

DEVELOPMENT APPROVAL DRAWINGS

ALTERATIONS & ADDITIONS

prepared for
Jenna & Richard Mair
2104 ALLAMBIE HEIGHTS HOUSE

9 ROOSEVELT AVENUE, ALLAMBIE HEIGHTS, 2100
LOT RP

KEY PROPOSAL STATISTICS

Council	Northern Beaches Council
Site Area:	524.8m ²
Frontage:	36.6m
No. of Stories:	2
Peak Building Height:	8.5m
Private Open Space (Required)	60m ²
Private Open Space (Proposed)	121.57m ²
Landscape (Existing)	171.6m ²
Landscape (Proposed)	181m ²
On-Site Car Spaces	2
Vehicular Crossover Width:	As Existing
Stormwater Zone	Region 2

DRAWING LIST

ID	DRAWING NAME	REV
DD000	Cover Page	01
DD001	Site Analysis / Proposed Site Plan	01
DD002	Area Calculations - Landscaped Area	01
DD003	Landscape Plan	01
DD004	Waste Management Plan	01
DD101	Demolition Plan - Ground Floor	01
DD102	Demolition Plan - Roof	01
DD201	Proposed Ground Floor Plan	01
DD202	Proposed First Floor Plan	01
DD203	Proposed Roof Plan	01
DD301	North & South Elevations	01
DD302	East & West Elevations	01
DD401	Sections	01
DD501	Shadow Diagrams	01
DD601	Material and Finishes Schedule	01
DD801	Door & Window Schedule	01
DD901	Photomontage	01
DD902	Photomontage - B3 Side Boundary	01



Street View
Scale 1:250

BASIX REQUIREMENTS

Certificate number: A1809736

The applicant must ensure all items are in accordance with the specifications listed in the BASIX certificate submitted.

FIXTURES
The applicant must ensure that new or altered showerheads have a flow rate of no greater than 9 litres per minute or a min 3 star rating.
The applicant must ensure that new or altered toilets have a flow rate no greater than 4 litres per average flush or a min 3 star rating.
The applicant must ensure that new or altered taps have a flow rate of no greater than 9 litres perminute or a min 3 star rating.

LIGHTING
The applicant must ensure a minimum of 40% of new or altered lighting fixtures are fitted with fluorescent, compact fluorescent or LED lamps.

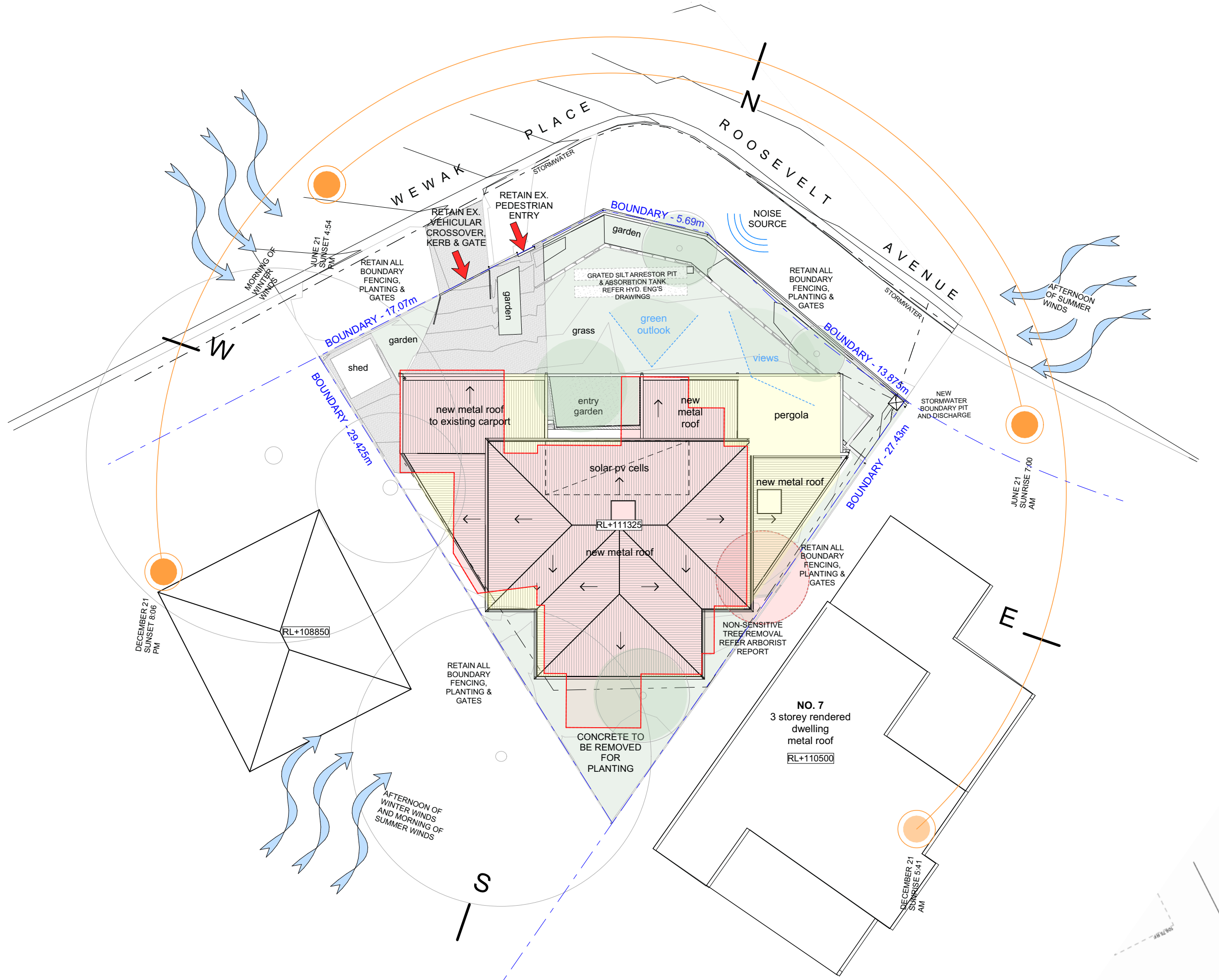
INSULATION REQUIREMENTS
The applicant must construct the new or altered floors, walls, ceilings, or roofs in accordance with the specifications listed in the BASIX certificate submitted.

WINDOWS, GLAZED DOORS AND SKYLIGHTS
The applicant must install the windows and glazed doors and shading devices in accordance with the specifications listed in the BASIX certificate submitted.

BCA REQUIREMENTS

- 1) EARTHWORKS IS TO COMPLY WITH CLAUSE 3.2 OF THE BCA
- 2) STORMWATER DRAINAGE IS BE CONNECTED INTO EXISTING SYSTEM AND TO COMPLY WITH CLAUSE 3.3.5 OF THE BCA & AS/NZS 3500.3-2003 AMDT 1&2. OR AS/NZS 3500.5-2000 AMDT 1 & 4
- 3) EXCAVATIONFOR DRAINS ADJACENT TO EXISTING FOOTINGS MUST BE IN ACCORDANCE WITH CLAUSE 3.3.2 & FIGURE 3.1.2.1 OF THE BCA
- 4) DEMOLITION IS TO BE IN ACCORDANCE WITH AS2601
- 5) A BARRIER TO TERMITES SHALL BE PROVIDED IN ACCORDANCE WITH CLAUSE 3.4 OF THE BCA AND AS3660.1-2000
- 6) FOOTINGS AND SLABS SHALL COMPLY WITH CLAUSE 4.2 AND AS 2870-1996 AMDT 1 TO 4 & AS 2159-2009
- 7) MASONRY CONSTRUCTION IS TO COMPLY WITH CLAUSE 5.1 AND AS 3700-2001 AMDT 1,2 &3 OR AS 4773.1 & 2-2010
- 8) CONCRETE CONSTRUCTION IS TO COMPLY WITH SPEC A2.4, B1.4 & AS 3600-2001
- 9) STEEL FRAMING IS TO COMPLY WITH CLAUSE 6.3 OF THE BCA AND AS4100-1998, AS/NZS4600-2005 &NASH PART 1-2005
- 10) EXTERNAL WALLS IS TO COMPLY WITH CLAUSE 9.2.1.
- 11) FIRE RATING REQUIREMENTS FOR EXTERNAL WALLS MUST COMPLY WITH CLAUSE 9.2.5 WHICH MUST HAVE AN FRL OF NOT LESS THAN 60/60/60
- 12) METAL ROOFING IS TO COMPLY WITH CLAUSE 7.2 OF THE BCA & AS 1562.1-1992 AMDT 1&2
- 13) GUTTERS AND DOWNPIPES IS TO COMPLY WITH 7.4 OF THE BCA & AS/NZS 3500.3-2003 AMDT 1 TO 4
- 14) VENTILATION REQUIREMENTS SHALL COMPLY WITH CLAUSE 10.6.2
- 15) CEILING HEIGHT REQUIREMENTS SHALL COMPLY WITH CLAUSE 10.3.1.
- 16) EAVES AND SOFFIT LINING IS TO COMPLY WITH 7.5.5 OF THE BCA AND AS/NZS 2908.2-2000 OR ISO 8336-1993E
- 17) FLASHING TO WALL OPENINGS ARE TO COMPLY WITH 7.5.6 OF THE BCA AND AS/NZS 2094-2006 AMDT 1
- 18) GLAZING ASSEMBLIES ARE TO COMPLY WITH CLAUSE 8.1.2 OF THE BCA, AS 1288-2006 AMDT 1. & AS2047-1999 AMDT 1&2
- 19) SMOKE ALARMS ARE TO COMPLY WITH CLAUSE 9.5.1 OF THE BCA & AS3786-1993 AMDT 1 TO 4
- 20) SOLID FUEL BURNING APPLIANCES ARE TO COMPLY WITH CLAUSE 12.4 OF THE BCA & AS/NZS 2918-2001
- 21) WATERPROOFING OF WET AREAS ARE TO COMPLY WITH CLAUSE EITHER NCC HOUSING PROVISIONS 10.2.1 - 10.2.32 OR AS3740-2021 & 10.2.1-10.2.6 OF NCC
- 22) CEILING HEIGHTS ARE TO COMPLY WITH CLAUSE 10.3.1 OF THE BCA
- 23) CONSTRUCTION OF SANITARY COMPARTMENTS TO COMPLY WITH CLAUSE 10.4.2 OF THE BCA
- 24) NATURAL LIGHT IS TO COMPLY WITH CLAUSE 10.5.1 OF THE BCA
- 25) VENTILATION OF HABITABLE ROOMS IS TO COMPLY WITH CLAUSES 10.6.2 OF THE BCA
- 26) STAIRS SERVING HABITABLE ROOMS ARE TO COMPLY WITH CLAUSES 10.2.3 AND 10.2.4
- 27) STAIRS SERVING NON-HABITABLE ROOMS ARE TO COMPLY WITH CLAUSES 10.2.3 AND 10.2.4 OR AS1657-1992
- 28) BALUSTRADE OR OTHER BARRIER CONSTRUCTION IS TO COMPLY WITH CLAUSE 11.3.4 OF THE BCA & AS/NZS 1170.1-2002 AMDT 1 & 2.
- 29) WINDOW RESTRICTIVE OPENING DEVICES AFFIXED TO ALL REQUIRED WINDOWS ARE TO COMPLY WITH PARTS 11.3.7 & 11.3.8 OF THE BCA

