
- + Car parking.
- + Sanitary Facilities including Unisex accessible toilets and ambulant facilities.
- + Landscaping.
- + Adaptable housing provisions AS 4299

Subject to addressing the actions identified as necessary within the future design stages of the project, Jensen Hughes confirm that the project documentation provides accessibility capable of complying with the Disability (Access to Premises – Buildings) Standards 2010 (APS), National Construction Code (BCA) and Northern Beaches Development Control Plan (DCP) requirements.

1.4 Performance based solution summary

The assessment of the design documentation has revealed that the following areas require assessment against the relevant performance requirements of the BCA:

Item	BCA Clause	Relevant Performance Requirement	Technical Requirement	Technical Departure
1.	Nil at this time	Nil at this time	Nil at this time	Nil at this time

2.0 Introduction

Statewide Project Management Pty Ltd has engaged the services of Jensen Hughes as access consultants to conduct a review of project documentation to ensure that functional and compliant accessibility has been applied to the design. Further, as members of the Access Consultants Association (ACA), Jensen Hughes staff use our experience and expertise in the provisions of access to ensure the project team considers the objects of the *Disability Discrimination Act* (DDA) which are far reaching, extending beyond the minimums of building legislation.

3.0 *Project description*

The proposed works include the development of two retail shops and associated facilities, as follows:

- + Retail Space – Pet Shop
- + Retail Space – Fruit and Vegetable Shop
- + Accessible Sanitary Facilities
- + Kitchenette
- + Associated car parking and accessible parking bays x4

The site is entered via Cooyong Road, with the boundaries of the site delineated by Cooyong Road to the north, Mona Vale Road to the East, Adjoining property boundary to the South and Myoora Road to the west.

4.0 Legislative requirements

The minimum legislative requirements for this project comprise both Federal and State legislation. These are outlined below.

Federal

The Federal *Disability Discrimination Act 1992* (DDA) was enacted in 1993. The objects of the DDA are to eliminate as far as possible, discrimination against persons on the basis of their disabilities, in particular access to premises (as defined under the DDA); work; accommodation; the provisions of facilities, services; and land; to ensure, as far as practicable, that persons with disabilities have the same rights to equality before the law as the rest of the community; and to promote recognition and acceptance within the community of the principle that persons with disabilities have the same fundamental rights as the rest of the community.

The DDA is complaints-based legislation administered by the Australian Human Rights Commission (AHRC).

The DDA utilises legislative instruments known as Disability Standards to specify how the objects of the DDA are to be achieved. These standards include:

- + *Disability (Access to Premises – Buildings) Standards 2010,*
- + *Disability Standards for Education 2005; and*
- + *Disability Standards for Accessible Public Transport 2002.*

Where relevant, these Standards reference the Australian Standards for access and mobility (and others), including parts of the AS1428 series, primarily AS1428.1-2009, AS1428.4.1-2009 and others such as AS2890.6 2009.

This review has considered the requirements of the *Disability (Access to Premises – Buildings) Standards 2010*.

State

With the introduction of the *Disability (Access to Premises – Buildings) Standards 2010*, the Building Code of Australia 2011 was modified to align with the federal legislation. The aim of this alignment/inclusion was to ensure that where a building complies with the relevant sections of the BCA, it is deemed to comply with the 'premises' component of the DDA relevant to buildings. However, it is to be noted that compliance with the BCA alone does not necessarily mean compliance with the Disability Discrimination Act, provisions of which extend beyond the building itself.

4.1 Referenced legislation and standards

The design review has been undertaken against the following:

- + Objects of the *Disability Discrimination Act (DDA) 1992*.
- + *Disability (Access to Premises – Buildings) Standards 2010*.
- + National Construction Code (BCA) - Building Code of Australia (BCA) 2022 Volume 1. and referenced Australian Standards including:
 - AS1428.1 2009 Part 1: General Requirements for access – new building work.

- AS1428.2 1992 Part 2: Enhanced and additional requirements – Buildings and facilities.
- AS1428.4.1 2009 Part 4.1: Means to assist the orientation of people with vision impairment – Tactile Ground Surface Indicators (TGSIs).
- AS2890.6 2009 Part 6: Off-street parking for people with disabilities.
- AS1735.12 1999 Lift facilities for people with disabilities.

4.2 Council development approval / development control plans (DCPs)

Further to the above listed Federal and State based legislative considerations, adherence to the Northern Beach Development Control Plan is required.

