



Printed 3/11/2023



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2023/0617

5 SKYLINE PLACE

S4.55

G	S4.55	31.10.23
F	FOR CONCILIATION CONFERENCE	01.03.23
E	FOR CONCILIATION CONFERENCE	24.02.23
D	S82AREVIEW	01.11.21
ISSUE	REVISIONS	DATE

PROJECT:
**MIXED USE AND SENIORS LIVING
DEVELOPMENT**
5 Skyline Place Frenchs Forest NSW 2086
SP 49558

COVER PAGE

P A STUDIO

LEVEL 2, 20 YOUNG ST., NEUTRAL BAY, NSW 2089
TEL: 8556 1500 FAX: 8556 1595 ACH: 903 305 204

NOMINATED ARCHITECT: GEORGE REYATY-REG#23954

SCALE: AS SHOWN	DRAWING
SUBSET: DA	DA000
DRAWN BY: SUWHSP	ISSUE G

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 216K95 (LO11) 82A



Minor changes to car park layout
Minor change to floor levels
Relocation of storage areas
Addition of a Workshed
Carwash bays (x2) have been relocated and put side by side
Relocation of the East Building Lift Core
Minor change to the Northeast excavation along the Northern boundary



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MOD2023/0617

G	S4.55	31.10.23
F	FOR CONCILIATION CONFERENCE	01.03.23
E	FOR CONCILIATION CONFERENCE	24.02.23
D	S82AREVIEW	01.11.21
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PROJECT:

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5 Skyline Place Frenchs Forest NSW 2086
SP 49558

LOWER BASEMENT CARPARK

PA STUDIO

LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

NOMINATED ARCHITECT:GEORGE REVAY-REG03254

SCALE: AS SHOWN	DRAWING DA201 G
SUBSET: PLANS	
DRAWN BY: SU/WH/SP	

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1) 82

MOD2023/0617

I	RESPONSE TO COUNCIL'S RFI	31.05.24
H	RESPONSE TO COUNCIL'S RFI	05.03.24
G	S4.55	31.10.23
F	FOR CONCILIATION CONFERENCE	01.03.23
E	FOR CONCILIATION CONFERENCE	24.02.23
D	S82A REVIEW	01.11.21
ISSUE	REVISIONS	DATE

PROJECT:

**MIXED USE AND SENIORS LIVING
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BASEMENT CARPARK

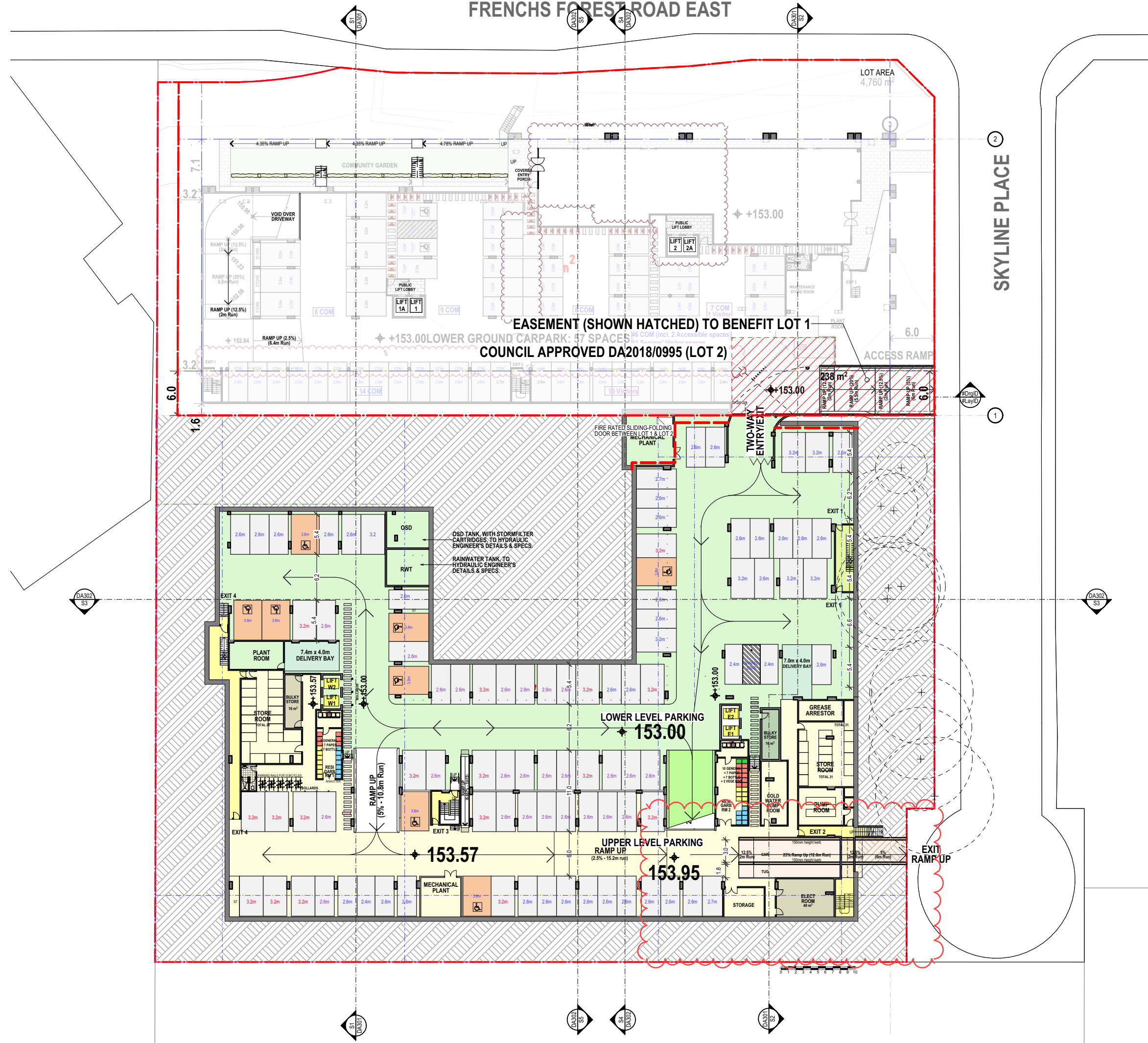
P A S T U D I O

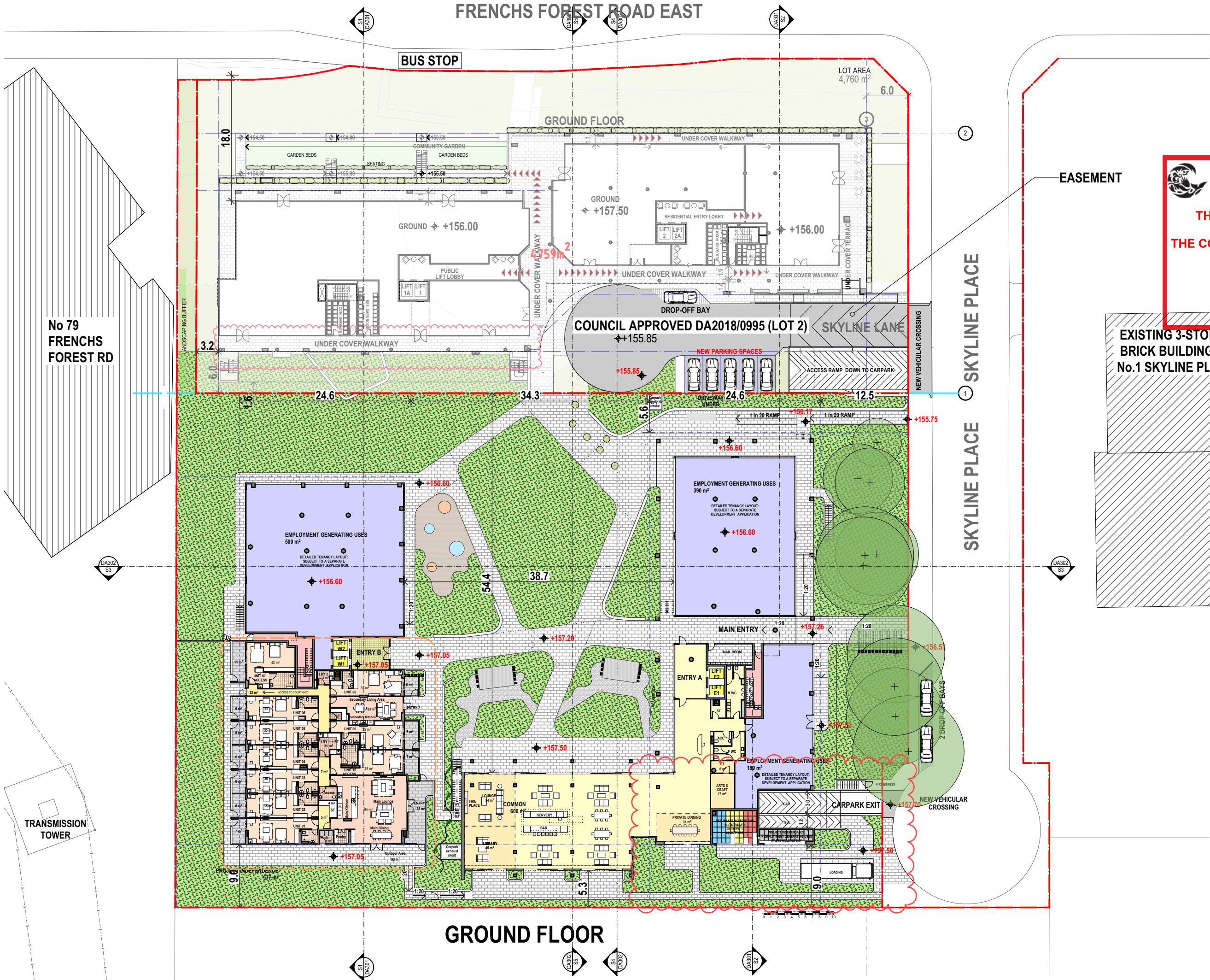
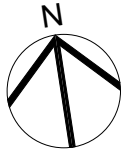
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

NOMINATED ARCHITECT:GEORGE REVAY-REG#3954

SCALE:	AS SHOWN	DRAWING DA202 ISSUE
SUBSET:	PLANS	
DRAWN BY:	SU/WH/SP	

FILE: \\PlatinoFiles\Drawings\SKY5 Stage2\SKY 5 COUNCIL RF MAY 2024 (1)\SKY5 (LO





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MOD2023/0617

EXISTING 3-STO
BRICK BUILDING
No.1 SKYLINE PL

I	RESPONSE TO COUNCIL'S RFI	31.05.24
H	RESPONSE TO COUNCIL'S RFI	05.03.24
G	S4.55	31.10.23
F	FOR CONCILIATION CONFERENCE	01.03.23
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D	S82A REVIEW	01.11.21
ISSUE REVISIONS		DATE

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5 Skyline Place Frenchs Forest NSW 2086
SP 49558

GROUND FLOOR PLAN

PA STUDIO
LEVEL 2, 20 YOUNG ST., NEUTRAL BAY, NSW 2089
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

NOMINATED ARCHITECT: GEORGE REVAY-REG#3954

SCALE:	AS SHOWN	DRAWING
SUBSET:	PLANS	DA203
DRAWN BY:	SU/WH/SP	ISSUE
		1



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AMENDMENTS

Delete lift which provides access between upper level basement and commercial space above at ground level

Delete Employment Generating Uses at Level 1 of the Eastern Building and replace with residential uses providing 8 ILUs

Revised finished floor levels at each level to ensure floor to floor heights

Relocation of the East Building Lift Core & Egress Stairs

Minor changes to the design of the apartments

Minor adjustments to the South Façade of the West Building



northern
beaches
council

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MOD2023/0617

AFFORDABLE

TRANSMISSION
TOWER

COUNCIL APPROVED DA2018/0995 (LOT 2)

LEVEL 1

LEVEL 1

G	S4.55	31.10.23
F	FOR CONCILIATION CONFERENCE	01.03.23
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5 Skyline Place Frenchs Forest NSW 2086
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LEVEL 1 FLOOR PLAN

PA STUDIO

LEVEL 2, 20 YOUNG ST., NEUTRAL BAY, NSW 2086
TEL: 8566 1800 FAX: 8566 1599 ACH: 855 365 265

NOMINATED ARCHITECT: GEORGE REVATY-REG#3354

SCALE: AS SHOWN

SUBSET: PLANS

DRAWN BY: SU/WH/SP

FILE: BIM Server: BM21 - BIMcloud Basic for ARCHICAD 21SKYS (LOT1) 82A

DRAWING

DA204

ISSUE

G



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AMENDMENTS

- Revised design of the common areas
- Revised finished floor levels at each level to ensure floor to floor heights
- Relocation of the East Building Lift Core & Egress Stairs
- Minor changes to the design of the apartments
- Minor adjustments to the South Façade of the West Building
- 2x1BD, 2xStudios and 2x2BD have been replaced by 4x2BD in the West Tower



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MOD2023/0617

No 79
FRENCHS
FOREST RD

COUNCIL APPROVED DA2018/0995 (LOT 2)

LEVEL 2

LEVEL 2

G	S4.55	31.10.23
F	FOR CONCILIATION CONFERENCE	01.03.23
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D	S82AREVIEW	01.11.21
ISSUE	REVISIONS	DATE

PROJECT:

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DEVELOPMENT**
5 Skyline Place Frenchs Forest NSW 2086
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LEVEL 2 FLOOR PLAN

PA STUDIO

LEVEL 2, 20 YOUNG ST., NEUTRAL BAY, NSW 2086
TEL: 8586 1800 FAX: 8586 1593 ACH: 883 385 265

NOMINATED ARCHITECT: GEORGE REYAT-REG#3354

SCALE: AS SHOWN

SUBSET: PLANS

DRAWN BY: SU/WH/SP

FILE: BIM Server: BM21 - BIM Model Basic for ARCHICAD 21 SKYS (LOT1) 82A

DRAWING

DA205

ISSUE

G



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AMENDMENTS

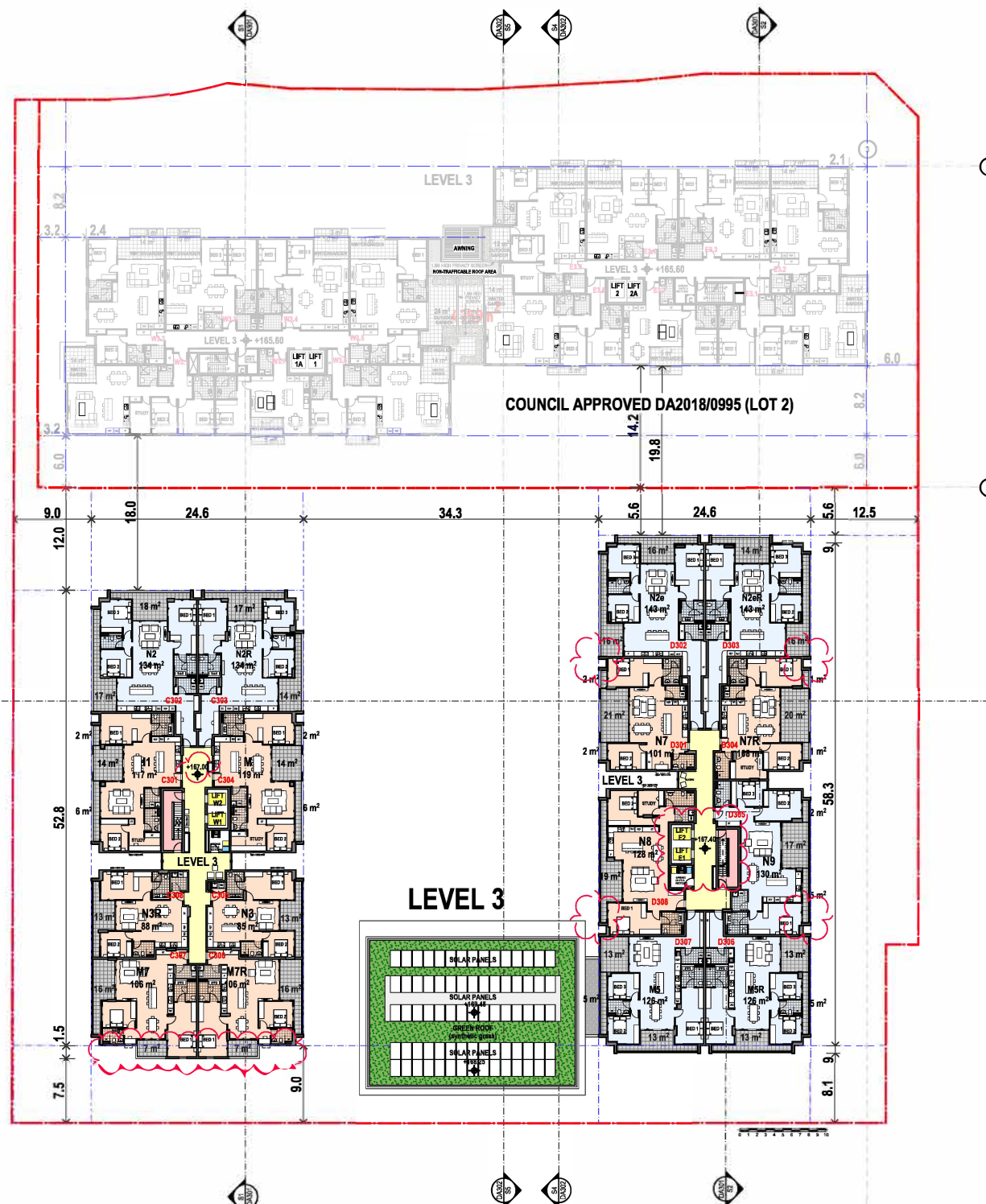
- Revised finished floor levels at each level to ensure floor to floor heights
- Relocation of the East Building Lift Core & Egress Stairs
- Minor changes to the design of the apartments
- Minor change to Common Pool & Gym Roof and Clerestory
- Minor adjustments to the South Façade of the West Building



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LEVEL 3 FLOOR PLAN

PA STUDIO

LEVEL 2, 20 YOUNG ST., NEUTRAL BAY, NSW 2086
TEL: 8568 1800 FAX: 8568 1599 ACH: 885 365 265

NOMINATED ARCHITECT: GEORGE REYAT-REG#3324

SCALE:	AS SHOWN	DRAWING
SUBSET:	PLANS	DA206
DRAWN BY:	SU/WH/SP	ISSUE
		G

FILE: BIM Server: BIM21 - BIMdout Basic for ARCHICAD 21SKYS (LOT1) 82A



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AMENDMENTS

- Revised finished floor levels at each level to ensure floor to floor heights
- Relocation of the East Building Lift Core & Egress Stairs
- Minor changes to the design of the apartments
- Minor adjustments to the South Façade of the West Building



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LEVEL 4 FLOOR PLAN

PA STUDIO

LEVEL 2, 20 YOUNG ST., NEUTRAL BAY, NSW 2086
TEL: 8566 1000 FAX: 8566 1599 ACH: 885 365 265
NOMINATED ARCHITECT: GEORGE REVATY-REG#3354

SCALE: AS SHOWN	DRAWING
SUBSET: PLANS	DA207
DRAWN BY: SU/WH/SP	ISSUE D

FILE: BIM Server: BIM21 - BIMdout Basic for ARCHICAD 21SKYS (LOT1) 82A



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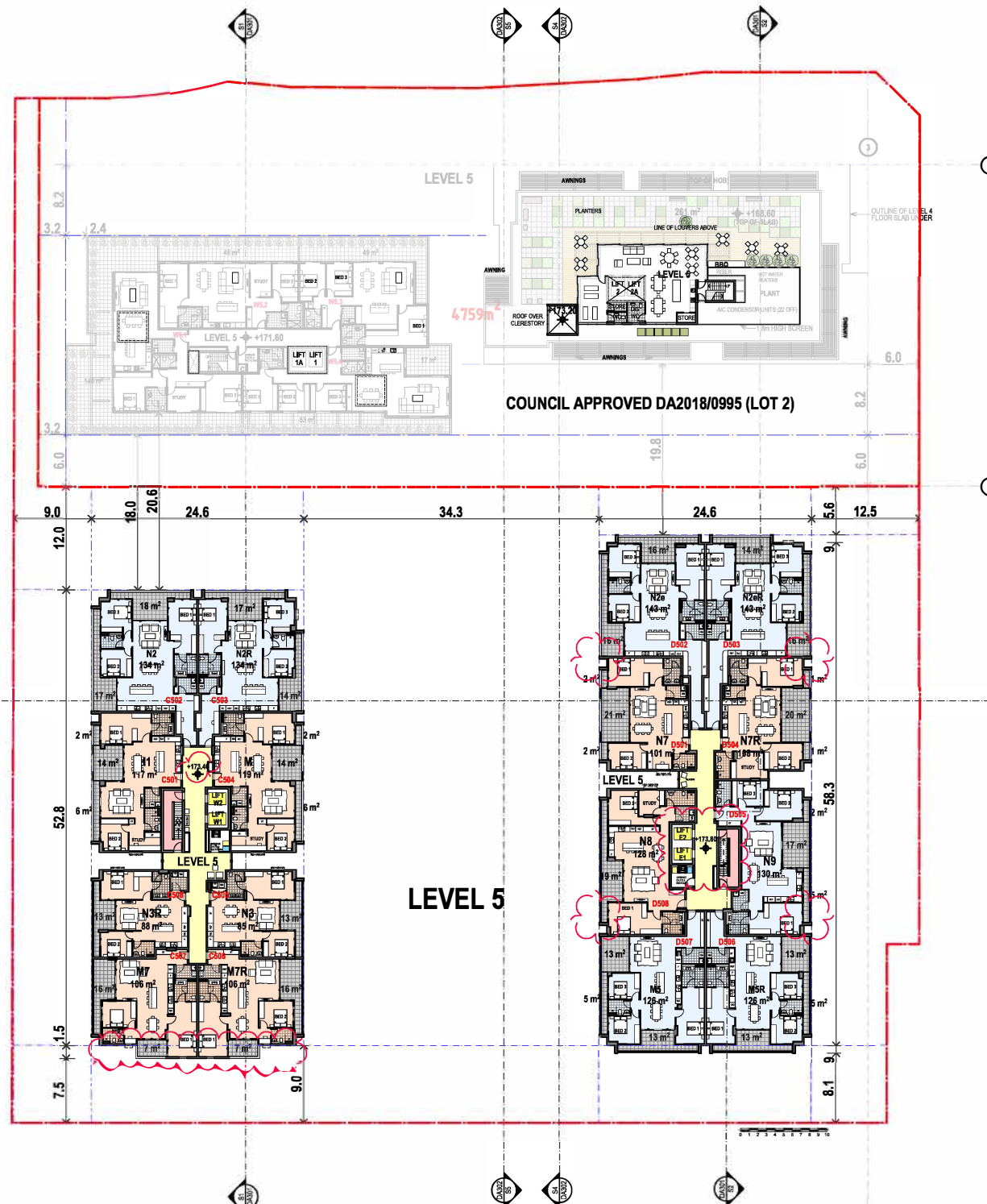
AMENDMENTS

