

# Development Application

Demolition of an Existing Dwelling, Lot Consolidation, Construction of a New Primary Dwelling and Entry Gateway Structure, and reconstruction of existing right of way driveway.

139 - 141 Riverview Road  
Avalon Beach, NSW 2107

Development Application - Sheet List			
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DA	DA030	10m Height Plane Compliance	12/06/2025
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DA	DA050	Site Plan (Proposed)	12/06/2025
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DA	DA710	Erosion + Sediment Control Plan	12/06/2025
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Project:  
**Riverview House II**  
139-141 Riverview Road, Avalon Beach  
Project number **2023\_152**

Revisions		
No.	Description	Date
1	Development Application	12/06/2025

Client:  
**MMIG Developments Pty Ltd**  
Drawing Number: **DA000** Issue **1**  
Date **12/06/2025**

Drawing:  
**Title Page**  
Scale **NTS** @ **A3**  
Drawn by: **BW** Checked by: **EW**

<b>DMN Assessor #16/1742</b>		<b>16<sup>th</sup> July 2025</b>		<b>Reference: 381/2024</b>	
<b>Evergreen Energy Consultants</b>					
Email address: <a href="mailto:enquiries@evergreenec.com.au">enquiries@evergreenec.com.au</a>			Ph: 1300 584 010		
<b>Important Note for Development Applicants:</b>					
<p>The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If they vary from drawings or other specifications this Specification shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the whole project. If alternate specifications are detailed, the location and extent of the alternate specification must be detailed below and / or clearly indicated on referenced documentation.</p> <p>Once the development is approved by the consent authority, these specifications will become a condition of consent and must be included in the built works. If you do not want to include these requirements, the proposed construction varies to those detailed or need further information, please contact Evergreen Energy Consultants.</p> <p>This assessment has assumed that the BCA provisions for building sealing will be complied with at construction.</p>					
<b>Thermal Performance Specifications</b>					
<b>External Wall Construction</b>		<i>Insulation</i>	<i>Colour (Solar Absorbance)</i>	<i>Detail</i>	
Cavity Brick		Bulk, reflective one side, anti-glare the other R2.0	Light		
Earth, Internally Lined Steel Stud Frame		Bulk insulation R2.0	Light	R0.20 TB	
<b>Internal Wall Construction</b>		<i>Insulation</i>	<i>Detail</i>		
Single Skin Brick		None			
Timber stud frame, direct fix plasterboard		None	Cavity sliding doors		
<b>Ceiling Construction</b>		<i>Insulation</i>	<i>Detail</i>		
Plasterboard on Concrete and Steel Frame		Bulk insulation R3.0	External ceilings		
Concrete Steel Framed above Plasterboard		None	Internal ceilings		
<b>Roof Construction</b>		<i>Insulation</i>	<i>Colour (Solar Absorbance)</i>	<i>Detail</i>	
Waterproofing Membrane		None	Medium	1° pitch	
<b>Floor Construction</b>		<i>Insulation</i>	<i>Covering</i>		
Concrete Slab on ground		None	Timber and Tiles		
Suspended Concrete		None	Timber		
<b>Windows</b>	<i>Glass and frame type</i>	<i>U Value</i>	<i>SHGC</i>	<i>Area m2</i>	
WDR-001-008 A Timber framed	AGG PLUS Clr 4/12/4 Fixed Windows Double Glazed	1.54	0.54		
WDR-012-008 A Timber framed	AGG PLUS Clr 4/12/4 Sliding Doors Double Glazed	1.62	0.42		
TND-212-008 A Timber framed	4Clr/12Ar/4ET Hinged Doors Double Glazed	1.84	0.43		
Skylights – Double Glazed Clear-Clear					
<i>U and SHGC values are according to NFRC. Alternate products may be used if the U value is lower and the SHGC is less than 5% higher or lower than the above figures.</i>					
<b>Fixed shading – Eaves</b>		<i>Width includes guttering, offset is distance above windows</i>			
As drawn		<i>Nominal only, refer to plan for detail</i>			
<b>Fixed shading – Other</b>		<i>Verandah to certain units only</i>			
Shaded areas and shade devices as drawn, adjoining buildings and boundary fences					



<b>139-141 Riverview Road, Avalon Beach</b>			
SUMMARY OF BASIX COMMITMENTS			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details.			
<b>WATER COMMITMENTS</b>			
Fixtures			
Alternative Water – Rainwater Tank Size 5,000(L) Tank Connected To:			
One Outdoor Tap	Laundry W/M Cold Tap	All Toilets	Tap within 10m of Pool
Fixtures			
3 Star Shower Heads	3 Star Toilet	3 Star Kitchen Taps	3 Star Basin Taps
Swimming Pool			
Not more than 54.72kL	Must be Outdoors	Electric Heat Pump	Pool Pump Timer
Spa			
Not more than 7kL	Must be Outdoor	Electric Heat Pump	Pool Pump Timer
<b>THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans</b>			
<b>ENERGY COMMITMENTS</b>			
Hot Water		Electric heat pump 15 to 20 STCs or better	
<b>ENERGY COMMITMENTS – House</b>			
Cooling System	Living	3-phase air conditioning – ducted / EER 2.5-3.0	
	Bedrooms	3-phase air conditioning – ducted / EER 2.5-3.0	
Heating System	Living	3-phase air conditioning – ducted / EER 2.5-3.0	
	Bedrooms	3-phase air conditioning – ducted / EER 2.5-3.0	
Ventilation	Bathrooms	Fan ducted to roof/facade	Manual on/off
	Kitchen	Fan ducted to roof/facade	Manual on/off
	Laundry	Fan ducted to roof/facade	Manual on/off
Natural Lighting	Window/Skylight in Kitchen		As Drawn
	Window/Skylight in Bathrooms/Toilets		As Drawn
Artificial Lighting (80% fluoro or LED)	Number of bedrooms		All
	Number of Living/Dining rooms		All
	Kitchen		Yes
	All Bathrooms/Toilets		Yes
	Laundry		Yes
All Hallways		Yes	
<b>OTHER COMMITMENTS</b>			
Outdoor clothes line	No	Indoor or sheltered clothes drying line	No
Stove/Oven	Electric cooktop, electric oven		
Other	Photovoltaic system to generate at least 4.2 peak kW of electricity		

**Certificate No. 0012052140**

Scan QR code or follow website link for rating details.

