



**TWBA – Terry West Building Approvals &
Consultants Pty Ltd**
A C.N. 084953186

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- Building Approvals-Construction Cert
- Building Co-ordinator
- Building Consultant
- Advice on Council Matters

A B.N 36084953186

Pittwater RSL Club
80-82 Mona Vale Road,
Mona Vale 2103

21st April 2010
Ref T W B A / C C No 41AA / 2009

MODIFIED
CONSTRUCTION CERTIFICATE

**Issued under Section 109C(1) (b), 81A(4) of the Environmental Planning and
Assessment Act 1979**

Subject Land Lot 26, D P 654262, Nos 80-82 Mona Vale Road, Mona Vale

Description of Development Erection of a Two Storey Carpark & new Outdoor
Seating Terrace at Pittwater RSL Club

Development Consent No N0384 / 08,
Section 96 Modification No N0384 / 08,
Section 96 Modification No N0384 / 08 &
Section 96 Modification No N0384 / 08 / S96 / 4

Date 4th May 2009 &
Section 96 Modification Date 28th May 2009,
Section 96 Modification Date 25th June 2009 &
Section 96 Modification Date 15th December 2009

T W B A

PRVC \$30
REC 278717
22/4/10

Classification under B C A

Two Storey Carpark – Class 7a
Outdoor Terrace – Class 9b

Date of Issue

21st April 2010

CERTIFICATION

It is certified that the work, if completed in accordance with the approved plans drawn by bergstrom ARCHITECTS pty ltd. Job No 06-022, Drawing No WD-104, Issue B, Dated 27th November 2009, WD-103, Issue E, Dated 3rd March 2010 & WD-203, Issue B, Dated 22nd March 2010, which are stamped as approved by Terry West of Terry West Building Approvals and Consultants Pty Ltd, will comply with the requirements of the Environmental Planning and Assessment Regulation 2000 as referred to in Section 81A (5) of the Environmental Planning and Assessment Act, 1979

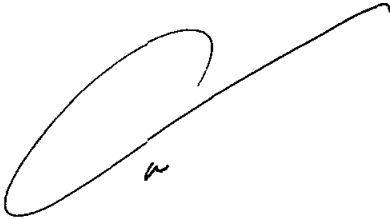
The issuing of this Modified Construction Certificate permits the continuation of building works in accordance with the relevant approved plans, specifications and above-mentioned Development Consent

Terry West

N S W Accreditation Scheme for Building Surveyors and Allied Professions
Accreditation Number BPB0438

Also attached to this Construction Certificate Package are

- Structural Details, Job No PDL 1/19, Drawing Nos S040 & S041, Revision F, Dated 1st December 2009



T W B A



PITTWATER COUNCIL

RECEIVED
17 DEC 2009

Business Hours
8 00am to 6 00pm, Monday to Thursday
8 00am to 5 00pm, Friday

15 December 2009

PAYNTER DIXON CONSTRUCTIONS
320 LIVERPOOL ROAD
ASHFIELD NSW 2131

Dear Sir/Madam

Modification of Development Consent N0384/08 for construction of a two-storey carpark and new outdoor seating terrace at Pittwater RSL Club at PITTWATER RSL 80-82 MONA VALE ROAD MONA VALE NSW 2103

Your request for modification has been considered by Council and it has been agreed to modify the Consent

Please find attached the consent as modified

If there are any matters that require further clarification, please do not hesitate to contact me

Yours faithfully

Joanne Marshall
SENIOR PLANNER

copy A4. RC

NH/Ad

Design
Team
mgr

orig. Design
mgr

ABN61340837871
Telephone 02 9970 1111
Facsimile 02 9970 7150
Postal Address
PO Box 882
Mona Vale NSW 1660
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S96 No N0384/08/S96/4



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MODIFICATION OF DEVELOPMENT CONSENT NO N0384/08/S96/4

ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979

NOTICE TO APPLICANT OF DETERMINATION

OF A DEVELOPMENT APPLICATION

Applicant's Name and Address

PAYNTER DIXON CONSTRUCTIONS, 320 LIVERPOOL ROAD, ASHFIELD NSW 2131

Being the applicant in respect of Development Application No N0384/08

Pursuant to section 81 of the Act, notice is hereby given of the determination by Pittwater Council, as the consent authority, of this Development Application for -

Modification of Development Consent N0384/08 for construction of a two-storey carpark and new outdoor seating terrace at Pittwater RSL Club

At -

**Lot 26 DP 654262, Lot 120 DP135512 & Lot 27 DP5055
80-84 MONA VALE ROAD & 22 JUBILEE AVENUE, MONA VALE NSW 2103**

Decision

The Development Application has been determined by the granting of consent based on information provided by the applicant in support of the application, including the Statement of Environmental Effects, and in accordance with

Drawings DA-CP 1 01 Rev A dated 30 07 08, DA-CP 1 02 Rev A 30 07 08, DA-CP 2 01 Rev A dated 31 07 08, DA-CP 2 02 Rev A dated 31 07 08, DA-CP 2 03 Rev A dated 30 07 08, DA-CP 2 04 Rev A dated 31 07 08, DA-CP 3 01 Rev A dated 27 06 08 all drawn by Bergstrom Architects, as modified by Drawings No S96-CP 2 03, S96-CP 2 04 & S96-CP 3 01 dated 28/9/09 prepared by Bergstrom Architects, Concept Landscape Plan dated 01 10 08 and drawn by Angela Maroney, Stormwater Civil Design C01-P2, C02-P3, C03-P2, C04-P2 & C05-P2 all dated 06 03 09 and letter dated 06 03 09 and drawn by TaylorThompsonWhitting & Environmental Impact Statement prepared by Don Fox Planning and dated August 2008 as amended in red (shown clouded) or as modified by any conditions of this consent

The reason for the imposition of these conditions is to ensure that the development consented to is carried out in such a manner as to achieve the objectives of the Environmental Planning and Assessment Act, pursuant to section 5(a) of the Act, having regard to the relevant matters for consideration contained in section 79C of the Act and the Environmental Planning Instruments applying to the land, as well as section 80A of the Act which authorises the imposing of the consent conditions

Note For ease of reference, all of the previous conditions have been re-listed Those conditions amended or deleted have been highlighted

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Avalon Customer Service Centre
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Support Services
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Boondah Depot
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Endorsement of date of consent

4/05/2009
Modified 28/05/2009
Modified 25/06/2009
Modified 10 August 200
Modified 15/12/2009

Mark Ferguson
GENERAL MANAGER

Per

J Marshall

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Conditions of Approval

This consent is not an approval to commence building work. The works associated with this consent can only commence following the issue of the Construction Certificate.

Note Persons having the benefit of development consent may appoint either a council or an accredited certifier as the principal certifying authority for the development or for the purpose of issuing certificates under Part 4A of the Environmental Planning and Assessment Act. When considering engaging an accredited certifier a person should contact the relevant accreditation body to ensure that the person is appropriately certified and authorised to act in respect of the development.

A Prescribed Conditions

- 1 All works are to be carried out in accordance with the requirements of the Building Code of Australia
- 2 Critical stage inspections are to be carried out in accordance with clause 162A of the Environmental Planning & Assessment Regulation 2000. To allow a Principal Certifying Authority or another certifying authority time to carry out critical stage inspections required by the Principal Certifying Authority, the principal contractor for the building site, or the owner-builder must notify the Principal Certifying Authority at least 48 hours before building work is commenced and prior to further work being undertaken.
- 3 A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out
 - a showing the name, address and telephone number of the Principal Certifying Authority for the work, and
 - b showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
 - c stating that unauthorised entry to the work site is prohibited

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.

- 4 The hours of construction are restricted to between the hours of 7 00am and 5 00pm Monday - Friday and 7 00am to 1 00pm on Saturdays. No works are to be carried out on Sundays or Public Holidays. Internal building work may be carried out at any time outside these hours, subject to noise emissions from the building or works not being audible at any adjoining boundary.

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B Matters to be incorporated into the development and maintained over the life of the development

- 1 Locally native canopy trees are to be planted onsite to replace trees approved for removal. Canopy tree species and quantities are to be as per the approved Landscape Plan or selected from the list pertaining to the vegetation community growing in the locality as per the vegetation mapping and Native Plants for Your Garden book available from Pittwater Council and on the website (www.pittwater.nsw.gov.au). All native trees are to be retained for the life of the development, or for their safe natural life.

Trees that die or are removed must be replaced with another locally native canopy tree. Any new fencing is to be made passable to native wildlife. As a guideline, hole dimensions should be 150mm wide x 100mm long at ground level spaced at 6 metre intervals.

- 2 Over the life of the development all declared noxious weeds are to be managed / removed in accordance with the Noxious Weeds Act 1993. Environmental weeds are to be removed and/or controlled.
- 3 No environmental weeds are to be planted on the site.
- 4 Any vegetation planted outside approved landscape zones is to be consistent with
 - o Locally native species or locally native plants growing on site and / or selected from the list pertaining to vegetation community(s) on the site as per the Pittwater Book *Native Plants for Your Garden* - book available from Council and on the Pittwater Web Site.
- 5 This approval/consent relates only to the new work nominated on the approved consent plans and does not approve or regularise any existing buildings or structures within the property boundaries or within Council's road reserve.
- 6 Landscape working drawings and specifications are to be prepared for the development which incorporate a landscape maintenance strategy for the owner/occupier to administer over a 12 month establishment period. This strategy is to address maintenance issues such as irrigation, soil testing, weeding, plant staking, fertilising, pest and disease control, replanting, remedial pruning and the like. Further, provision is to be made for the landscape designer to visit the site on a 3 monthly basis from the date of issue of the Occupation Certificate. After the final inspection, the landscape designer is to issue a report to the owner/occupier certifying that all plant material is healthy and performing to expectation. A copy of this report is to be forwarded to the Accredited Certifier or Council.
- 7 The existing landscaping required to be retained together with any additional landscaping required by this Development Consent is to be maintained for the life of the development.