- Revised finished floor levels at each level to ensure floor to floor heights
- Relocation of the East Building Lift Core & Egress Stairs
- Minor changes to the design of the apartments
- Minor adjustments to the South Façade of the West Building



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LEVEL 5 FLOOR PLAN

PA STUDIO

LEVEL 2, 20 YOUNG ST., NEUTRAL BAY, NSW 2086
TEL: 8588 1800 FAX: 8588 1593 ACH: 885 385 265

NOMINATED ARCHITECT: GEORGE REVATY-REG#3354

SCALE:	AS SHOWN	DRAWING
SUBSET:	PLANS	DA208
DRAWN BY:	SU/WH/SP	ISSUE
		D

FILE: BIM Server: BIM21 - BIMdout Basic for ARCHICAD 21SKYS (LOT1) 82A



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AMENDMENTS

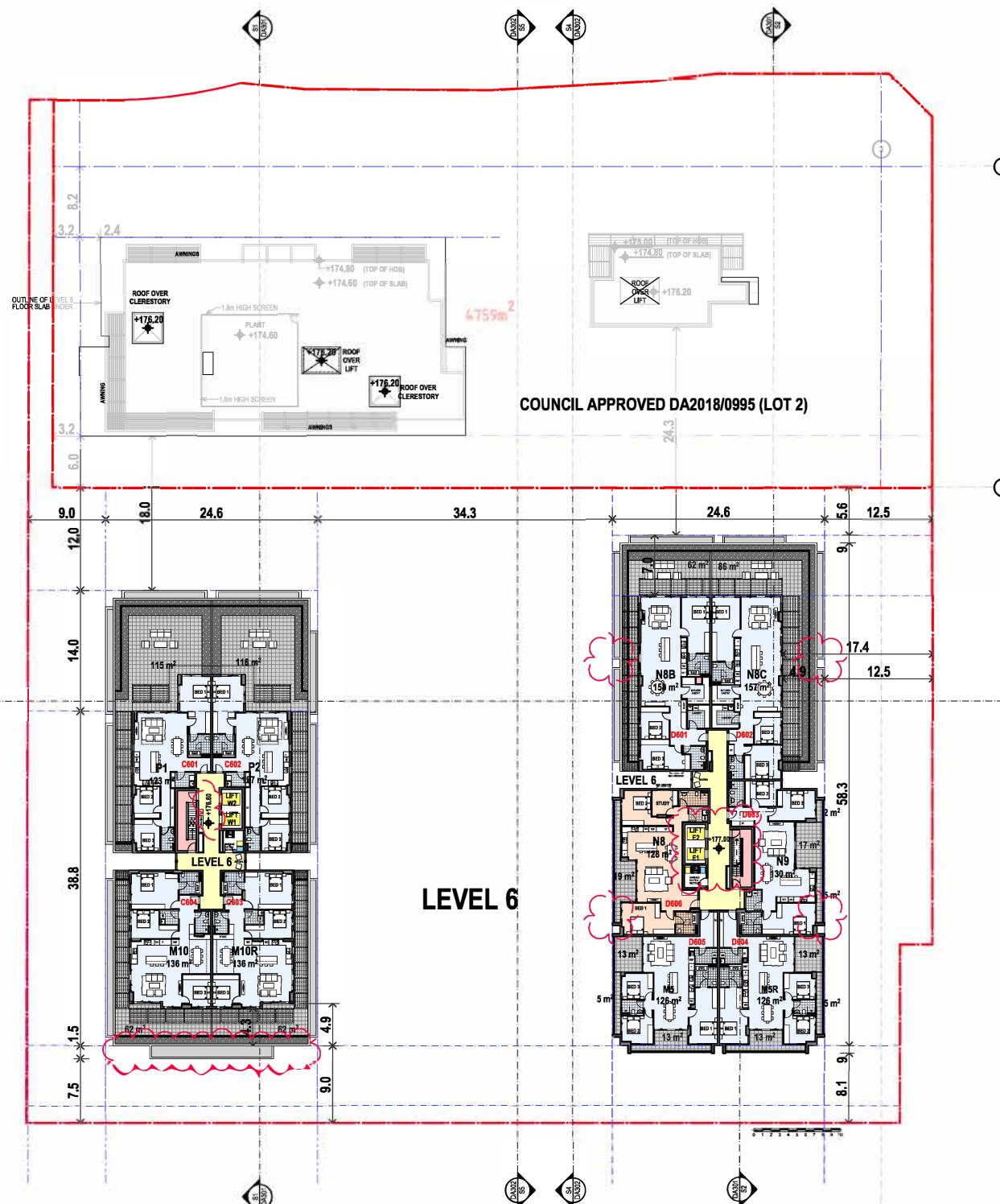
- Revised finished floor levels at each level to ensure floor to floor heights
- Relocation of the East Building Lift Core & Egress Stairs
- Minor changes to the design of the apartments
- Minor adjustments to the South Façade of the West Building



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DEVELOPMENT**
5 Skyline Place Frenchs Forest NSW 2086
SP 49558

LEVEL 6 FLOOR PLAN

PA STUDIO

LEVEL 2, 20 YOUNG ST., NEUTRAL BAY, NSW 2086
TEL: 8566 1500 FAX: 8566 1599 ACH: 855 365 265
NOMINATED ARCHITECT: GEORGE REVATY-REG#3354

SCALE:	AS SHOWN	DRAWING
SUBSET:	PLANS	DA209
DRAWN BY:	SU/WH/SP	ISSUE
		D

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21SKYS (LOT1) 82A



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AMENDMENTS

- Revise design of the common areas
- Revised finished floor levels at each level to ensure floor to floor heights
- Relocation of the East Building Lift Core & Egress Stairs
- Minor changes to the design of the apartments
- Minor adjustments to the South Façade of the West Building
- Increase the plant area on the roof



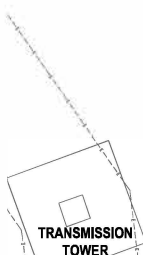
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beaches
council

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MOD2023/0617

LEVEL 7

4759m²



G	S4.55	31.10.23
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ISSUE	REVISIONS	DATE

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LEVEL 7 FLOOR PLAN

PA STUDIO

LEVEL 2, 20 YOUNG ST., NEUTRAL BAY, NSW 2086
TEL: 8568 1800 FAX: 8568 1599 ACH: 885 365 265

NOMINATED ARCHITECT: GEORGE REVATY-REG#3354

SCALE:	AS SHOWN	DRAWING
SUBSET:	PLANS	DA210
DRAWN BY:	SU/WH/SP	ISSUE
		G

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21SKYS (L01) 824



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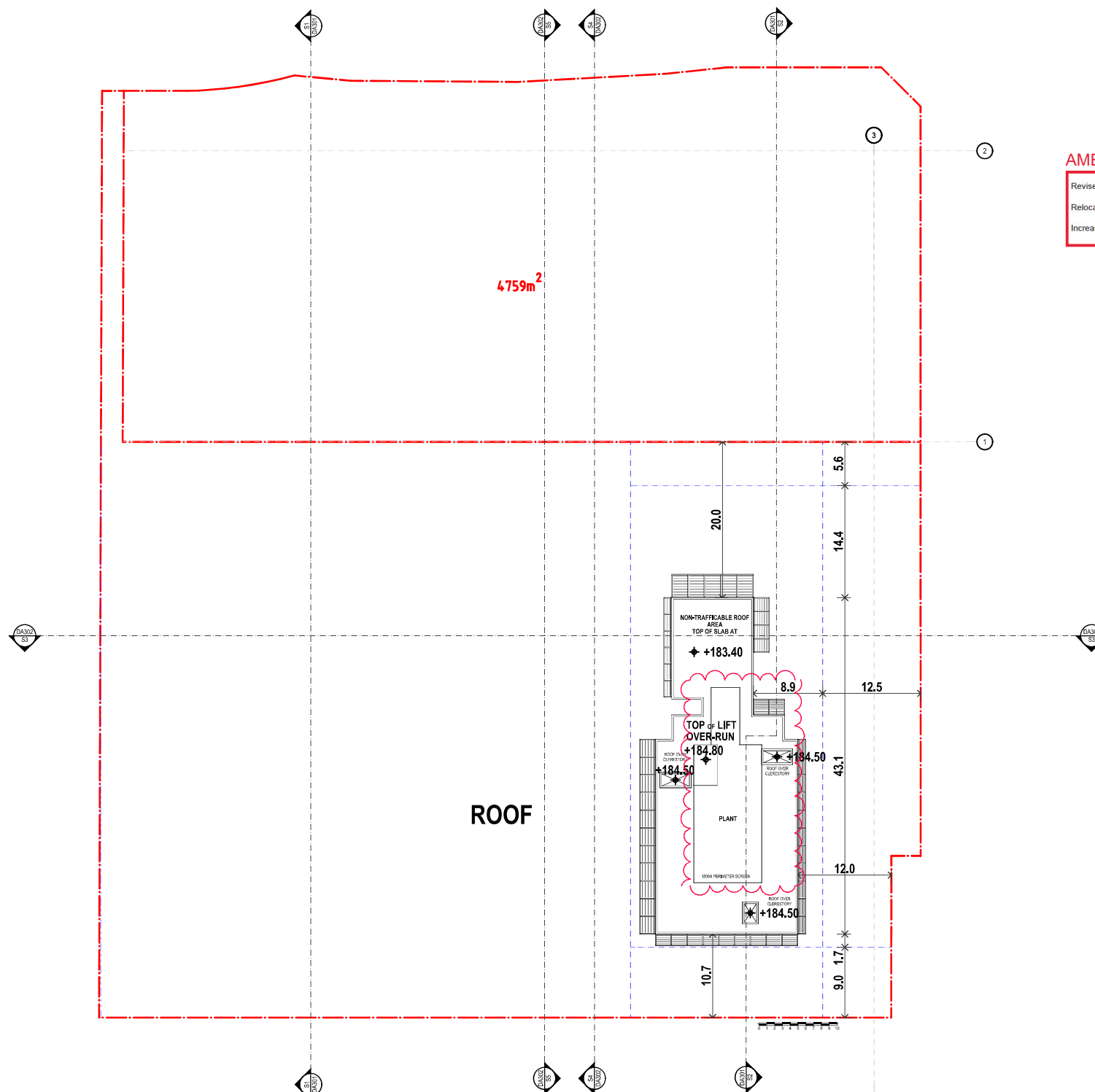
AMENDMENTS

Revised finished floor levels at each level to ensure floor to floor heights
Relocation of the East Building Lift Core & Egress Stairs
Increase the plant area on the roof



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MOD2023/0617



G	S4.55	31.10.23
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**MIXED USE AND SENIORS LIVING
DEVELOPMENT**
5 Skyline Place Frenchs Forest NSW 2086
SP 49558

ROOF PLAN

PA STUDIO

LEVEL 2, 20 YOUNG ST., NEUTRAL BAY, NSW 2089
TEL: 8968 1800 FAX: 8968 1999 A/CN: 893 305 286

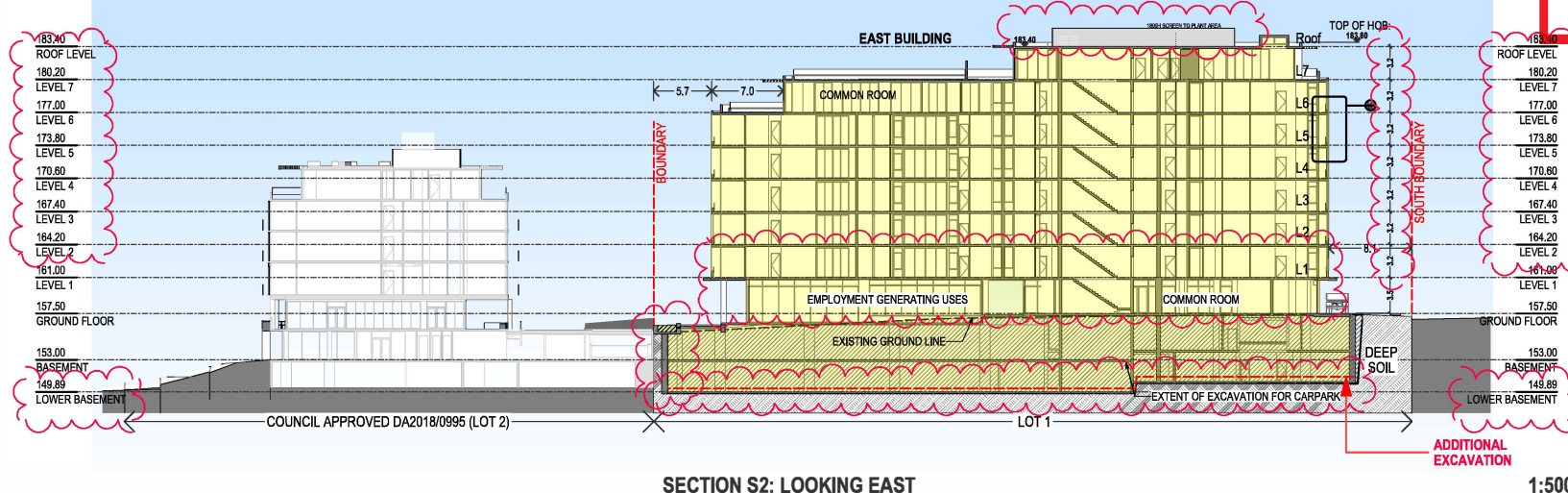
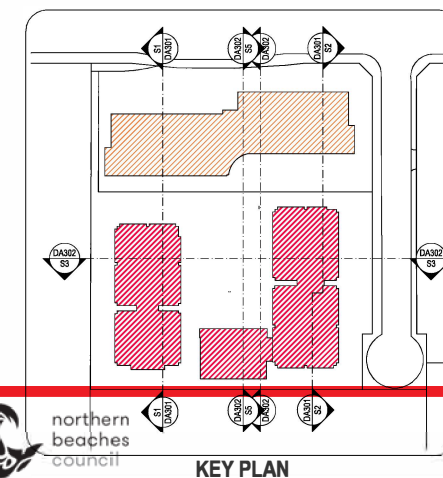
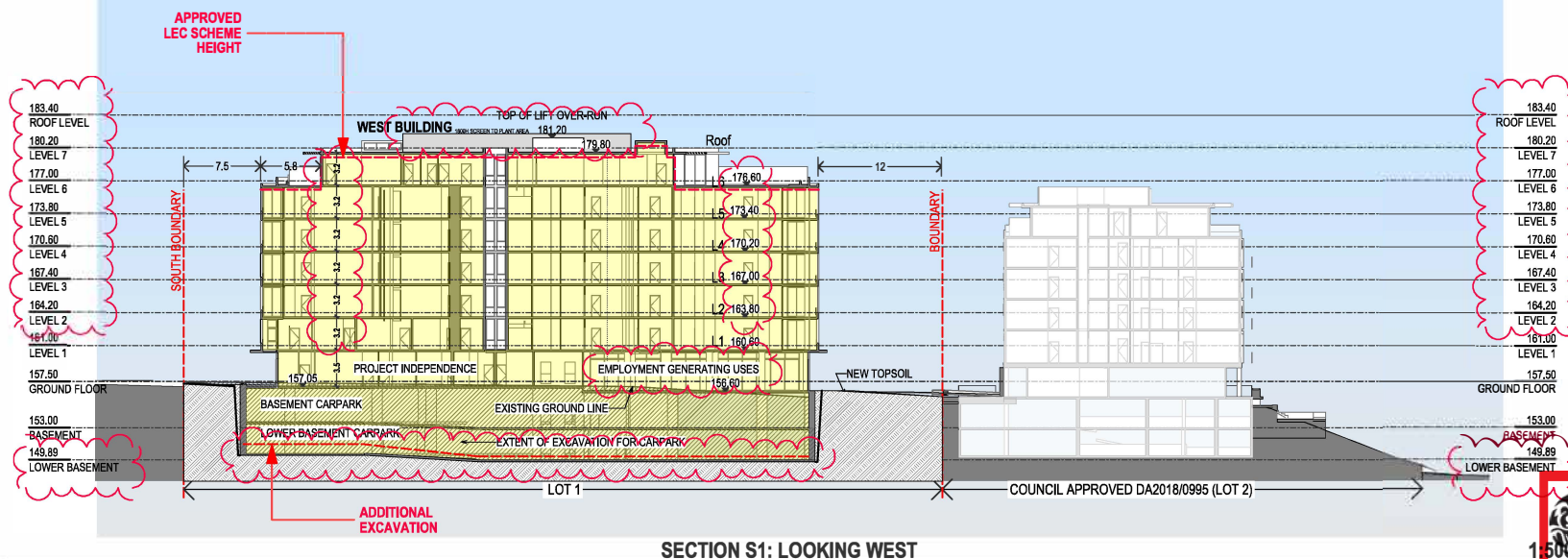
NOMINATED ARCHITECT: GEORGE REYAT-REG#3954

SCALE:	AS SHOWN	DRAWING
SUBSET:	PLANS	DA211
DRAWN BY:	SU/WH/SP	ISSUE
		G

FILE: BIM Server: BM21 - BIMcloud Basic for ARCHICAD 218KYS (LOTT) 82A



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G	S4.55	31.10.23
F	FOR CONCILIATION CONFERENCE	01.03.23
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ISSUE	REVISIONS	DATE
PROJECT:		
MIXED USE AND SENIORS LIVING DEVELOPMENT		
5 Skyline Place Frenchs Forest NSW 2086		
SP 49558		

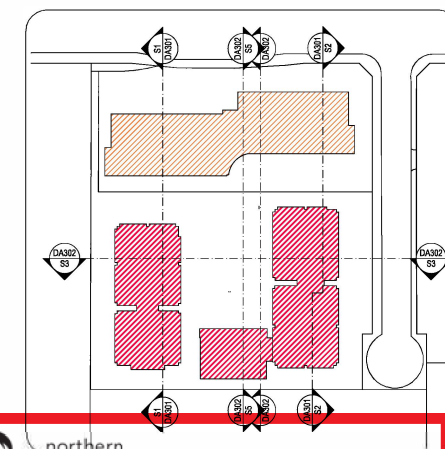
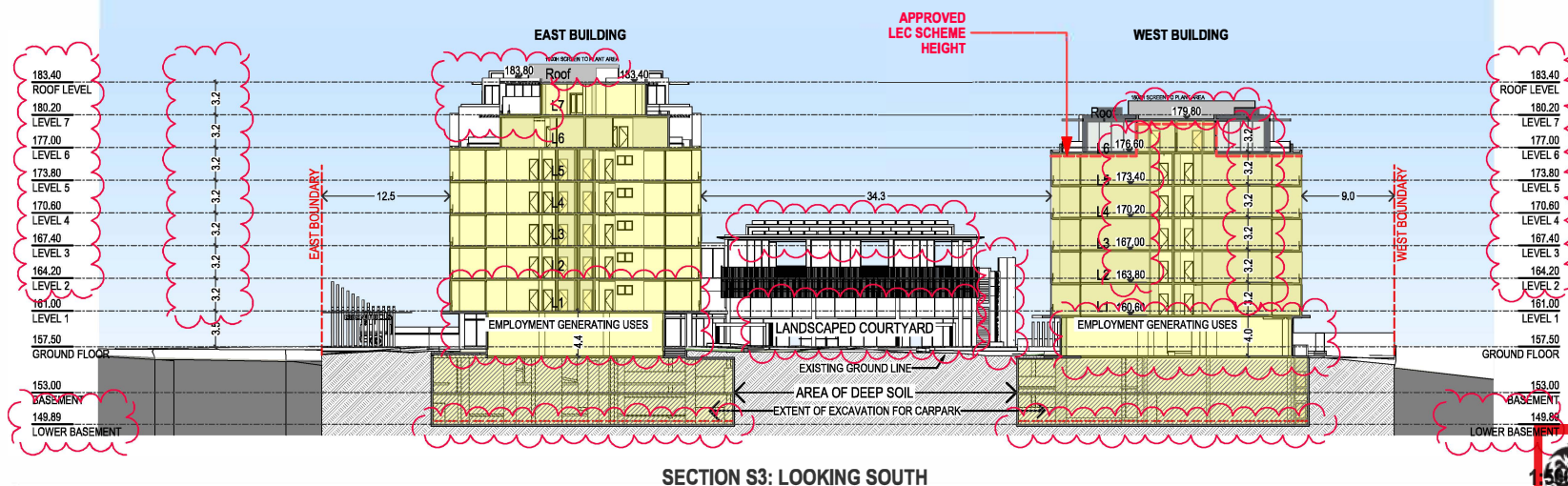
SECTIONS S1 & S2