Assessor name: Joseph Lorriman

Accreditation No.: DMN/16/1742

Property Address: 139-141 Riverview Road, AVALON BEACH NSW, 2107

hstar.com.au/QR/Generate?p=ZTDlrCmsl

Revisions		
No.	Description	Date
1	Development Application	12/06/2025

No encroachment to Northern envelope

No encroachment to Southern envelope

No encroachment to Northern envelope

No encroachment to Southern envelope

\*No Encroachment to Building Envelope\*

**Certificate No. 0012052140**  
Scan QR code or follow website link for rating details.  
 Assessor name: Joseph Lortman  
 Accreditation No. DMN16/1742  
 Property Address: 139-141 Riverview Road, AVALON BEACH NSW 2107  
 nbsr.com.au/QRGenerate?ip=ZTDVCMsl



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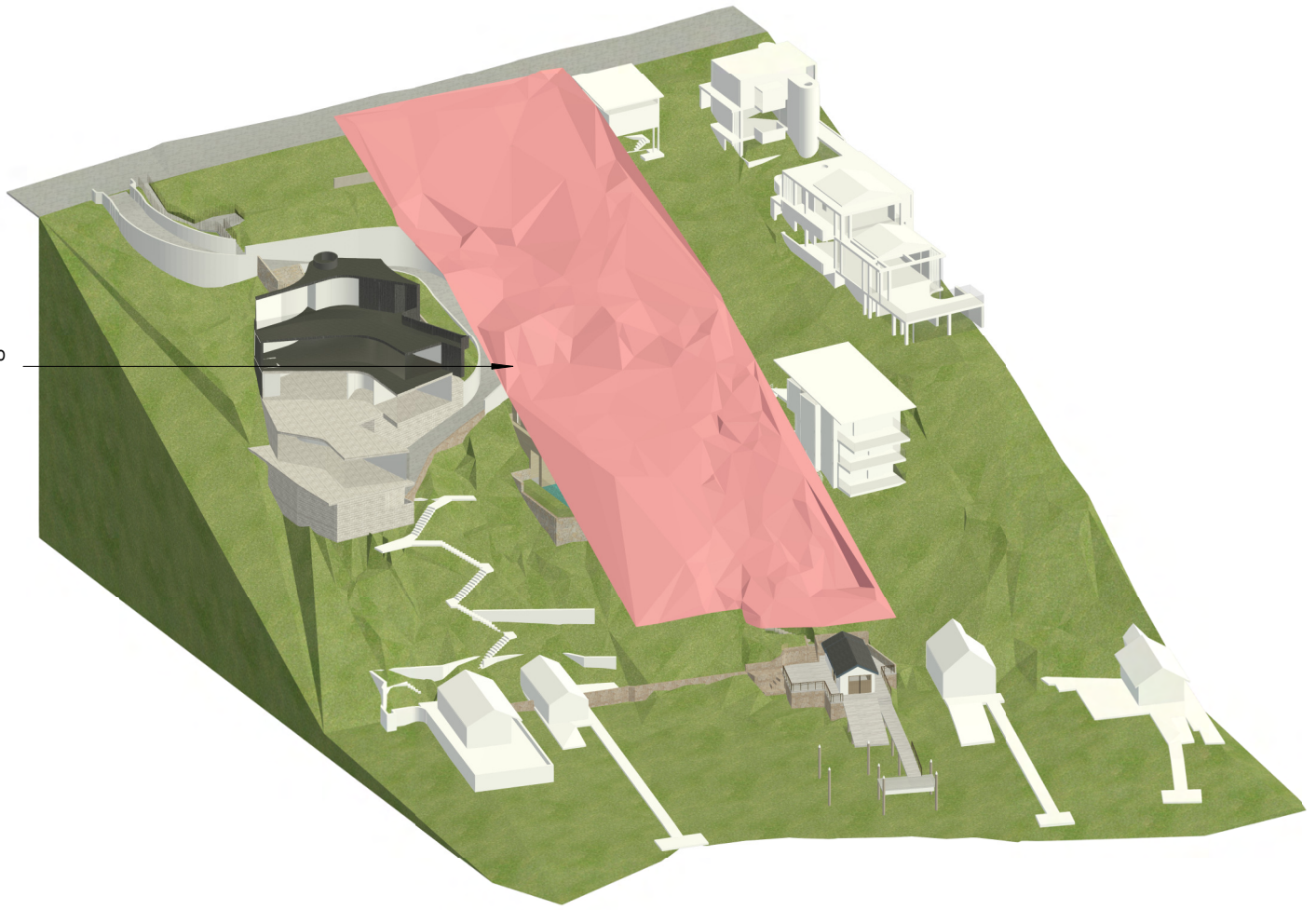
Project:  
**Riverview House II**  
 139-141 Riverview Road, Avalon Beach  
 Project number **2023\_152**

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1	Development Application	12/06/2025