Revision	Date	Transmittal Set Name
01	22/08/2025	DA SUBMISSION



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Surry Hills, Sydney NSW 2010

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abn 7763585553
reg # 9445

Notes

This drawing shall be read in conjunction with all other architectural and consultant drawings and specifications and with such other written instructions issued during the course of the contract. Notify designer of any discrepancies prior to proceeding with work. Materials and workmanship shall be in accordance with the specification, current SAA codes, Building Regulations and requirements of any other statutory authorities. Contractors shall verify all dimensions on site and notify designer of any discrepancies. Use figured dimensions only. Copyright. All rights reserved. This drawing is copyright and confidential apart from any fair dealings as permitted under copyright and may not be reproduced by any persons without written permission of the above company and is not to be used in any manner prejudicial to the interests of that company. This drawing and attached sheet remain the property of Blake Letnic Architects Pty Ltd.

Legend	
	Boundary
	Existing walls
	To be demolished
	Proposed new walls
	New construction

Revision	Date	Transmittal Set Name
01	22/08/2025	DA SUBMISSION

2310 ALLAMBIE HEIGHTS HOUSE
9 ROOSEVELT AVENUE, ALLAMBIE HEIGHTS NSW 2100

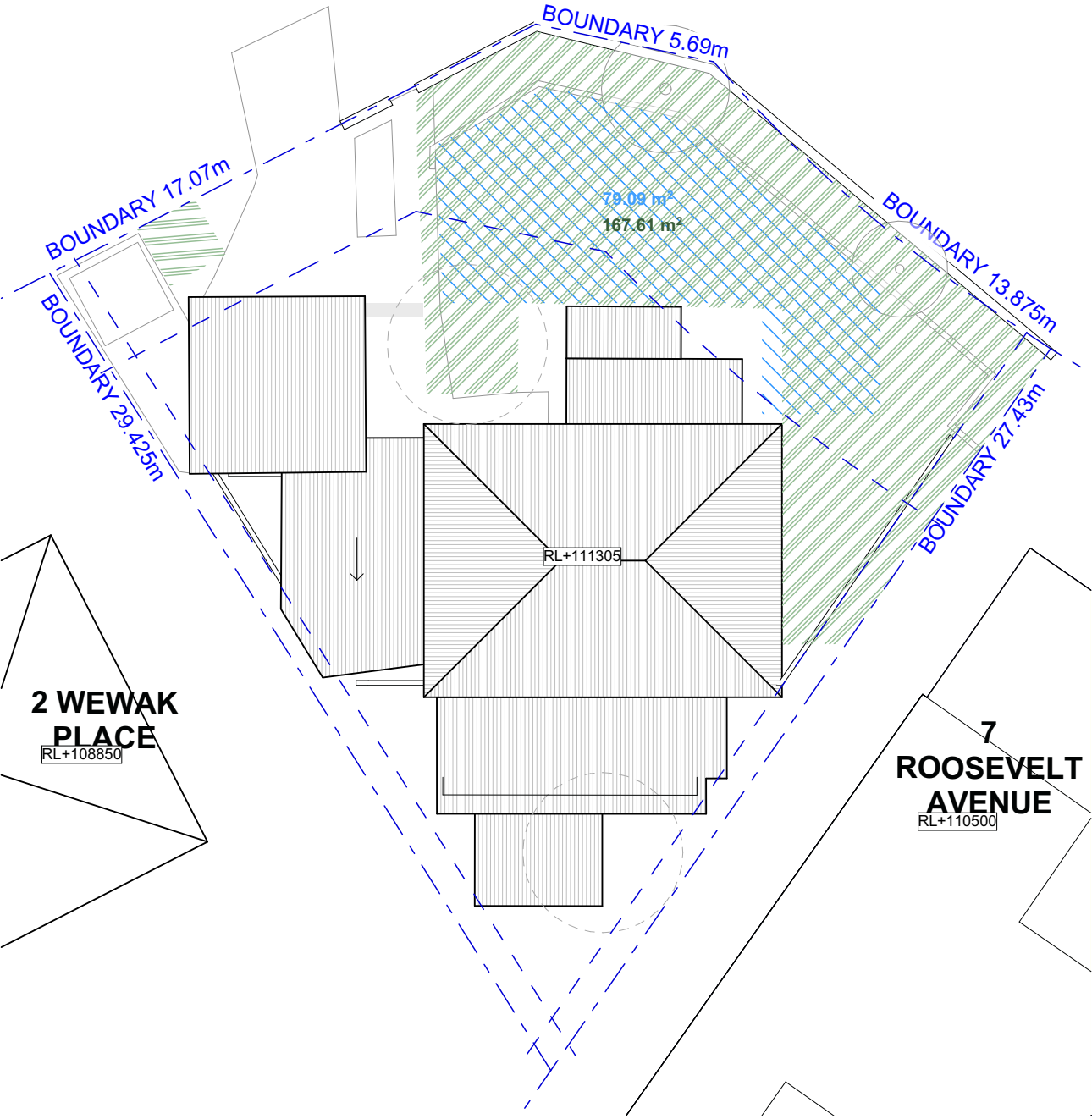
Prepared for: Jenna & Richard Mair

1:200 @ A3 **Site Analysis / Proposed Site Plan**

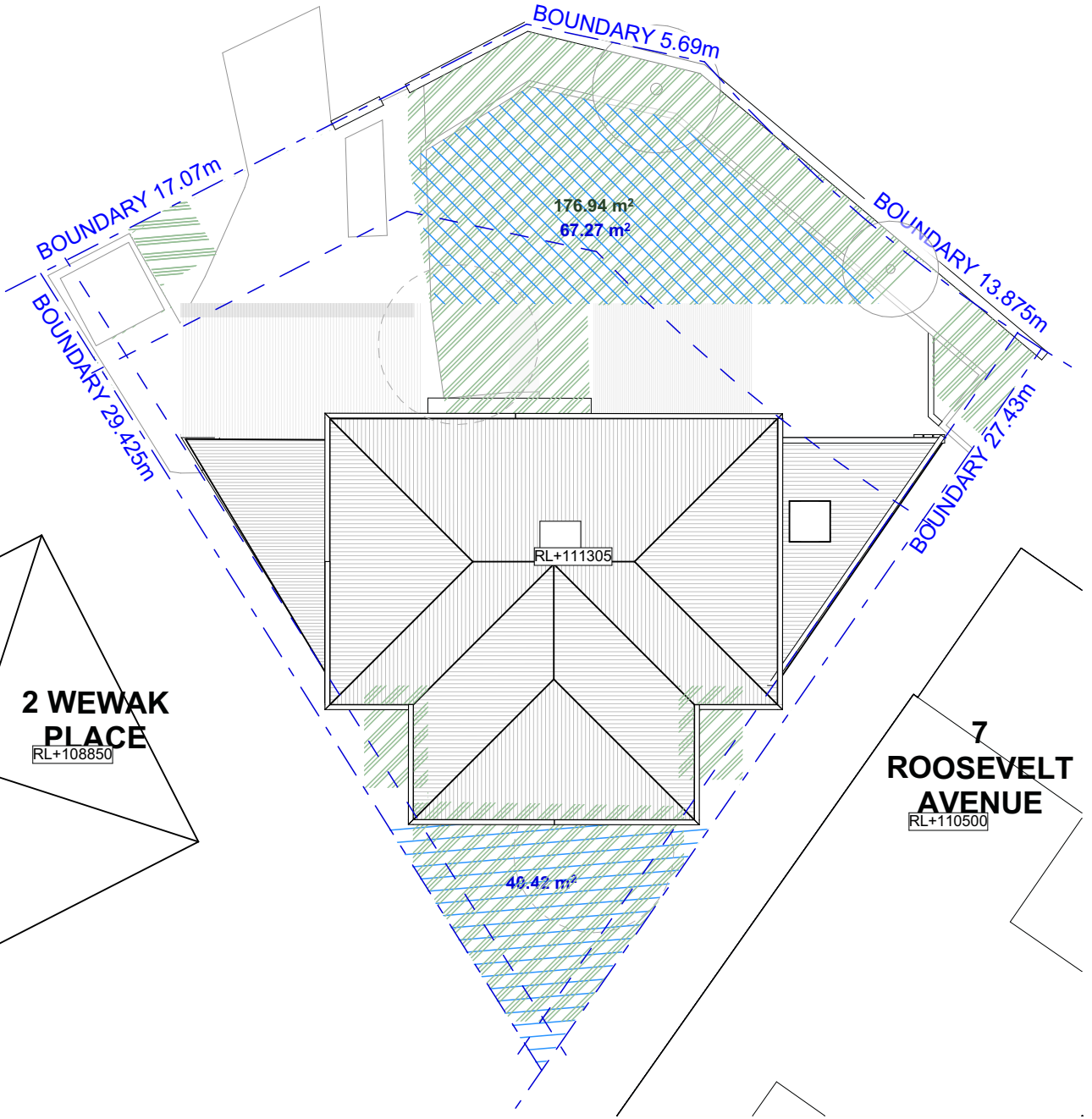
22/08/2025

NOT FOR CONSTRUCTION

DD001 [01]



EXISTING		
LANDSCAPED AREA		171.6 M2
OPEN SPACE AREA		79.09M2

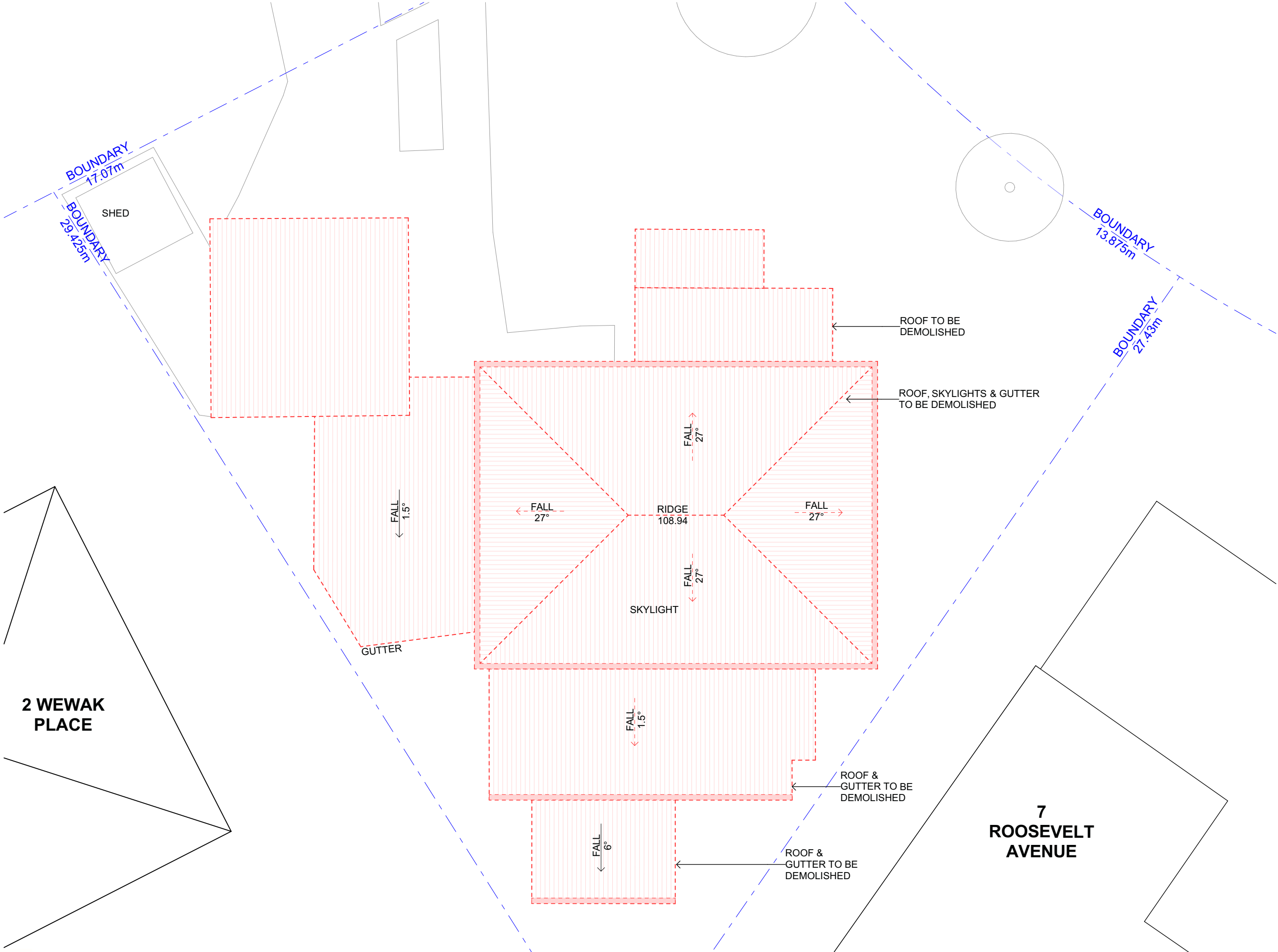


PROPOSED		
LANDSCAPED AREA		181 M2
OPEN SPACE AREA		121.57M2

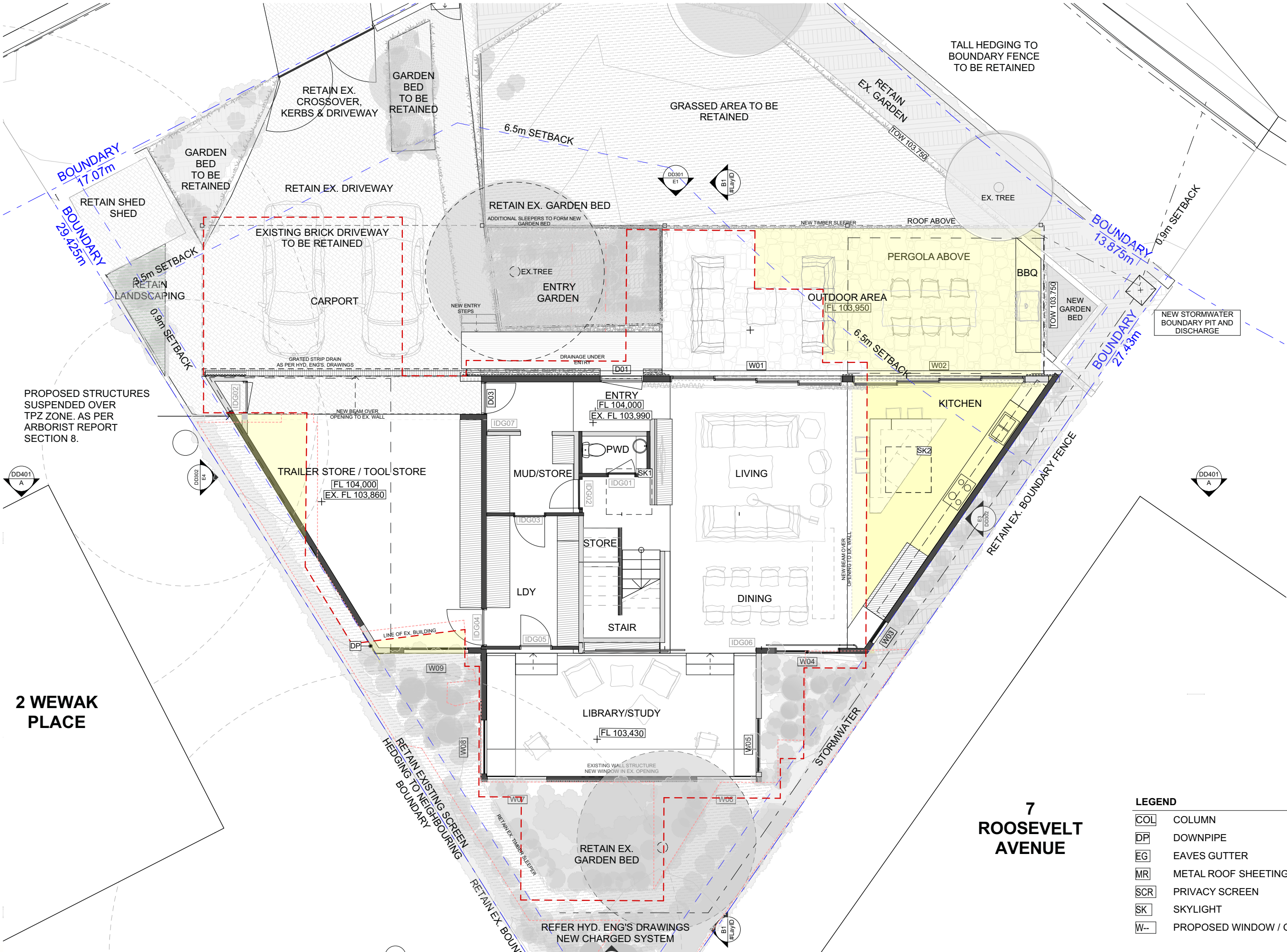
Revision	Date	Transmittal Set Name
01	22/08/2025	DA SUBMISSION