PA STUDIO	
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2086	
TEL: 8566 1500 FAX: 8566 1599 ACN: 605 369 266	
NOMINATED ARCHITECT: GEORGE REVATY-REG#3254	
SCALE: AS SHOWN	DRAWING
SUBSET: SECTIONS	DA301
DRAWN BY: SU/WH/SP	ISSUE
	G

FILE: BIM Server: BIM21 - BIMdout Basic for ARCHICAD 21SKYS (LOT1) 824

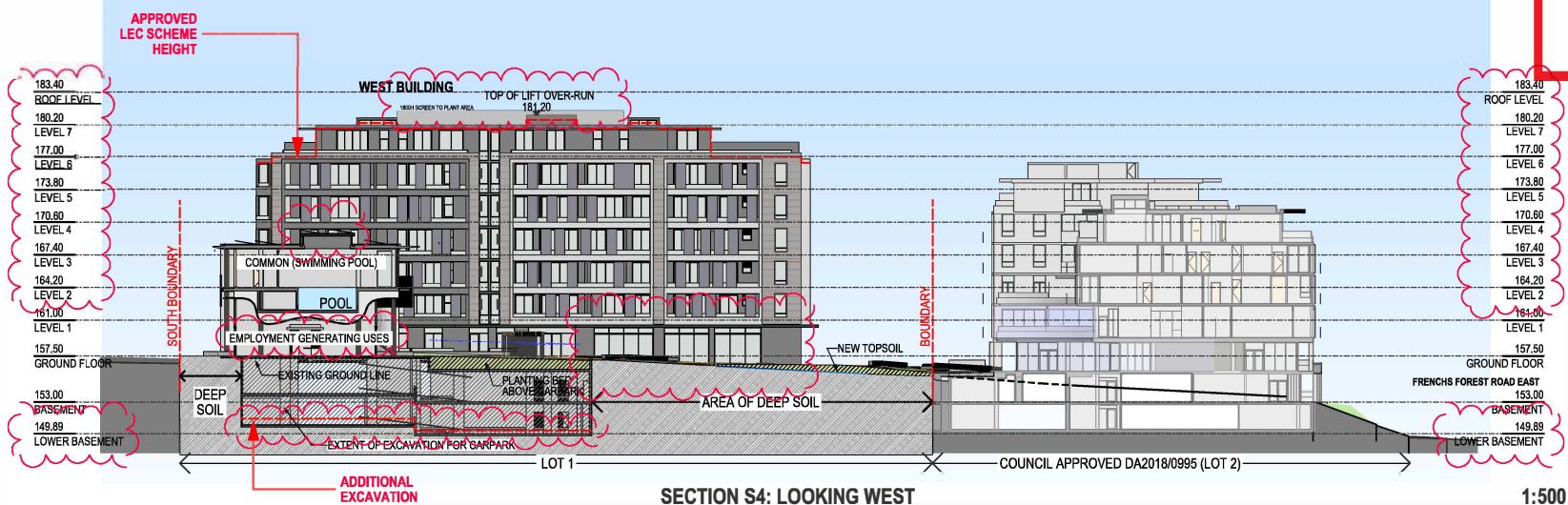


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MOD2023/0617



G	S4.55	31.10.23
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PROJECT:
**MIXED USE AND SENIORS LIVING
DEVELOPMENT**
5 Skyline Place Frenchs Forest NSW 2086
SP 49558

SECTIONS S3 & S4

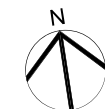
PA STUDIO

LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2086
TEL: 8566 1800 FAX: 8566 1599 ACN: 603 369 265

NOMINATED ARCHITECT: GEORGE REVATY-REG#3324

SCALE:	AS SHOWN	DRAWING	DA302
SUBSET:	SECTIONS	ISSUE	G
DRAWN BY:	SU/WH/SP		

FILE: BIM Server: BIM21 - BIMdout Basic for ARCHICAD 21SKY5 (LOT1) 82A

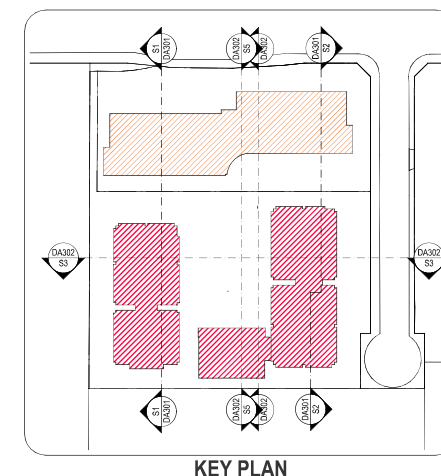


Printed 23/11/2023

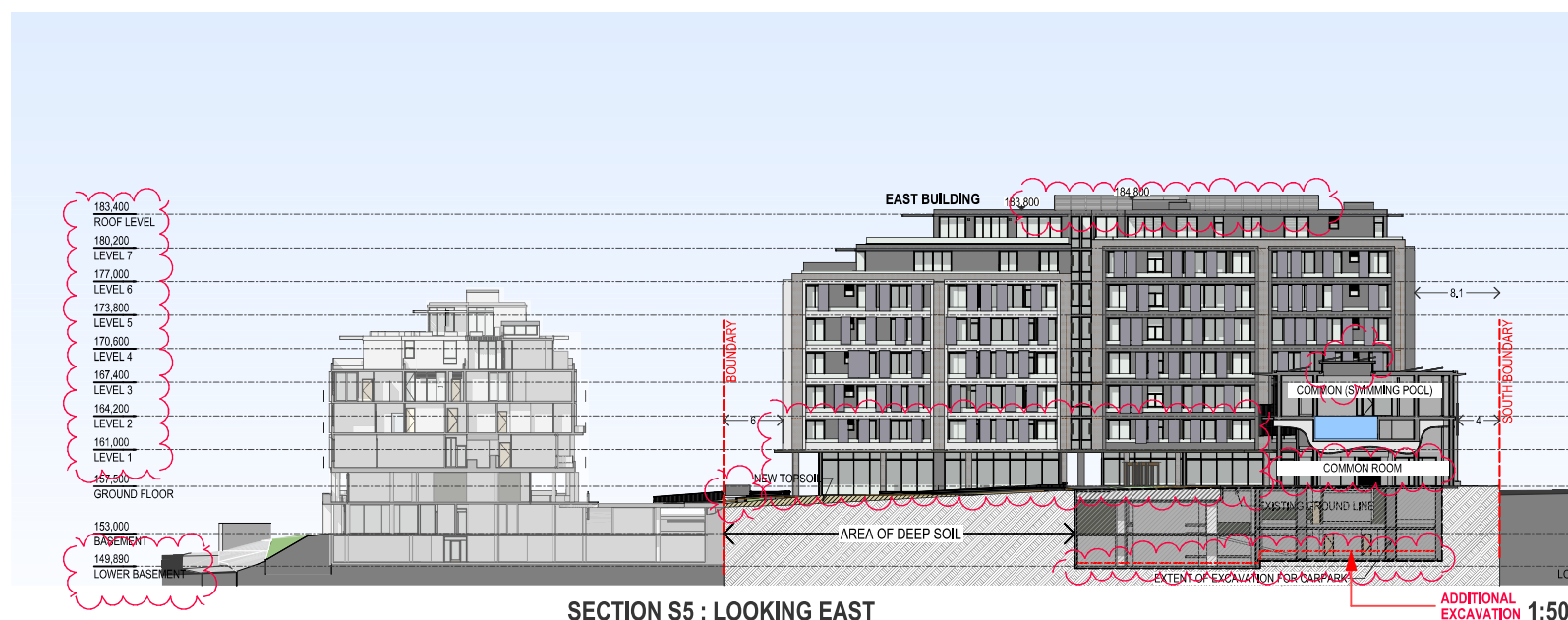


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MOD2023/0617



KEY PLAN



G	S4.55	31.10.23
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DEVELOPMENT**
5 Skyline Place Frenchs Forest NSW 2086
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SECTION S5

PA STUDIO
LEVEL 2, 20 YOUNG ST, NEUTRAL BAY, NSW 2089
TEL: 8968 1800 FAX: 8968 1999 A/CN: 803 305 286
NOMINATED ARCHITECT: GEORGE REVAY-REG#3954

SCALE: AS SHOWN	DRAWING
SUBSET: SECTIONS	DA303
DRAWN BY: SU/WH/SP	ISSUE
	G

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21(SKY) (LTT) 82A

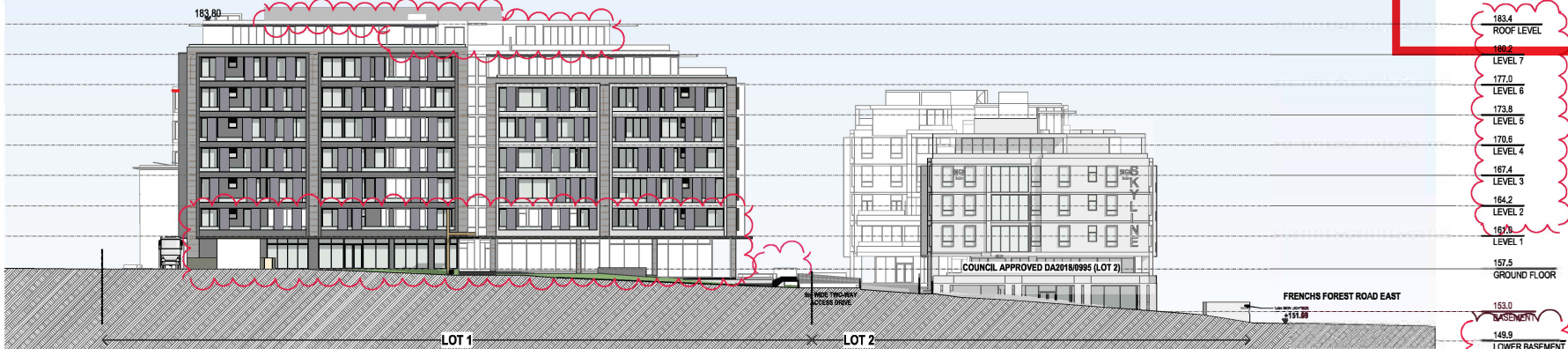


EAST ELEVATION CONTEXTUAL

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2023/0617

1:500



EAST ELEVATION

G	\$4.55	31.10.23
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ISSUE	REVISIONS	DATE

PROJECT:

MIXED USE AND SENIORS LIVING DEVELOPMENT
5 Skyline Place Frenchs Forest NSW 2086
SP 49558

EAST ELEVATION

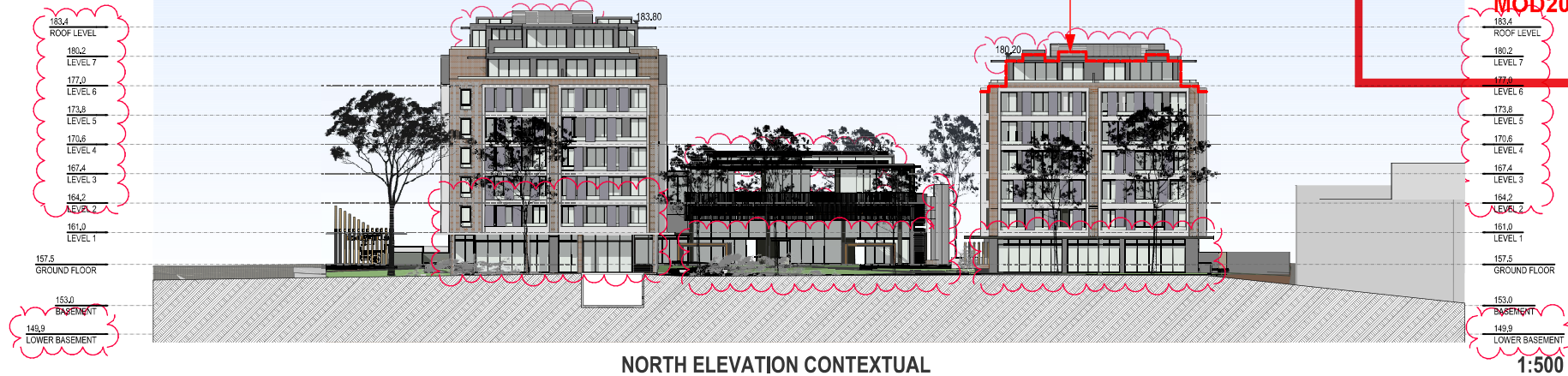
PA STUDIO
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089
TEL: 8568 1500 FAX: 8568 1595 ACN: 653 385 285

NOMINATED ARCHITECT: GEORGE REVAY-REG#33954

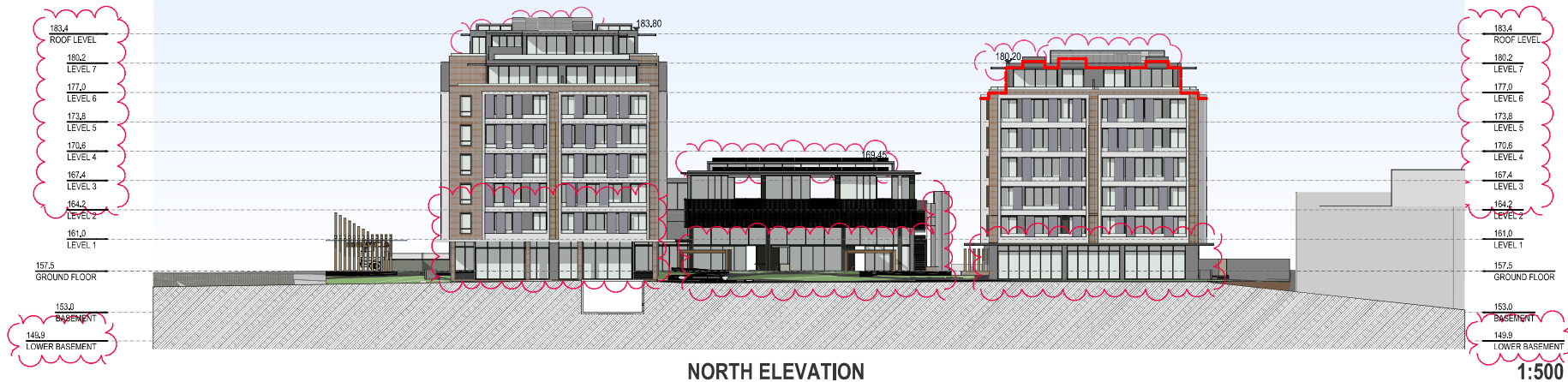
SCALE: AS SHOWN	DRAWING
SUBSET: ELEVATIONS	DA401
DRAWN BY: SU/WH/SP	ISSUE G

FILE: BIM Server: BIM21 - BIMdout Basic for ARCHICAD 218KYS (LOT1) 82A

183.4
ROOF LEVEL



NORTH ELEVATION CONTEXTUAL



NORTH ELEVATION

G	S4.55	31.10.23
F	FOR CONCILIATION CONFERENCE	01.03.23
E	FOR CONCILIATION CONFERENCE	24.02.23
D	SE2A REVIEW	01.11.21
ISSUE	REVISIONS	DATE

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**MIXED USE AND SENIORS LIVING
DEVELOPMENT**

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NORTH ELEVATION

P A S T U D I O

LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288
NOMINATED ARCHITECT: GEORGE REVAY-REG#3954

_____ DRAWING

SCALE: AS SHOWN	DRAWING
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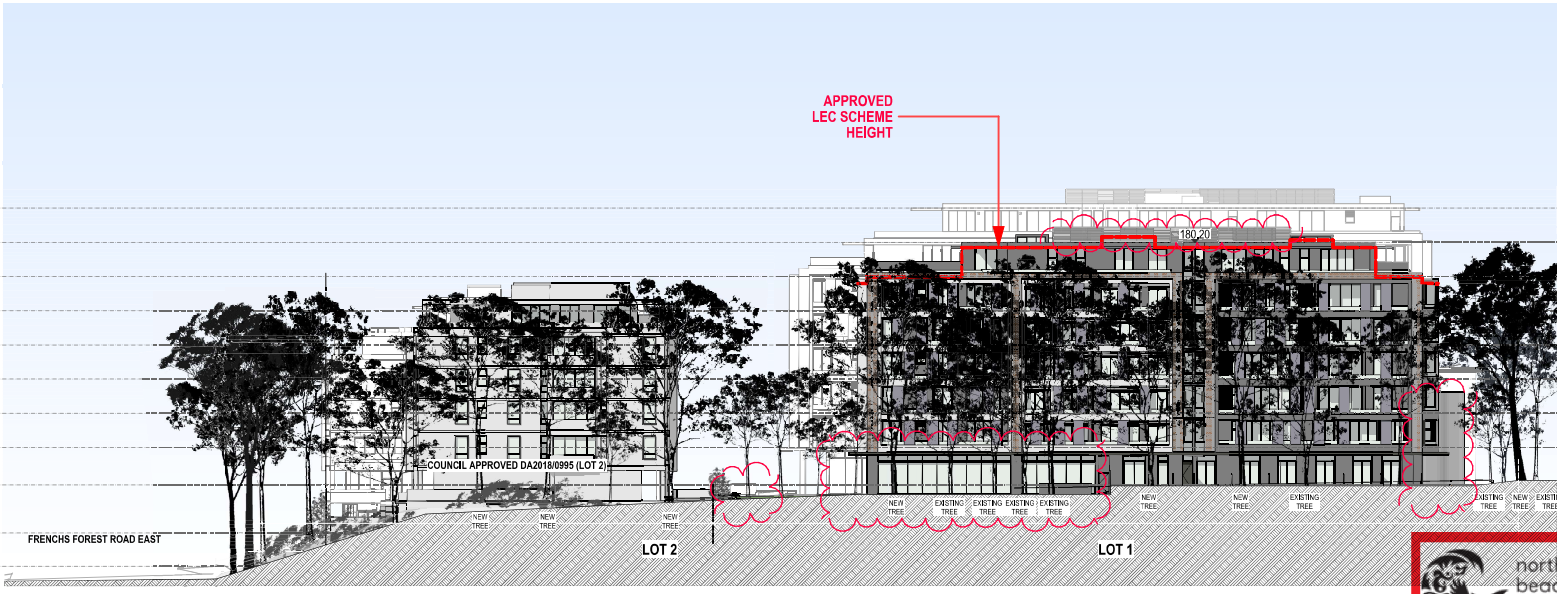
DA402

SUBSET: ELEVATIONS DA402

DRAWN BY: SU/WH/SP	ISSUE	G
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FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1) 82A

183.4
ROOF LEVEL
180.2
LEVEL 7
177.0
LEVEL 6
173.8
LEVEL 5
170.6
LEVEL 4
167.4
LEVEL 3
164.2
LEVEL 2
161.0
LEVEL 1
157.5
GROUND FLOOR
153.0
BASEMENT
149.9
LOWER BASEMENT