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- 8 Screen planting is to be provided, which after three years will in conjunction with the canopy planting, screen 50% of the built form when viewed the street. Species selection is to incorporate locally native species. This screen planting is to be retained over the life of the development and replaced if any part of it should die or be destroyed or removed.
- 9 The recommended treatments set out in Section 6 of the submitted Environmental Noise Impact Assessment by Acoustic Logic Consultancy and dated 4 August 2008 shall be adhered to throughout the life of the development.
- 10 All lighting to be installed as part of the development shall comply with the requirements of AS 4282 and the submitted Obtrusive Lighting Report dated 31 July 2008.
- 11 A qualified acoustic engineer is to certify that the maximum noise level associated with the mechanical plant and equipment associated with the development does not exceed 5dB(A) above ambient background level, when measured from any adjoining premises.
- 12 All utility services including overhead power supply and communication cables, but excluding any 33kv overhead power cables located in the adjacent road verge and those servicing the development are to be placed and/or relocated underground for the total frontage of the development site to any public road at the full cost to the developer.
- 13 All plumbing and drainage fixtures are to be concealed and not exposed to public view.
- 14 The finished surface materials, including colours and texture of any building, shall match the detail and materials of the existing building.
- 15 An alternative accessible path of travel is to be provided in accordance with AS2890.1 between the bowlers' amenities building and Pittwater RSL Club within five years of the issue of a construction certificate under this Development Consent.
- 16 All doors onto Level 1 Terrace Area shall be self closing and shall not be kept open after 10.00 pm at night.

C Matters to be satisfied prior to the issue of the Construction Certificate

Note All outstanding matters referred to in this section are to be submitted to the accredited certifier together. Incomplete Construction Certificate applications / details cannot be accepted.

- 1 Prior to issue of the Construction Certificate, Form 2 of the *Geotechnical Risk Management Policy for Pittwater* (Appendix 5 of P21 DCP) is to be completed and submitted to the Principal Certifying Authority.
- 2 Drainage details showing site stormwater management are to be submitted to the Accredited Certifier or Council with the Construction Certificate application. Such details

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are to be accompanied by a certificate from either a Licensed plumber, Surveyor or qualified practicing Civil Engineer with corporate membership of the Institute of Engineers Australia (M I E), or who is eligible to become a Corporate member and has appropriate experience and competence in the related field, that the stormwater management system complies with the requirements of section 3 1 2 *Drainage* of the Building Code of Australia Housing Provision and AS/NZS 3500 3 2 - Stormwater Drainage

The details shall include disposal of site stormwater (if the site is in a known slip area the stormwater disposal system must comply with the recommendations of a Civil (Geotechnical) Engineers report)

Note Where Council is the Principal Certifying Authority 3 sets of plans/specifications are to be submitted

3 DELETED

- 4 Submission of construction plans and specifications and documentation which are consistent with the approved Development Consent plans, the requirements of Building Code of Australia and satisfy all conditions shown in Part B above are to be submitted to the Principal Certifying Authority
- 5 The Accredited Certifier or Council must be provided with a copy of plans that a Quick Check agent/Sydney Water has stamped before the issue of any Construction Certificate
- 6 Any proposed demolition works shall be carried out in accordance with the requirements of AS2601-1991 *The Demolition of Structures*

Amongst others, precautions to be taken shall include compliance with the requirements of the WorkCover Authority of New South Wales, including but not limited to

- 1 Protection of site workers and the general public
- 2 Erection of hoardings where appropriate
- 3 Asbestos handling and disposal where applicable
- 4 Any disused service connections shall be capped off

Council is to be given 48 hours written notice of the destination/s of any excavation or demolition material. The disposal of refuse is to be to an approved waste disposal depot.

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- 7 The finished surface materials, including colours and texture of the proposed wall to the car park, shall blend with the surrounding and/or natural materials and shall be non-glare. A satisfactory specification which achieves this shall be submitted to the Accredited Certifier or Council with the Construction Certificate application in the form of a Schedule of Finishes

D Matters to be satisfied prior to the commencement of works and maintained during the works

Note It is an offence to commence works prior to issue of a Construction Certificate

- 1 Temporary sedimentation and erosion controls are to be constructed prior to commencement of any work to eliminate the discharge of sediment from the site
- 2 Sedimentation and erosion controls are to be effectively maintained at all times during the course of construction and shall not be removed until the site has been stabilised or landscaped to the Principal Certifying Authority's satisfaction

- 3 Adequate measures shall be undertaken to remove clay from vehicles leaving the site so as to maintain public roads in a clean condition

Waste materials generated through demolition, excavation and construction works are to be minimised by re-use on-site, recycling or where reuse or recycling is not practical, disposal at an appropriate authorised waste facility

- 4 The site is to be fully secured by a fence to all perimeters to the site to prevent unauthorised access both during the course of the works and after hours
- 5 No works are to be carried out in Council's Road Reserve without the written approval of the Council
- 6 A Road Opening Permit, issued by Council, must be obtained for any road openings, or excavation within Council's Road Reserve associated with the development on the site, including stormwater drainage, water, sewer, electricity, gas and communication connections. During the course of the road opening works the Road Opening Permit must be visibly displayed at the site
- 7 No skip bins or materials are to be stored on Council's Road Reserve
- 8 A clearly legible *Site Management Sign* is to be erected and maintained throughout the course of the works. The sign is to be centrally located on the main street frontage of the site and is to clearly state in legible lettering the following -

- o The builder's name, builder's telephone contact number both during work hours and after hours

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- o That no works are to be carried out in Council's Road Reserve without the written approval of the Council
- o That a Road Opening Permit issued by Council must be obtained for any road openings or excavation within Council's Road Reserve associated with development of the site, including stormwater drainage, water, sewer, electricity, gas and communication connections. During the course of the road opening works the Road Opening Permit must be visibly displayed at the site
- o That no skip bins or materials are to be stored on Council's Road Reserve
- o That the contact number for Pittwater Council for permits is 9970 1111

A satisfactory construction traffic management plan (CTMP) prepared by a suitably qualified traffic consultant is required to be submitted to the Private Certifying Authority prior to the commencement of any site works. The plan is to detail

- o Quantity of material to be transported
- o Proposed truck movements per day
- o Proposed hours of operation
- o Proposed traffic routes, noting that 3 tonne load limits apply to some roads within Pittwater

- 9 A stamped copy of the approved plans is to be kept on the site at all times, during construction
- 10 Toilet facilities are to be provided in a location which will not detrimentally affect the amenity of any adjoining residents at or in the vicinity of the work site during the duration of the development
- 11 Contractors and visitors to the site are to be advised of the purpose for the tree/ native vegetation/ habitat protection/exclusion fencing installed in accordance with this consent by the placement of a suitable warning sign on the fence. The sign is to include advice that no works or storage of materials is to take place within the dripline of existing trees
- 12 During site excavation, topsoil which is to be used in later landscape works is to be stockpiled on site and stabilised during construction works. Stockpiles are to be stored outside of hazard areas and not located within the dripline of existing trees which are to be retained
- 13 When working within the drip line of the trees, hand digging is to occur in sensitive areas. Liaison on a daily basis is to be maintained during the excavation works between the Builder and Arborist. No filling or compaction shall occur over tree roots within the area defined by the outer drip line of the crown. Root protection/ compaction mitigation in the form of planks or metal decking supported clear of the ground fixed to scaffolding is to be installed as required

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- 14 No storage of building materials or building waste, excavated fill or topsoil storage is to occur within the dripline of trees shown on the approved landscape working drawing(s) as being retained or within protective fenced areas

Drainage is to be arranged such that fill, building materials or contaminants are not washed into protective fenced areas

- 15 The developer or contractor will take all measures to prevent damage to trees and root systems during site works and construction activities including provision of water, sewerage and stormwater drainage services

In particular, works, erection of structures, excavation or changes to soil levels within 5 metres of the trunks of trees to be retained are not permitted unless part of the development as approved, and the storage of spoil, building materials, soils or the driving or parking of any vehicle or machinery within 5 metres of the trunk of a tree to be retained, is not permitted

NOTE Trees that are part of an Endangered Ecological Community or are habitat for threatened species and endangered populations must comply with the requirements of the Threatened Species Conservation Act, 1995. Failure to do so may result in a penalty up to a maximum of \$250,000.00 and jail sentences

Failure to comply with the requirements of the Pittwater Council Tree Preservation and Management Order may result in a penalty up to a maximum of \$20,000.00

- 16 All works within 5 metres of the existing trees to be retained including pruning, demolition, excavation, civil works, fencing and the like must be carried out by hand under the supervision of an experienced and qualified Arborist. Should roots larger than 50mm be encountered all excavation works are to cease immediately and a qualified Arborist is to advise on the impacts of the roots removal on the trees survival and report to the Principal Certifying Authority prior to works recommencing

If tree roots are present a pier and beam method of footing construction is to be adopted so as to bridge/span any identified lateral roots

E Matters to be satisfied prior to the issue of Occupation Certificate

Note Prior to the issue of an Occupation Certificate the principal certifying authority is to ensure that Council's assets, including road, kerb and gutter and drainage facilities adjacent or near to the site have not been damaged as a result of the works. Where such damage has occurred, it is to be repaired to Council's written satisfaction prior to the issue of an Occupation Certificate or suitable arrangements put in place to effect those repairs at a future date to Council's written satisfaction. Should this process not be followed, Council will pursue action against the principal accredited certifier in relation to the recovery of costs to effect such works

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Note It is an offence to occupy the building or part thereof to which this consent relates prior to the issue of an Occupation Certificate

- 1 Prior to issue of the Occupation Certificate, Form 3 of the *Geotechnical Risk Management Policy* (Appendix 5 of P21 DCP) is to be completed and submitted to the Principal Certifying Authority
- 2 Certification is to be provided to the Principal Certifying Authority by an experienced civil engineer who is NPER accredited by the Institution of Engineers (Australia) that the drainage/stormwater management system has been installed to the manufacturers specification (where applicable) and completed in accordance with the engineering plans and specifications required under this consent
- 3 An Occupation Certificate application stating that the development complies with the Development Consent, the requirements of the Building Code of Australia and that a Construction Certificate has been issued must be obtained before the building is occupied or on completion of the construction work approved by this Development Consent
- 4 A landscape practical completion report is to be prepared by the consultant landscape architect/designer and submitted to the Principal Certifying Authority with the Occupation Certificate application. This report is to certify that all landscape works have been completed in accordance with the landscape working drawings and specifications
- 5 Compliance with the notes and recommendations contained within the accessibility report by ILC Access dated 6 April 2009