The proposed development must not be inconsistent with the endorsed drawings and all relevant conditions will need to be satisfied and accurately reflect the construction issue drawings.

5.0 Documentation reviewed

This report is specific to the following key stage drawings.

Architectural Plans Prepared by Leffler Simes Architects			
Drawing Number	Revision	Date	Title
DA000	A	11/06/25	Cover Sheet
DA01	A	11/06/25	Rendered Views
DA10	A	11/06/25	Existing Conditions Plan
DA100	A	11/06/25	Floor Plan
DA11	A	11/06/25	Demolition Plan
DA12	A	11/06/25	Site Analysis Plan
DA120	A	11/06/25	Overall Roof Plan
DA14	A	11/06/25	Site Coverage Area Plan
DA15	A	11/06/25	Proposed Site Plan
DA150	A	11/06/25	Elevation – Sheet 1
DA151	A	11/06/25	Elevation – Sheet 2
DA160	A	11/06/25	Sections – Sheet 1
DA17	A	11/06/25	Shadow Diagrams
DA19	A	11/06/25	Height Non-Compliance

6.0 Exemptions and performance based solutions

6.1 Exemptions

Based on the use of some areas within a building, it is reasonable to not provide access to some spaces where it is deemed inappropriate because of the required tasks which are to be performed in the space or if the area poses as a health or safety risk for people with a disability. These areas include:

- + An area where access would be inappropriate because of the particular purpose for which the area is used.
- + An area that would pose a health or safety risk for people with a disability.
- + Any path of travel providing access only to an area exempted by (a) or (b).

Examples of these rooms/spaces as outlined within the Guideline on the Application of The Premises Standards, Version 2, February 2013, developed by the Australian Human Rights Commission could include: cleaners store rooms, commercial kitchens, staff serving areas behind bars, cool rooms, rigging lofts, waste-containment areas, foundry floors, abattoir animal process areas, railway shunting yards, electrical switch rooms, chemical and hazardous material store areas, loading docks, fire lookouts, plant and equipment rooms and other similar areas.

6.1.1 Subject site – exemptions from the requirements of access

It is expected that the loading dock area would meet the parameters of exemption as outlined above.

6.2 Performance based solutions

Where compliance via the current Deemed to Satisfy (DtS) building legislation cannot be met, these departures are to be addressed via the Performance Based Solution (PBS) Assessment process. This assessment when utilised, will be unique to each building and/or site, combining an understanding of the principles of access with alternative methods to assist the design team, building owners/operators and occupants to achieve an effective solution.

Item	BCA Clause	Relevant Performance Requirement	Technical Requirement	Technical Departure
1.	Nil at this time	Nil at this time	Nil at this time	Nil at this time

7.0 Design requirements

The following highlights the key accessibility features that are to be addressed as the design progresses. It should be noted that for technical specifications, relevant Australian Standards are to be utilised.

7.1 General building access requirements

Buildings and parts of buildings must be accessible in accordance with D4D2 of BCA 2022. Unless subject to an exemption, access is required as follows:

Building Classification	Access Requirements
Class 6 – shop or other building for the same of goods by retail, or supply of services direct to the public	Access is required to and within all areas used by occupants
Class 7a – a car park	Access is required to and within any level containing accessible carparking spaces.

7.1.1 BCA Clauses and references Australian Standards reviewed:

BCA Clauses – BCA 2022 references	
D4D2 General building access requirements	Applicable
D4D3 Access to buildings	Applicable
D4D4 Parts of buildings to be accessible	Applicable
D4D5 Exemptions	Applicable
D4D6 Accessible car parking	Applicable
D4D7 Signage	Applicable
D4D8 Hearing augmentation	Applicable
D4D9 Tactile indicators	Applicable
D4D10 Wheelchair seating spaces in a Class 9b assembly building	Not applicable
D4D11 Swimming Pools	Not applicable
D4D12 Ramps	Applicable
D4D13 Glazing on an accessway	Applicable
E3D7 Passenger lift types and their limitations	Not applicable
F4D5 Accessible sanitary facilities	Applicable
Australian Standard references	
AS1428.1-2009	Applicable
AS1428.4.1-2009	Applicable

BCA Clauses – BCA 2022 references	
AS1428.2-1992	Applicable
AS 2890.6-2009	Applicable
AS1735.12-1999 – Post Adaptation	Not applicable

7.2 External approaches to buildings – accessways, walkways, kerb ramps

7.2.1 Access requirements

An accessway (continuous accessible path) is required to the new buildings:

- + from the main points of a pedestrian entry at the allotment boundary; and
- + from another accessible building connected by a pedestrian link; and
- + from any required accessible car parking space on the allotment.