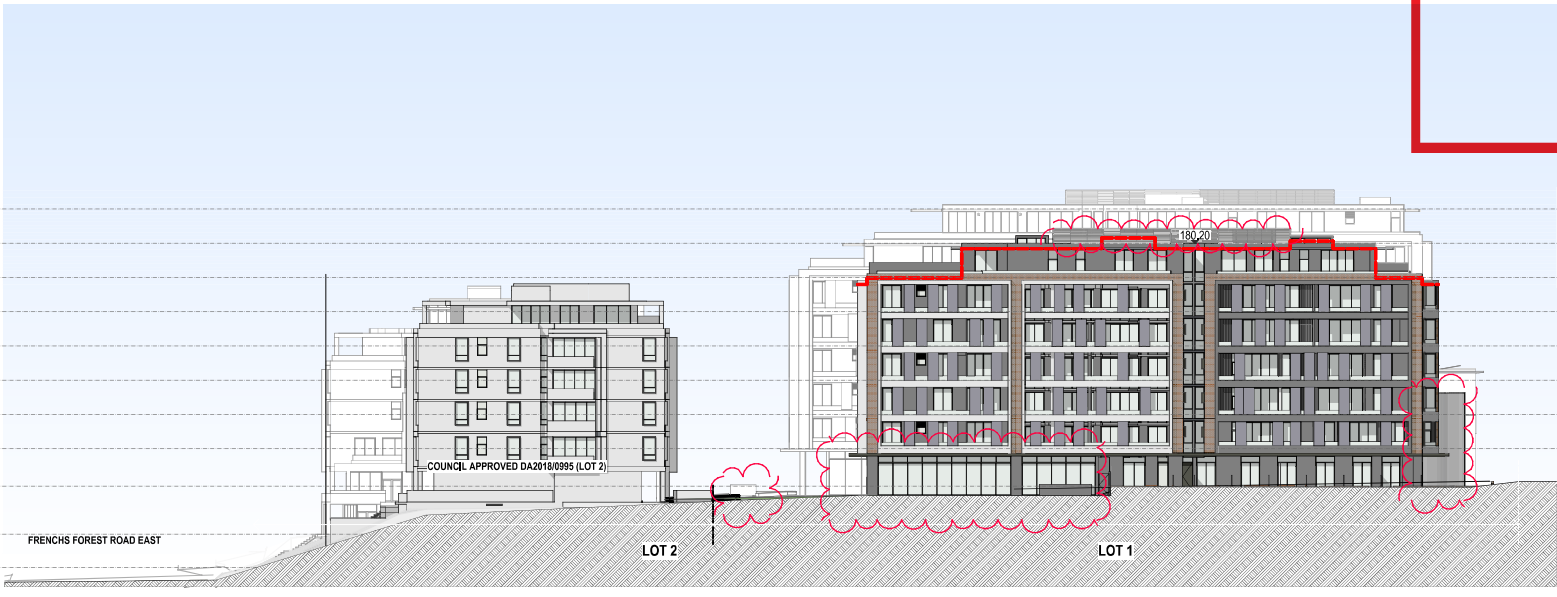
WEST ELEVATION CONTEXTUAL



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2023/0617

183.4
ROOF LEVEL
180.2
LEVEL 7
177.0
LEVEL 6
173.8
LEVEL 5
170.6
LEVEL 4
167.4
LEVEL 3
164.2
LEVEL 2
161.0
LEVEL 1
157.5
GROUND FLOOR
153.0
BASEMENT
149.9
LOWER BASEMENT



WEST ELEVATION

1:500

G	\$4.55	31.10.23
F	FOR CONCILIATION CONFERENCE	01.03.23
E	FOR CONCILIATION CONFERENCE	24.02.23
D	\$82A REVIEW	01.11.21
ISSUE	REVISIONS	DATE

PROJECT:
**MIXED USE AND SENIORS LIVING
DEVELOPMENT**
5 Skyline Place Frenchs Forest NSW 2086
SP 49558

WEST ELEVATION

PA STUDIO
LEVEL 2, 20 YOUNG ST., NEUTRAL BAY, NSW 2089
TEL: 8988 1900 FAX: 8988 1999 A/CN: 803 305 286
NOMINATED ARCHITECT: GEORGE REYAT-REG#93954

SCALE: AS SHOWN	DRAWING
SUBSET: ELEVATIONS	DA403
DRAWN BY: SU/WH/SP	ISSUE
	G

FILE: BIM Server: BM21 - BIMcloud Basic for ARCHICAD 218KYS (LOTT) 82A



1:500

MOD2023/0617



153.0
BASEMENT

149.9
LOWER BASEMENT

1:500


SOUTH ELEVATION

P A S T U D I O

NOMINATED ARCHITECT:GEORGE REVAY-REG#3954

SCALE: AS SHOWN	DRAWING DA404 ISSUE G
SUBSET: ELEVATIONS	
DRAWN BY: SU/WH/SP	

FILE: BIM Server: BIM21 - BIMcloud Basic for ARCHICAD 21/SKY5 (LOT1) 82A



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CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2023/0617

- LOT 1 - SENIOR HOUSING
- LOT 2 - DISABILITY AND AFFORDABLE
- LOT 3 - EMPLOYMENT GENERATING USES

PROPOSED EASEMENTS TO BENEFIT LOT 1

- RA4

RIGHT TO ACCESS LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???

PROPOSED EASEMENTS TO BENEFIT LOT 2

- RL1

RIGHT TO USE LIFT LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- RA1

RIGHT TO ACCESS LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- RA2

RIGHT TO ACCESS LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- RA3

RIGHT TO ACCESS LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- RVA1

RIGHT TO VEHICLE ACCESS LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- RVA2

RIGHT TO VEHICLE ACCESS LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???

PROPOSED EASEMENTS TO BENEFIT LOT 3

- RL1

RIGHT TO USE LIFT LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- RA1

RIGHT TO ACCESS LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- RA2

RIGHT TO ACCESS LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- RA3

RIGHT TO ACCESS LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- RVA1

RIGHT TO VEHICLE ACCESS LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- RVA2

RIGHT TO VEHICLE ACCESS LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???

PT LOT 1 IS A STRATUM LOT LIMITED IN HEIGHT AND DEPTH BY LEVELS ON AUSTRALIAN HEIGHT DATUM (A.H.D) AS DENOTED HERE UNDER:

- L1

LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- L3

LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- L4

LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- L5

LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- L7

LIMITED IN DEPTH TO RL ??? AND UNLIMITED IN HEIGHT

PT LOT 2 IS A STRATUM LOT LIMITED IN HEIGHT AND DEPTH BY LEVELS ON AUSTRALIAN HEIGHT DATUM (A.H.D) AS DENOTED HERE UNDER:

- L2

LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- L6

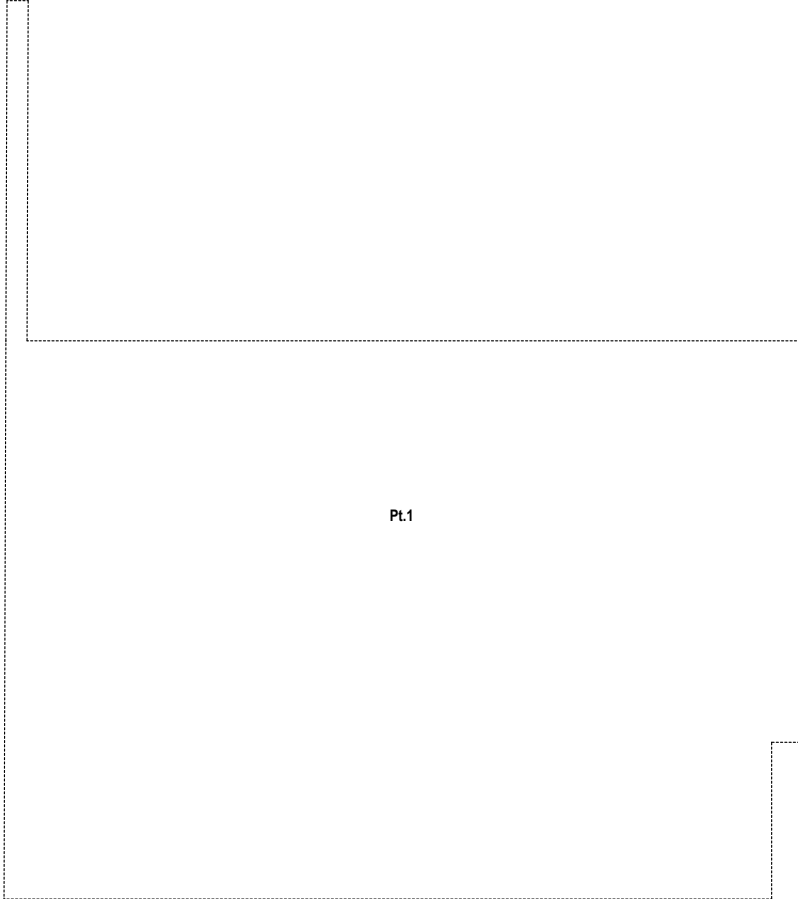
LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???

PT LOT 3 IS A STRATUM LOT LIMITED IN HEIGHT AND DEPTH BY LEVELS ON AUSTRALIAN HEIGHT DATUM (A.H.D) AS DENOTED HERE UNDER:

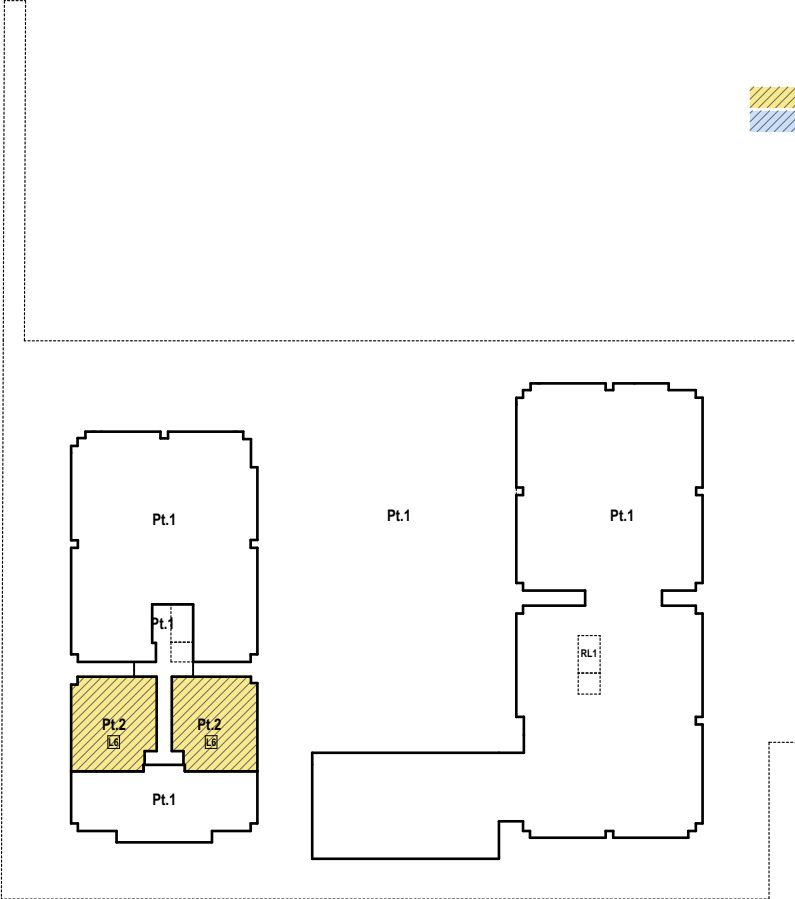
- L8

LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???
- L9

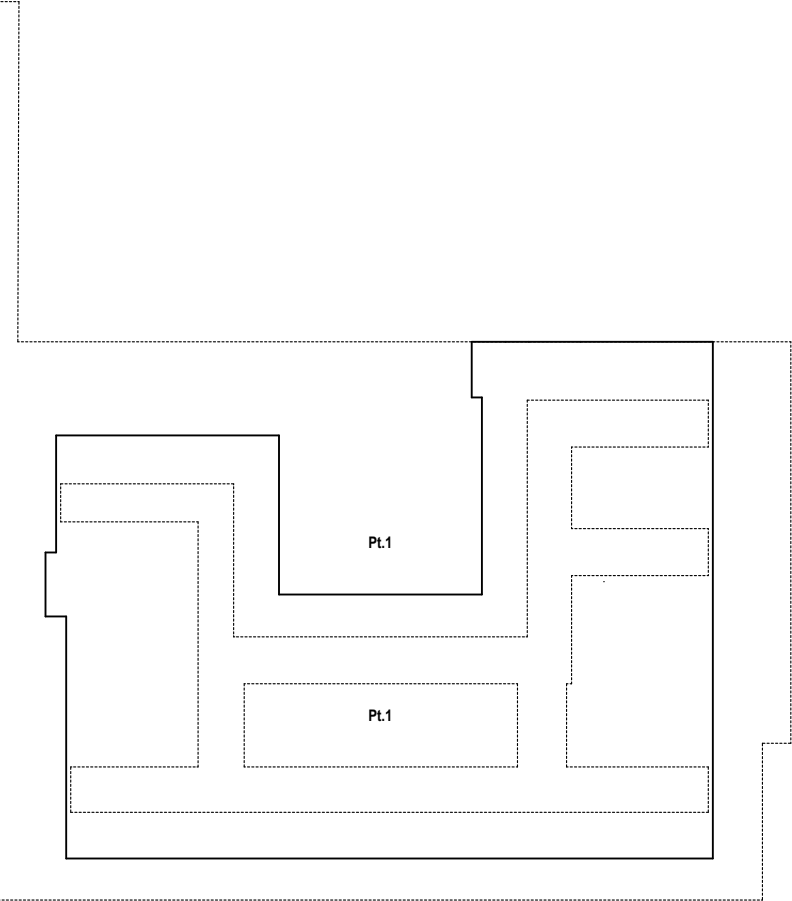
LIMITED IN DEPTH TO RL ??? AND LIMITED IN HEIGHT TO RL ???



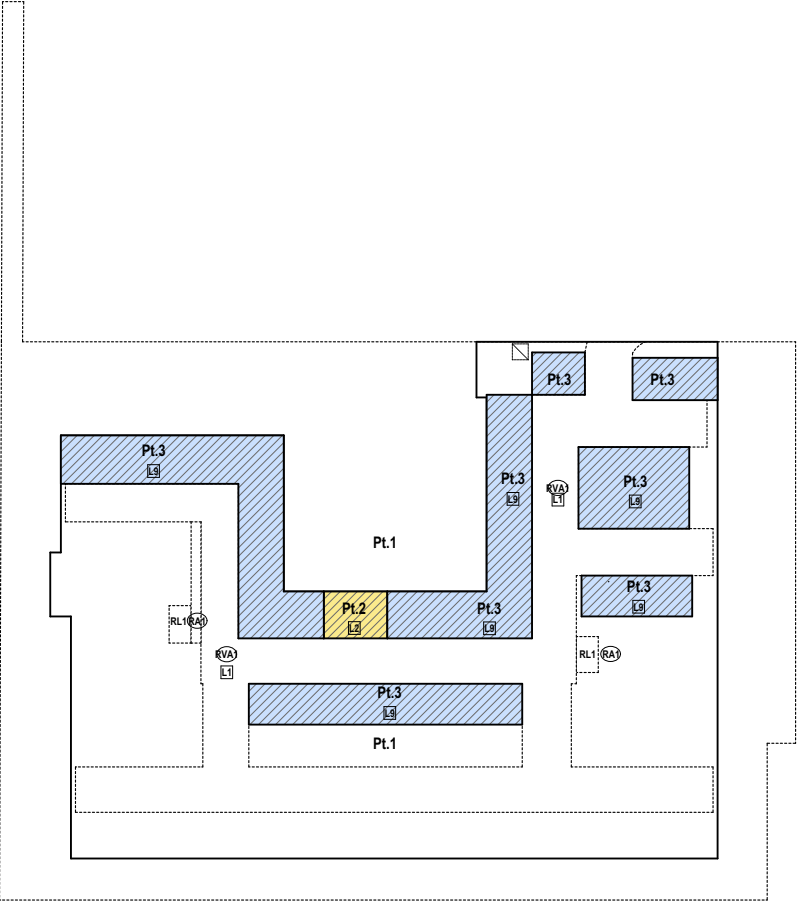
LEVEL 2 AND ABOVE



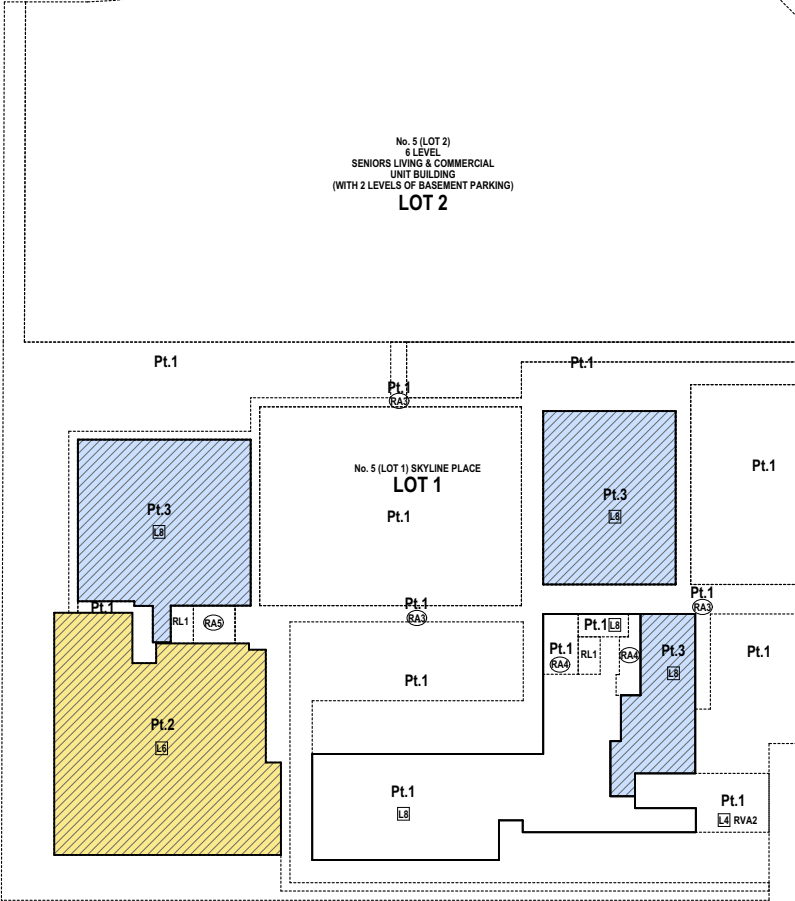
LEVEL 1



LOWER BASEMENT



BASEMENT



GROUND FLOOR

ARCHITECTS: PA STUDIO
LEVEL 2, 20 YOUNG ST, NEUTRAL BAY
NSW 2089 TEL: 8968 1900 FAX: 8968 1999

THE FOLLOWING NEW EASEMENTS AFFECT THE WHOLE OF LOTS:
EASEMENT FOR SHELTER AND SUPPORT
EASEMENT FOR SERVICES
EASEMENT FOR EMERGENCY EGRESS

LOTS 1, 2 & 3 ARE STRATUM LOTS
LIMITED IN HEIGHTS & DEPTH.

DRAFT STRATUM PLAN

LOCATION & LOWER BASEMNT &
BASEMENT & GROUND FLOOR
& FIRST FLOOR PLANS

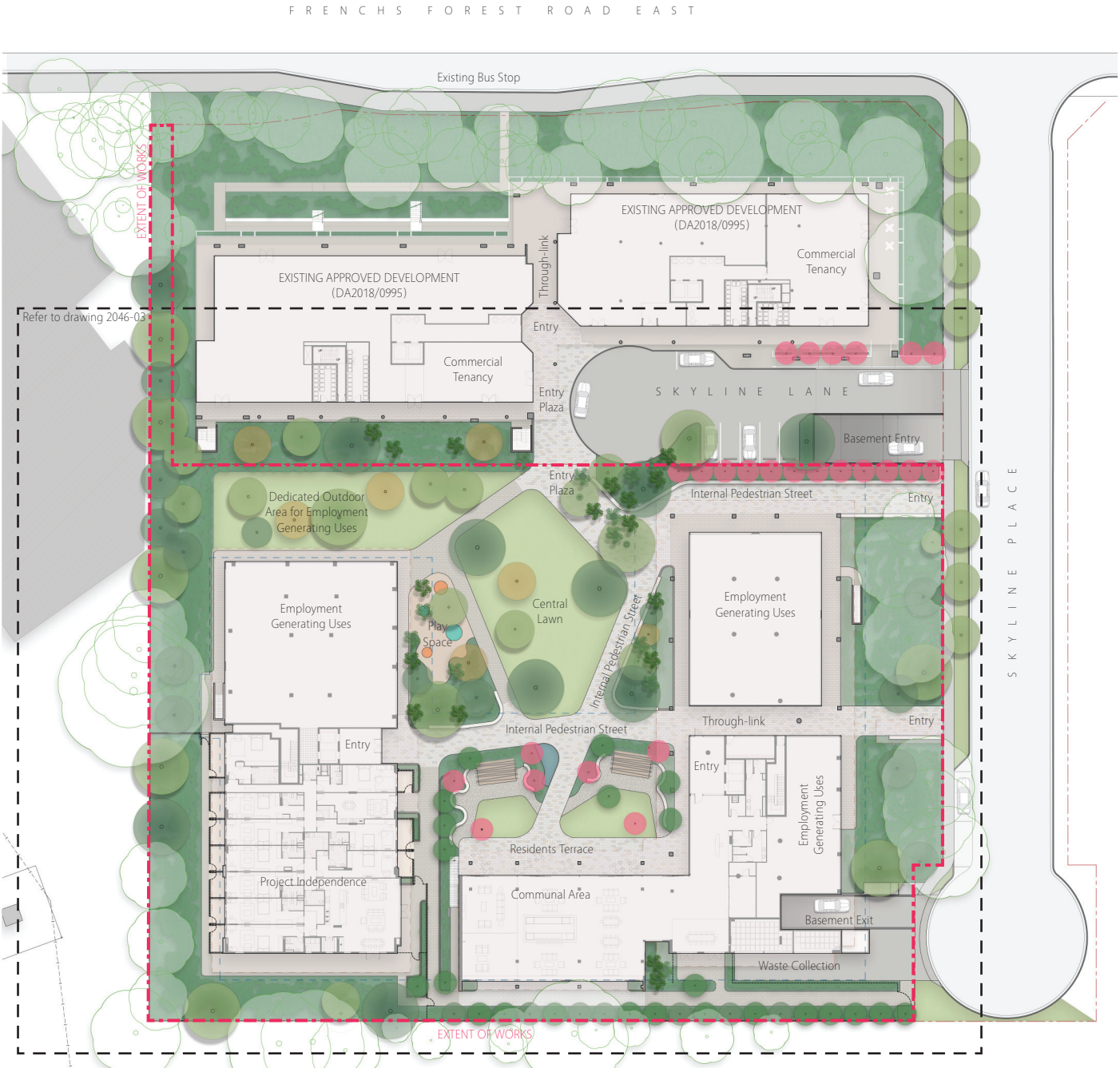
'Jardins' Seniors Living Frenchs Forest | Landscape S.455 Package

5 Skyline Place, Frenchs Forest NSW 2086



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

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Site plan - Extent of Landscape DA Works

Drawing register:

Drawing No.:	Drawing title:	Issue:
2046-01	Titlesheet: Drawing Register, General Notes & Extent of Works Plan	1
2046-02	Design Statement, Design Principles, Location Plan	1
2046-04	Overall Site Plan	1
2046-06	Landscape S.455 Plan 1 of 2 (Groundfloor)	1
2046-07	Landscape S.455 Plan 2 of 2 (Roof terrace & green roof)	1
2046-08	Elevation A, Elevation B	1
2046-09	Sectional Elevation C, NSW RFS Asset Protection Zone Requirements	1
2046-10	Landscape Area Plan, Deep Soil Plan	1
2046-11	Planting S.455 Plan 1 of 2 Groundfloor building surrounds	1
2046-12	Planting S.455 Plan 2 of 2 Buffer zones	1
2046-13	Plant Schedule 1 of 2 Groundfloor Building Surrounds, Green Roof & Roof Terrace	1
2046-14	Plant Schedule 2 of 2 Buffer zones	1
2046-15	Existing Tree Canopy Cover Diagram Proposed Tree Canopy Cover Diagram	1

Project information:

Client:	Platino Properties
Site:	5 Skyline Place, Frenchs Forest NSW 2086 SP49558
LGA:	Northern Beaches Council
Landscape architect:	Paddock Landscape Architects
Architect:	PA Studio
Planner:	Platino Properties
Arborist:	Naturally Trees
Surveyor:	Chadwick Cheng Consulting Surveyors
Traffic consultant:	Varga Traffic Planning
Civil engineer:	ING Consulting Engineers
Access consultant:	Code Performance
Bushfire consultant:	Building Code & Bushfire Hazard Solutions
Geotechnical engineer:	Douglas Partners
Operational PoM:	Zinnia
Sustainability consultant:	Northrop

General notes:

- + Not for construction or pricing.
- + Subject to detailed design documentation.
- + Refer to 'PA Architects' documentation for all building works.
- + Refer to engineer documentation for all external services, including stormwater drainage, lighting, hydraulic, mechanical etc.
- + All landscape structures subject to detailed design and engineering design, including fences, walls, pavements, water ponds, balustrades, furniture, shade structures, handrails, signage etc.
- + Planting subject to availability at time of tender and construction.
- + Construction works to include sediment and erosion control fencing along lower boundary to ensure all sediment runoff contained on-site.