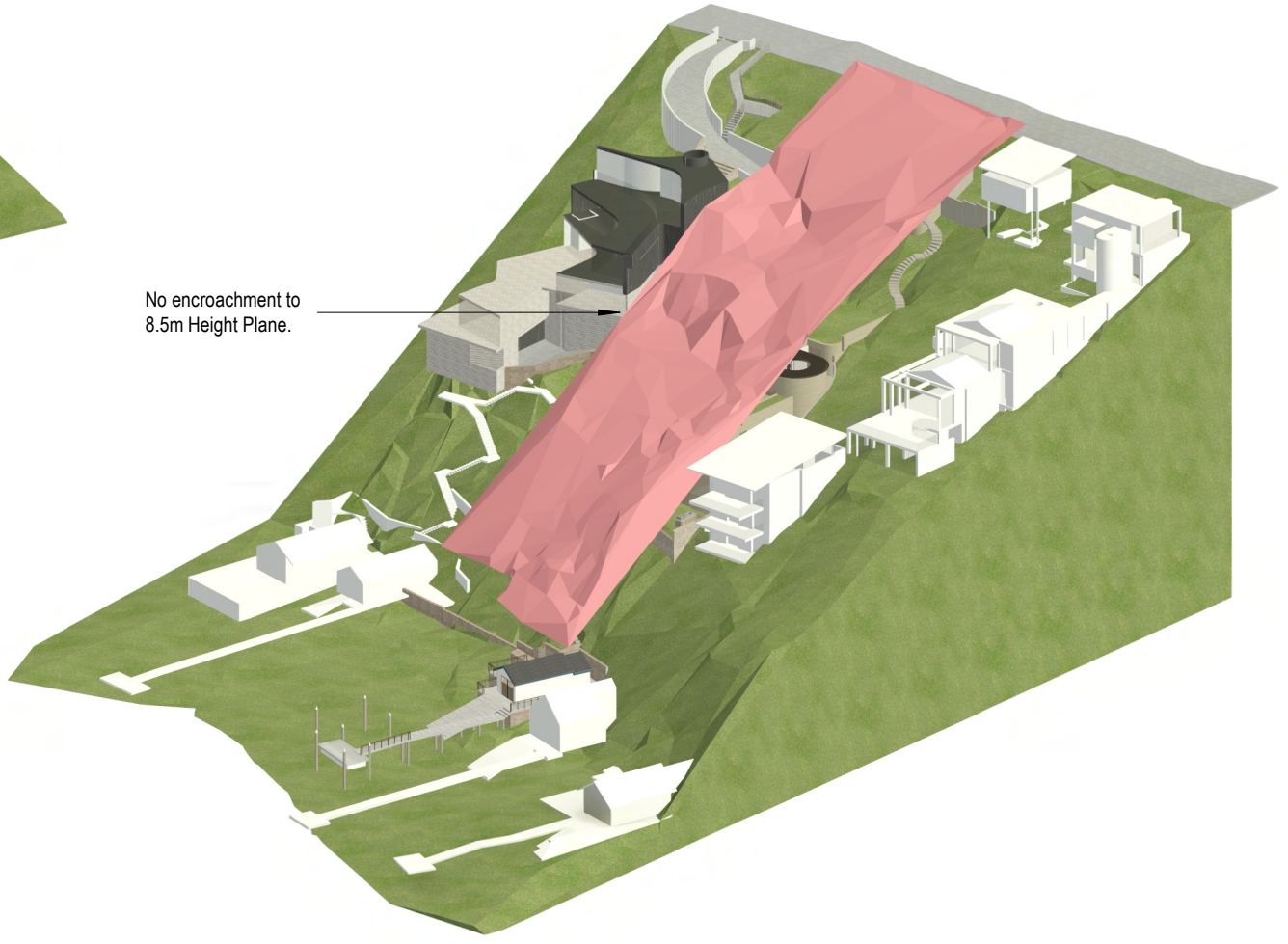
Client:  
**MMIG Developments Pty Ltd**  
 Drawing Number: **DA010** Issue **1**  
 Date **12/06/2025**

Drawing:  
**Building Envelope Compliance**  
 Scale **NTS @ A3**  
 Drawn by: **BW** Checked by: **EW**

No encroachment to 8.5m Height Plane.



No encroachment to 8.5m Height Plane.



\*No Encroachment to 8.5m Height Plane\*

Certificate No. 0012052140  
 Assessor name: Joseph Lortman  
 Accreditation No. DMN16/1742  
 Property Address: 139-141 Riverview Road, AVALON BEACH NSW 2107