2310	ALLAMBIE HEIGHTS HOUSE 9 ROOSEVELT AVENUE, ALLAMBIE HEIGHTS NSW 2100	22/08/2025
Prepared for: Jenna & Richard Mair		NOT FOR CONSTRUCTION
1:150 @ A3	Landscape Plan	 DD003 [01]



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Legend

Boundary
Existing walls
To be demolished
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2310

ALLAMBIE HEIGHTS HOUSE
9 ROOSEVELT AVENUE, ALLAMBIE HEIGHTS NSW 2100

22/08/2025

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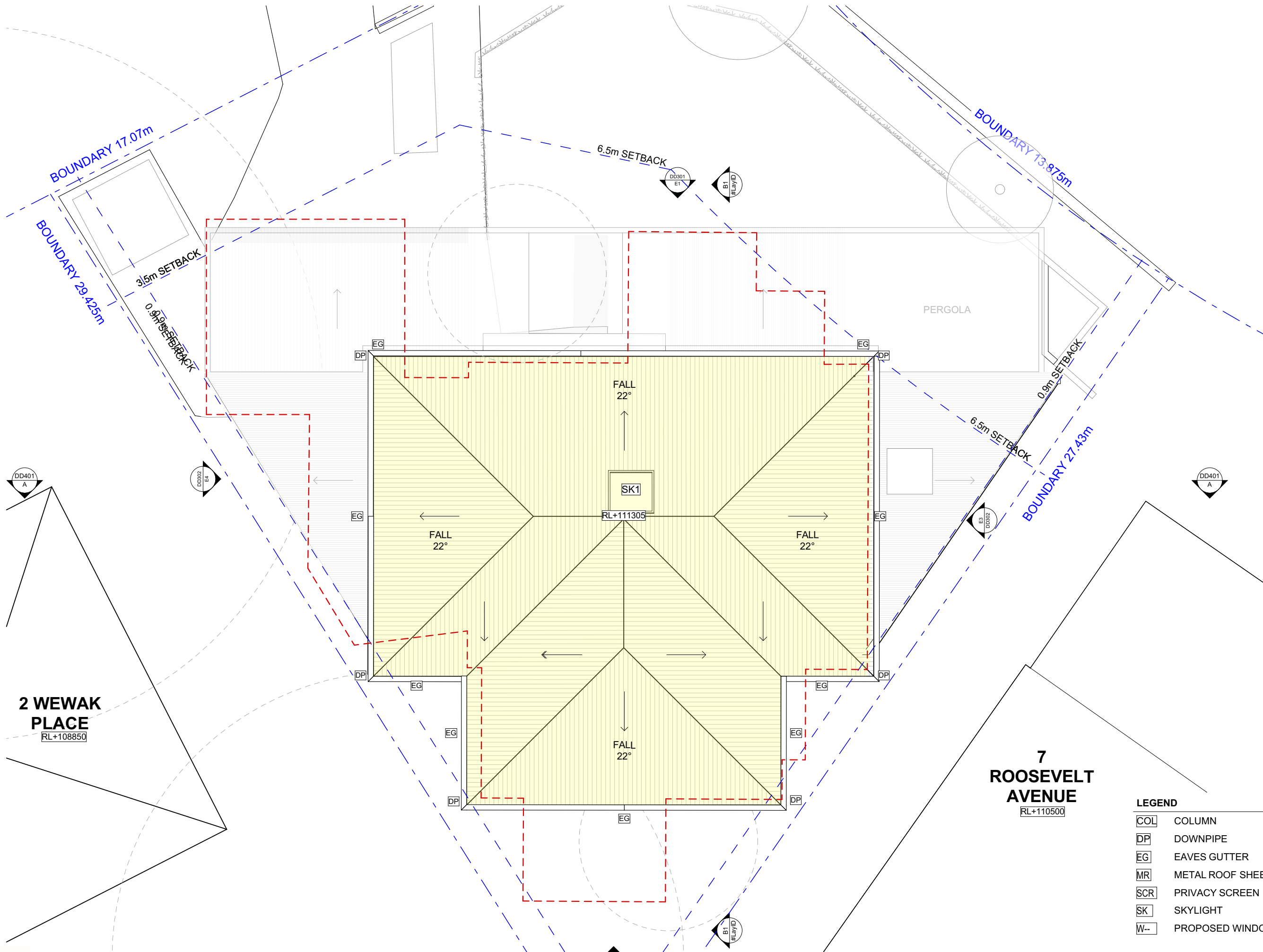
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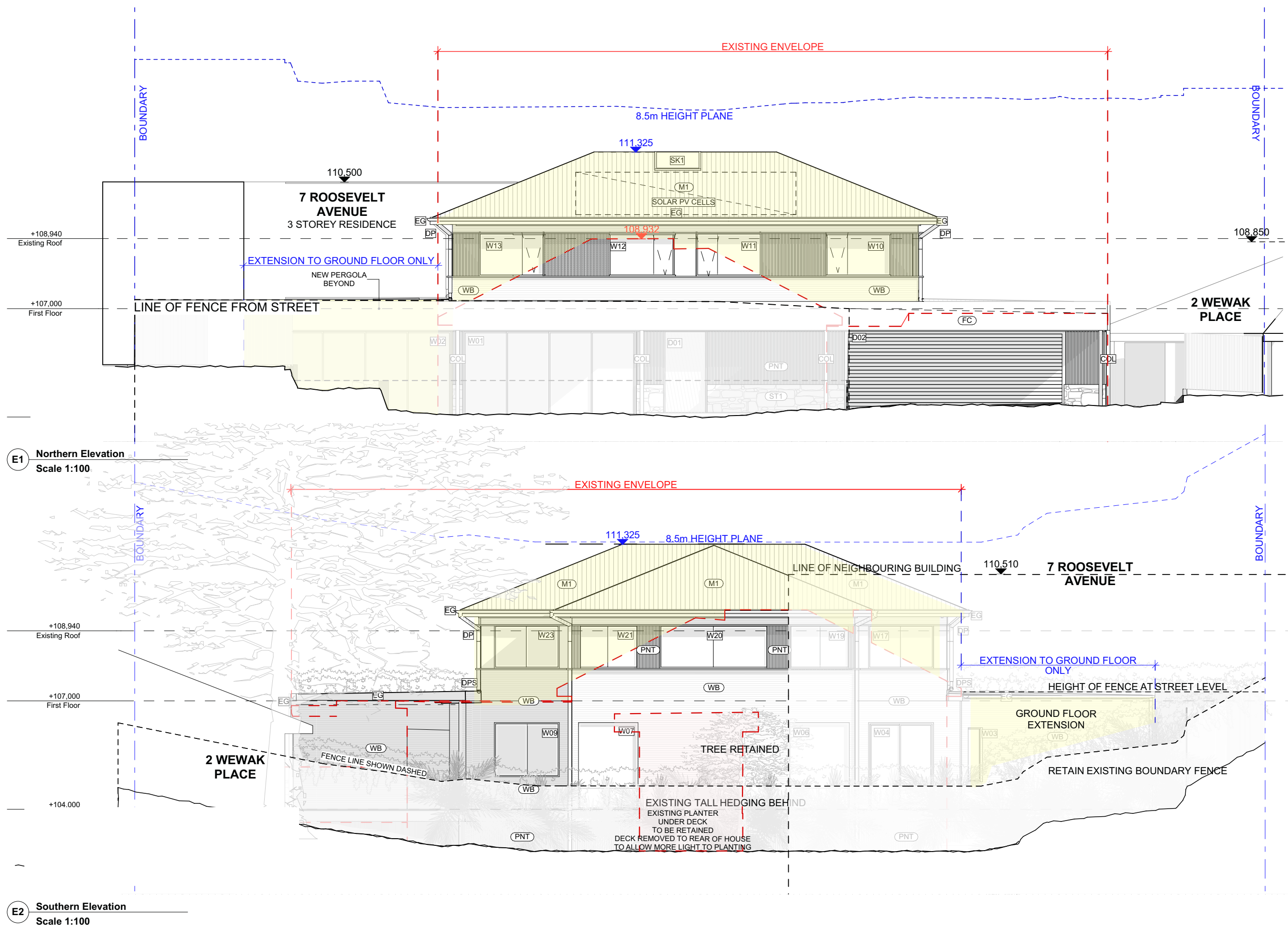
1:100 @ A3