Accessways are required to incorporate a minimum width of 1000mm, 1500mm x 1500mm at locations where a 90deg turn is required, and 1540mm (W) x 2070mm (L) where it is not possible to continue, within 2m of the end of the accessway. Passing spaces are also required at maximum 20m intervals, where a direct line of sight is not available within an accessway. Where the accessway incorporates a linear grade between 1:20 and 1:40, it is to meet the requirements of AS 1428.1-2009 relevant to walkways.

Crossfalls and gradients of the external pathways are to not exceed 1:40 and be constructed of a firm, hardstand surface in accordance with AS1428.1-2009 requirements.

Ground surfaces are required to incorporate finishes which are slip resistant, including the abutment of surfaces which don't limit the movement of a person with disability, with the orientation and placement of elements such as drains also important considerations.

Doorways and gates within accessways are to meet the provisions of AS1428.1-2009 including circulation space to both sides of the gate/door, luminance contrast, and the provision of appropriate door controls.

Where there is no environmental cue available for people with vision loss e.g., level transition at a road crossing point, the incorporation of tactile ground surface indicators (TGSIs) in accordance with the requirements of AS1428.4.1-2009 is necessary.

Where a kerb ramp is installed, it is to meet the provisions of AS1428.1-2009, including transitions, surface abutments and landing depth and width, according to the direction of travel and/or any required change of direction.

7.2.2 Subject site – access assessment

Jensen Hughes has reviewed the drawings and documentation in relation to the aforementioned requirements. On the basis of the current level of detail all access requirements regarding access to the main entry of each shop from the allotment boundary appear capable of achieving compliance. As the design develops further assessment of pedestrian pathways linking existing and new shops will be undertaken to ensure compliant outcomes are achieved.

Further work will be required during design development stage to ensure appropriate outcomes are achieved.

7.3 Vehicle and bicycle access into the site

7.3.1 Access requirements

Carparking

The requirements for the number of accessible car parking spaces relevant to this class of building (Class 6) under the BCA are as follows:

(i) with up to 1000 carparking spaces — 1 accessible space for every 50 carparking spaces or part thereof;

and

(ii) for each additional 100 carparking spaces or part thereof in excess of 1000 carparking spaces — 1 accessible space.

Bicycle

Bicycle parking where provided should consider the approach, entry, and circulation space available within any secure bicycle parking area e.g., space for a 180deg turn if necessary, and the layout of any bike racks to ensure that bicycles when in-situ, don't impact the use of any associated/adjacent accessways. For example, a recumbent bike which extends over an accessway when parked.

7.3.2 Subject site – access assessment

Jensen Hughes has reviewed the drawings and documentation in relation to the aforementioned requirements. On the basis of the current level of detail regarding vehicle access onto the site and accessible parking spaces required, both appear capable of achieving compliance.

The design will be further assessed during design development stage to ensure appropriate outcomes are achieved.

7.4 Entrances

7.4.1 Access requirements

Doors/gates within paths of travel common to building users, require the following to meet the provision of AS1428.1-2009 Clause 13:

- + Unobstructed clear opening widths to be a minimum of 850mm (a 920mm door leaf is required for a hinge swing door; 1020mm required for a swing door).
- + Controls including after-hours swipe cards, key locks, auto door controls etc. located on a level landing, in an accessible location.
- + Circulation spaces which consider the angle of approach and direction of swing/slide at both sides of the entrance door.
- + Light operational forces (less than 20 N).
- + Appropriately procured and installed door/gate controls and hardware.
- + Luminance contrast which is measured at not less than 30%.

7.4.2 Subject site – access assessment

Jensen Hughes has reviewed the drawings and documentation in relation to the aforementioned requirements. On the basis of the current level of detail all access requirements regarding access to and through the principle pedestrian sliding doors appear capable of achieving compliance across both shops.

The design will be further assessed during design development stage to ensure appropriate outcomes are achieved.