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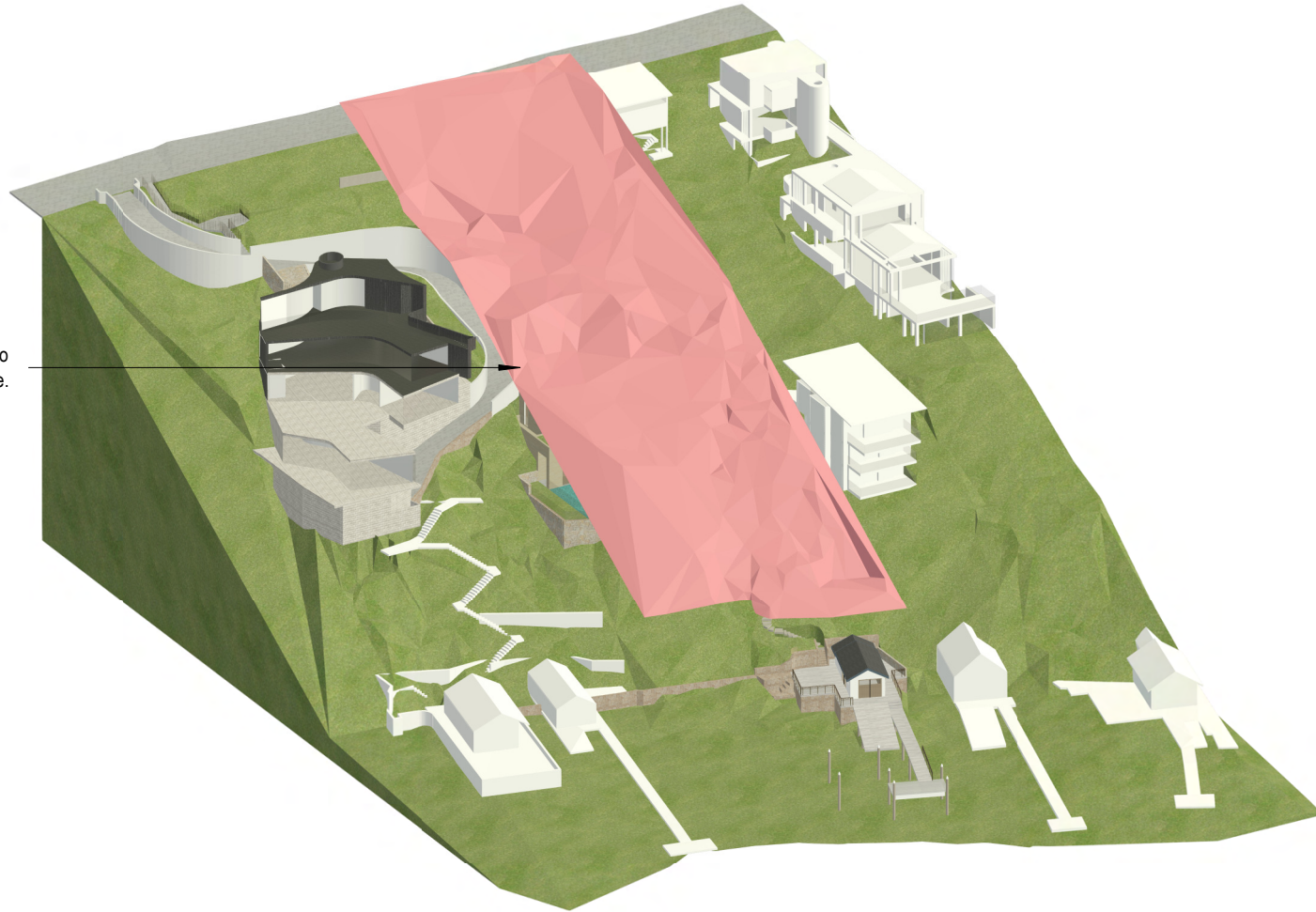
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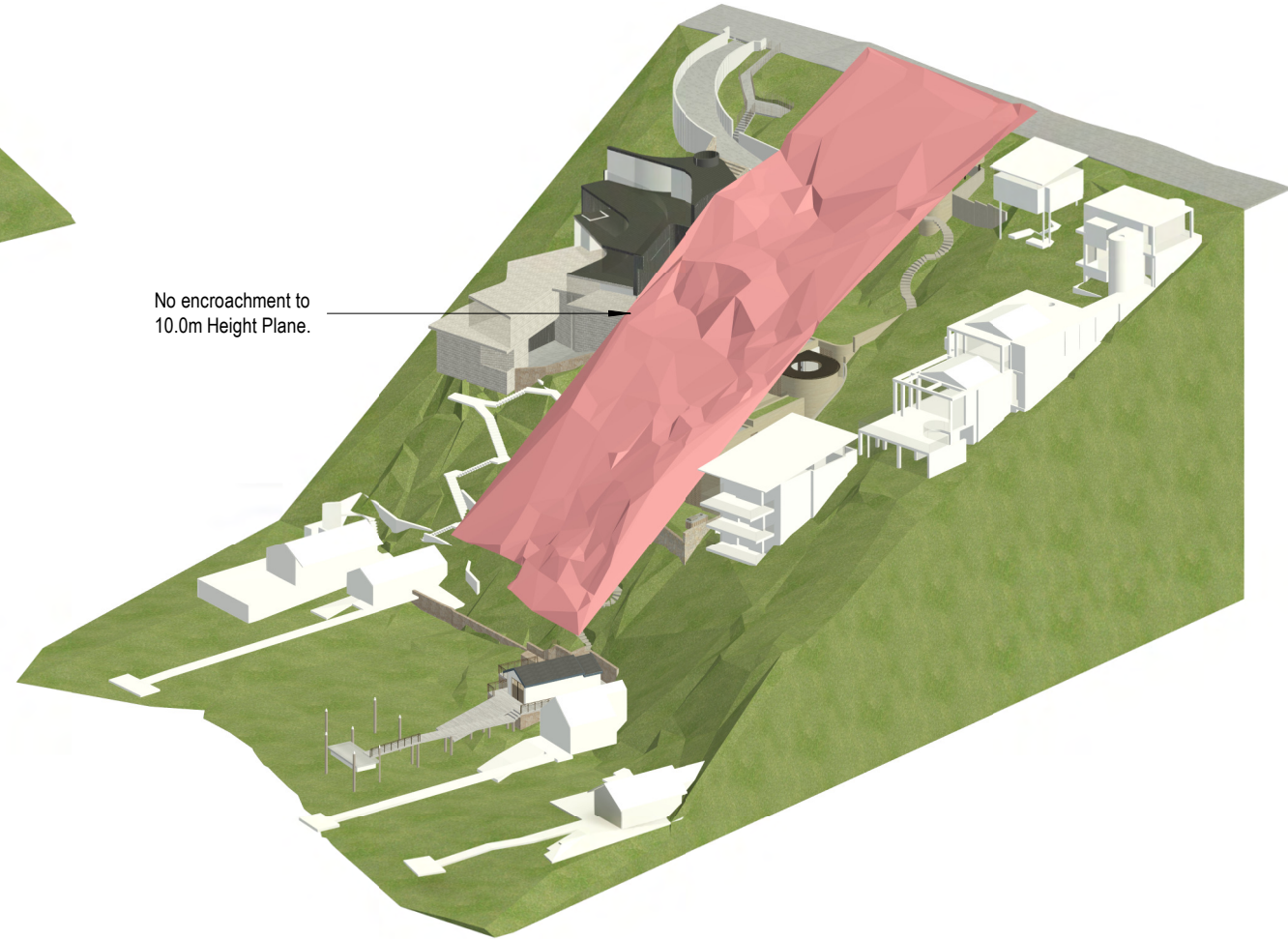
Client:  
**MMIG Developments Pty Ltd**  
 Drawing Number: Issue 1  
**DA020**  
 Date 12/06/2025

Drawing:  
**8.5m Height Plane Compliance**  
 Scale NTS @ A3  
 Drawn by: BW Checked by: EW

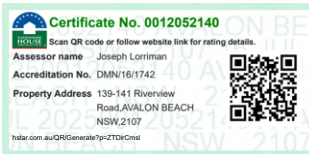
No encroachment to 10.0m Height Plane.



No encroachment to 10.0m Height Plane.