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Issue: 1 Date: 08.11.23 Reason: S.455 Submission Reviewed by: DW

Project: 'Jardins' Frenchs Forest
5 Skyline Place Frenchs Forest NSW 2086
Client: Platino Properties

Title: Titlesheet
Drawing Register, General Notes & Extent of Landscape Works Plan

Title: 2046
Date: 08.11.2023
Scale: 1:400 @ A1
0 5 10 20m North

Drawing: 2046-01
Issue: 1

Design Statement

‘Jardins Frenchs Forest’ will create an active and vibrant senior’s community within a lush bushland setting.

An internal shared-use laneway (Skyline Lane) provides a centralised ‘street address’ for the precinct within a high-quality public realm. This shared-use plaza includes a drop-off/pick-up area and short-term parking for residents and visitors.

The design incorporates a pedestrian circulation network that does not rely on the covered curtilage of the ground floor buildings. Rather, the primary entry to the precinct is centralised adjacent to the driveway entry, via a generous width, pedestrian orientated, open to the sky ‘street’ that leads through to the central entry plaza and shared-use laneway. From here, residents and visitors can navigate to the clearly defined building entries located around the central lawn. The area adjacent to building entries has been kept deliberately open and decluttered to ensure clear sightlines are maintained throughout the precinct, particularly from the precinct entry and ‘entry plaza’. All building entries adjoin the central public open space. Site through-links provide secondary access from Skyline Place and also to Frenchs Forest Road East along the northern boundary.

A wayfinding strategy has been developed in conjunction with the revised landscape design (refer to MAAT documentation). The wayfinding strategy information is organized in a hierarchical manner to assist in creating a legible wayfinding experience, integrated through positioning and materials with the precinct landscape. Where possible sign forms will be applied or attached directly to the building form, or if freestanding, located in garden beds to keep pathways clear. These will be augmented by interpretive and placemaking opportunities that animate the residents experience and usage of the central courtyard and broader public domain. These include pedestrian-scaled placemaking interventions, such as feature sculptural shade structures, public domain furniture or play spaces, in addition to the use of feature vegetation, such as the ‘palm groves’ located adjacent to active use areas.

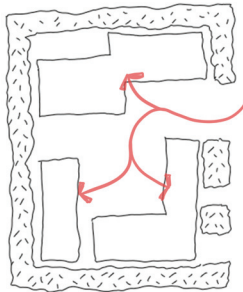
The central courtyard and garden spaces will include a mixture of passive and active use destinations that will activate the edges of the central lawn area and contribute to the liveability and amenity of the precinct. The central courtyard area is decluttered, with activity located towards the edges. This includes outdoor fitness stations, a small play space and a pathway circuit around the lawn. Additional communal spaces for residents are located within the upper terrace and will include external spaces to compliment the internal common areas. Groundfloor employment generating uses, will activate the building surrounds.

The design enhances the bushland setting, provided by the Garigal National Park, the Wakehurst Parkway wildlife corridor and the Frenchs Forest landscaped road setbacks, through endemic buffer planting areas within a generous, deep soil setback along the western, southern and eastern boundaries. The species selection has been derived from the Northern Beaches Council native species list for the Frenchs Forest Ward. These planted buffer zones include the retention of significant canopy trees.

The bushland character extends through to the central courtyard with large native canopy trees, clusters of native palms and understorey planting, grounding the development within its bushland setting. The mixture of tall native palm groves and groupings of large canopy trees will ‘green’ the central courtyard and provide scale and separation between the new apartment buildings.

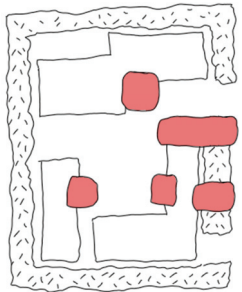
The planting within direct proximity to the building surrounds and communal terraces is residential in scale and includes a variety of robust, low maintenance indigenous and non-invasive exotics that will provide interest through form, texture and variation in seasonal colour.

Design Principles



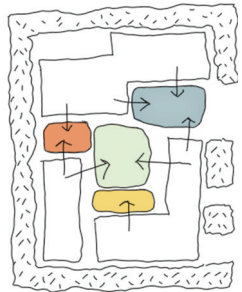
Provide legible access:

- + Provide a centralised shared use ‘street address’ for the precinct within a high-quality public realm.
- + Establish a legible pedestrian circulation network that connects the laneway/entry plaza to the broader public realm and building lobbies.



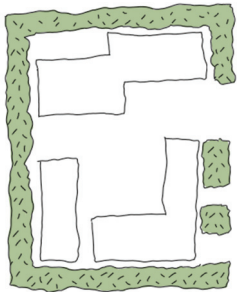
Ensure legible entries:

- + Ensure all building entries are clearly defined and adjoin a public open space.
- + Ensure clear sightlines are maintained between the precinct entry, ‘entry plaza’ and the building entries.



Provide a mixture of activity:

- + The central courtyard and garden spaces are essential to the liveability and amenity of the precinct and should provide a mixture of uses that cater for the residents and visitors.
- + Provide a variety of passive and active use destinations that will contribute to a finer grain public domain.



Enhance the bushland setting:

- + Enhance the bushland setting provided by the Garigal National Park, the Wakehurst Parkway wildlife corridor and the Frenchs Forest landscaped road setbacks by providing endemic planting in deep soil setbacks at boundaries.
- + Provide a mix of internal garden areas at the residential scale, including productive gardens.

Location Plan



Legend:

- Project site.
- Existing commercial and retail.
- Main arterials & transport routes.



Image source: Google 2019.



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Issue: 1
Date: 08.11.23
Reason: S.455 Submission

Reviewed by: DW

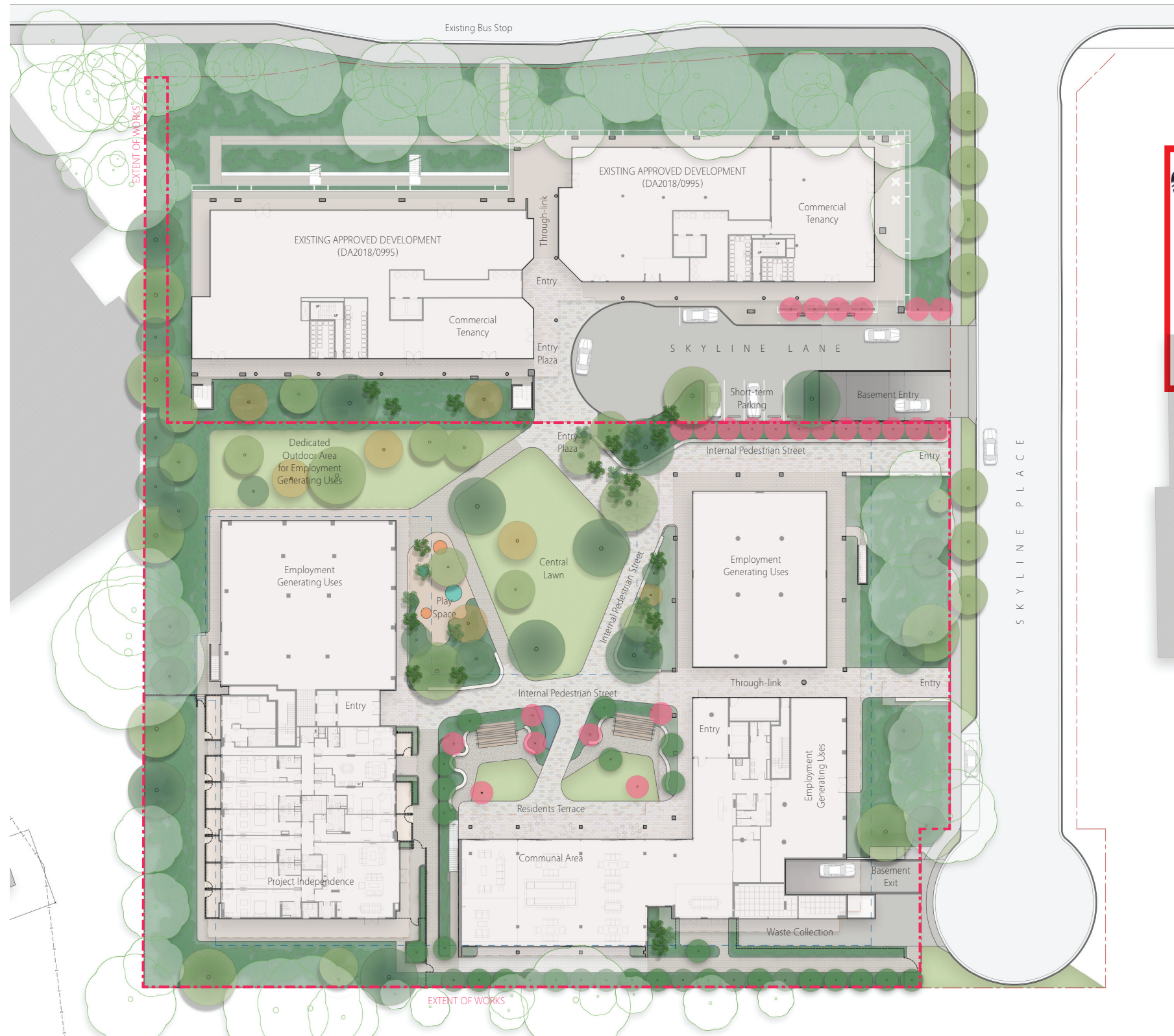
Project: ‘Jardins’ Frenchs Forest
5 Skyline Place Frenchs Forest NSW 2086
Client: Platino Properties

Title: Design Statement
Design Principles
Location Plan

Title: 2046
Date: 08.11.2023
Scale: N/A @ A1

Drawing: 2046-02
Issue: 1





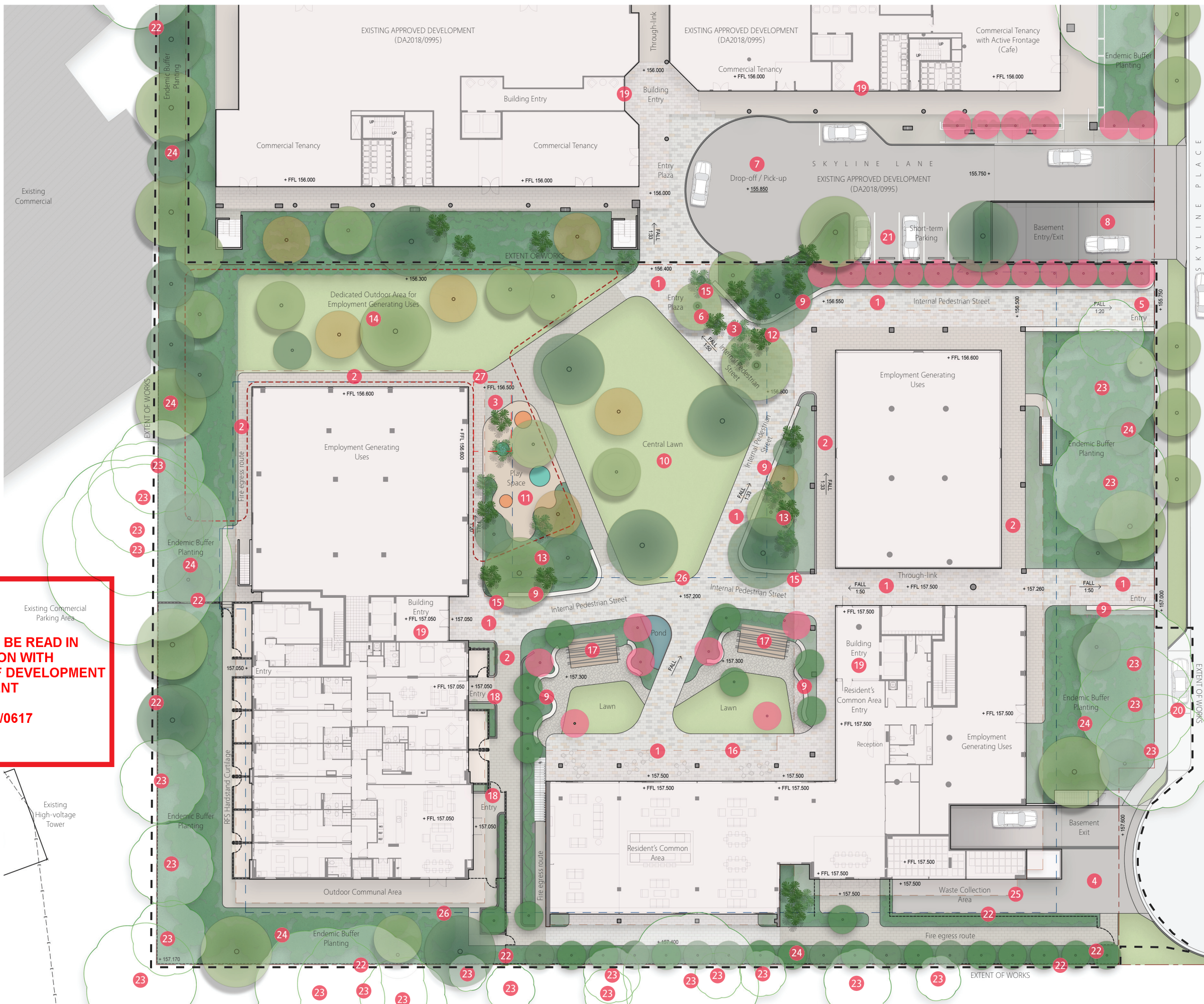
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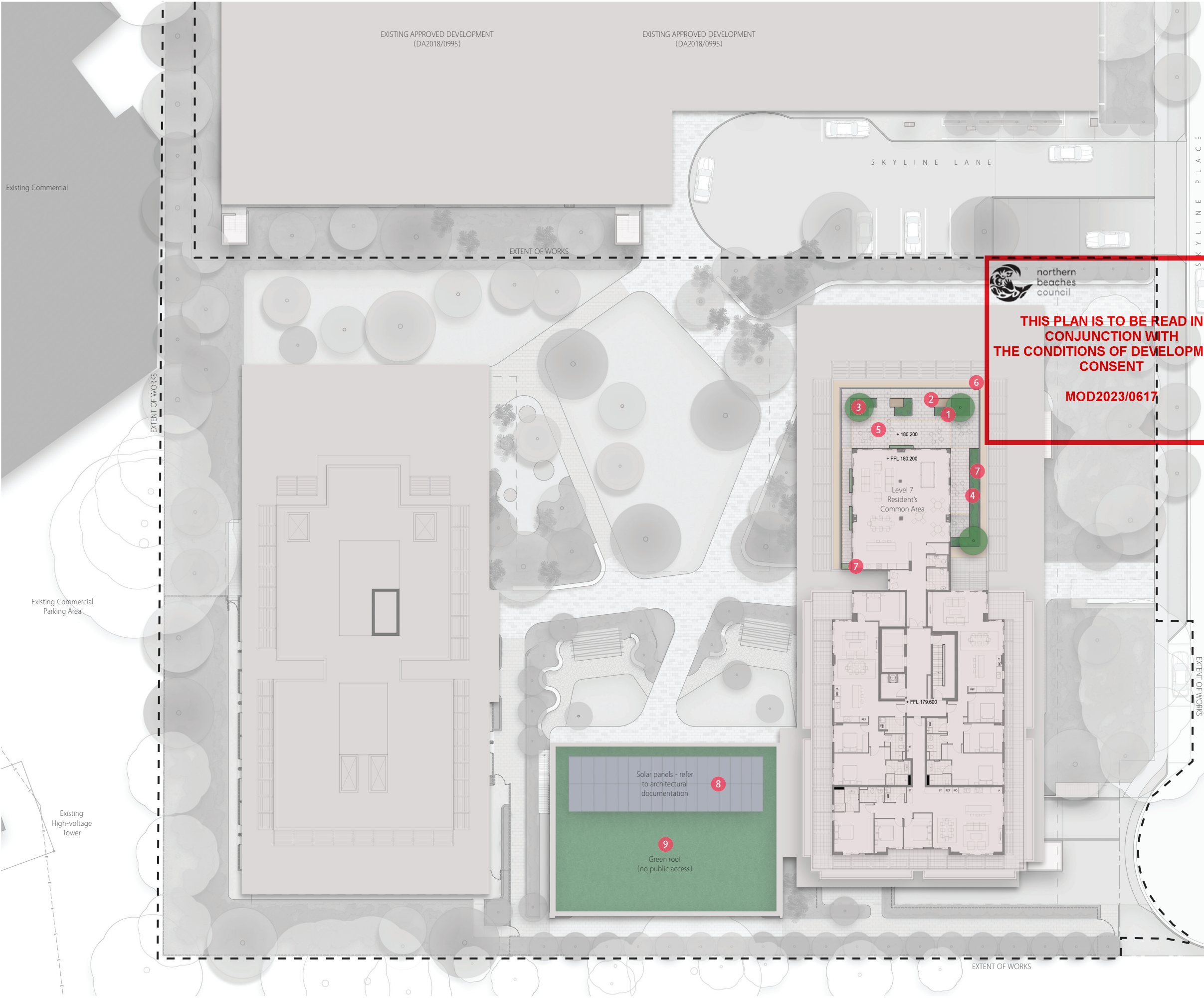
**THIS PLAN IS TO BE READ IN
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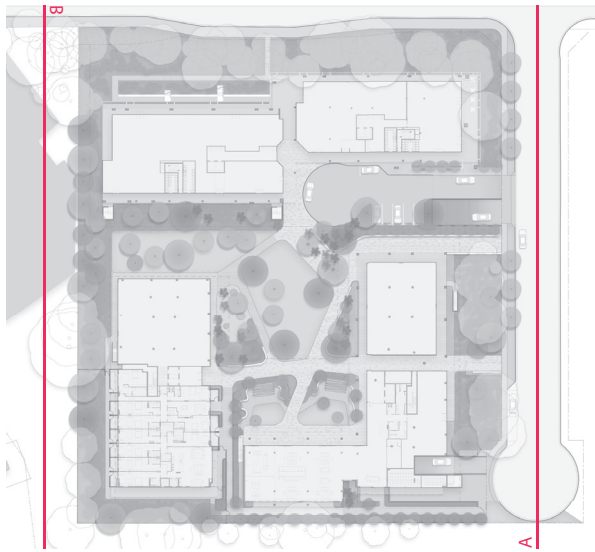
- Legend:**
- Extent of landscape works.
 - - - Property boundary.
 - Proposed levels, to be read in conjunction with architectural documentation.
 - New mass planted garden areas with organic soil and mulch (refer to planting plans 2046-11 and 2046-12).
 - New grassed areas with turf underlay (refer to planting plans 2046-11).
 - 1 Pavement Type 1 (internal pedestrian street): large format stone unit paving on mortar bedding and reinforced concrete base slab. Light coloured stone.
 - 2 Pavement Type 2 (secondary pedestrian pathways): large format stone unit paving on mortar bedding and reinforced concrete base slab. Darker coloured stone.
 - 3 Pavement Type 3 (secondary pedestrian pathways): cobble stone paving on mortar bedding and reinforced concrete base slab. Darker coloured stone.
 - 4 Pavement Type 4 (service areas): reinforced concrete with lightly exposed aggregate finish and full depth coloured pigment.
 - 5 Primary pedestrian entry to the precinct. A wide open-to-the-sky pathway with avenue of feature flowering trees. Low concrete seating delineate entry along length. Precinct signage and wayfinding signage included at entry.
 - 6 Entry Plaza - a large open public realm that allows for an internal 'street address'. The Entry Plaza includes large canopy shade trees and a palm grove located within high quality public realm. Public domain furniture, including feature seating, bike racks and signage.
 - 7 Shared-use internal laneway - 'Skyline Lane' - provides an internal 'street address' and allows for drop-off, pick-up, short-term parking and emergency services access. Area finish with stone unit paving. Area not part of DA works - already approved under an existing DA approval (DA2018/0995).
 - 8 Existing basement access to cater for both entire precinct. Area not part of DA works - already approved under an existing DA approval (DA2018/0995).
 - 9 Seating Walls 1: Feature precast concrete curved seating elements, light-coloured finish to contrast paving, planting and to form a feature within the landscape. Walls provide seating and also retain garden areas.
 - 10 Large open central lawn area provides a central green space for residents and visitors for passive and active recreation. Large native canopy shade trees and deciduous trees scattered throughout lawn.
 - 11 Informal play space with lush garden surrounds. Area includes proprietary play equipment (such as swings, rocker, spinners) in addition to informal nature play elements.
 - 12 Active recreation hubs (outdoor fitness stations) located in the paved public area amongst palm groves.
 - 13 Lush planting to provide a green edge to the central courtyard space and seating around the edges.
 - 14 Dedicated outdoor use area for adjacent groundfloor employment generating uses.
 - 15 Bike racks located within publicly accessible areas.
 - 16 Residents upper terrace, including a large paved outdoor area and smaller gathering areas. Area provides for a flexible, multi-use space for residents.
 - 17 Feature shade structure shelters within the residents communal area, including seating and table settings. Shelter structures form provide a placemaking element within the precinct - a place to meet other residents or visitors.
 - 18 Entry to Project Independence.
 - 19 Entry to building lobbies.
 - 20 New short-term drop-off and pickup bays along Skyline Place adjacent to the secondary building access and through-link to the courtyard.
 - 21 Short-term parking bays within Skyline Lane. Area not part of DA works - already approved under an existing DA approval (DA2018/0995).
 - 22 Fence Type 1: 1.8m height metalwork fence along western and southern boundary and to enclose gardens.
 - 23 Existing trees to be retained - refer to arborist report.
 - 24 New planting to buffer zones along western, southern and eastern boundaries. Planting selection to utilise endemic species.
 - 25 Waste collection and loading bay.
 - 26 Extent of basement under courtyard (shown yellow dashed).
 - 27 OSD tank located in basement - refer to engineer documentation.