F Matters to be satisfied prior to the issue of Subdivision Certificate

Nil

G Advice

- 1 Electrical insect killing light devices should not be used outside and not installed anywhere that they can attract and kill micro-bats
- 2 Failure to comply with the relevant provisions of the Environmental Planning and Assessment Act, 1979 (as amended) and/or the conditions of this Development Consent may result in the serving of penalty notices (on-the-spot fines) under the summary offences provisions of the above legislation or legal action through the Land and Environment Court, again pursuant to the above legislation
- 3 The applicant is also advised to contact the various supply and utility authorities, ie Sydney Water, Sydney Electricity, Telstra etc to enquire whether there are any underground utility services within the proposed excavation area

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- 4 It is the Project Managers responsibility to ensure that all of the Component Certificates/certification issued during the course of the project are lodged with the Principal Certifying Authority Failure to comply with the conditions of approval or lodge the Component Certificates/certification will prevent the Principal Certifying Authority issuing an Occupation Certificate
- 5 In accordance with Section 95(2) of the Act, this consent will lapse if the development, the subject of this consent, is not commenced within 2 years after the date from which this consent operates

NOTE Council may be prepared to consider an extension of this Consent period for a further 12 months, however, the request for extension would have to be received during the initial 2 year period

- 6 To ascertain the date upon which the determination becomes effective, refer to Section 83 of the Environmental Planning and Assessment Act, 1979 (as amended)
- 7 Should any of the determination not be acceptable, you are entitled to request reconsideration under Section 82A of the Environmental Planning and Assessment Act, 1979 Such request to Council must be made in writing, together with appropriate fees as advised at the time of lodgement of such request, within 1 year from the date of determination
- 8 If you are dissatisfied with this decision, Section 97 of the Environmental Planning and Assessment Act, 1979, gives you a right of appeal to the Land and Environment Court within 12 months of the date of endorsement of this Consent
- 9 The approved plans must be submitted to a Sydney Water Quick Check agent or Customer Centre to determine whether the development will affect Sydney Waters sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met The approved plans will be appropriately stamped For Quick Check agent details please refer to the web site at www.sydneywater.com.au then see Building Developing and Plumbing then Quick Check, or telephone 13 20 92

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TaylorThomsonWhiting

091087

Attention Geoff Bentley

Dear Sir

AS 4100 Steel Structures

Structural

Civil

Traffic

Facade

Engineers

For Van Katsch

P:\2009\0910\091037\Certifica est\100316 Terrace Roof Design Cert\Fca e doc

TTW Group

Object 9

Associate Directors

18 March 2010

Paynter Dixon Constructions Pty Ltd
320 Liverpool Road
ASHFIELD NSW 2131

Attention Geoff Bentley

**RE PITTWATER RSL CLUB – OUTDOOR TERRACE PRL 1/19
ELECTRICAL SERVICES STATEMENT OF DESIGN INTENT**

The Electrical Services in the new and refurbished areas covered under DA 384/08/S96/4 shall be documented in accordance with the following

- The Smoke Detection System shall be designed in accordance with AS 1670 1 2004. However, the existing Fire Indicator Panel and its extension shall be designed to meet the requirements of AS 1670 at the time the panel was installed
- The Emergency Warning and Intercommunication System shall be designed in accordance with Clause E4.9 of the Building Code of Australia and AS 1670 4 2004. Please note the existing EWIS Panel is not being replaced and therefore the panel shall be designed to comply with the previous AS 2220
- The Emergency and Exit Sign Lighting System shall be designed in accordance with Clause E4.2 to E4.8 of the Building Code of Australia and AS 2293 1 2005 utilising pictogram legend and exit signs
- The Lighting and Power Installation shall be designed in accordance with Section J Part 6 of the Building Code of Australia
- The External Lighting within the development shall be designed in accordance with Australian Standard AS 4282-1997 "Control of the obtrusive effects of outdoor lighting"

When the design documentation is complete our office shall issue a Design Certificate confirming that the systems have been designed in accordance with the requirements of the Building Code of Australia

When the Service Contractors have completed the installation, testing and commissioning of the systems they shall have to provide a Statements of Compliance that the systems have been installed, tested and found to operate in accordance with the requirements of the Building Code of Australia and the relevant Australian Standards

Should you have any questions on this matter please do not hesitate to contact Mr Anthony Greenaway or the undersigned at this office

Yours faithfully
HARON ROBSON PTY LTD



Murray Robson
Director

mrobson@haronrobson.com.au

H:\1 Projects\12900\12978 Pittwater RSL Club Northern Carpark & Outdoor Terrace\CAUTION\Electrical Services Statement of Design Intent.doc Page 1

Haron Robson Pty Ltd
ABN 54 050 140 531

181 First Avenue
Five Dock 2046 NSW Australia

PO Box 963
Five Dock 2046 NSW Australia

T 61 2 9819 6611
F 61 2 9819 6665

www.haronrobson.com.au
info@haronrobson.com.au



(Handwritten signature)

is accredited in New South Wales under the *Building Professionals Act 2005* in the following categories as set out in Schedule 1 of the Building Professionals Regulation 2007

A1 - Accredited Certifier - Building Surveying Grade 1

This accreditation is subject to the conditions prescribed in the Building Professionals Regulation 2007 and the conditions contained in the attached Schedule

Period of Accreditation 23 March 2010 to 22 March 2011

Registration No- BPB0438

H Udayanth Kumar

23. 1712

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000 1001 1002 1003 1004 1005 1006 1007 1008 1009 1010 1011 1012 1013 1014 1015 1016 1017 1018 1019 1020 1021 1022 1023 1024 1025 1026 1027 1028 1029 1030 1031 1032 1033 1034 1035 1036 1037 1038 1039 1040 1

Schedule of conditions

The following conditions are imposed by the Building Professionals Board

- 1 The accredited certifier must not issue certificates for class 2 to 9 buildings where an alternative solution involving fire safety is proposed to achieve compliance with the relevant performance requirements of the Building Code of Australia

Professional Indemnity
Insurance
Certificate of Currency

Policy Number 307986810PID

QBE Insurance (Australia) Ltd
Head Office
82 Pitt Street
Sydney NSW 2000
ABN 78 003 191 035
AFS Licence No 239545



Issued By
QBE Insurance (Australia) Ltd

Period of Insurance
From 30/06/2009
To 30/06/2010 at 4pm

This certificate acknowledges that the policy referred to is in force for the period shown
Details of the cover are listed below

Named Insured

TERRY WEST BUILDING APPROVAL

CONSULTANTS PTY LTD

Cover Details

Insured's Profession BUILDING SURVEYOR

Civil Liability Cover	Limit	Deductible
Limit of indemnity any one claim	\$10 000 000	\$5 000 Each and every claim
Limit of indemnity in the aggregate	\$20 000 000	

This Policy Schedule should be read in conjunction with the Policy terms Conditions Definitions and Exclusions as detailed in the enclosed Policy Wording CIVIL LIABILITY QM814-1108

Clauses

P20

Manufacturing Construction Installation and Supervision Endorsement

We shall not be liable under this Policy to provide indemnity in respect of any Claim against the Insured arising directly or indirectly based upon attributable to or in consequence of any manufacturing erection construction installation maintenance or demolition activities or the supervision of such activities undertaken by or on behalf of the Insured unless such Claim is directly based upon attributable to an act error or omission

(i) in design or specification completed by the Insured or

**Professional Indemnity
Insurance
Certificate of Currency**

Policy Number 307986810PID

QBE Insurance (Australia) Ltd
Head Office
82 Pitt Street
Sydney NSW 2000
ABN 78 003 191 035
AFS Licence No 239545



Cover Details *continued*

Clauses *continued*

(ii) in advisory or consultancy services provided by the Insured during site inspections by the Insured directly relating to the Insured's engagement to provide design or specification services

P23

Building Surveyor Inspector or Certifier Endorsement

We will apply double the Policy deductible stated in the Policy Schedule in respect of any Claim against the Insured where such

(i) Claim is brought or maintained by or on behalf of any building owner in respect of any actual or alleged building/construction defects in a building previously surveyed inspected or certified by the Insured and

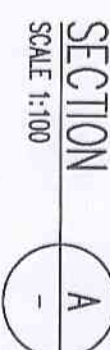
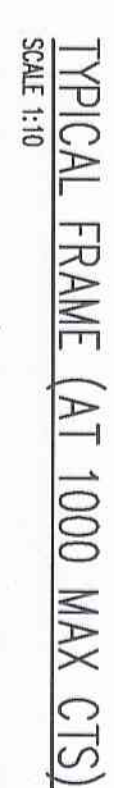
(ii) a builders warranty insurance policy for that building was not effected as required by law

End of Certificate

NOTE:
1. * - CEILING TO EXTERNAL AREA TO BE DESIGNED TO ACCOMMODATE WIND UPLIFT
LOADING. PROVIDE STRIPS FROM PARLORS TO CEILING SYSTEM. TO BE DESIGNED BY CEILING
INSTALLER.
2. # - TURNBUCKLES TO BE CLASS 5 TO AS2319.