\*No Encroachment to 10m Height Plane\*



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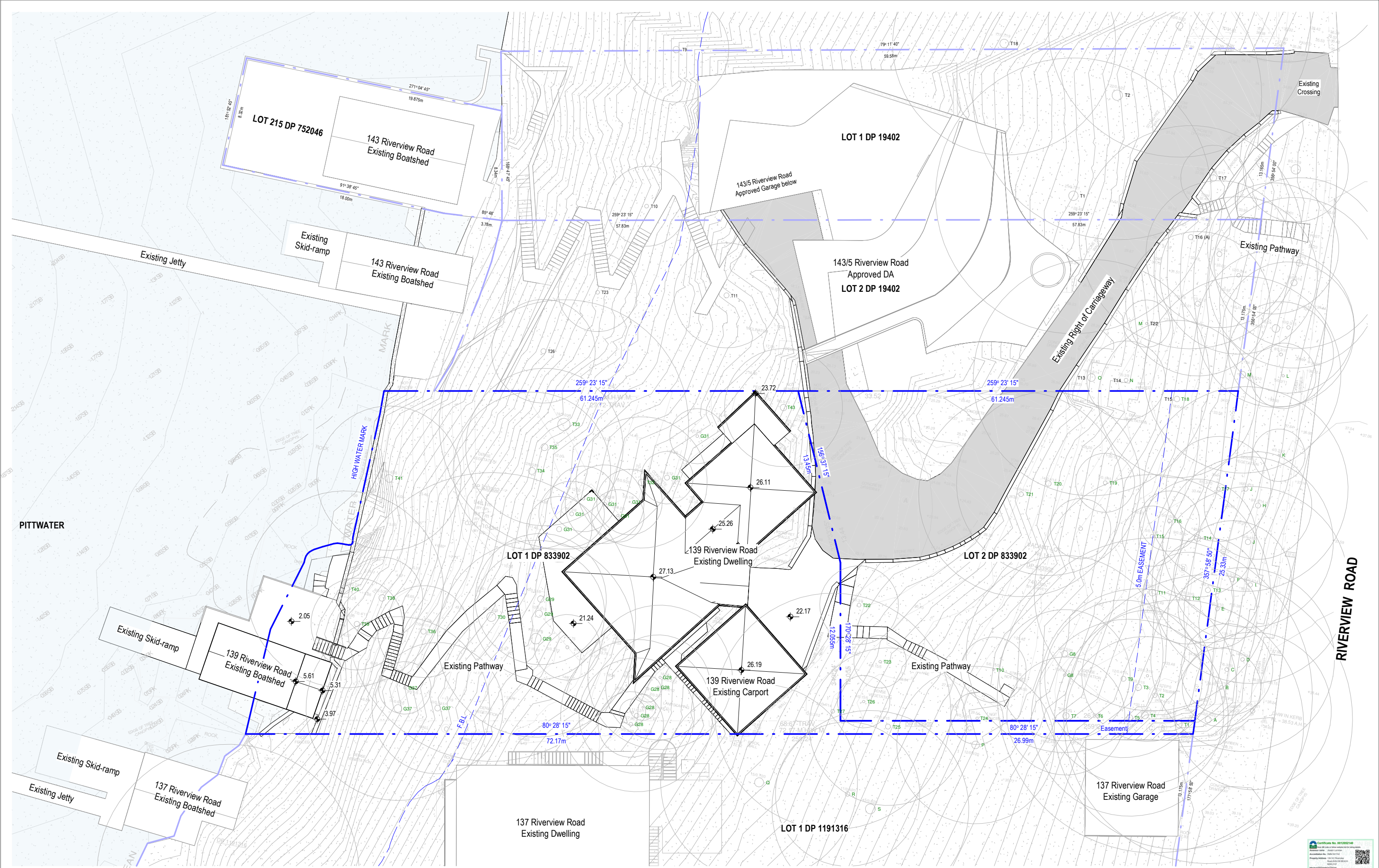
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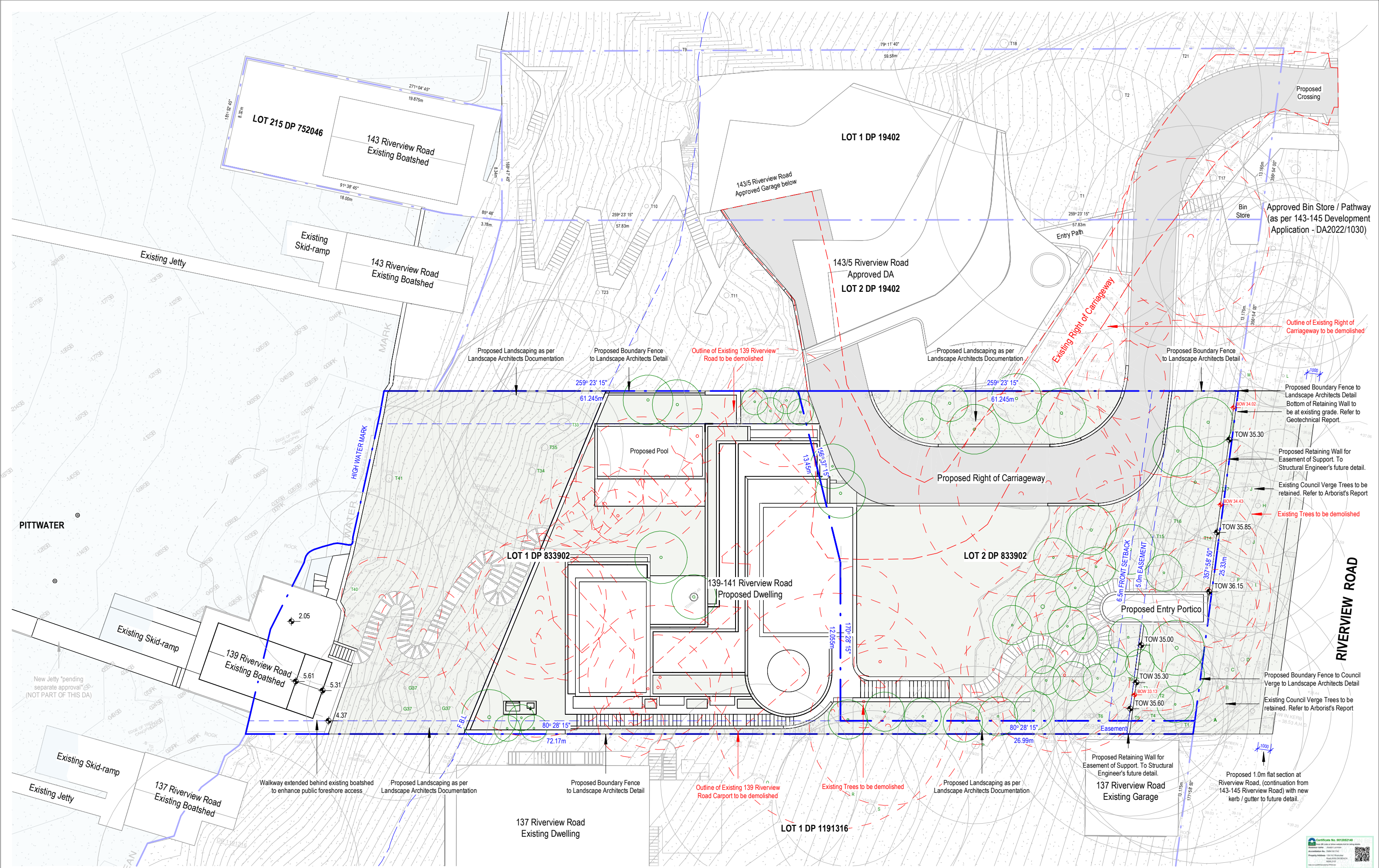
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 Drawing Number: **DA030** Issue **1**  
 Date **12/06/2025**