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT MOD2023/0617





- Legend:**
- Extent of landscape works.
 - Property boundary.
 - 156.500 Proposed levels, to be read in conjunction with architectural documentation.
 - New mass planted garden areas in podium planters, with organic soil and mulch (refer to planting plan 2046-11).
 - ① Raised podium planters to cater for productive plants and permanent gardens. Planters to be 1200mm height and form balustrade along edges of terrace.
 - ② Timber seating platforms incorporated within podium planters directed to the northern view and provide more private seating areas.
 - ③ Small feature shade trees provide shade and amenity to terrace.
 - ④ Permanent planting areas provide gardens for the communal terrace and may include areas for productive gardens.
 - ⑤ Pavement Type 2: large format stone unit paving on mortar bedding and reinforced concrete base slab. Light coloured stone.
 - ⑥ Gravel mulch to non-trafficable rooftops.
 - ⑦ Raised podium planters along edges of private terraces to cater for permanent gardens. Planters to be 1200mm height and form balustrade along edges of terrace.
 - ⑧ Solar panels above window structure - refer to architectural documentation.
 - ⑨ Green roof with a mixture of robust groundcovers and grasses to provide a green outlook from surrounding apartments. Green roof will not be publicly accessible (only maintenance access). Green roof will include 300mm depth of light-weight planting media.



Key Plan
Scale: nts



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Elevation A - Skyline Place

Scale: 1:200 @A1



Elevation B

Scale: 1:200 @A1



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Issue: 1
Date: 08.11.23
Reason: S.455 Submission

Reviewed by:
DW

Project: 'Jardins' Frenchs Forest
5 Skyline Place Frenchs Forest NSW 2086
Client: Platino Properties

Title: Elevation A
Elevation B

Title: 2046
Date: 08.11.2023
Scale: 1:200 @ A1



Drawing: 2046-08
Issue: 1



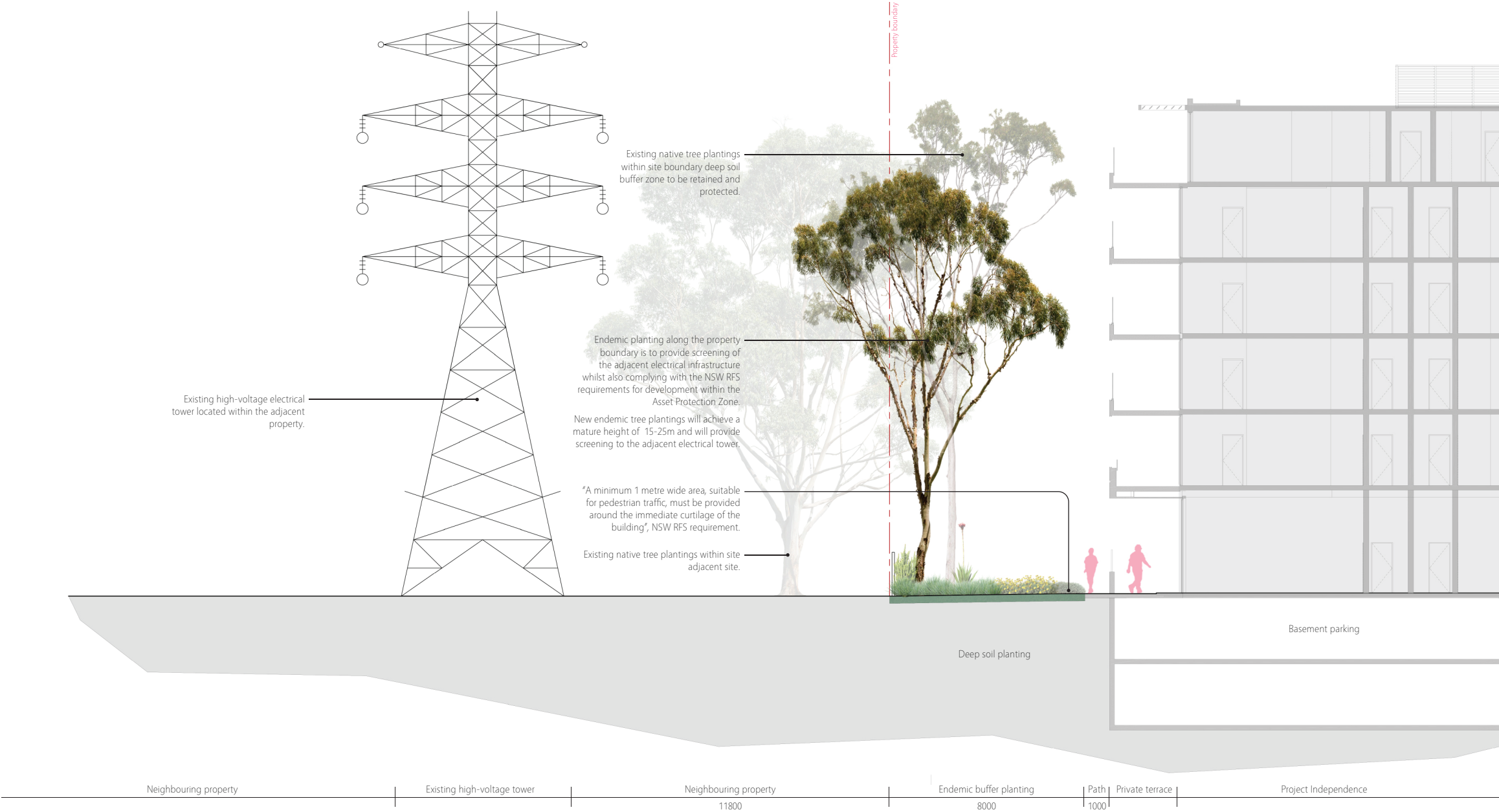
Key Plan
Scale: nts



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Sectional Elevation C
Scale: 1:100 @A1

NSW Rural Fire Service (RFS) Asset Protection Zone Requirements:

From the start of building works, and in perpetuity to ensure ongoing protection from the impact of bush fires, the entire property must be managed as an inner protection area (IPA) in accordance with the requirements of Appendix 4 of Planning for Bush Fire Protection 2019. When establishing and maintaining an IPA the following requirements apply:

- + tree canopy cover should be less than 15% at maturity;
- + trees at maturity should not touch or overhang the building;
- + lower limbs should be removed up to a height of 2m above the ground;
- + tree canopies should be separated by 2 to 5m;
- + preference should be given to smooth barked and evergreen trees;
- + large discontinuities or gaps in vegetation should be provided to slow down or break the progress of fire towards buildings;
- + shrubs should not be located under trees;
- + shrubs should not form more than 10% ground cover;
- + clumps of shrubs should be separated from exposed windows and doors by a distance of at least twice the height of the vegetation;
- + grass should be kept mown (as a guide grass should be kept to no more than 100mm in height); and
- + leaves and vegetation debris should be removed.

Landscaping Assessment:

Landscaping within the required asset protection zone must comply with Appendix 4 of Planning for Bush Fire Protection 2019. In this regard, the following principles are to be incorporated:

- + A minimum 1 metre wide area, suitable for pedestrian traffic, must be provided around the immediate curtilage of the building;
- + Planting is limited in the immediate vicinity of the building;
- + Planting does not provide a continuous canopy to the building (i.e. trees or shrubs are isolated or located in small clusters);
- + Landscape species are chosen to ensure tree canopy cover is less than 15% (IPA), and less than 30% (OPA) at maturity and trees do no touch or overhang buildings;
- + Avoid species with rough fibrous bark, or which retain/shed bark in long strips or retain dead material in their canopies;
- + Use smooth bark species of trees species which generally do not carry a fire up the bark into the crown;
- + Avoid planting of deciduous species that may increase fuel at surface/ ground level (i.e. leaf litter);

- + Avoid climbing species to walls and pergolas;
- + Locate combustible materials such as woodchips/mulch, flammable fuel stores away from the building;
- + Locate combustible structures such as garden sheds, pergolas and materials such as timber garden furniture away from the building; and
- + Low flammability vegetation species are used.

Extracted from the NSW Rural Fire Service Integrated Development Application (DA2021-0212 (CNR-19692)) Referral Response, dated 17.05.2021.



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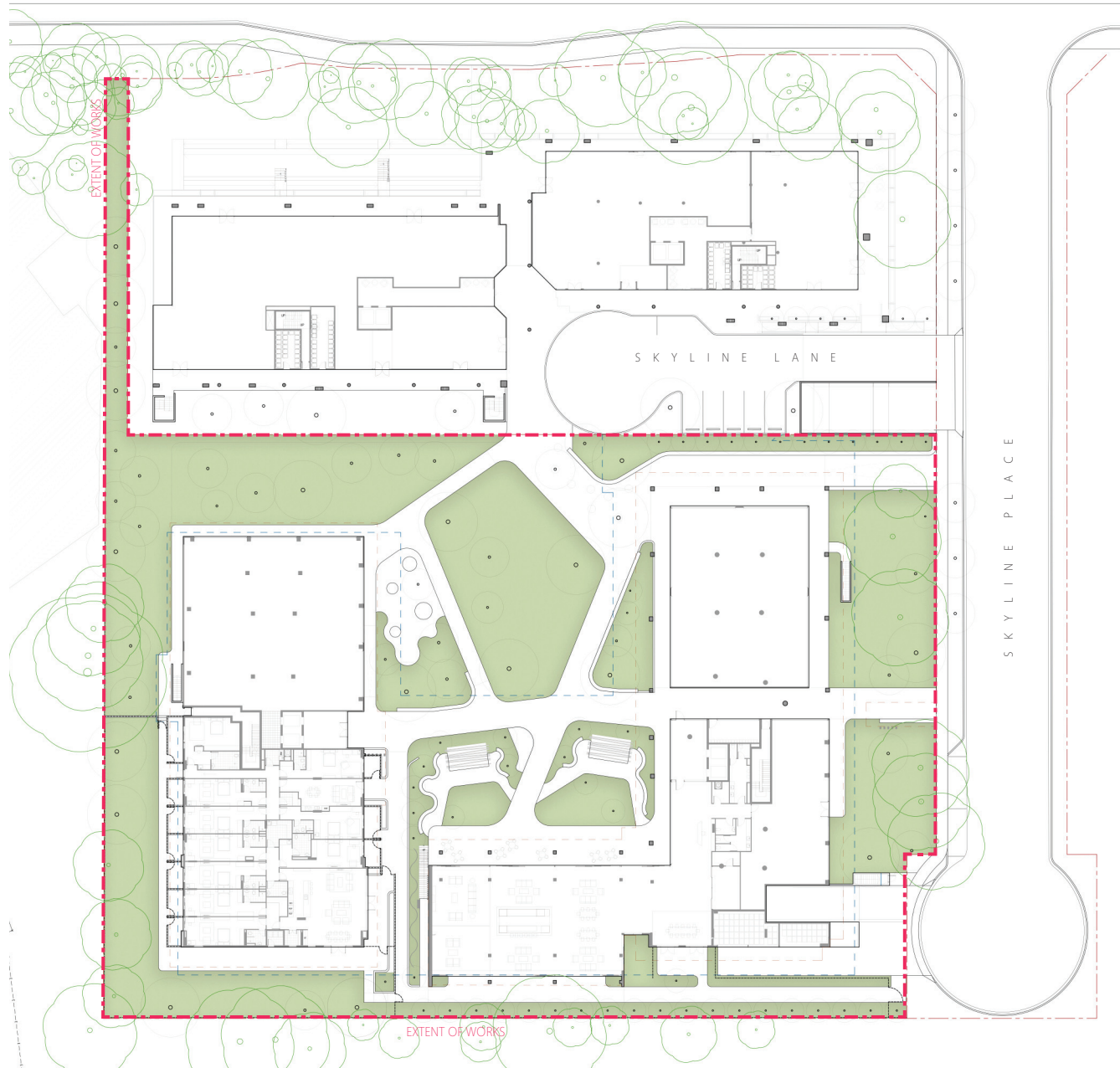
Issue: 1 Date: 08.11.23 Reason: S455 Submission Reviewed by: DW

Project: 'Jardins' Frenchs Forest
5 Skyline Place Frenchs Forest NSW 2086
Client: Platino Properties

Title: Sectional Elevation C
NSW RFS Asset Protection Zone Requirements

Title: 2046
Date: 08.11.2023
Scale: 1:100 @ A1
0 1 2 3 5m

Drawing: 2046-09
Issue: 1



Landscape Area Plan

Scale: 1:400 @A1

DCP landscape area requirements: 33.3% of total site area.
Site area = 7,811.0 m². Required = 2,603.4 m²

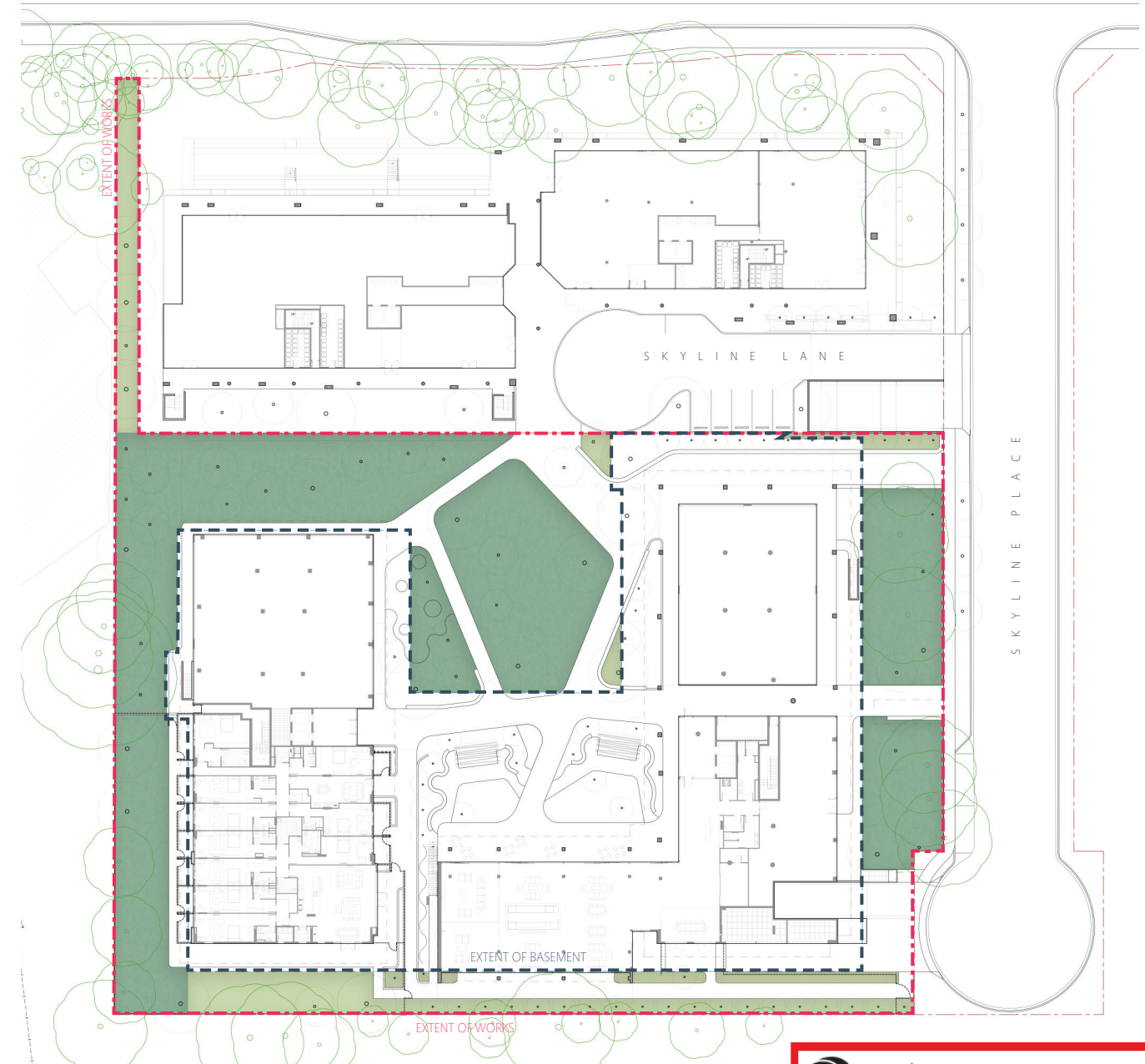
Total provided = 3,062.0 m² (39.2%)

DCP Requirements

1. The required minimum area of landscaped open space is shown on DCP Map Landscaped Open Space and Bushland Setting. To measure the area of landscaped open space:

- Driveways, paved areas, roofed areas, tennis courts, car parking and stormwater structures, decks, etc, and any open space areas with a dimension of less than 2 metres are excluded from the calculation;
- The water surface of swimming pools and impervious surfaces which occur naturally such as rock outcrops are included in the calculation;
- Landscaped open space must be at ground level (finished); and
- The minimum soil depth of land that can be included as landscaped open space is 1 metre.

LDP Definition: Landscaped area means a part of a site used for growing plants, grasses and trees, but does not include any building, structure or hard paved area.



Deep Soil Plan

Scale: 1:400 @A1

ADG deep soil requirements: 15% of total site area.