ROOF FRAMING PLAN
SCALE 1/4"=1'-0"

DITTM/WATCIN DEL CLUB

ROOF FRAMING PLAN

bergstrom ARCHITECTS PTY LTD
SUITE 9, LEVEL 2, 9 MYRTLE ST. NORTH SYDNEY
PH 8920 1499 FAX 8920 1599

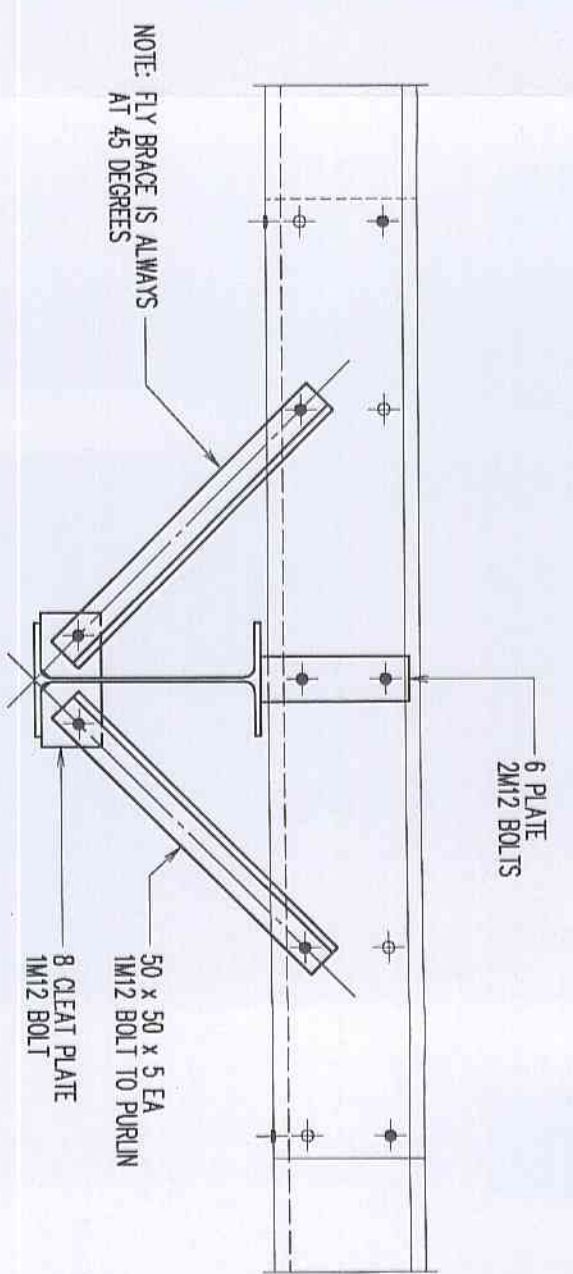
TaylorThomsonWhitting

48 Chanda Street, Singapore 2000
T: +61 2 9450 7268 F: +61 2 9450 5166
Therayell@w.com.au

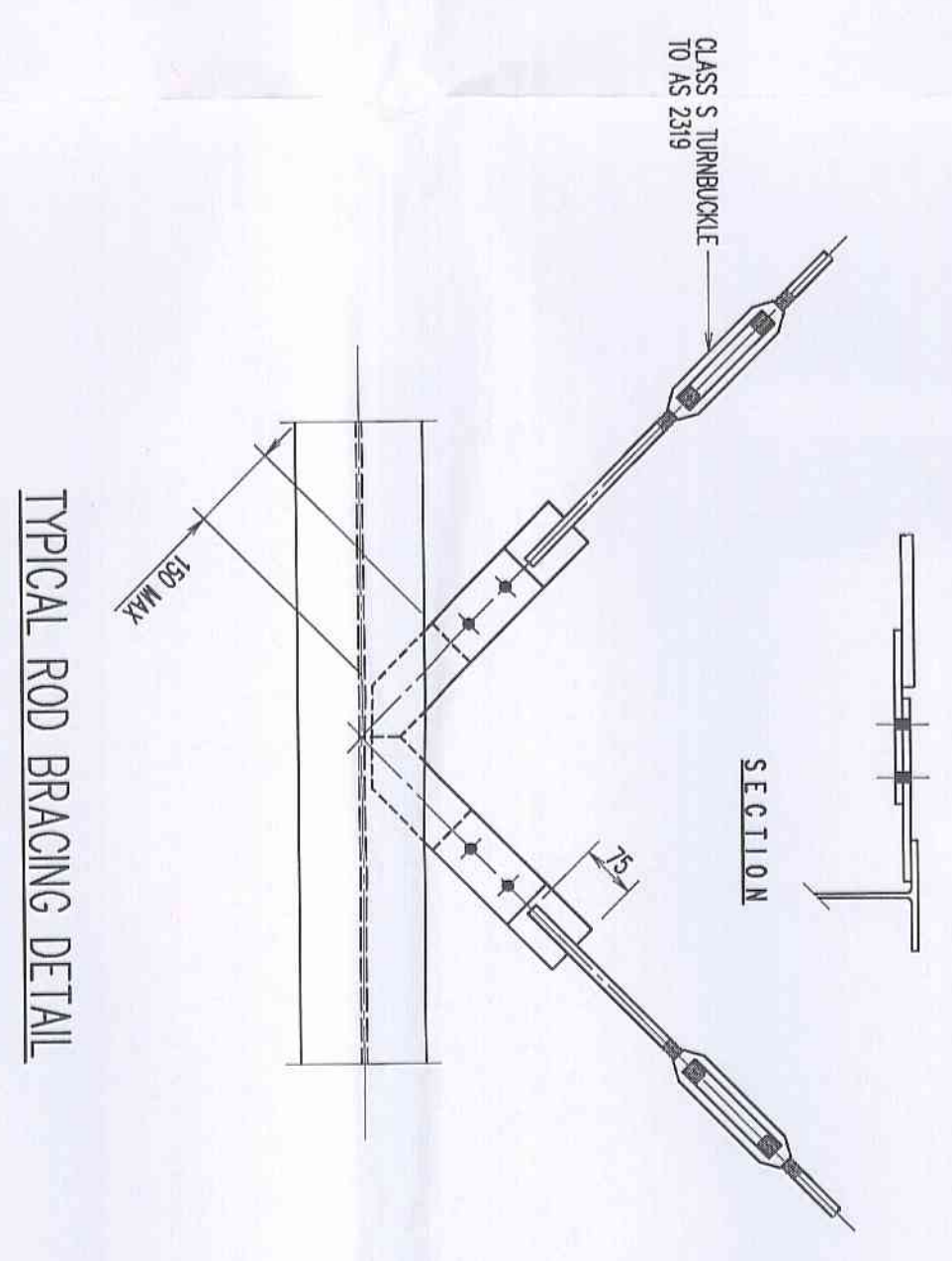
Scale: A-D	Drawn	Revised