Drawing:  
**10m Height Plane Compliance**  
 Scale **NTS @ A3**  
 Drawn by: **BW** Checked by: **EW**



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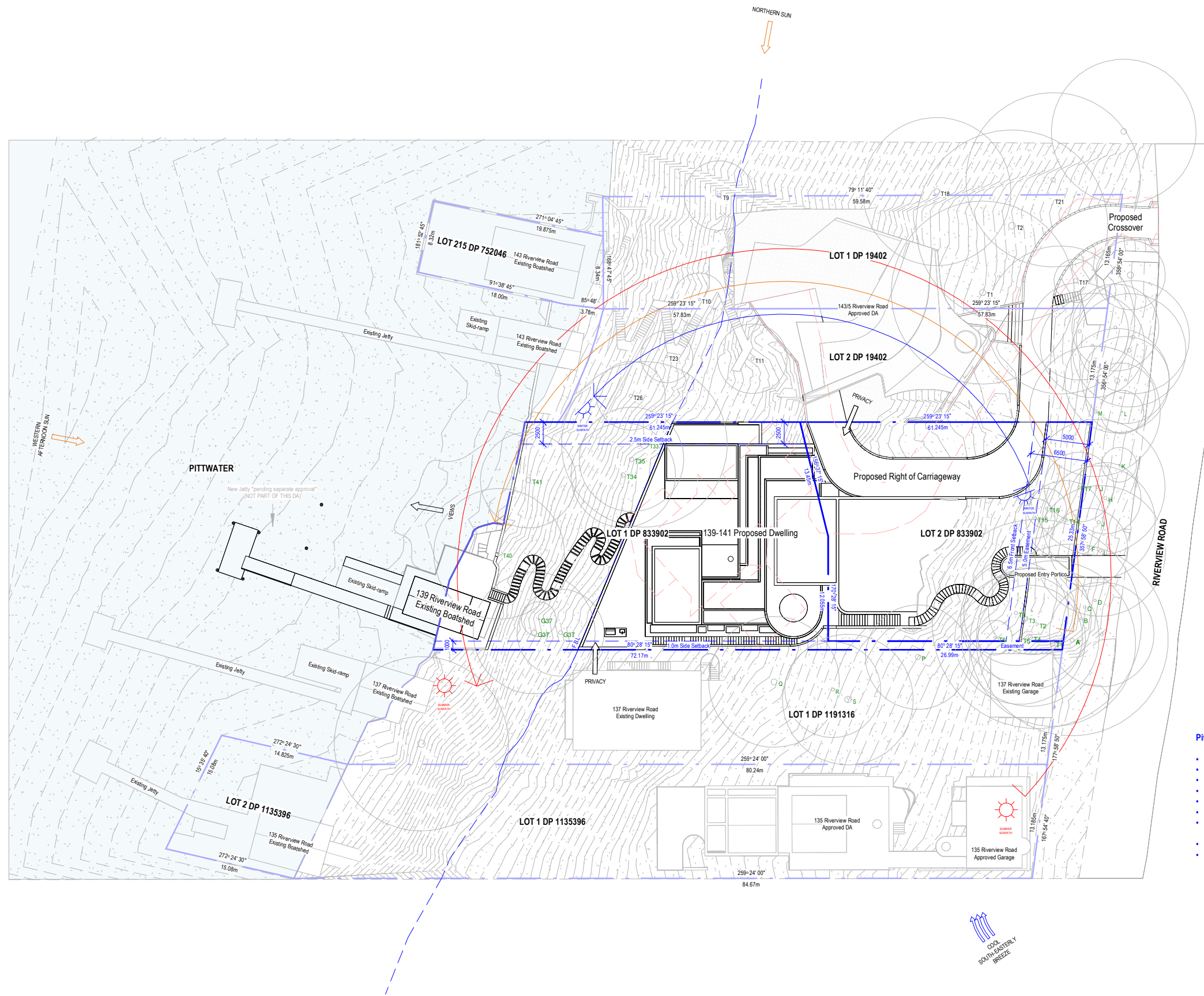
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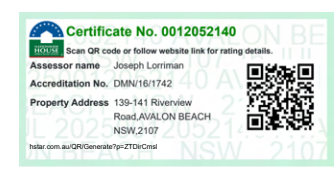
Revisions		
No.	Description	Date
1	Development Application	12/06/2025

Client:  
**MMIG Developments Pty Ltd**  
 Drawing Number: **DA060** Issue **1**  
 Date **12/06/2025**