7.5 Stairs and Ramps

7.5.1 Access requirements

Stairs within the site are to incorporate (excluding fire isolated stairs):

- + Handrails to both sides which are continuous, consistent, and incorporate a diameter of 30-50mm, extensions and terminations at the top and base, a clear unobstructed width of no less than 1000mm between them.
- + Opaque risers.
- + Nosing strips which provide a luminance contrast of no less than 30%.
- + Tactile ground surface indicators (TGSIs) at the top and base which incorporate a luminance contrast of 30-60% dependent upon the installation type.

Ramps within the site are to incorporate (excluding fire isolated ramps):

- + A gradient of not more than 1:14.
- + Landings which are incorporated at the intervals required based upon the gradient of the ramp and which do not exceed 1:40, taking into consideration the direction of travel, and adjusting the landing depth/width, as necessary.
- + Handrails to both sides which are continuous, consistent, and incorporate a diameter of 30-50mm, extensions and terminations at the top and base, a clear unobstructed width of no less than 1000mm between them.
- + Kerb rails installed to both sides of the ramp.
- + Tactile ground surface indicators (TGSIs) at the top and base which incorporate a luminance contrast of 30-60% dependent upon the installation type.

A set back is required from transverse paths of travel, typically 700mm from an internal corner and 900mm from the allotment boundary.

Fire-isolated Stairs (FIS)

All fire isolated stairs are to incorporate:

- + Nosing strips which provide a luminance contrast of no less than 30%.
- + Handrails which meet the provisions of AS1428.1-2009 Clause 12.

7.5.2 Subject site – access assessment

Not applicable, no stairs or ramps noted within the design.

7.6 Doors and Doorways

7.6.1 Access requirements

Doors and doorways within paths of travel required to be accessible, require the following to meet the provision of AS1428.1-2009 Clause 13:

- + Unobstructed clear opening widths to be a minimum of 850mm (a 920mm door leaf is required for a hinge swing door; 1020mm required for a swing door).
- + Controls including after-hours swipe cards, key locks, auto door controls etc. located on a level landing, in an accessible location.
- + Circulation spaces which consider the angle of approach and direction of swing/slide at both sides of the entrance.
- + Light operational forces (less than 20 N).
- + Appropriately procured and installed door controls and hardware.
- + Fully glazed doors or sidelights to incorporate a visual contrast strip no less than 75mm wide for the full width of the glazing, with the lowest edge at 900-1000mm above the finished floor.
- + Luminance contrast which is measured at not less than 30%.
- + A level transition shall be provided to all entrances and external areas e.g. bike storage which will be achieved via provision of threshold ramps where required in accordance with AS1428.1-2009 requirements.

7.6.2 Subject site – access assessment

Jensen Hughes has reviewed the drawings and documentation in relation to the aforementioned requirements. On the basis of the current level of detail doors and doorways on accessible paths of travel within common use areas required to be accessible currently appear capable of achieving compliance.

The design will be further assessed during design development stage to ensure appropriate outcomes are achieved.

7.7 Internal accessways – corridors, rooms

7.7.1 Access requirements

An accessway is required within all common use areas of a building normally used by occupants, unless subject to the exemption provisions of the BCA.

Where provided and relevant, internal accessways are required to ensure:

- + a minimum clear width of 1000mm is available, adjusting as necessary to address door circulation space.
- + Doors/doorways are provided with appropriate controls, circulation spaces and contrasts, with visual glazing strips installed, as necessary.

- + Ground surfaces and abutments meet the provisions of AS1428.1-2009.
- + Ramps i.e. step and threshold meet the provisions of AS1428.1-2009.
- + Passing and turning spaces where provided meet the provisions of access as prescribed by AS1428.1-2009.

7.7.2 Subject site – access assessment

Jensen Hughes has reviewed the drawings and documentation in relation to the aforementioned requirements. On the basis of the current level of detail internal accessways appear capable of achieving compliance across both shops.

However, internal accessways would require further review as the design progresses to ensure that the provisions of AS 1428.1-2009 will be met.

7.8 Sanitary facilities

7.8.1 Access requirements

Unisex accessible sanitary facilities are required on each floor level where sanitary facilities are available within common areas. An equal distribution of right hand (RH) and left hand (LH) configured unisex accessible sanitary facilities are to be provided, where there is more than one available within a building.

The plan circulation space and fit out of these facilities are to meet the provisions of AS1428.1-2009 Clause 15. Where one or more toilets are provided in addition to a unisex accessible sanitary facility, an ambulant cubicle for male and female use is required within each bank.