Site area = 7,811.0 m². Required = 1,171.6 m²

Total provided >6m width = 1,940.0 m² (24.8%)

Total provided <6m width = 458.0 m² (5.8%)

Total deep soil areas provided = 2,398.0 m² (30.6%)

ADG Deep Soil Requirements (objective 3E-1, page 61):

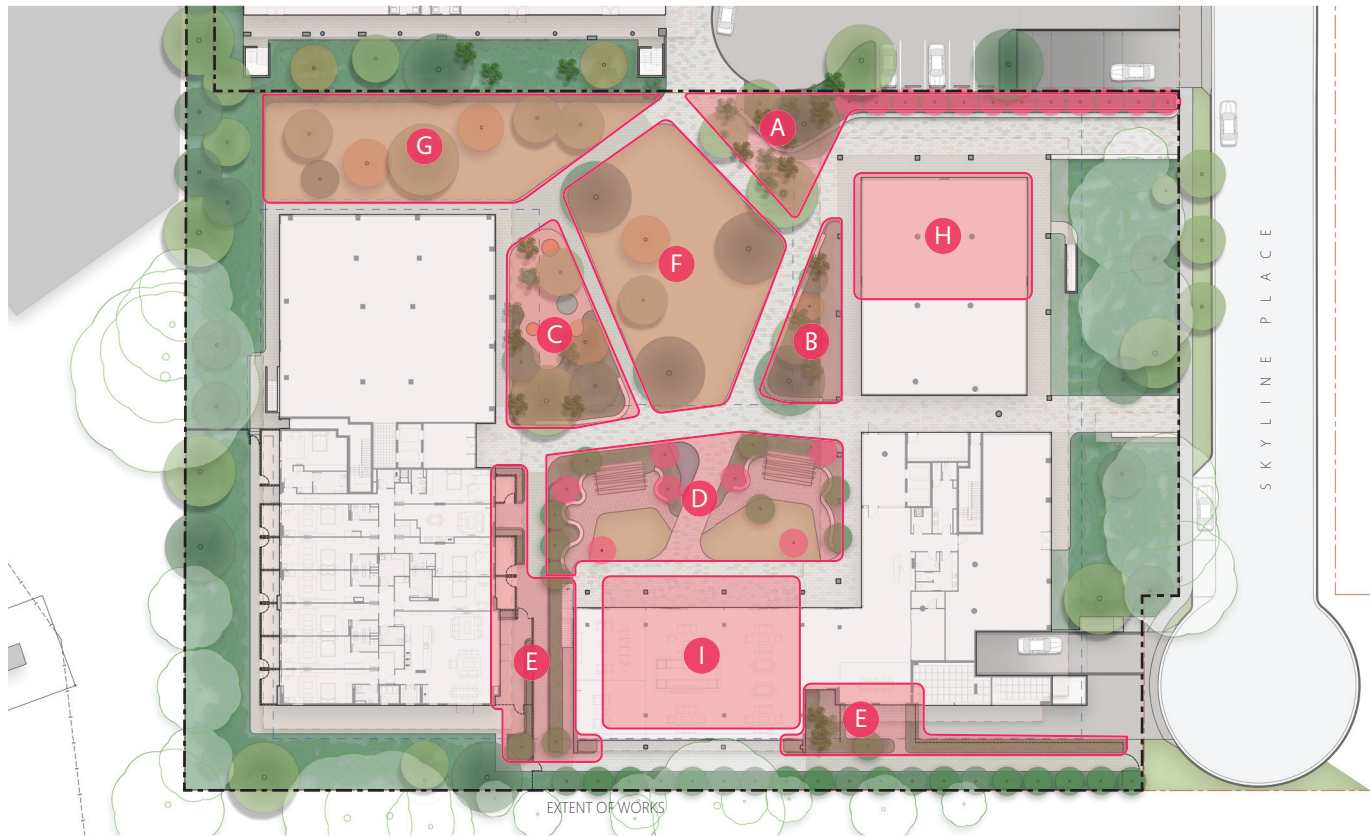
"Minimum 7% of site area for sites greater than 1,500 m²; minimum 6m dimension".

"On some sites it may be possible to provide larger deep soil zones, depending on the site area and context = 15% of site area."



**THIS PLAN IS TO BE READ IN
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- Planting Notes:
- + **Planting design subject to detailed design and documentation. Not for pricing or construction.**
 - + Refer to drawing 2046-13 for the master plant schedule and plant images.
 - + Planting to be designed in accordance with the NSW RFS Appendix 4 of 'Planning for Bush Fire Protection 2019'. Refer to requirements on drawing 2046-09.
 - + All garden area subgrade to be cultivated prior to installation of new imported organic garden soil.
 - + All garden areas to include 300mm depth of imported organic garden soil. All podium planters to be 1000mm minimum depth of imported organic garden soil.
 - + All garden areas to be mulched with 75mm depth of imported organic garden mulch.
 - + Species within mixed planting areas to be planted in groupings of 3-5.
 - + Sub-surface drainage to all garden areas, connected to site stormwater.
 - + All garden areas (excluding softscape works within the road verge) are to include a fully automated irrigation system connected to the sites rainwater harvesting system (subject to detailed design by a suitably qualified irrigation consultant).
 - + The green roof to the communal facilities building will include 300mm depth of light-weight planting media. The green roof will be irrigated from stormwater harvested from site. The green roof will not be publicly accessible.

Area A

The primary pedestrian arrival into the precinct. The garden areas include an avenue of feature deciduous trees leading to the entry plaza - a public domain with native palms and trees.

Plant Code:	Quantity:
Groundcovers + Climbers:	
CAS gla Cl	18
CHR api	15
DIC arg SF	25
DIC rep	30
GRE lan MT	15
SEN man	15
VIO hed	30
ZEP can	35
Grasses, Ferns + Broad-leaved:	
ALC imp SP	9
ANI BG	15
ART cir	12
ASP aus	9
BLE gib	15
CLI min	12
DIA cae LJ	35
DOO asp	12
DOR exc	7
FIC nod	12
HEL psi A	12
LIR mus EG	45
LOM lon T	35
MOL cap	28
POA lab E	24
THE aus	24
Shrubs + Screening:	
BAN rob	12
COR alb	15
HAR vio	15
RHA ind SM	24
TEL spe	7
WES fru GB	24
XAN aus	7
Trees + Palms:	
ANG cos	2
ARC cun	4
COR cit	2
HOW for	4
LAG ind T	12
LIV aus	8

Area B

Garden area to the public courtyard surrounds.

Plant Code:	Quantity:
Groundcovers + Climbers:	
ACT hel	7
CAS gla Cl	15
CHR api	25
DIC arg SF	20
DIC rep	30
GRE lan MT	22
HIB sca	15
SEN man	12
VIO hed	30
ZEP can	28
Grasses, Ferns + Broad-leaved:	
ANI BG	9
ART cir	7
CLI min	7
DIA cae LJ	25
DOR exc	3
FIC nod	12
IMP cyl	15
LIR mus EG	15
LOM lon T	21
POA lab E	18
THE aus	15
Shrubs + Screening:	
BAN obl	5
BAN rob	5
COR alb	7
EPA lon	5
GRE lin	3
HAR vio	7
RHA ind SM	7
TEL spe	3
WES fru GB	15
XAN aus	5
Trees + Palms:	
ARC cun	3
EUC hae	1
HOW for	3
LAG ind T	2
LIV aus	6
TRI lau L	1

Area C

Garden area to the public courtyard surrounds and playspace surrounds. Lush gardens with native palms, shade trees and low understorey to maintain sight lines.

Plant Code:	Quantity:
Groundcovers + Climbers:	
ACT hel	9
CAS gla Cl	10
CHR api	15
DIC arg SF	10
DIC rep	25
GRE lan MT	15
HIB sca	9
SEN man	26
VIO hed	25
ZEP can	15
Grasses, Ferns + Broad-leaved:	
ANI BG	6
ASP aus	5
BLE gib	7
DIA cae LJ	25
DOO asp	7
DOR exc	7
FIC nod	9
LOM lon T	7
MOL cap	25
POA lab E	25
THE aus	9
Shrubs + Screening:	
BAN obl	3
BAN rob	3
COR alb	5
HAR vio	5
TEL spe	3
RHA ind SM	20
XAN aus	5
Trees + Palms:	
ANG cos	1
ARC cun	1
HOW for	2
LIV aus	6
TRI lau L	1

Area D

Lush garden to the resident's communal terrace area. A mixture of native and non-evasive exotics within a residential character and scale.

Plant Code:	Quantity:
Groundcovers + Climbers:	
ACT hel	7
CAS gla Cl	20
CHR api	20
DIC arg SF	25
DIC rep	20
GRE lan MT	15
HIB sca	12
SEN man	20
VIO hed	25
ZEP can	30
Grasses, Ferns + Broad-leaved:	
ALC imp SP	6
ART cir	12
BLE gib	18
CLI min	24
CTE set	16
DIA cae LJ	20
DOO asp	12
DOR exc	6
FIC nod	12
HEL psi A	22
LIR mus EG	35
LOM lon T	18
MOL cap	30
POA lab E	15
Shrubs + Screening:	
ALP zer	12
RHA ind SM	8
SYZ aus R	8
THY max	15
VIB odo EL	20
Trees + Palms:	
WES fru GB	4
XAN aus	28
Trees:	
ELA eum	3
LAG ind T	7
TRI lau L	4

Area E

Lush gardens to the shaded building surrounds, primarily located within podium planters.

Plant Code:	Quantity:
Groundcovers + Climbers:	
CAS gla Cl	15
DIC arg SF	45
DIC rep	45
HIB sca	12
SEN man	25
VIO hed	45
ZEP can	48
Grasses, Ferns + Broad-leaved:	
ALC imp SP	12
ALO mac	12
ART cir	22
ASP aus	15
BLE gib	30
CLI min	30
CTE set	24
DIA cae LJ	45
DOO asp	30
FIC nod	28
HEL psi A	30
LIR mus EG	30
LOM lon T	24
MOL cap	35
Shrubs + Screening:	
ALP zer	25
RHA ind SM	25
SYZ aus R	20
THY max	15
VIB odo EL	20
Trees + Palms:	
ARC cun	2
ELA eum	4
HOW for	2

Area F

Large central lawn area with canopy shade trees and deciduous trees within the lawn.

Plant Code:	Quantity:
Trees:	
ANG cos	2
COR cit	1
EUC hae	1
GIN bil	1
TRI lau L	1

Area G

Lawn area with large shade trees and garden surrounds. A native-centric, hardy species mix to blend with the adjacent buffer planting zones.

Plant Code:	Quantity:
Groundcovers + Climbers:	
ACT hel	12
CAS gla Cl	12
DIC arg SF	15
DIC rep	25
GRE lan MT	18
HIB sca	15
SEN man	12
VIO hed	25
ZEP can	15
Grasses, Ferns + Broad-leaved:	
ANI BG	7
ART cir	7
BLE gib	7
DIA cae LJ	45
DOO asp	12
DOR exc	5
FIC nod	28
IMP cyl	60
LIR mus EG	22
LOM lon	28
LOM lon T	32
MOL cap	15
POA lab E	28
THE aus	28
Shrubs + Screening:	
BAN obl	2
BAN rob	2
COR alb	5
EPA lon	3
GRE lin	2
HAR vio	5
RHA ind SM	12
TEL spe	7
WES fru GB	12
XAN aus	7
Trees:	
COR cit	2
EUC hae	1
GIN bil	2
TRI lau L	2

Area H


Garden area to the level 6 communal terrace, within podium planters. This includes a productive communal garden (productive species not listed).

Plant Code:	Quantity:
Groundcovers + Climbers:	
CAS gla Cl	8
DIC arg SF	12
SEN man	15
VIO hed	15
ZEP can	12
Grasses, Ferns + Broad-leaved:	
ALC imp SP	3
ART cir	7
CLI min	9
DIA cae LJ	12
HEL psi A	9
LIR mus EG	12
LOM lon T	12
MOL cap	15
POA lab E	12
Shrubs + Screening:	
RHA ind SM	7
SYZ aus R	8
WES fru GB	12
Trees:	
TRI lau L	5

Area I

Green roof with a mixture of robust groundcovers and grasses to provide a green outlook from surrounding apartments. Green roof will not be publicly accessible.

Plant Code:	Quantity:
Groundcovers + Climbers:	
ACT hel	80
CAS gla Cl	120
CHR api	120
DIC arg SF	120
DIC rep	120
GRE lan MT	120
HIB sca	80
SEN man	80
VIO hed	120
ZEP can	120
Grasses, Ferns + Broad-leaved:	
ANI BG	80
DIA cae LJ	120
DOR exc	25
FIC nod	120
LIR mus EG	120
LOM lon	60
LOM lon T	120
POA lab E	120
THE aus	60
Shrubs + Screening:	
BAN rob	12
HAR vio	15
WES fru GB	18
XAN aus	12



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Area J

Planted buffers along the western and southern boundary, utilising a mixture of 100% endemic species (species selection from Northern Beaches Council plant list for Frenchs Forest Ward).

Plant Code:	Quantity:
Groundcovers + Climbers:	
ACT hel	280
CIS ant	240
DIC rep	370
GLY cla	120
HIB sca	180
KEN rub	120
VIO hed	370
Grasses + Ferns:	
ADI aet	180
CYM ref	180
DIA cae	420
DOO asp	180
FIC nod	280
LOM lon	420
THE aus	280
Shrubs + Screening:	
ACA lin	45
ACA lon	58
BAN eri	55
BAN obl	85
BAN rob	85
BAN spi	60
DOD tri	45
EPA lon	90
GOO ova	54
GRE lin	84
GRE spe	60
TEL spe	58
XAN aus	60
Trees:	
ANG cos	6
BAN ser	4
CAL ser	3
CER ape	3
EUC hae	4
TRI lau	15

Area K

Planted buffer along the eastern boundary, utilising a mixture of 100% endemic species (species selection from Northern Beaches Council plant list for Frenchs Forest Ward).

Plant Code:	Quantity:
Groundcovers + Climbers:	
ACT hel	45
CIS ant	50
DIC rep	180
HIB sca	80
VIO hed	180
Grasses + Ferns:	
ADI aet	54
CYM ref	85
DIA cae	120
DOO asp	65
FIC nod	65
LOM lon	120
THE aus	80
Shrubs + Screening:	
ACA lin	21
BAN eri	24
BAN obl	15
BAN rob	12
BAN spi	12
EPA lon	15
GOO ova	15
GRE lin	27
GRE spe	18
TEL spe	24
XAN aus	24
Trees:	
ANG cos	2
BAN ser	1
CAL ser	1
EUC hae	1
TRI lau	2

Planting Notes:

- + **Planting design subject to detailed design and documentation. Not for pricing or construction.**
- + Refer to drawing 2046-14 for the master plant schedule and plant images.
- + Species selection from the Northern Beaches Council plant list for the Frenchs Forest Ward.
- + Planting to be designed in accordance with the NSW RFS Appendix 4 of 'Planning for Bush Fire Protection 2019'. Refer to requirements on drawing 2046-09.
- + All buffer planting garden areas are within deep soil areas.
- + All garden area subgrade to be cultivated prior to installation of new imported organic garden soil.
- + All garden areas to include 300mm depth of imported organic garden soil.
- + All garden areas to be mulched with 75mm depth of imported organic garden mulch.
- + Species within mixed planting areas to be planted in groupings of 3-5.
- + Sub-surface drainage to all garden areas, connected to site stormwater.
- + All garden areas (excluding softscape works within the road verge) are to include a fully automated irrigation system connected to the sites rainwater harvesting system (subject to detailed design by a suitably qualified irrigation consultant).



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MOD2023/0617



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Issue: 1
Date: 08.11.23
Reason: S.455 Submission

Reviewed by: DW

Project: 'Jardins' Frenchs Forest
5 Skyline Place Frenchs Forest NSW 2086
Client: Platino Properties

Title: Planting DA Plan 2 of 2
Buffer Zones

Title: 2046
Date: 08.11.2023
Scale: 1:400 @ A1



Drawing: 2046-012
Issue: 1

Plant Schedule - Groundfloor Building Surrounds, Green Roof & Roof Terrace:
(to be read in conjunction with Planting Plan 2046-11)

Code	Scientific name:	Common name:	Pot size:	Mature height & spread*:	Planting density:	Quantity:
	Groundcovers + Climbers:					
ACT hel	Actinotus helianthi	Flannel Flower	140mm Pot	0.5 x 0.5m	4 /m2	115
CAS gla CI	Casuarina glauca 'Cousin It'	Sheoak	140mm Pot	0.3 x 0.3m	4 /m2	210
CHR api	Chrysocephalum apiculatum	Yellow Buttons	140mm Pot	0.2 x 0.2m	8 /m2	195
DIC arg SF	Dichondra argentea 'Silver Falls'	Silver Falls	140mm Pot	0.1 x 0.3m	8 /m2	260
DIC rep	Dichondra repens	Kidney Groundcover	Tubestock	0.1 x 0.3m	8 /m2	295
GRE lan MT	Grevillea lanigera 'Mt Tamboritha'	Spider Flower	140mm Pot	0.1 x 0.3m	4 /m2	205
HIB sca	Hibbertia scandens	Guinea Flower	140mm Pot	0.4 x 1m	4 /m2	143
SEN man	Senecio mandraliscae	Blue Chalksticks	140mm Pot	0.3 x 0.6m	4 /m2	190
VIO hed	Viola hederacea	Native Violet	Tubestock	0.1 x 0.3m	8 /m2	300
ZEP can	Zephyranthes candida	White Wind Flower	140mm Pot	0.2 x 0.2m	8 /m2	291
	Grasses, Ferns + Broad-leaved:					
ALC imp SP	Alcantarea imperialis 'Silver Plum'	Bromeliad	300mm Pot	0.5 x 0.5m	1 /m2	27
ALO mac	Alocasia macrorrhiza	Giant Taro	300mm Pot	1.5 x 1m	2 /m2	12
ANI BG	Anigozanthos 'Bush Gold'	Kangaroo Paw	140mm Pot	0.5 x 0.5m	4 /m2	137
ART cir	Arthropodium cirratum	New Zealand Rock Lilly	140mm Pot	0.6 x 0.6m	4 /m2	60
ASP aus	Asplenium australasicum	Birds Nest Fern	200mm Pot	1 x 1m	1 /m2	29
BLE gib	Blechnum gibbum	Silver Lady Fern	140mm Pot	0.4 x 0.4m	4 /m2	77
CLI min	Clivia miniata	Clivia	140mm Pot	0.4 x 0.4m	4 /m2	73
CTE set	Ctenanthe setosa 'Grey Star'		140mm Pot	1 x 0.5m	3 /m2	40
DIA cae LJ	Dianella caerulea 'Little Jess'	Blue Flax Lily	Tubestock	0.5 x 0.5m	6 /m2	315
DOO asp	Doodia aspera	Prickly Rasp Fern	140mm Pot	0.4 x 0.4m	6 /m2	73
DOR exc	Doryanthes excelsa	Gymea Lilly	200mm Pot	1.5 x 1m	1 /m2	53
FIC nod	Ficinia nodosa	Knobby Clubrush	Tubestock	0.6 x 0.6m	4 /m2	221
HEL psi A	Heliconia psittacorum L.f cv. 'Andromeda'	Heliconia (Orange)	200mm Pot	1 x 0.5m	3 /m2	64
IMP cyl	Imperata cylindrica	Blady Grass	Tubestock	0.6 x 0.6m	4 /m2	75
LIR mus EG	Liriope muscari 'Evergreen Giant'	Giant Mondo	140mm Pot	0.6 x 0.6m	4 /m2	267
LOM lon	Lomandra longifolia	Mat-rush	Tubestock	0.9 x 0.9m	4 /m2	95
LOM lon T	Lomandra longifolia 'Tanika'	Lomandra Tanika	140mm Pot	0.6 x 0.6m	4 /m2	275
MOL cap	Molineria capitalata	Weevil Lilly	200mm Pot	1 x 0.5m	3 /m2	113
POA lab E	Poa labillardieri 'Eskdale'	Common Tussock Grass	140mm Pot	0.5 x 0.5m	4 /m2	230
THE aus	Themeda australis	Kangaroo Grass	Tubestock	0.5 x 0.5m	4 /m2	136
	Shrubs + Screening:					
ALP zer	Alpinia zerumbet	Shell Ginger	200mm Pot	1.8 x 1m	2 /m2	37
BAN obl	Banksia oblongifolia	Fern-leaved Banksia	200mm Pot	1.5 x 1.5m	1 /m2	10
BAN rob	Banksia robur	Swamp Banksia	200mm Pot	1.5 x 1.5m	1 /m2	34
COR alb	Correa alba	White Correa	200mm Pot	1.5 x 1m	2 /m2	40
EPA lon	Epacris longiflora	Native Fuschia	200mm Pot	1.5 x 1.5m	1 /m2	8
GRE lin	Grevillea linearifolia	White Spider Flower	200mm Pot	1-2 x 2m	1 /m2	5
HAR vio	Hardenbergia violacea	Purple Coral Pea	200mm Pot	0.8 x 0.8m	3 /m2	55
RHA ind SM	Rhaphiolepis indica 'Snow Maiden'	Indian Hawthorn White	200mm Pot	0.8 x 0.8m	3 /m2	78
SYZ aus R	Syzygium australe 'Resilience'	Lilly Pilly	25L	2 x 1m	1 /m2	24
TEL spe	Telopea speciosissima	Waratah	200mm Pot	3 x 2m	1 /m2	20
THY max	Thysanolaena maxima	Tiger Grass	200mm Pot	2 x 1.5m	1 /m2	15
VIB odo EL	Viburnum odoratissimum 'Emerald Lustre'		25L	2 x 1m	1 /m2	24
WES fru GB	Westringia fruticosa 'Grey Box'	Compact Coastal Rosemary	140mm Pot	0.5 x 0.5m	4 /m2	117
XAN aus	Xanthorrhoea australis	Grass Tree	300mm Pot	2 x 1m	1 /m2	41
	Trees + Palms:					
ANG cos	Angophora costata	Smooth- Barked Apple	75L	25 x 10m	-	5
ARC cun	Archontophoenix cunninghamiana	Bangalow Palm	Mix of 2-4m height	8 x 3m	-	10
COR cit	Corymbia citriodora	Lemon-scented Gum	75L	20 x 8m	-	5
ELA eum	Elaeocarpus eumundii	Quandong	75L	9 x 3m	-	7
EUC hae	Eucalyptus haemastoma	Scribbly Gum	75L	15 x 8m	-	3
GIN bil	Ginkgo biloba	Maidenhair tree	75L	12 x 8m	-	2
HOW for	Howea forsterana	Lord Howe Island Palm	Mix of 2-4m height	8 x 3m	-	11
LAG ind T	Lagerstroemia indica x fauriei 'Tuscarora (Hot Pink)'	Crepe Myrtle	75L	5 x 3m	-	21
LIV aus	Livistona australis	Cabbage Palm	Mix of 2-6m height	20 x 3m	-	20
TRI lau L	Tristaniopsis laurina 'Luscious'	Water Gum	75L	8 x 4m	-	14
	Turf:					
	Village Green ' Kikuyu'	-	-	-	-	779 m²

Notes:

- + * Nominal height / spread at maturity - will vary based on maintenance regimes and site growing conditions.
- + Planting design subject to detailed design and documentation.
- + Species selection subject to availability at time of tendering and construction.