1-100	GIP	Dr

Job No	Drawing No	Revision

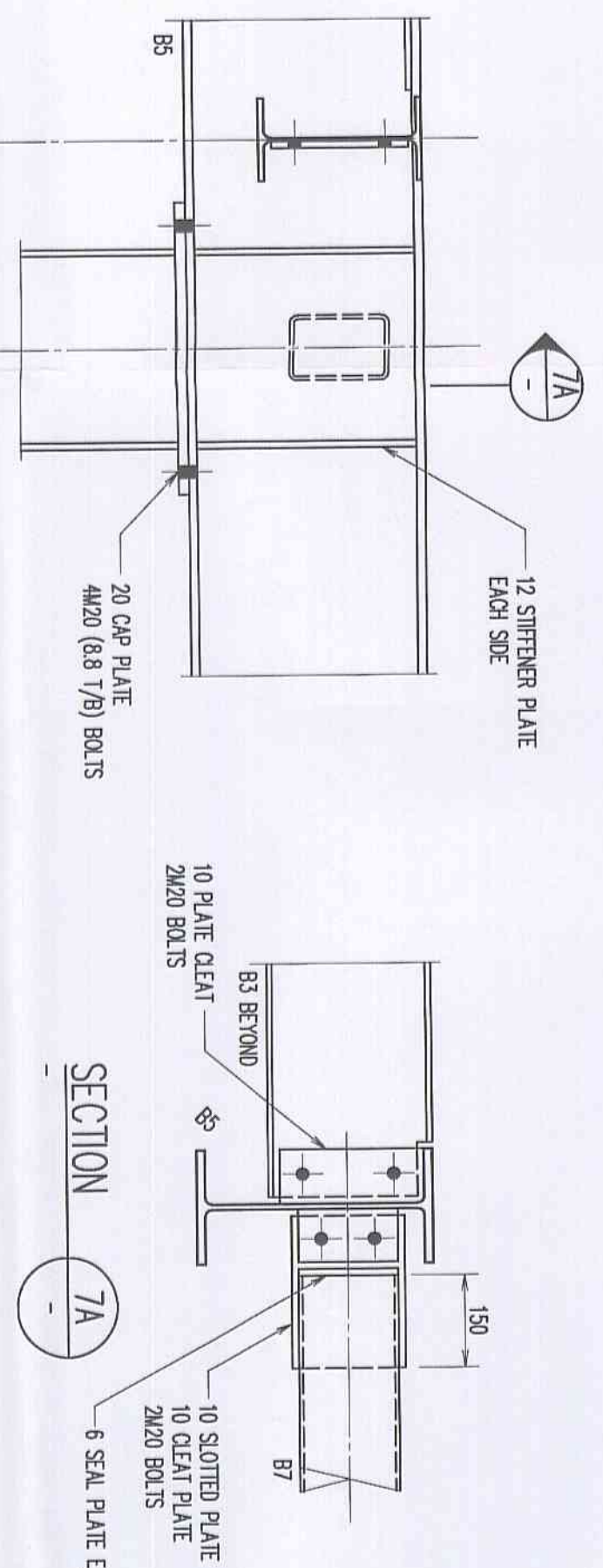
File Created: Dec 01, 2009 - 9:07am



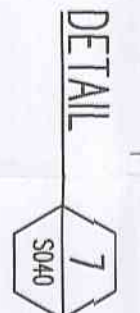
ZED PURLIN FLY BRACE DETAIL



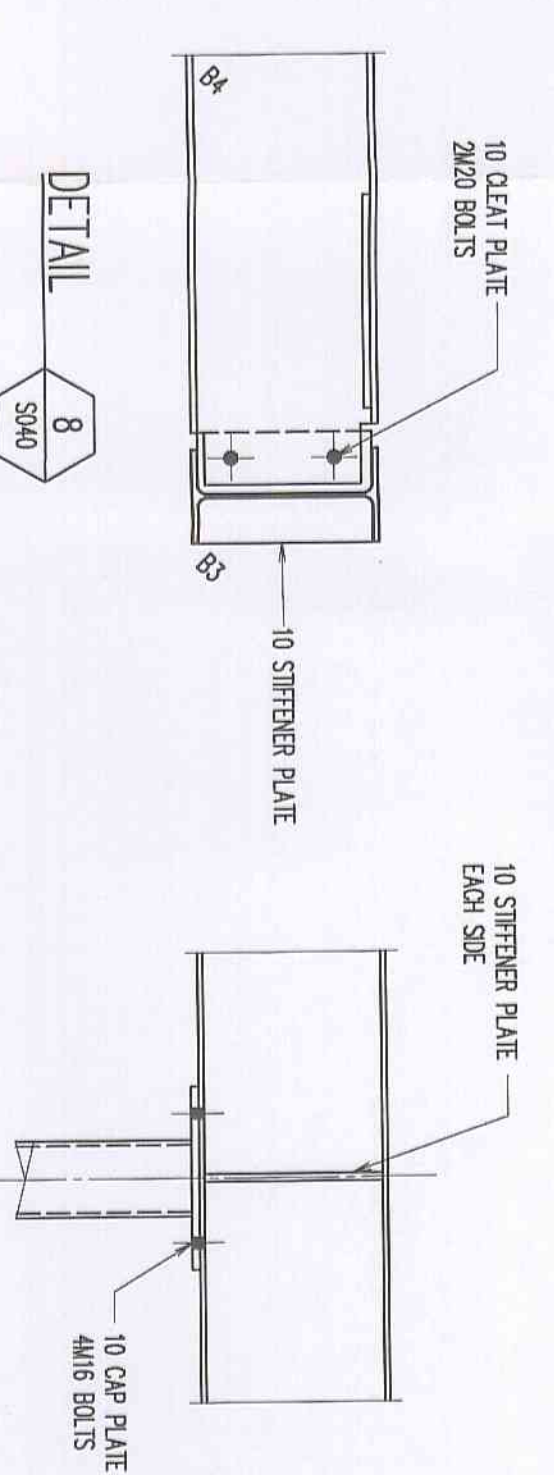
TYPICAL ROD BRACING DETAIL



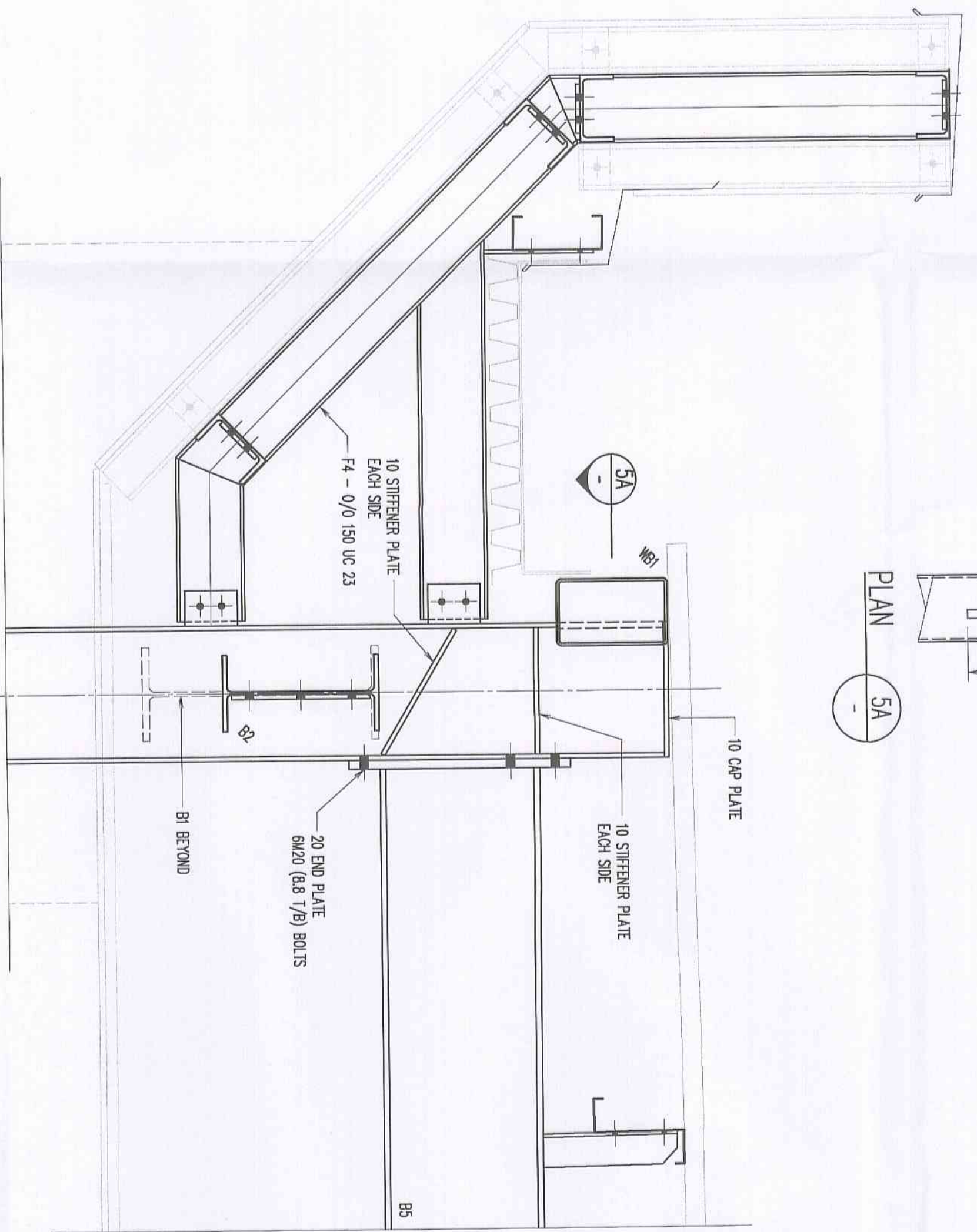
SECTION 7A



DETAIL

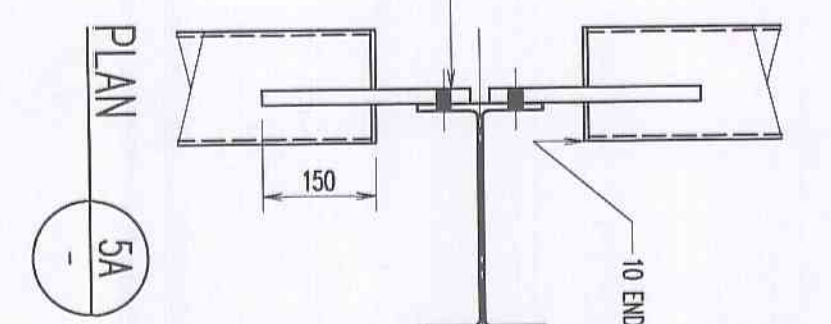
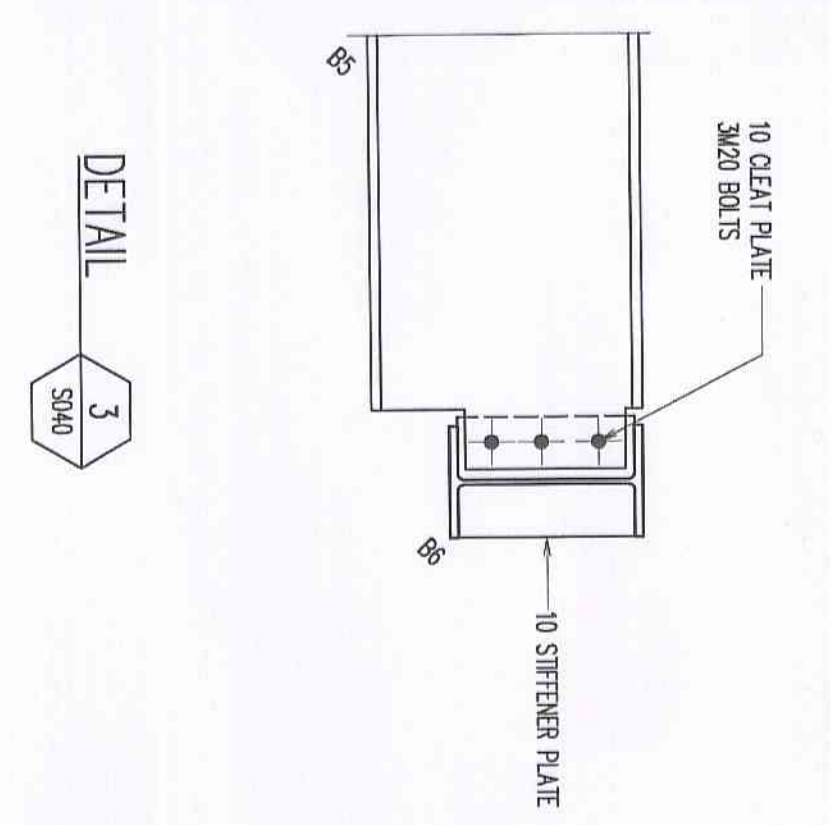