Proposed Roof Plan



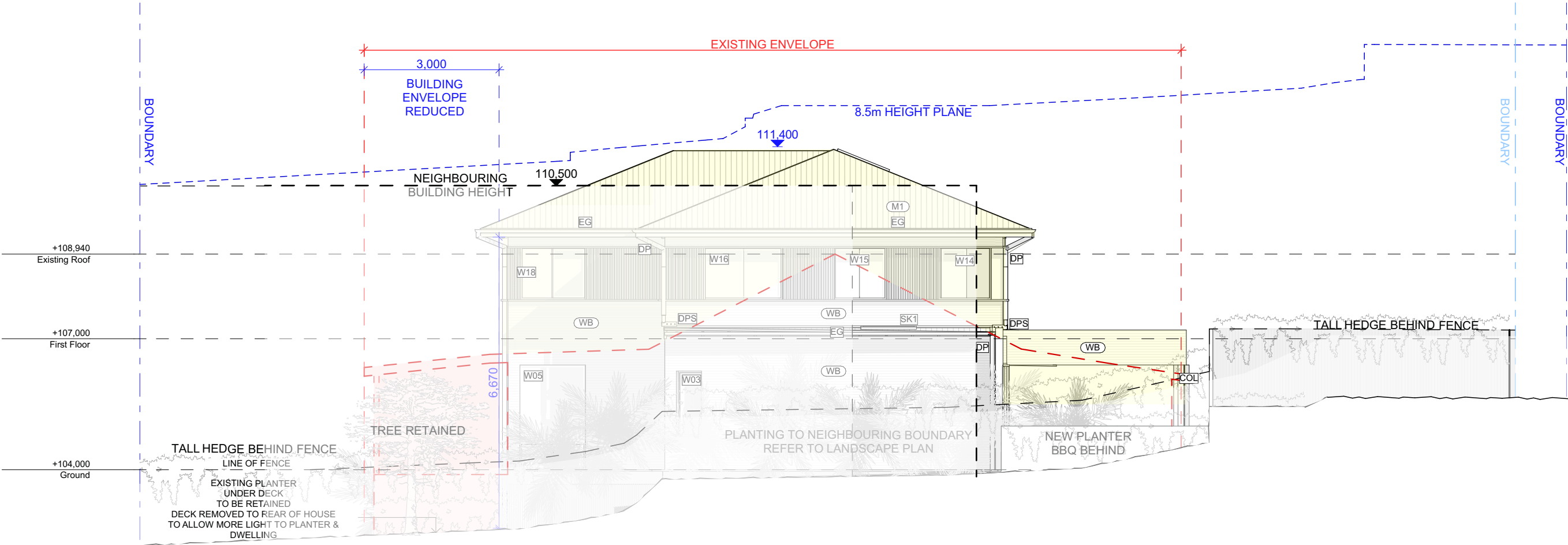
DD203 [01]





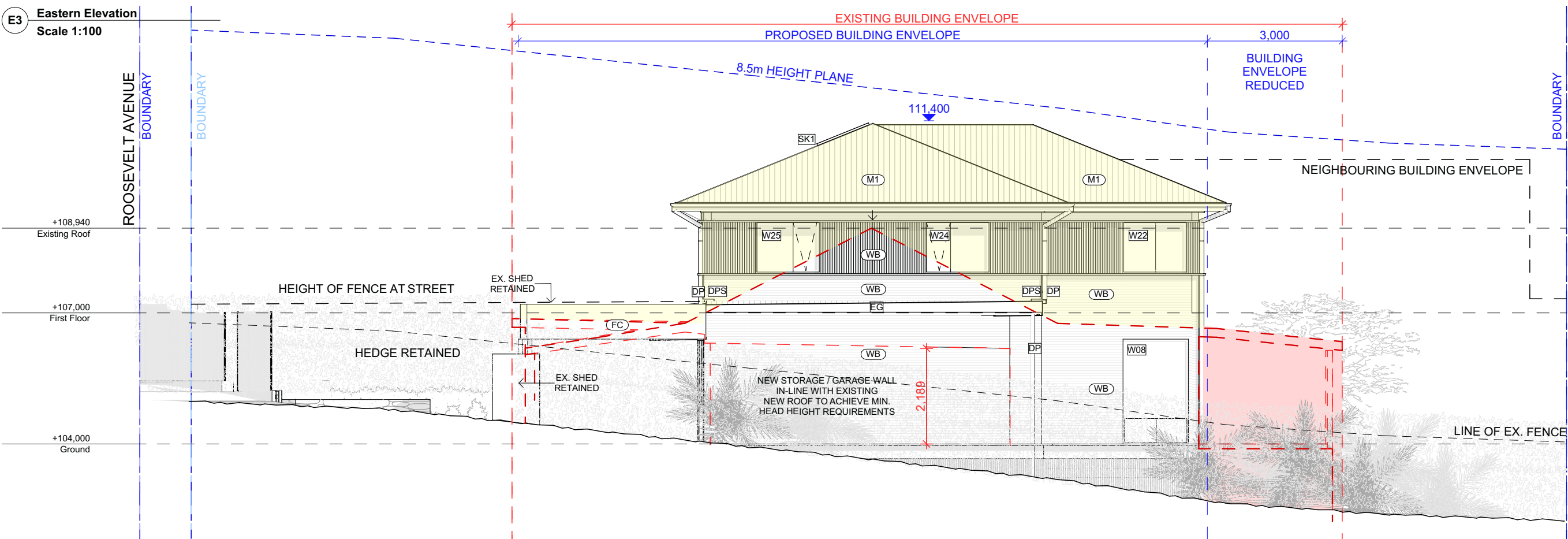
- LEGEND**
- BAL BALUSTRADE
 - COL COLUMN
 - DP DOWNPIPE
 - DPS DOWNPIPE SPREADER
 - EG EAVES GUTTER
 - M# METAL ROOF SHEETING
 - PNT# PAINT FINISH
 - SCR TIMBER PRIVACY SCREEN
 - SK# SKYLIGHT
 - W# PROPOSED WINDOW / GLAZED DOOR
 - WB WEATHERBOARD
 - FC FIBRE CEMENT (PAINT FINISH)
 - PC POWDER-COAT ALUMINIUM (DOORS / WINDOWS)
 - M1 FIBRE CEMENT
 - ST1 STONE FINISH (WALL) LIGHT COLOURED
 - ST2 STONE FINISH (WALL) LIGHT COLOURED
 - TMB TIMBER NATURAL FINISH

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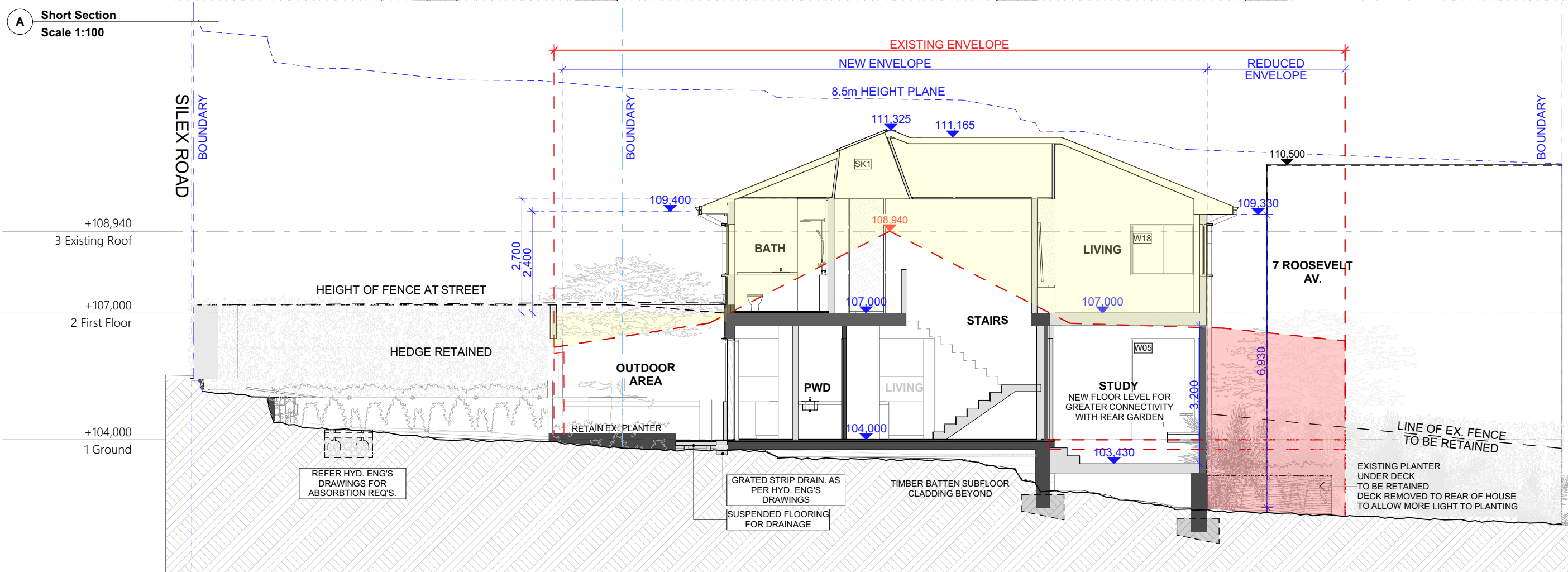
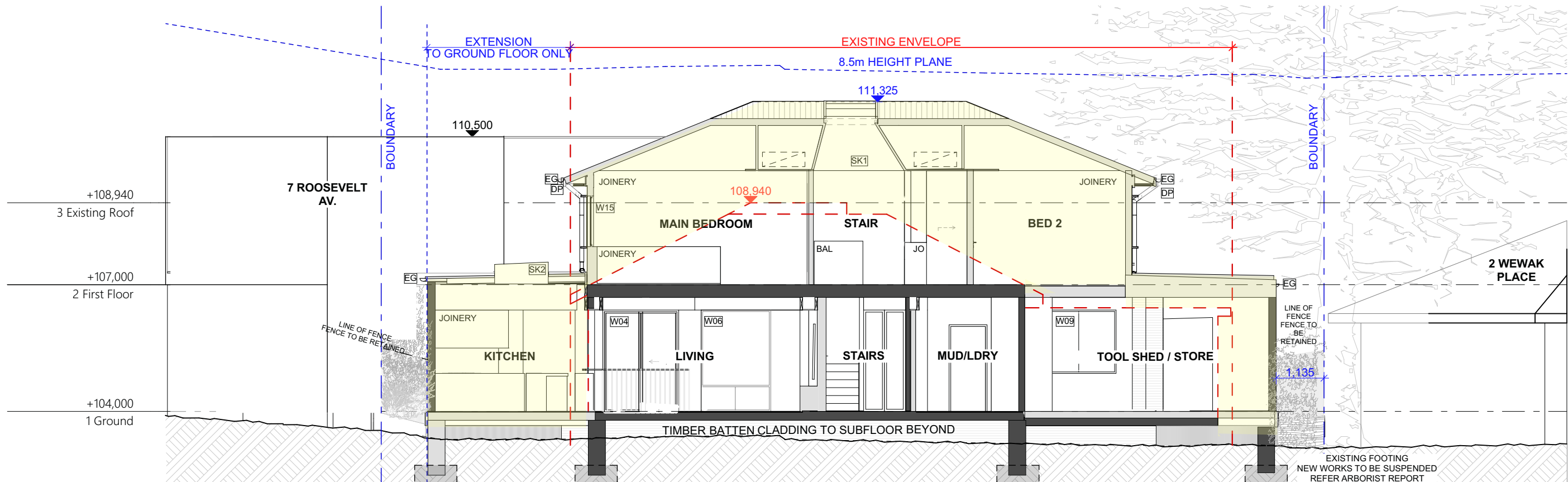