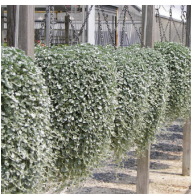
ACT hel: Actinotus helianthi
Flannel Flower



CAS gla CI: Casuarina glauca
'Cousin It' | Sheoak



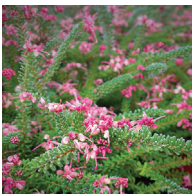
CHR api: Chrysocephalum
apiculatum | Yellow Buttons



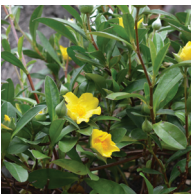
DIC arg SF: Dichondra
argentea 'Silver Falls'



DIC rep: Dichondra repens
Kidney Groundcover



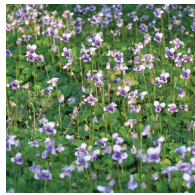
GRE lan MT: Grevillea lanigera
'Mt Tamboritha' | Spider Flower



HIB sca: Hibbertia scandens
Guinea Flower



SEN man: Senecio
mandraliscae | Blue Chalksticks



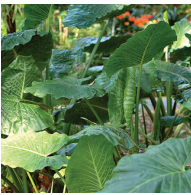
VIO hed: Viola hederacea
Native Violet



ZEP can: Zephyranthes
candida | White Wind Flower



ALC imp SP: Alcantarea
imperialis 'Silver Plum'



ALO mac: Alocasia
macrorrhiza | Giant Taro



ANI BG: Anigozanthos 'Bush
Gold' | Kangaroo Paw



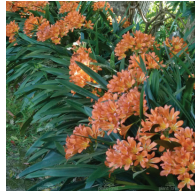
ART cir: Arthropodium
cirratum | NZ Rock Lilly



ASP aus: Asplenium
australasicum | Birds Nest Fern



BLE gib: Blechnum gibbum
Silver Lady Fern



CLI min: Clivia miniata
Clivia



CTE set: Ctenanthe setosa
'Grey Star'



DIA cae LJ: Dianella caerulea
'Little Jess' | Blue Flax Lily



DOO asp: Doodia aspera
Prickly Rasp Fern



DOR exc: Doryanthes excelsa
Gymea Lilly



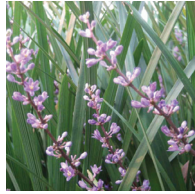
FIC nod: Ficinia nodosa
Knobby Clubrush



HEL psi A: Heliconia
psittacorum L.f cv. Andromeda



IMP cyl: Imperata cylindrica
Blady Grass



LIR mus EG: Liriope muscari
'Evergreen Giant' Giantmundo



LOM lon: Lomandra longifolia
Mat-rush



LOM lon T: Lomandra
longifolia 'Tanika'



MOL cap: Molineria capitalata
Weevil Lilly



POA lab E: Poa labillardieri
'Eskdale' | Common Tussock



THE aus: Themeda australis
Kangaroo Grass



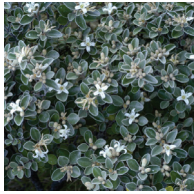
ALP zer: Alpinia zerumbet
Shell Ginger



BAN obl: Banksia oblongifolia
Fern-leaved Banksia



BAN rob: Banksia robur
Swamp Banksia



COR alb: Correa alba
White Correa



EPA lon: Epacris longiflora
Native Fuschia



GRE lin: Grevillea linearifolia
White Spider Flower



HAR vio: Hardenbergia
violacea | Purple Coral Pea



RHA ind SM: Rhaphiolepis
indica 'Snow Maiden'



SYZ aus R: Syzygium australe
'Resilience' | Lilly Pilly



TEL spe: Telopea speciosissima
Waratah



THY max: Thysanolaena
maxima | Tiger Grass



VIB odo EL: Viburnum
odoratissimum 'Emerald Lustre'



WES fru GB: Westringia
fruticosa 'Grey Box'



XAN aus: Xanthorrhoea
australis | Grass Tree



ANG cos: Angophora costata
Smooth- Barked Apple



ARC cun: Archontophoenix
cunninghamiana
Bangalow Palm



COR cit: Corymbia citriodora
Lemon-scented Gum



ELA eum: Elaeocarpus
eumundii | Quandong



EUC hae: Eucalyptus
haemastoma | Scribbly Gum



GIN bil: Ginkgo biloba
Maidenhair tree



HOW for: Howea forsterana
Lord Howe Island Palm



LAG ind T: Lindica x fauriei
'Tuscarora' | Crepe Myrtle



LIV aus: Livistona australis
Cabbage Palm



TRI lau L: Tristaniopsis laurina
'Luscious' | Water Gum

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2023/0617



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Registered Landscape Architects
ALA 1761
ABN 82 628 312 274
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Issue: 1
Date: 08.11.23
Reason: S455 Submission

Reviewed by: DW

Project: 'Jardins' Frenchs Forest
5 Skyline Place Frenchs Forest NSW 2086
Client: Platino Properties

Title: Plant Schedule 1 of 2
Groundfloor Building Surrounds, Green
Roof & Roof Terrace

Title: 2046
Date: 08.11.2023
Scale: N/A @ A1

Drawing: 2046-013
Issue: 1

Plant Schedule – Buffer Zones:
(to be read in conjunction with Planting Plan 2046-12)

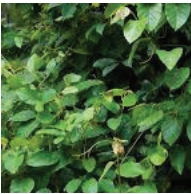
Code	Scientific name:	Common name:	Pot size:	Mature height & spread*:	Planting density:	Quantity:
	Groundcovers + Climbers:					
ACT hel	Actinotus helianthi	Flannel Flower	140mm Pot	0.5 x 0.5m	4 /m2	325
CIS ant	Cissus antarctica	Kangaroo Vine	Tubestock	0.3 x 0.6m	4 /m2	290
DIC rep	Dichondra repens	Kidney Groundcover	Tubestock	0.1 x 0.3m	8 /m2	550
GLY cla	Glycine clandestina	Love Creeper	140mm Pot	0.3 x 2m	4 /m2	120
HIB sca	Hibbertia scandens	Guinea Flower	140mm Pot	0.4 x 1m	4 /m2	260
KEN rub	Kennedia rubicundra	Dusky Coral Pea	140mm Pot	5 x 3m	4 /m2	120
VIO hed	Viola hederacea	Native Violet	Tubestock	0.1 x 0.3m	8 /m2	550
	Grasses + Ferns:					
ADI aet	Adiantum aethiopicum	Common Maidenhair	140mm Pot	0.4 x 0.4m	6 /m2	234
CYM ref	Cymbopogon refractus	Barbed Wire Grass	Tubestock	1 x 1m	4 /m2	265
DIA cae	Dianella caerulea	Blue Flax Lily	Tubestock	0.5 x 0.5m	4 /m2	540
DOO asp	Doodia aspera	Prickly Rasp Fern	140mm Pot	0.4 x 0.4m	6 /m2	245
FIC nod	Ficinia nodosa	Knobby Clubrush	Tubestock	0.6 x 0.6m	4 /m2	345
LOM lon	Lomandra longifolia	Mat-rush	Tubestock	0.9 x 0.9m	4 /m2	540
THE aus	Themeda australis	Kangaroo Grass	Tubestock	0.5 x 0.5m	4 /m2	360
	Shrubs + Small Trees:					
ACA lin	Acacia linifolia	Flax-leaved Wattle	140mm Pot	2-5 x 2-4m	1 /m2	66
ACA lon	Acacia longifolia	Sydney Golden Wattle	140mm Pot	4-6 x 2-4m	1 /m2	58
BAN eri	Banksia ericifolia	Heath-leaved Banksia	140mm Pot	2 x 2m	1 /m2	79
BAN obl	Banksia oblongifolia	Fern-leaved Banksia	140mm Pot	1.5 x 1.5m	1 /m2	100
BAN rob	Banksia robur	Swamp Banksia	140mm Pot	1.5 x 1.5m	1 /m2	97
BAN spi	Banksia spinulosa	Hairpin Banksia	140mm Pot	2 x 2m	1 /m2	72
DOD tri	Dodonaea triquetra	Common Hop-Bush	140mm Pot	3 x 2m	1 /m2	45
EPA lon	Epacris longiflora	Native Fuschia	140mm Pot	1.5 x 1.5m	1 /m2	105
GOO ova	Goodenia ovata	Hop Goodenia	140mm Pot	1 x 1-3m	1 /m2	69
GRE lin	Grevillea linearifolia	White Spider Flower	140mm Pot	1-2 x 2m	1 /m2	111
GRE spe	Grevillea speciosa	Red Spider Flower	140mm Pot	3 x 2m	1 /m2	78
TEL spe	Telopea speciosissima	Waratah	140mm Pot	3 x 2m	1 /m2	82
XAN aus	Xanthorrhoea australis	Grass Tree	140mm Pot	2 x 1m	1 /m2	84
	Trees:					
ANG cos	Angophora costata	Smooth- Barked Apple	75L	25 x 10m	-	8
BAN ser	Banksia serrata	Old Man Banksia	75L	5-10 x 5m	-	5
CAL ser	Callicoma serratifolia	Black Wattle	75L	15 x 6m	-	4
CER ape	Ceratopetalum apetalum	Coachwood	75L	25 x 10m	-	3
EUC hae	Eucalyptus haemastoma	Scribbly Gum	75L	15 x 8m	-	5
TRI lau	Tristaniopsis laurina	Water Gum	75L	15 x 6m	-	17

Notes:

- + * Nominal height / spread at maturity - will vary based on maintenance regimes and site growing conditions.
- + Planting design subject to detailed design and documentation.
- + Species selection subject to availability at time of tendering and construction.



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Flannel Flower



CIS ant: Cissus antarctica
Kangaroo Vine



DIC rep: Dichondra repens
Kidney Groundcover



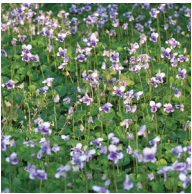
GLY cla: Glycine clandestina
Love Creeper



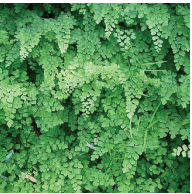
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Black Wattle



CER ape: Ceratopetalum apetalum | Coachwood



EUC hae: Eucalyptus haemastoma | Scribbly Gum



TRI lau: Tristaniopsis laurina
Water Gum



northern
beaches
council

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Issue: 1
Date: 08.11.23
Reason: S.455 Submission

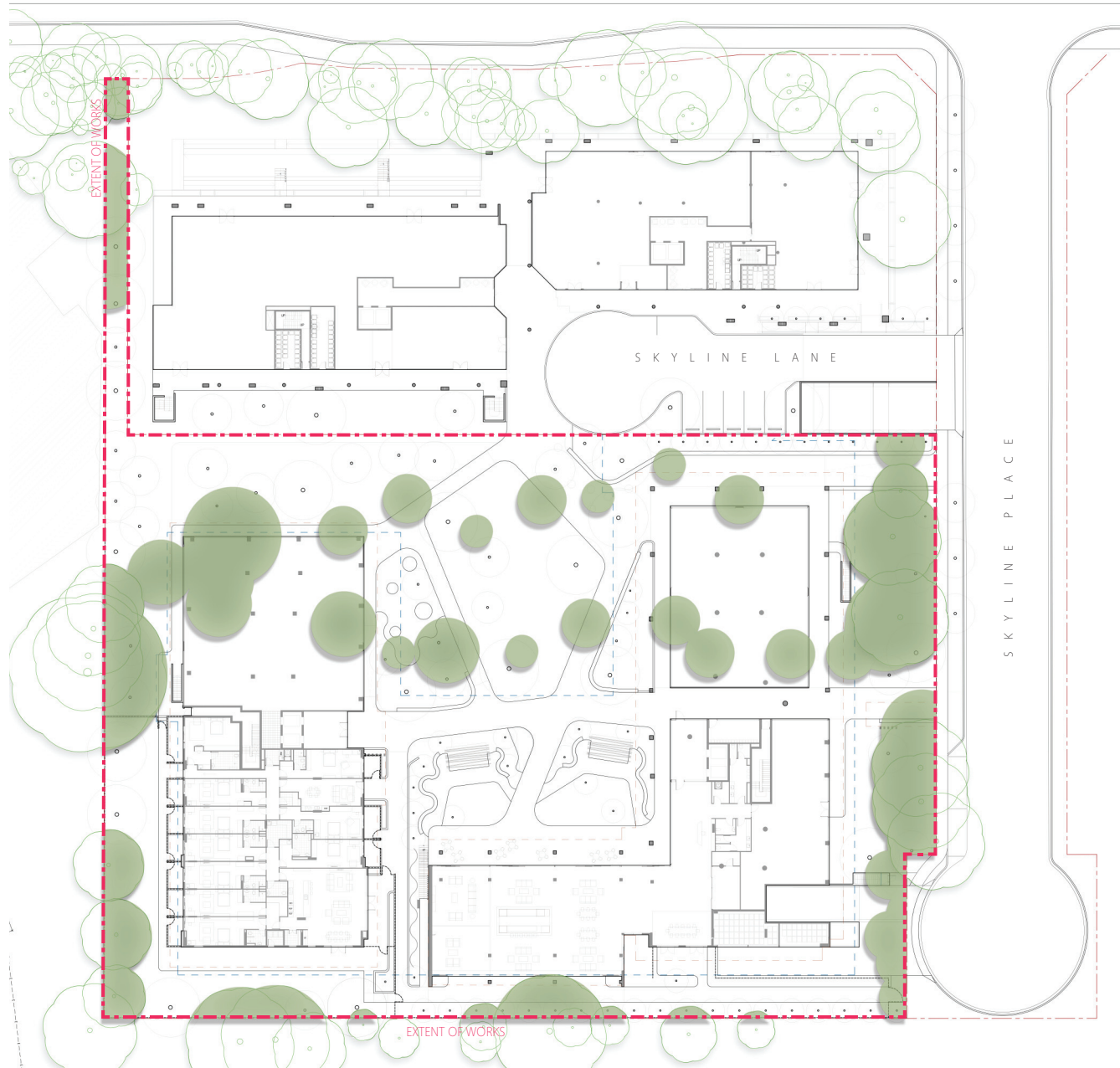
Reviewed by: DW

Project: 'Jardins' Frenchs Forest
5 Skyline Place Frenchs Forest NSW 2086
Client: Platino Properties

Title: Plant Schedule 2 of 2
Buffer Zones

Title: 2046
Date: 08.11.2023
Scale: N/A @ A1

Drawing: 2046-014
Issue: 1



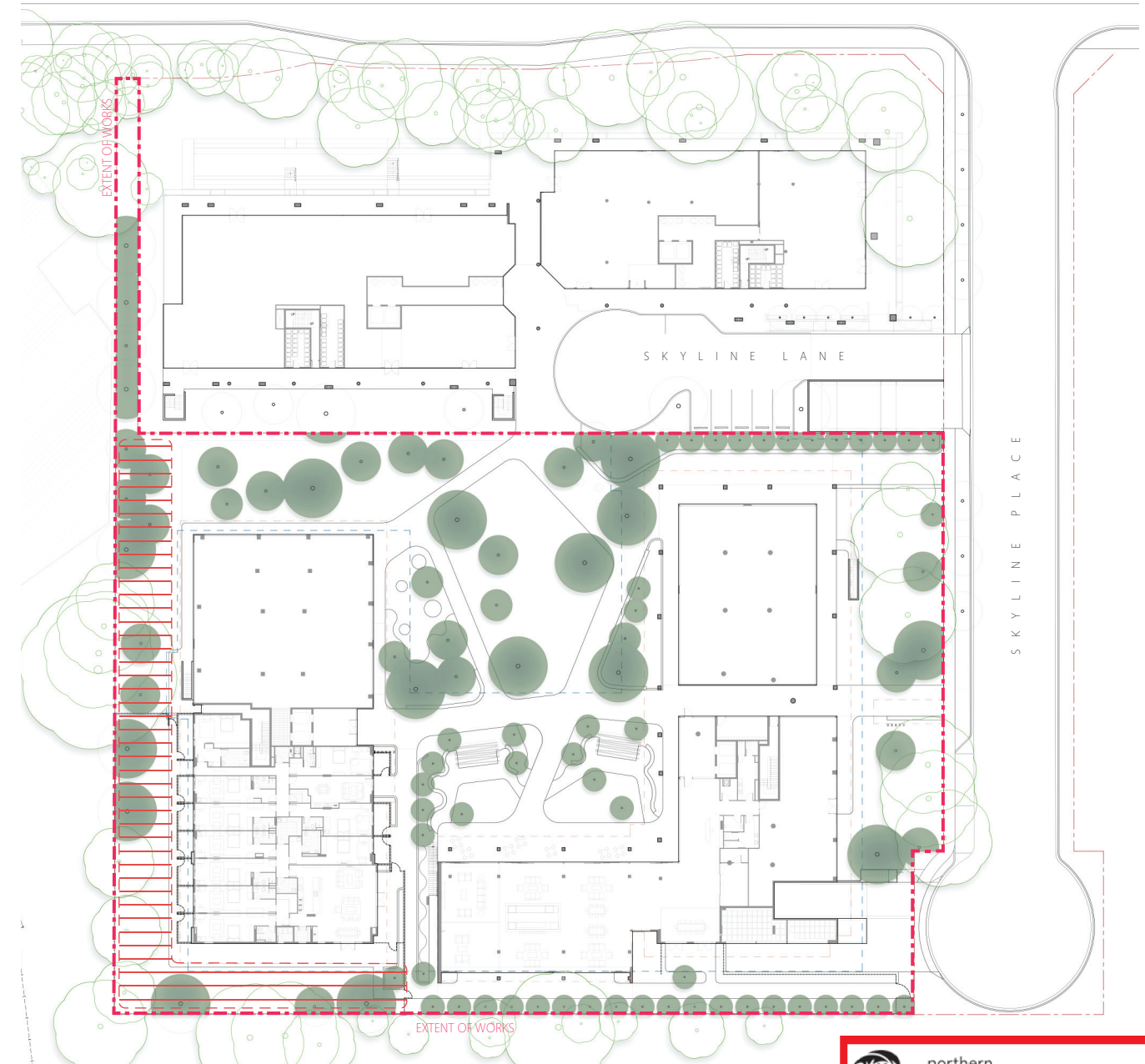
Existing Tree Canopy Cover Diagram

Scale: 1:400 @A1

Approximate existing tree canopy cover over the site pre-development = 1,618 m² (20.7%)

Comments on existing canopy cover diagram

- + Tree canopy cover based on received site survey prepared by 'Chadwick Cheng Consulting Surveyors', dated 11.12.17.
- + Tree canopy sizes based on received arborist report prepared by 'Naturally Trees', dated 21.01.21.
- + Tree canopies are illustrative only based on the information received from the arborist and surveyor.
- + Diagram includes all existing trees on site and includes trees recommended for removal by the arborist.



Proposed Tree Canopy Cover Diagram

Scale: 1:400 @A1

Approximate proposed tree canopy cover over the site post-development = 2,342 m² (30.0%)

Comments on proposed canopy cover diagram

- + Tree canopy cover based on proposed tree species mature height and mature canopy size. Tree canopy extent may vary and will be based on site growing conditions and maintenance regimes.
- + Concept design only - subject to detailed design and documentation.
- + Hatched area subject to review by Bush Fire consultant and RFS as part of detailed design, particularly once inner protection area (IPA) and outer protection area (OPA) are clearly defined and the RFS requirements can be applied in detail to the site. Refer to the NSW Rural Fire Service Integrated Development Application (DA2021-0212 (CNR-19692)) Referral Response, dated 17.05.2021, and the Bushfire Assessment Report, prepared by Building Code & Bushfire Hazard Solutions, dated 22.02.21.



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