DETAIL

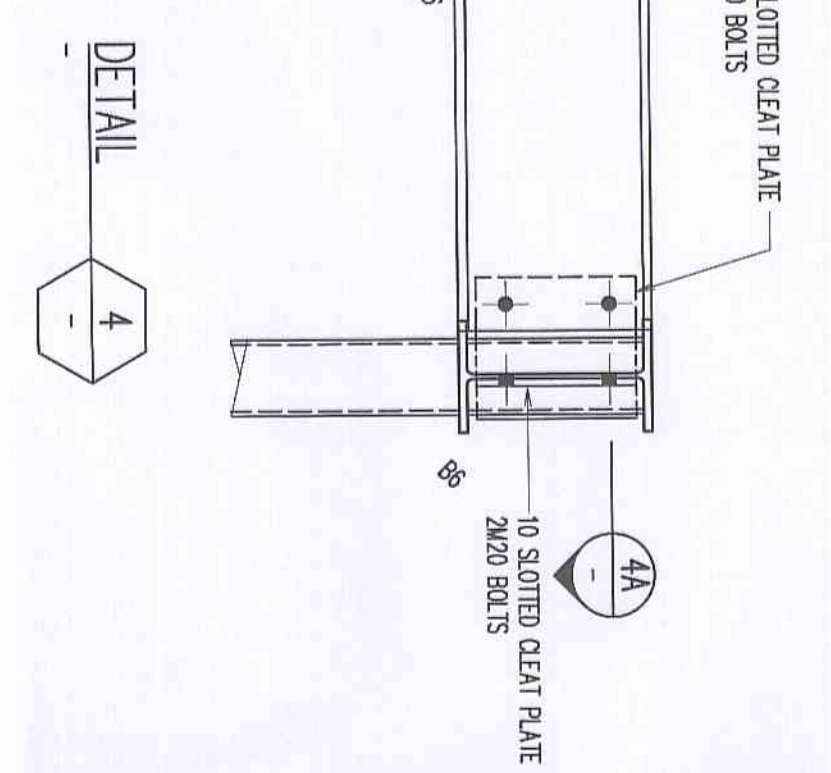


FRAME F4

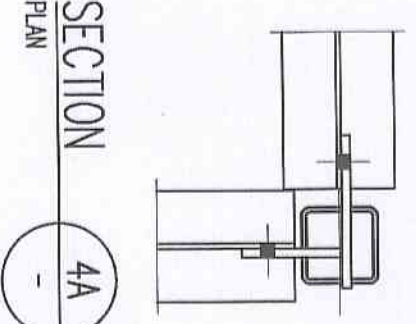
DETAIL


$$\frac{5A}{-}$$


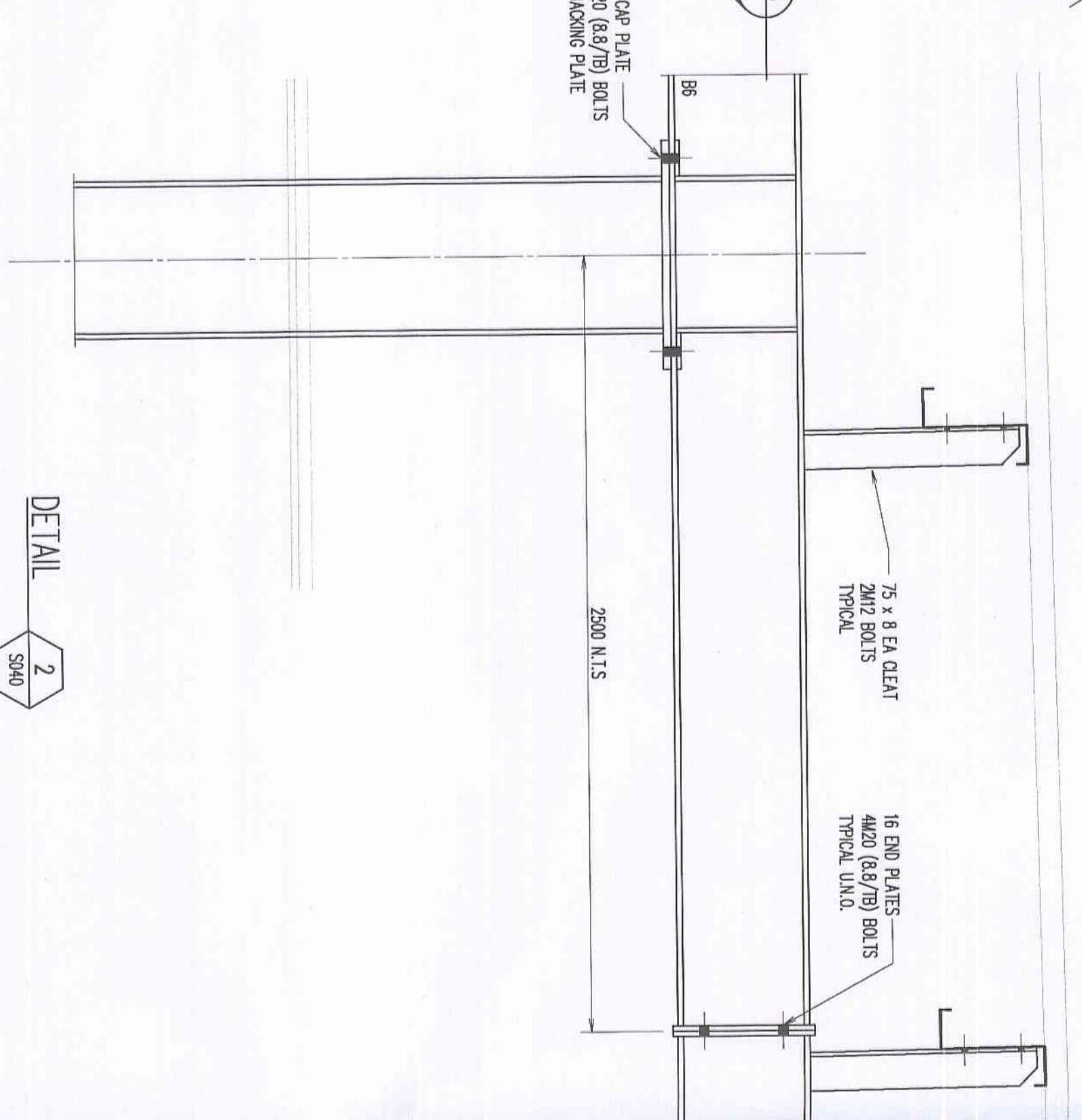
DETAIL 3



DETAILS



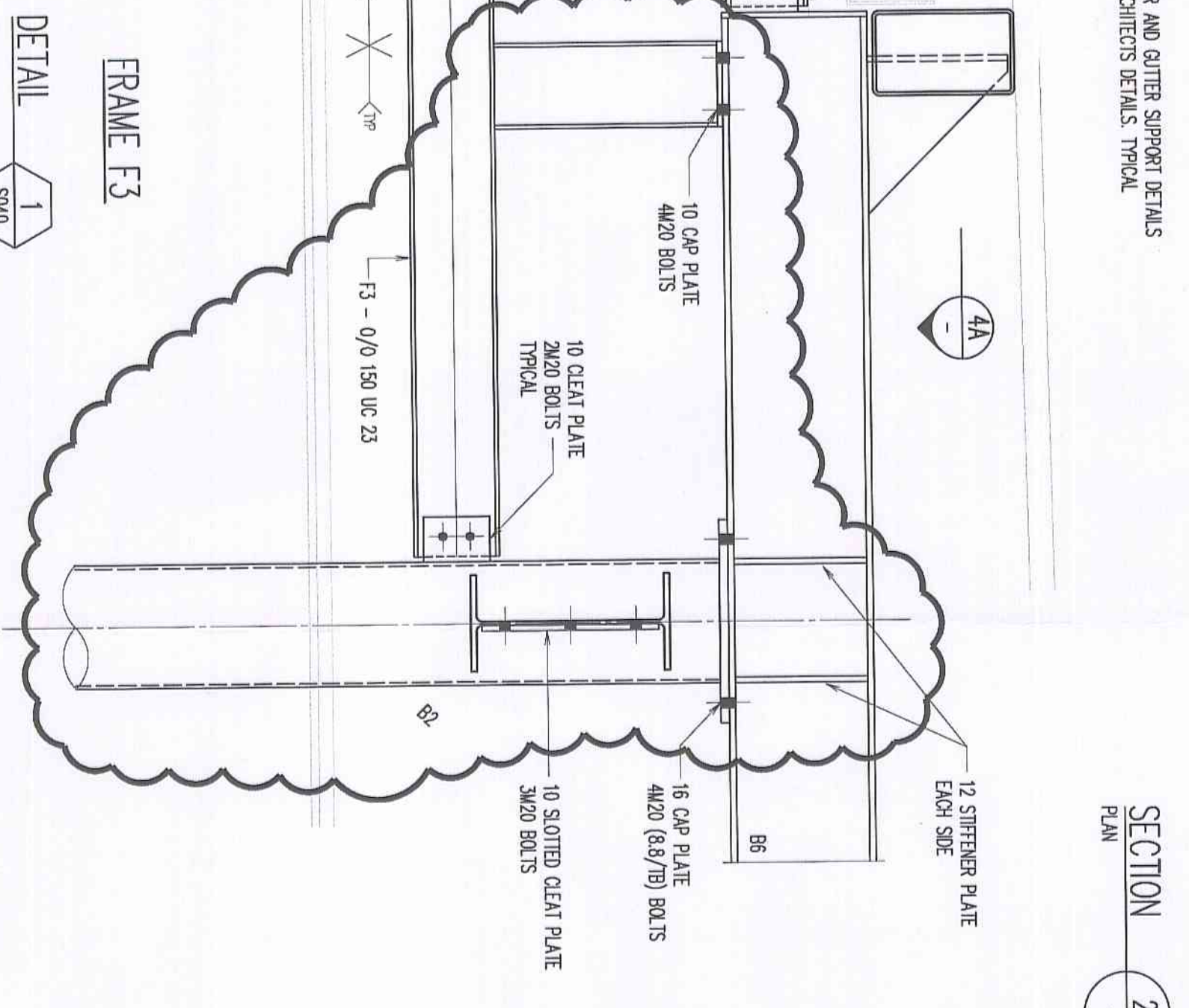
SECTION 4A
PLAN -



DETAIL

2

5040

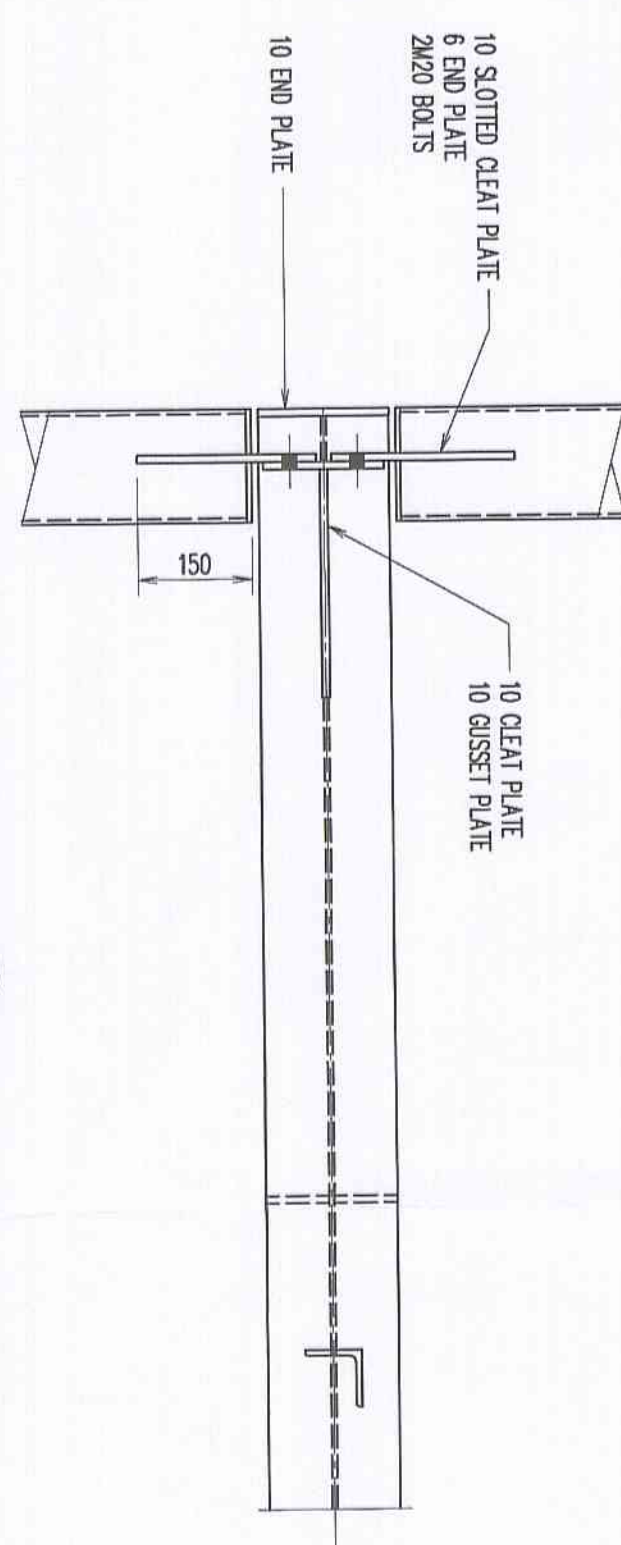


FRAME F3

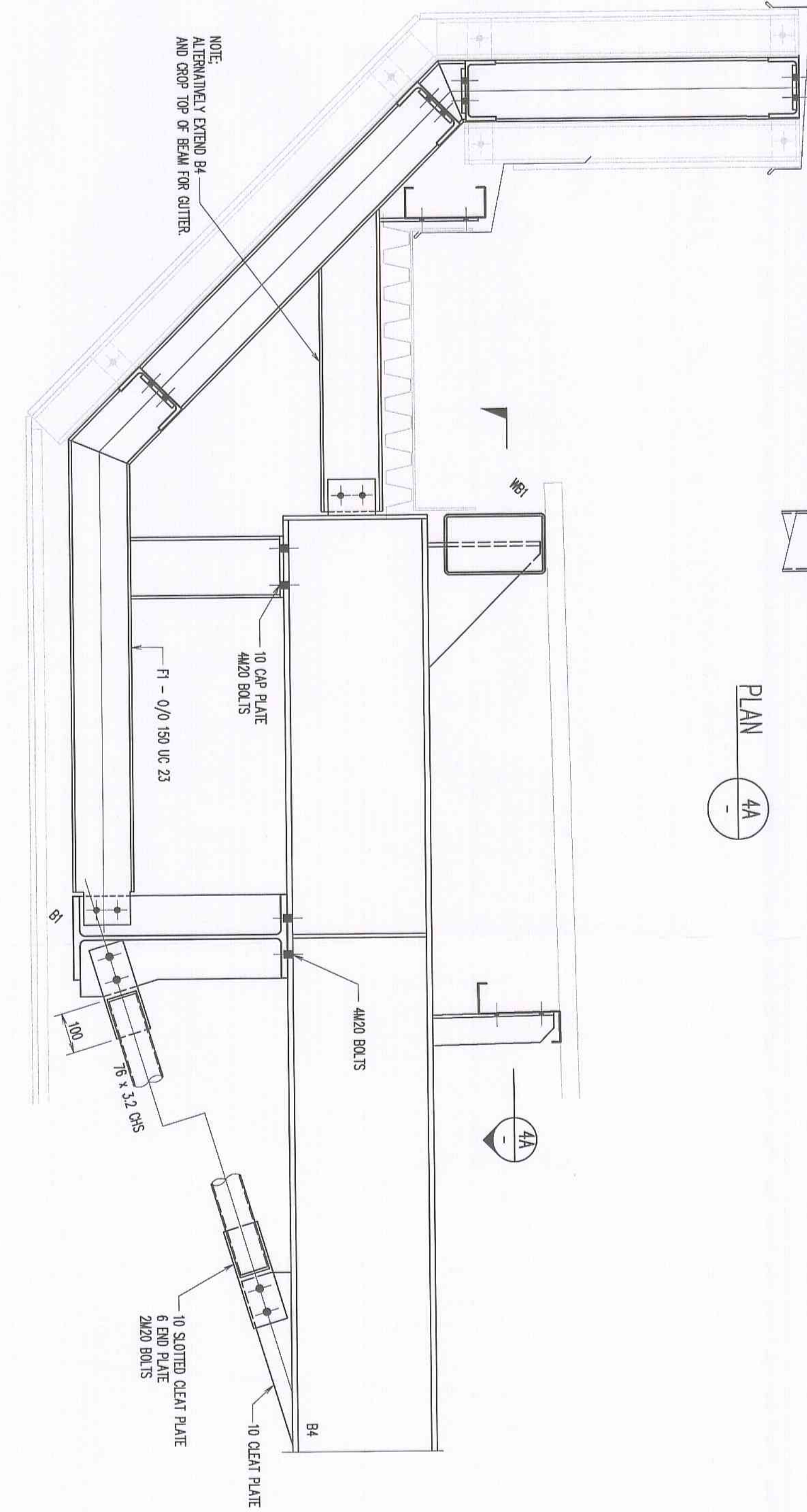
DETAIL

1

cm



PLAN 4A

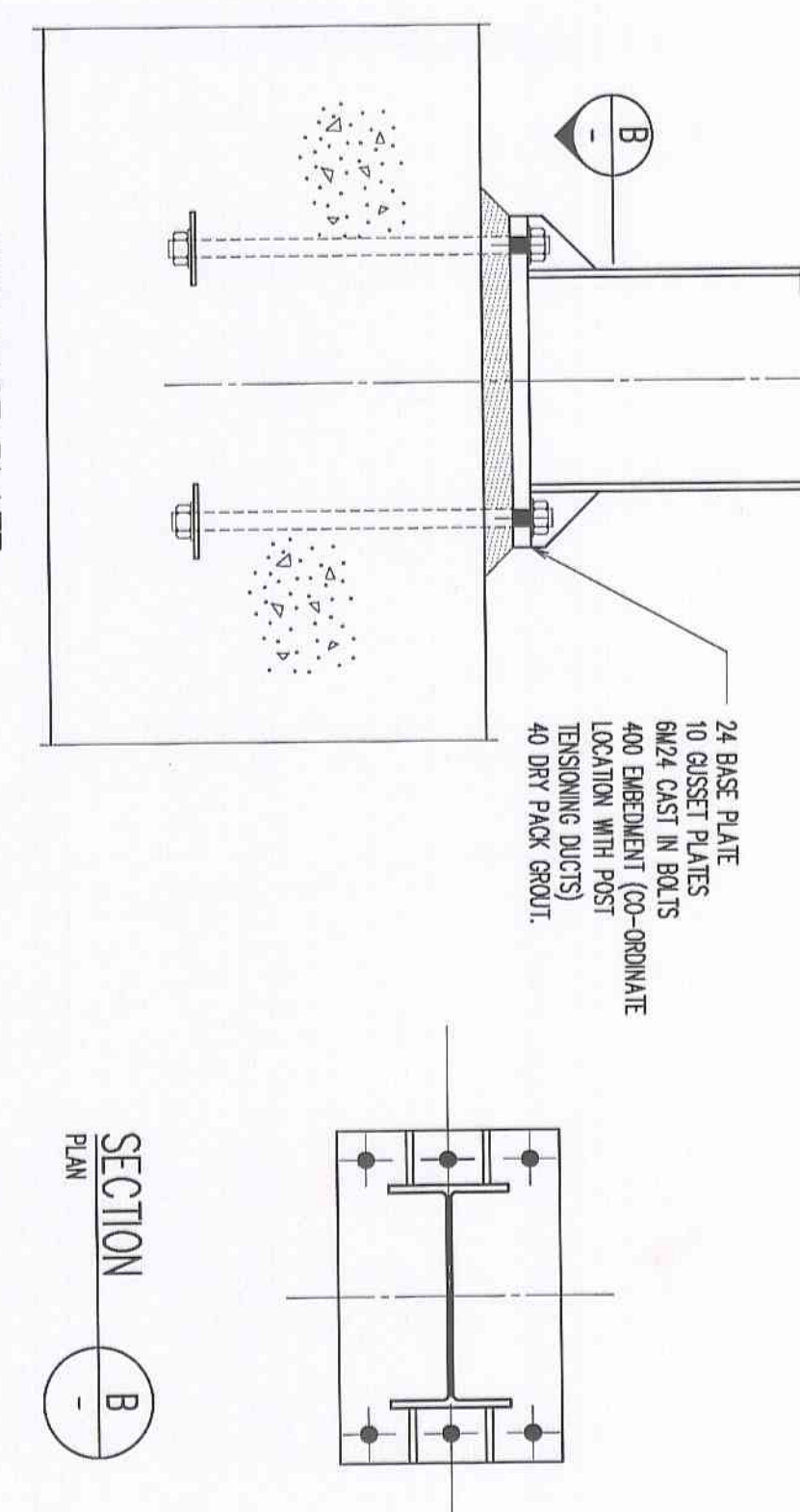


FRAME F1

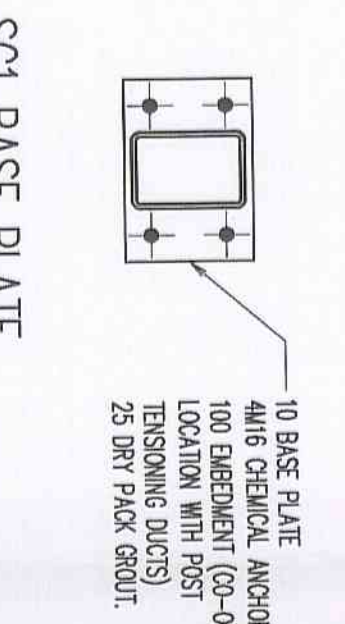
DETAIL

5

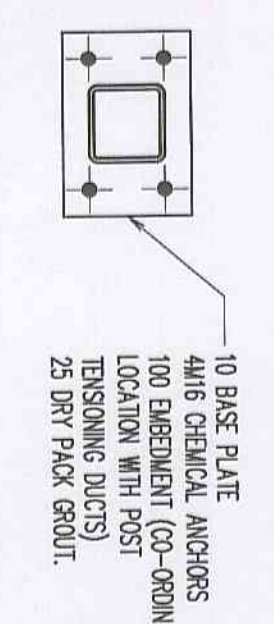
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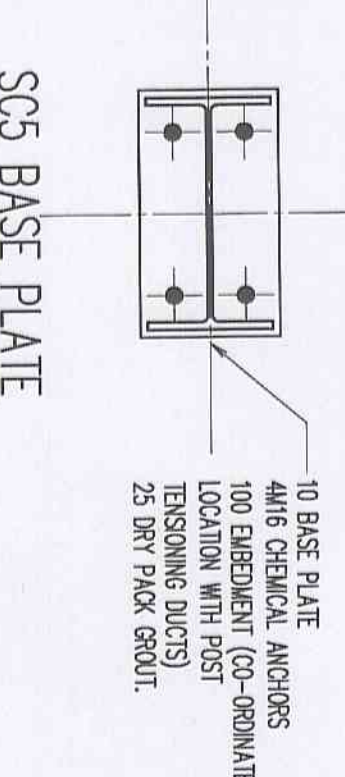
SECTION
PLAN



SC1 BASE PLATE



SC4 BASE PLATE



SUB PAGE FLAID

Item Description	Eng	Dart	Date
F COLUMN MOUNT BASE PLATE REVISED	C.T.	G.P.	01-12-08
E REVISED TO SAT NEW BOX STRAP/TIRE	RE	G.P.	26-11-08
D ISSUED FOR CONSTRUCTION	RE	G.P.	16-06-09
C ISSUED FOR CONSTRUCTION CERTIFICATE	RE	G.P.	28-05-09
B ISSUED FOR CLIENT REVIEW	RE	G.P.	18-02-09
A ISSUED FOR TBM CLIENT REVIEW	RE	G.P.	05-05-09

NEW NORTHERN CARPARK

ROOF STEELWORK DETAILS SHEET 1

bergstrom ARCHITECTS PTY LTD