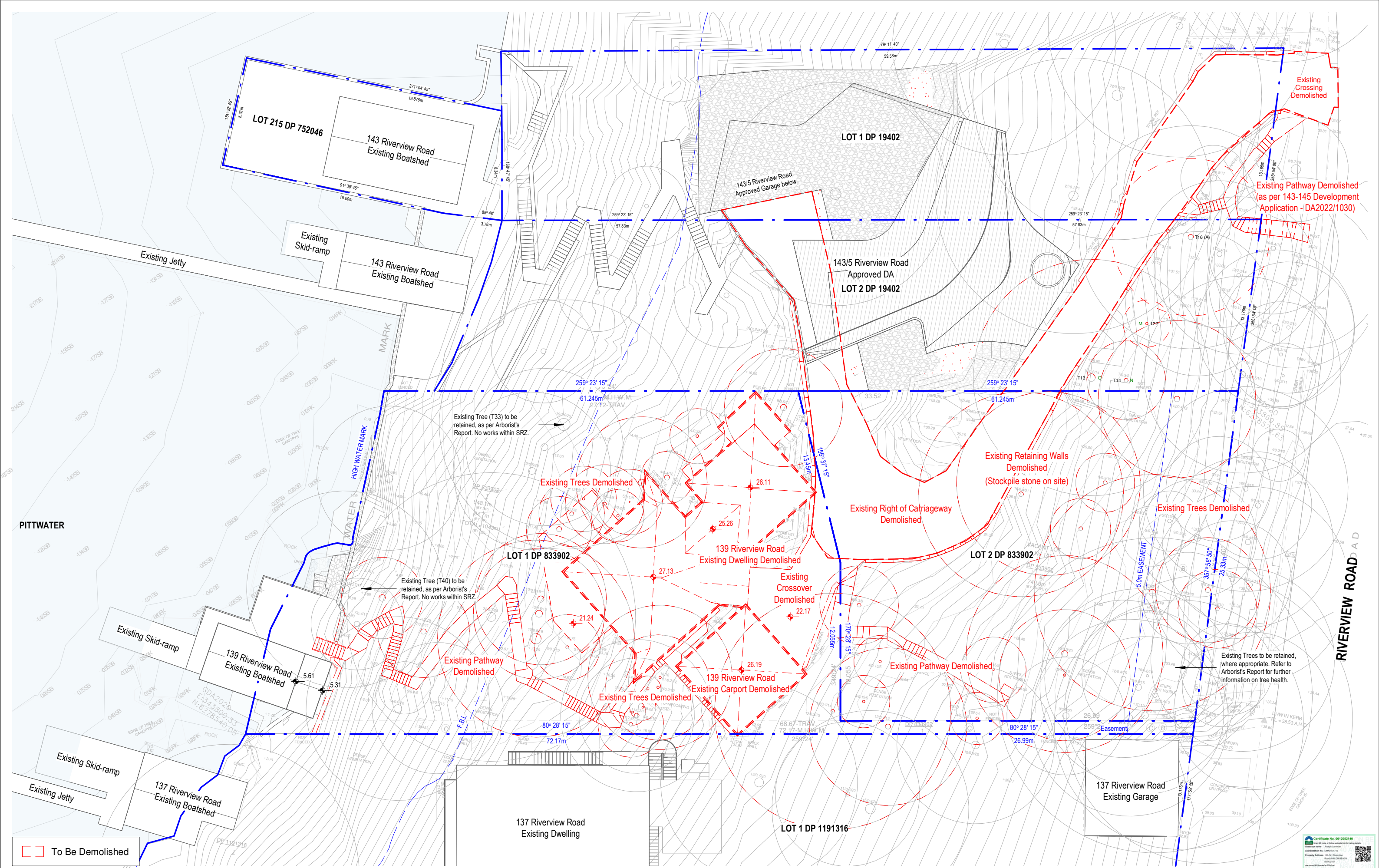
Drawing:  
**Compliance Analysis Plan**  
 Scale **1:500 @ A3**  
 Drawn by: **BW** Checked by: **EW**