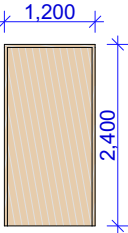
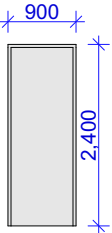
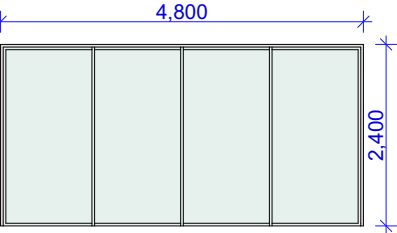
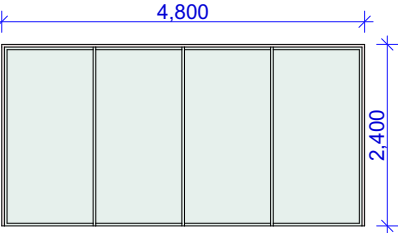
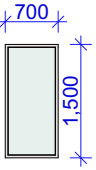
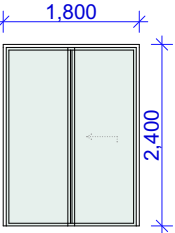
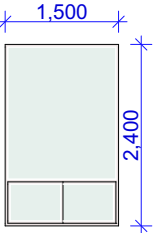
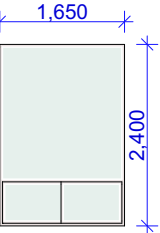
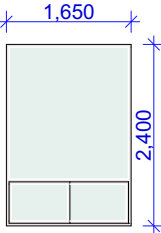
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 - STONE FINISH (WALL) LIGHT COLOURED
 - TIMBER NATURAL FINISH

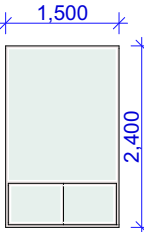
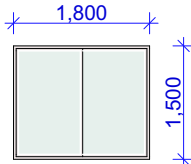
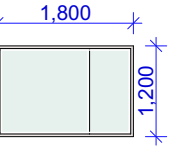
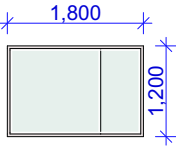
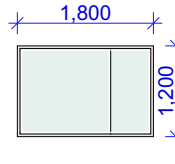
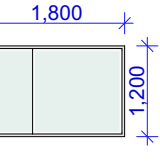
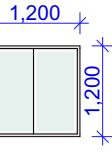
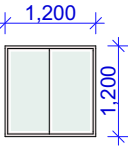
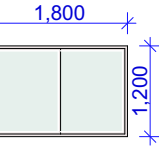
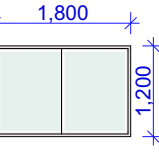
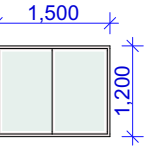
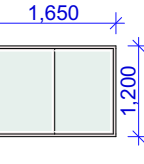
E3 Eastern Elevation
Scale 1:100

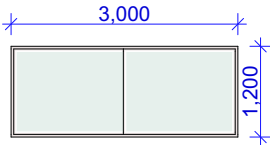
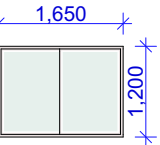
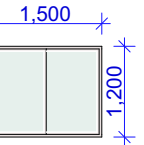
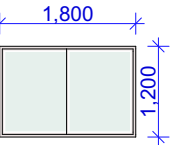
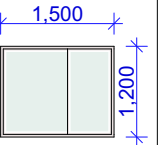
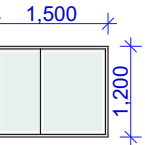


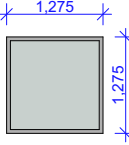
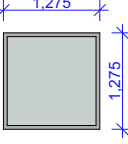
E4 Western Elevation
Scale 1:100



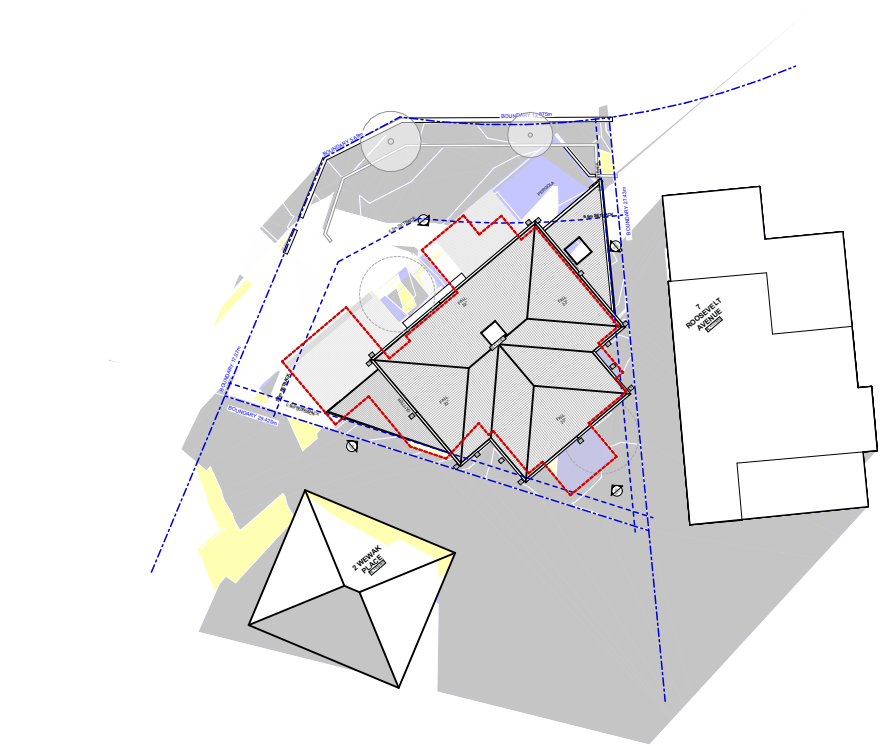
ELEVATION										
ID	D01	D02	D03	W01	W02	W03	W04	W05	W06	W07
LEVEL	Ground	Ground	Ground	Ground	Ground	Ground	Ground	Ground	Ground	Ground
ROOM	ENTRY	CARPORT	TRAILER STORE / TOOL STORE	LIVING	OUTDOOR AREA	KITCHEN	DINING	LIBRARY/STUDY	LIBRARY/STUDY	LIBRARY/STUDY
HEIGHT	2,400	2,500	2,400	2,400	2,400	1,500	2,400	2,400	2,400	2,400
WIDTH	1,200	5,945	900	4,800	4,800	700	1,800	1,500	1,650	1,650
SILL HEIGHT	0	0	0	0	0	900	0	0	0	0
OPERABILITY	SWING/PIVOT	AS PER MANUFACTURERS DETAILS		SLIDING	SLIDING	AWNING	SLIDING	FIXED/SLIDING	FIXED/SLIDING	FIXED/SLIDING
FINISH	TIMBER	AL	PNT	PC	PC	PC	PC	PC	PC	PC
GLASS	N/A	M1		AS PER BASIX REQ'S	AS PER BASIX REQ'S	AS PER BASIX REQ'S	AS PER BASIX REQ'S	AS PER BASIX REQ'S	AS PER BASIX REQ'S	AS PER BASIX REQ'S
FRAME		AS PER MANUFACTURERS DETAILS	AL	AL	AL	AL	AL	AL	AL	AL
HANDLE	D PULL	TBC	D PULL	N/A	N/A					
LOCK	YES									