SUITE 9, LEVEL 2, 9 AWRILE ST. NORTH SYDNEY
PH 8820 1499 FAX 8920 1599

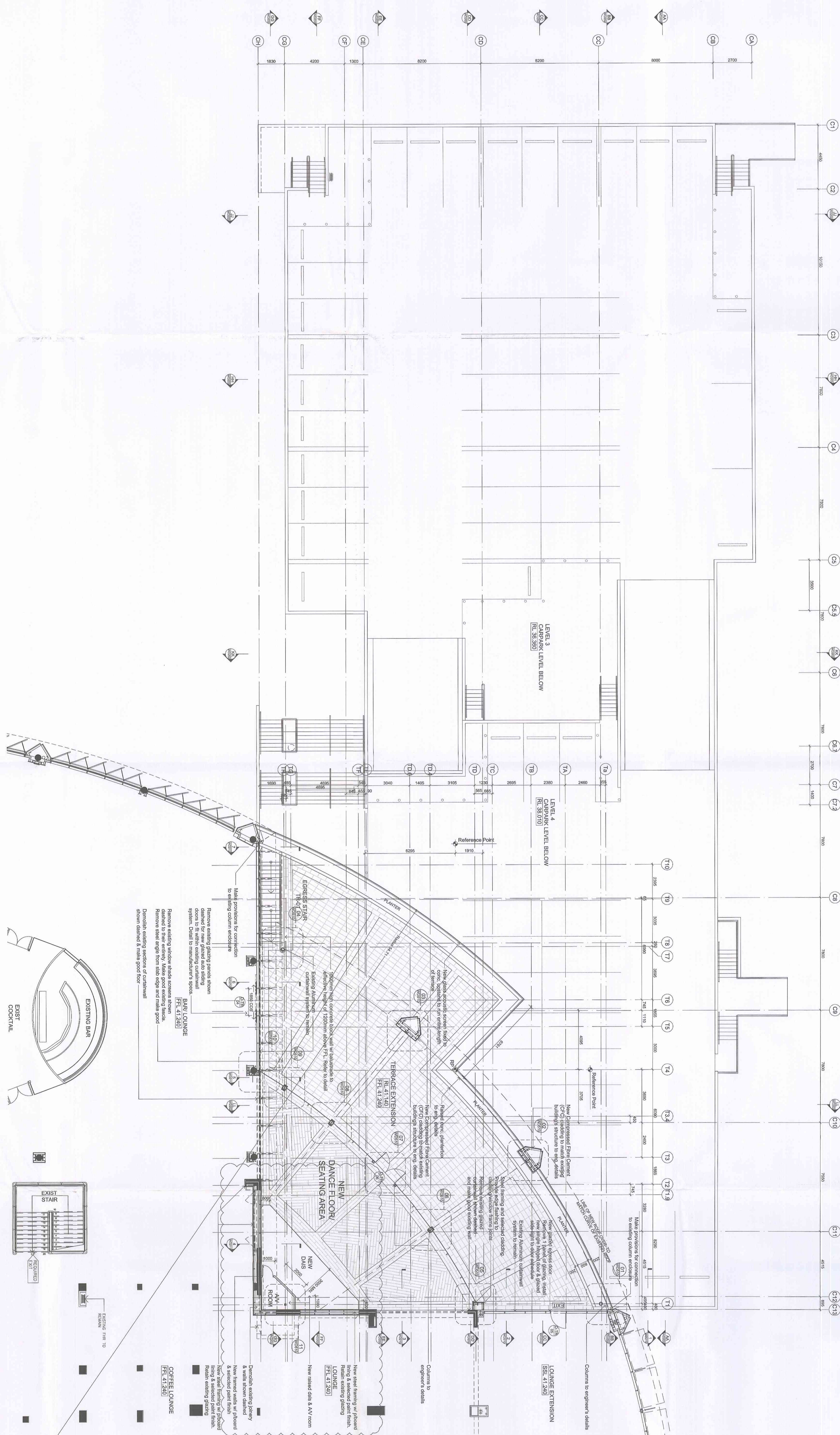
TTW

TaylorThomsonWhitting

Scale: A1	Chart	Material
1:10	GIP	<i>Aluminum</i>
Job No	Drawing No	Revision
PDL:1/19	S041	F
Installation - Dec 01, 2008 - R. G. G. G.		

NOTE: Do not scale drawings. Use only figured drawings. All drawings are to be weighed on salt paper to counterbalance any loss of weight due to the use of solvents. All specimens are to be brought to the attention of *Paragon Anthropics Pty Ltd* before commencement of any work. All drawings are given in millimetres except lenses and drawings to scale: 1:500 and smaller which are in metres. The drawing is to be used in conjunction with relevant consultation documents.

Ownership: The drawings are the property of *Paragon Anthropics Pty Ltd*, and are to be stored, used or reproduced without written permission from *Paragon Anthropics Pty Ltd*.



E	03.03.10	ISSUED FOR CONSTRUCTION - Data & AV room upgrade
D	01.03.10	ISSUED FOR CONSTRUCTION - New Data & System added
C	19.02.10	ISSUED FOR CONSTRUCTION - General Amendments