Raised tactile and Braille signage is required to identify each of the sanitary facilities and provide direction where a bank of sanitary facilities does not incorporate an accessible facility, directing the user to the location of the nearest accessible facility. Where gendered shower facilities are available, an accessible shower facility is required.

7.8.2 Subject site – access assessment

Amenities are proposed in the following locations:

- + Rear of Pet Shop – Unisex accessible sanitary facility, left hand (LH) configured.
- + Rear of Fruit Shop – Unisex accessible sanitary facility, right hand (RH) configured.

Jensen Hughes has reviewed the drawings and documentation in relation to the aforementioned requirements. On the basis of the current level of detail accessible sanitary facilities and their size and circulation space currently appear capable of achieving compliance.

The design will be further assessed during design development stage to ensure appropriate outcomes are achieved.

No additional sanitary facilities are available within this common use area, negating the need for the provision of ambulant sanitary facilities or accessible showers.

7.9 Wayfinding (Signage Component) – Common Use Areas

7.9.1 Access requirements

Where a pedestrian entrance is not accessible, raised tactile and Braille directional signage incorporating the international symbol of access is required to direct a person to the location of the nearest accessible pedestrian entrance.

Further raised tactile and Braille signage is required to be installed at accessible sanitary facilities, identifying the configuration of the facility, ambulant sanitary facilities (where available), spaces which incorporate hearing augmentation, including information about the type of system in use and the availability/location of receivers. Signage is also required at exit doors identifying the location.

A signage and wayfinding strategy should be created to ensure key accessible transition points are identified and captured around a building and/or site e.g., highlighting the location of accessible sanitary facilities, parking bays etc.

7.9.2 Subject site – access assessment

Jensen Hughes has reviewed the drawings and documentation in relation to the aforementioned requirements. On the basis of the current level of detail, signage appears capable of achieving compliance.

The design will be further assessed during design development stage to ensure appropriate outcomes are achieved.

7.10 Emergency egress and evacuation

7.10.1 Access considerations

Any emergency evacuation strategy should address the operational considerations relevant to the evacuation of people with disabilities and should detail the following:

- + Stair refuges, or
- + Fire-isolated lift lobbies and use of lifts in emergency.

Fire evacuation plans should include provision of management plans to assist known occupants with disability. Individuals with mobility limitations should be provided with a “fire buddy” to escort them to pre-determined areas of refuge.

AS 3745 - 2010 Planning for emergencies in facilities can be utilised as a guideline to assist in the implementation of any Emergency Plan.

7.10.2 Subject site – access assessment

Note for consideration.

7.11 Landscaping, Streetscapes and Terraces

7.11.1 Access considerations

The following are some design considerations for providing equitable access to the external public space:

Lighting installations which minimise glare.

Luminance contrast of features such as bike racks, bollards, bins etc.

7.11.2 Subject site – access assessment

Note for consideration.

7.12 Lighting

7.12.1 Access considerations

The inclusion of quality light assists people in navigating their way through an environment and assist in the effective use of a building, potentially affecting working satisfaction and productivity.

Consideration should be given to lighting as follows:

Location	Lux level
Entrances, passageways, and walkways	150lx
Stairs	150lx
Ramps	150lx
Toilets and locker rooms	200lx
Counter tops	200lx
General displays	200lx

7.12.2 Subject site – access assessment

Note for consideration.

8.0 Compliance summary

As a member of the Access Consultants Association (ACA), I have reviewed the Development Application documentation (refer above) against the current requirements for access and mobility against the following:


- + Objects of the Disability Discrimination Act (DDA) 1992.
- + *Disability (Access to Premises – Buildings) Standards 2010.*
- + National Construction Code (BCA) - Building Code of Australia (BCA) 2022 – Volume One and referenced Australian Standards including:
 - AS1428.1 2009 Part 1: General Requirements for access – new building work.
 - AS1428.2 1992 Part 2: Enhanced and additional requirements – Buildings and facilities.
 - AS1428.4.1 2009 Part 4.1: Means to assist the orientation of people with vision impairment – Tactile Ground Surface Indicators (TGSIs).
 - AS2890.6 2009 Part 6: Off-street parking for people with disabilities.

This report provides the reader with an overview of the project with respect to achieving compliance against the above.

It is anticipated that within the next stage of the design process, additional detail will be available and reviewed.

If you've any questions in relation to this report, please contact the writer.

Review undertaken by:

Signed by:

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Molly Denison-Pender

Accessibility Consultant