ELEVATION												
ID	W08	W09	W10	W11	W12	W13	W14	W15	W16	W17	W18	W19
LEVEL	Ground	Ground	First Floor	First Floor	First Floor	First Floor	First Floor	First Floor	First Floor	First Floor	First Floor	First Floor
ROOM	LIBRARY/STUDY	TRAILER STORE / TOOL STORE	BED 2	BATH	ENS	PRIMARY SUITE			BED 4	BED 4	LIVING	LIVING
HEIGHT	2,400	1,500	1,200	1,200	1,200	1,200	1,200	1,200	1,200	1,200	1,200	1,200
WIDTH	1,500	1,800	1,800	1,800	1,800	1,800	1,200	1,200	1,800	1,800	1,500	1,650
SILL HEIGHT	0	900	900	900	900	900	900	900	900	900	900	900
OPERABILITY	FIXED/SLIDING	SLIDING	FIXED/ AWNING	FIXED/ AWNING	FIXED/ AWNING	FIXED/ AWNING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING
FINISH	PC	PC	PC	PC	PC	PC	PC	PC	PC	PC	PC	PC
GLASS	AS PER BASIX REQ'S	AS PER BASIX REQ'S	AS PER BASIX REQ'S	AS PER BASIX REQ'S	AS PER BASIX REQ'S	AS PER BASIX REQ'S	AS PER BASIX REQ'S	AS PER BASIX REQ'S	AS PER BASIX REQ'S	AS PER BASIX REQ'S	AS PER BASIX REQ'S	AS PER BASIX REQ'S
FRAME	AL	AL	AL	AL	AL	AL	AL	AL	AL	AL	AL	AL
HANDLE												
LOCK												

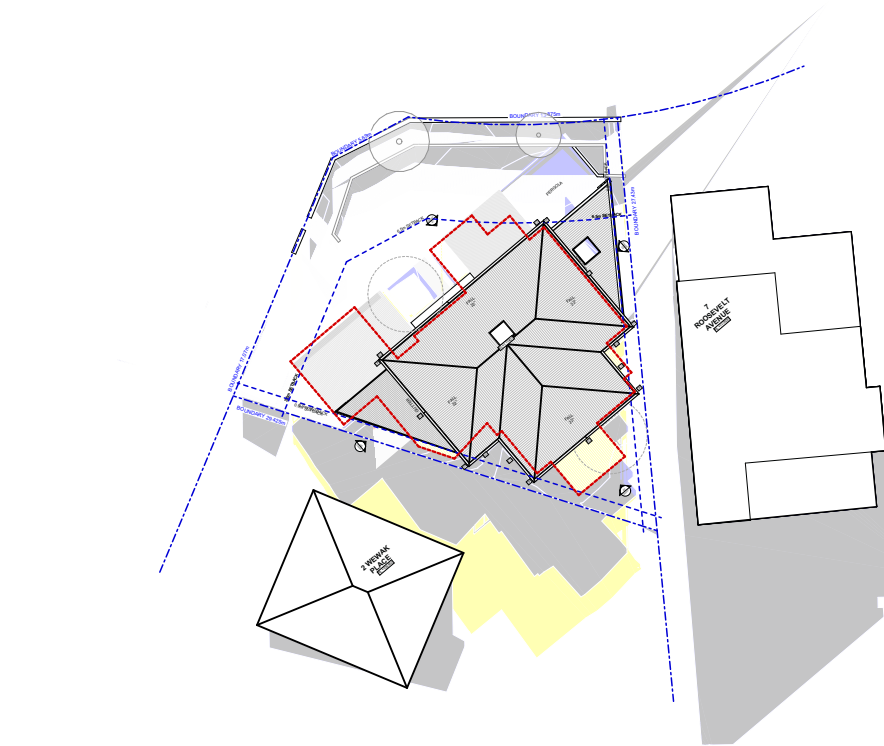
ELEVATION						
ID	W20	W21	W22	W23	W24	W25
LEVEL	First Floor	First Floor	First Floor	First Floor	First Floor	First Floor
ROOM	LIVING	LIVING	LIVING	BED 3	BED 3	
HEIGHT	1,200	1,200	1,200	1,200	1,200	1,200
WIDTH	3,000	1,650	1,500	1,800	1,500	1,500
SILL HEIGHT	900	900	900	900	900	900
OPERABILITY	SLIDING	SLIDING	SLIDING	SLIDING	FIXED/AWNING	FIXED AWNING
FINISH	PC	PC	PC	PC	PC	PC
GLASS	AS PER BASIX REQ'S	AS PER BASIX REQ'S	AS PER BASIX REQ'S	AS PER BASIX REQ'S	AS PER BASIX REQ'S	AS PER BASIX REQ'S
FRAME	AL	AL	AL	AL	AL	AL
HANDLE						
LOCK						

ELEVATION		
ID	SK1	SK1
LEVEL	First Floor	Proposed Roof
Room	<Undefined>	<Undefined>
Height	---	---
Width	---	---
Sill Height	---	---
Head Height	---	---
Type		
Finish	PC	PC
Glass		
Frame	AL	AL
Handle		

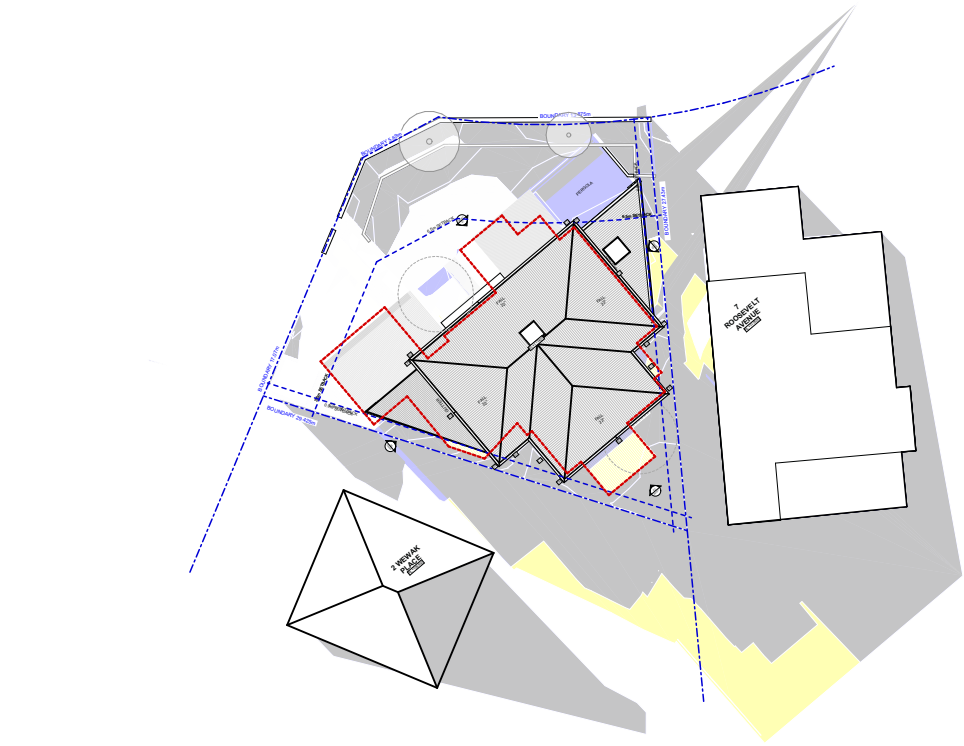
WINDOWS, GLAZED DOORS AND SKYLIGHTS
The applicant must install the windows and glazed doors and shading devices in accordance with the specifications listed in the BASIX certificate submitted.