B	30.11.09	ISSUED FOR CONSTRUCTION - General Amendments
A	29.03.09	ISSUED FOR CONSTRUCTION CERTIFICATE
REVISIONS		



PAYNTER DIXON
Paynter Dixon Construction Pty Limited

bergstrom ARCHITECTS pty. ltd.

PITTSBURGH RSL CLUB
80-82 MONA VALE ROAD
MONA VALE

TERRACE
FLOOR PLAN

SCALE	DATE NO.	REV.
1:100 @ A0	WD-103	E

PDL: 1/19
DATE: MARCH 2009
DRAWN BY: HH
JOB NUMBER: 08-022

A diagram of a magnetic compass. A horizontal line is labeled "NORTH" with an arrow pointing to the left. A circular compass face is shown. A rectangular magnetic needle is positioned inside the circle, tilted to the right of the North line. The needle's tip points towards the right edge of the compass face.

A	29.05.00	ISSUE FOR CONSTRUCTION CERTIFICATE
B	27.11.00	ISSUE FOR CONSTRUCTION - General Amendments



PAYNTER DIXON
Paynter Dixon Construction Pty Limited

BERGSTRÖM ARCHITECTS PTY. LTD. (ABN 75 092 062 660)
SUITE 6, LEVEL 2, 9 MYRTLE STREET,
NORTH SYDNEY NSW 2060
Ph: 02 8520 1499 Fax: 02 8920 1599

DISCUSSION

SCALE
1:100 @ A0

DATE: APRIL 2009
DRAWN BY: HH
JOB NUMBER: 66-022