1 **9am 21 Jun**
Scale 1:500



2 **12pm 21 Jun**
Scale 1:500



3 **3pm 21 Jun**
Scale 1:500

MATERIALITY
EXTERNAL FINISHES

WB



CLADDING

WEATHERBOARD
PAINT FINISH

PC (D-XX/W-XX)



DOORS & WINDOWS

ALUMINIUM
POWDERCOAT - LIGHT
COLOURED

ST1



EXTERNAL CLADDING -
LANDSCAPE WALL

NATURAL STONE WALL CLADDING

PNT



EXPOSED STRUCTURE

TIMBER PAILING OR BATTEN

PAINT FINISH TO MATCH
WEATHERBOARD FINISH

EG /DP



GUTTERS & DOWNPIPES

PAINT FINISH
TO MATCH ROOF CLADDING AND
DOORS & WINDOWS

LIGHT COLOURED

ST2



EXTERNAL FLOORING

NATURAL STONE FLOORING

FC



FC SHEET

PAINT FINISH TO MATCH

M1



ROOF CLADDING

CUSTOM ORB ROOF SHEETING
COLORBOND

LIGHT COLOURED FINISH

TMB



FRONT DOOR

HARDWOOD
SEAL FINISH

Notes

This drawing shall be read in conjunction with all other architectural and consultant drawings and specifications and with such other written instructions issued during the course of the contract. Notify designer of any discrepancies prior to proceeding with work. Materials and workmanship shall be in accordance with the specification, current SAA codes, Building Regulations and requirements of any other statutory authorities. Contractors shall verify all dimensions on site and notify designer of any discrepancies. Use figured dimensions only. Copyright. All rights reserved. This drawing is copyright and confidential apart from any fair dealings as permitted under copyright and may not be reproduced by any persons without written permission of the above company and is not to be used in any manner prejudicial to the interests of that company. This drawing and attached sheet remain the property of Blake Letnic Architects Pty Ltd.

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01	22/08/2025	DA SUBMISSION



○ **Street View Entry**
Scale 1:250



○ **Street View Entry**
Scale 1:250

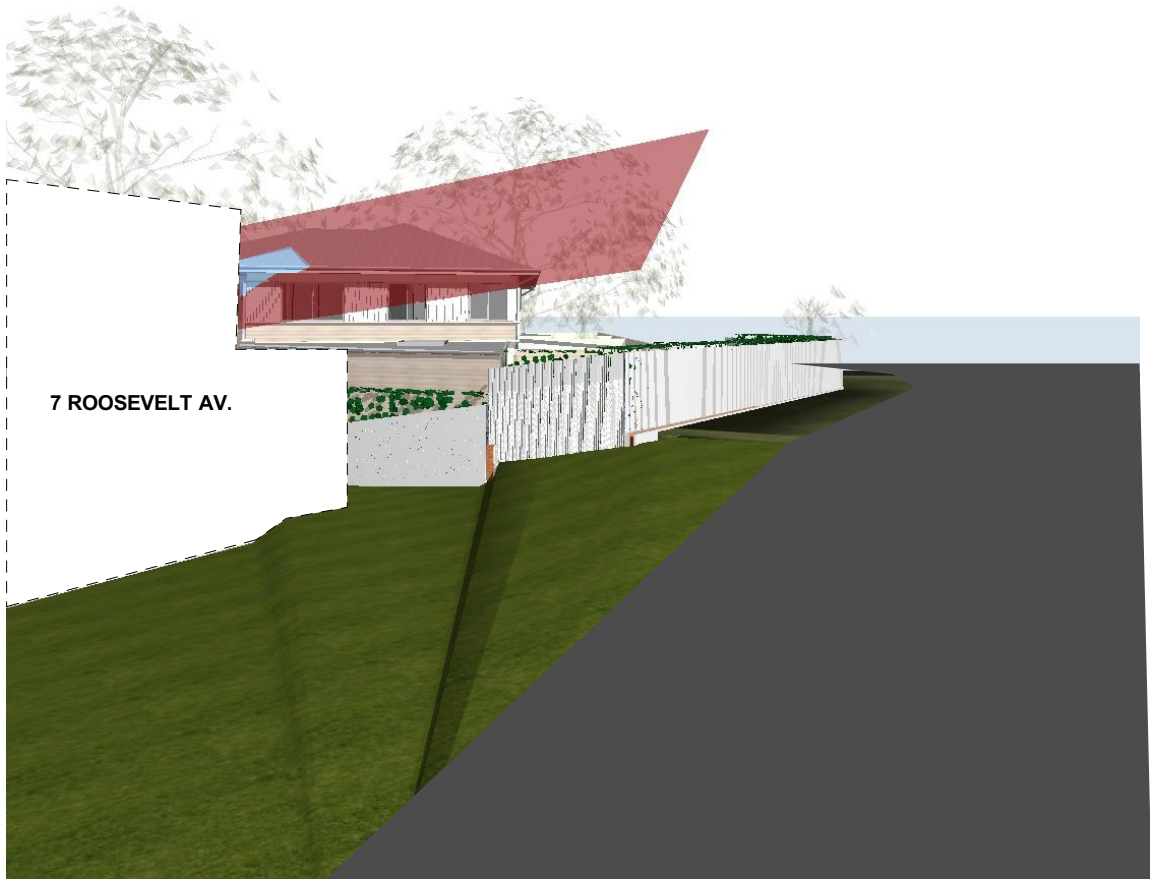
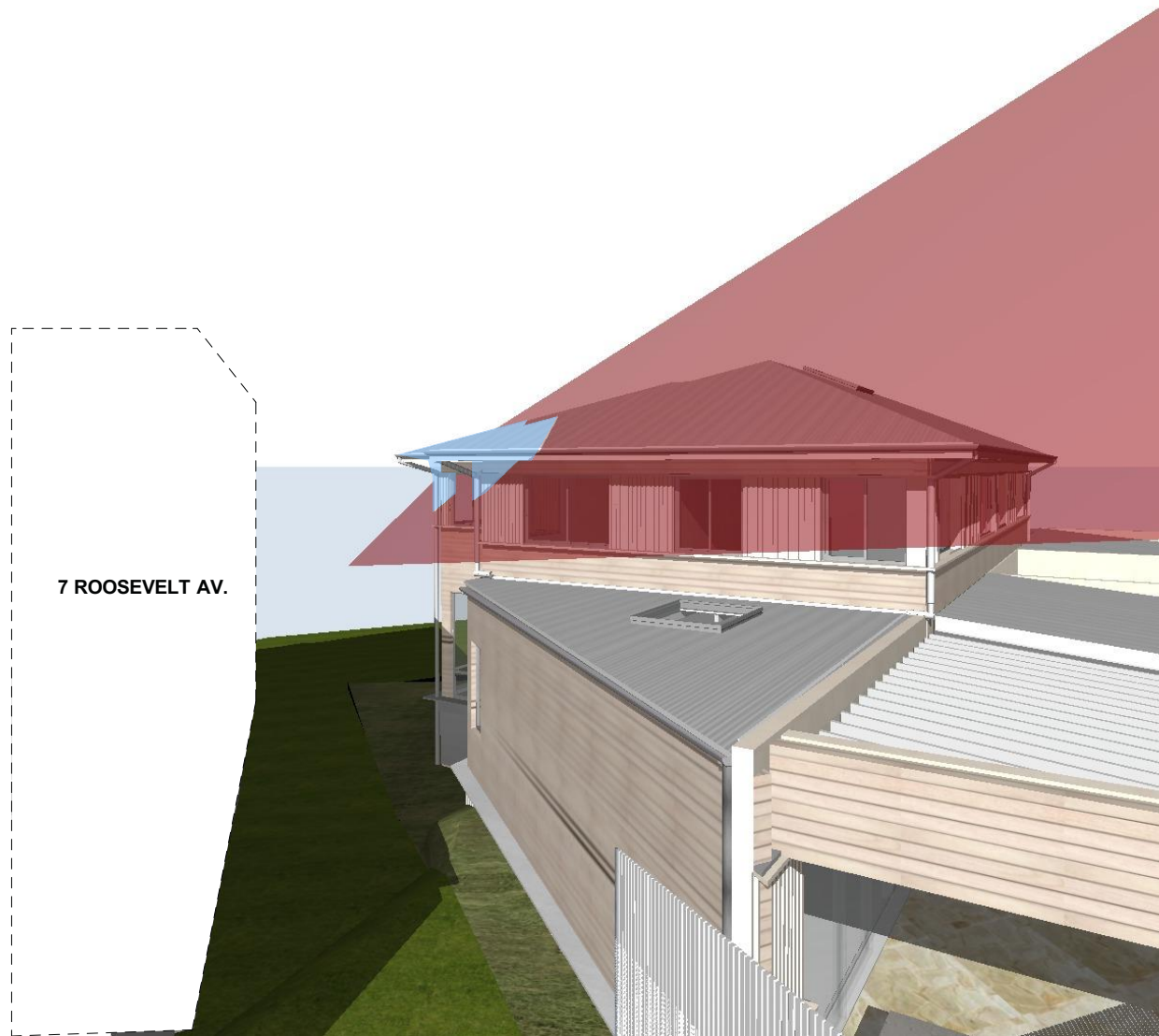


○ **Street View Corner**
Scale 1:250



○ **Street View**
Scale 1:250

Revision	Date	Transmittal Set Name
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SILEX RD. STREETVIEW

The non-compliance arises due to the irregular, fan-like shape of the block, which narrows to a point towards the south, and the slope of the site, which also falls towards the south. The non-compliances are limited in height/length and recede quickly, with the front of the building maintained well below the envelope prescribed, to a far greater degree than that which projects beyond the prescribed envelope at the rear.

The non-compliances with the building envelope plane occur towards the rear of the dwelling and will not be readily observed from the Wewak Place street frontage. Whilst the northern beaches planning 15 eastern side elevation will be visible from Roosevelt Avenue, it will be seen adjacent to the dwelling at 7 Roosevelt Avenue, which has a three storey side elevation and a gutter line that sits 1m higher than that proposed.

As such, Council can be satisfied that the resultant dwelling will not be visually dominant in its context.

Notes

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