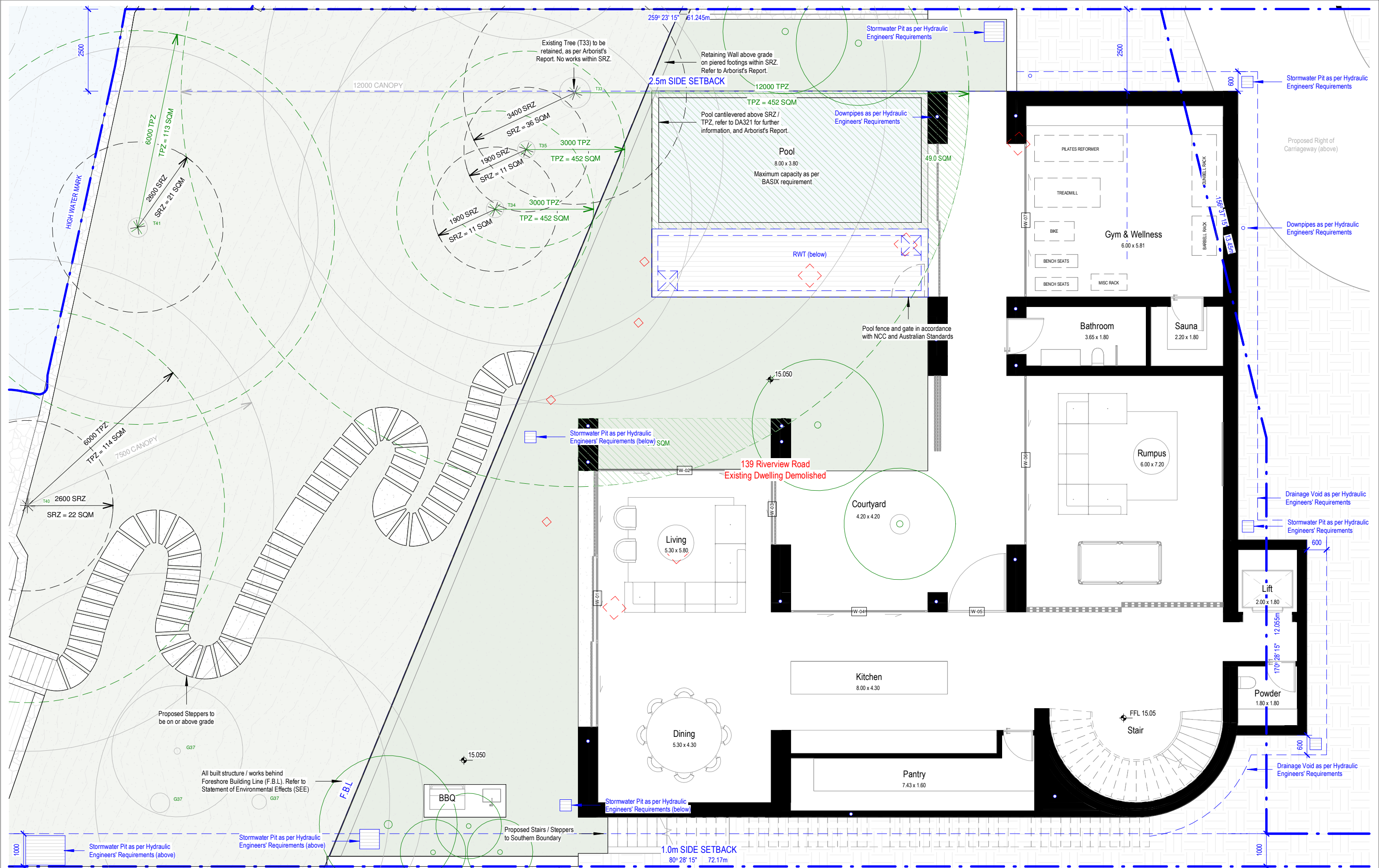
- Pittwater LEP and Pittwater DCP Compliance:**
- Zone: E4 Environmental Living
  - Site Area: 1783.3m<sup>2</sup>
  - FSR: N/A
  - Front Setback: 6.5m
  - Rear Setback: Foreshore Building Line
  - Side Setbacks: 2.5m to one side, 1.0m other side
  - Building Envelope: 3.5m above existing ground level, projected at 45° (slope over 16.7° - on merit basis)
  - Maximum Height: 10m (slope over 16.7°)
  - Landscaped Area: 60% of site area
    - up to 6% of site area can be impervious landscaping
    - Minimum 80m<sup>2</sup> of Private Open Space





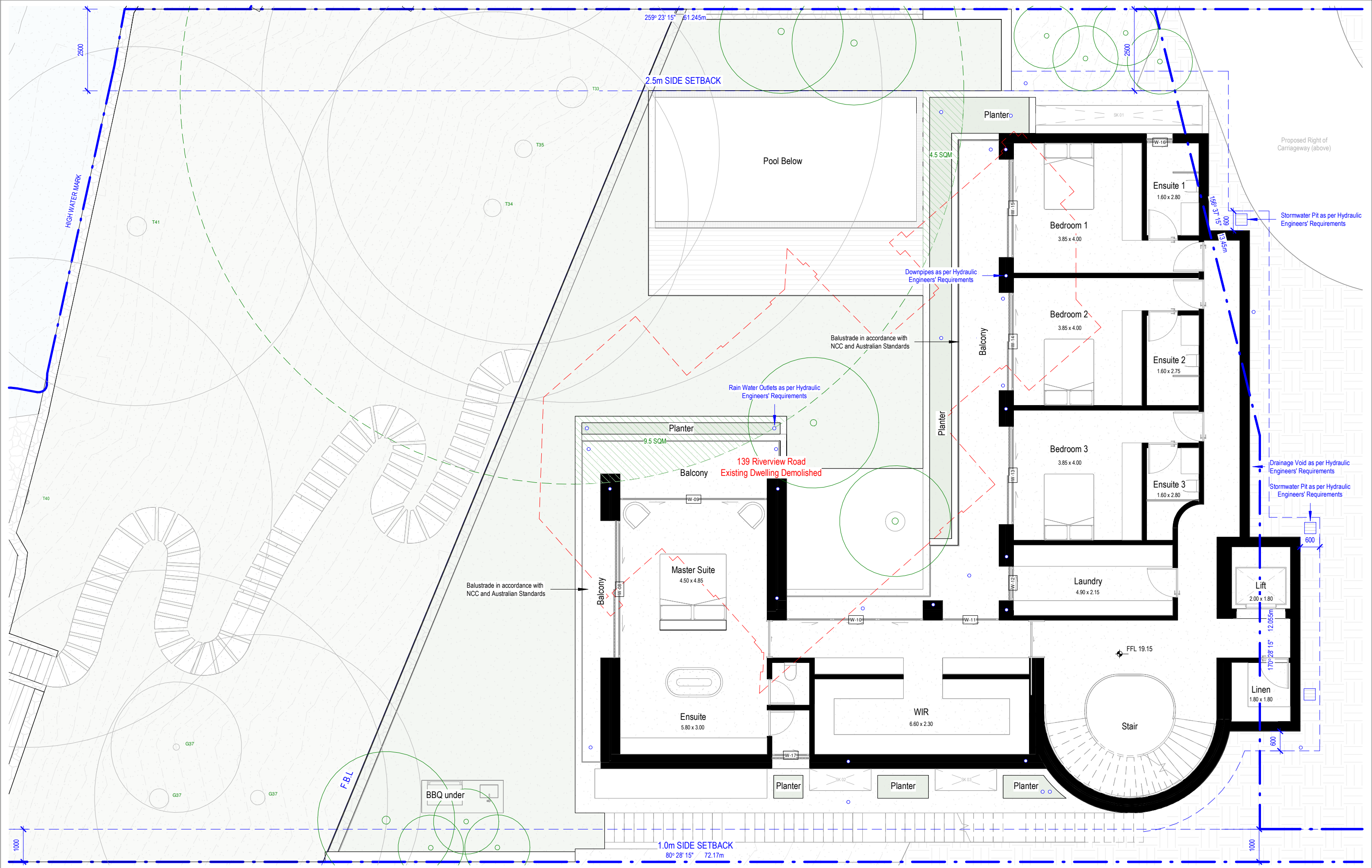


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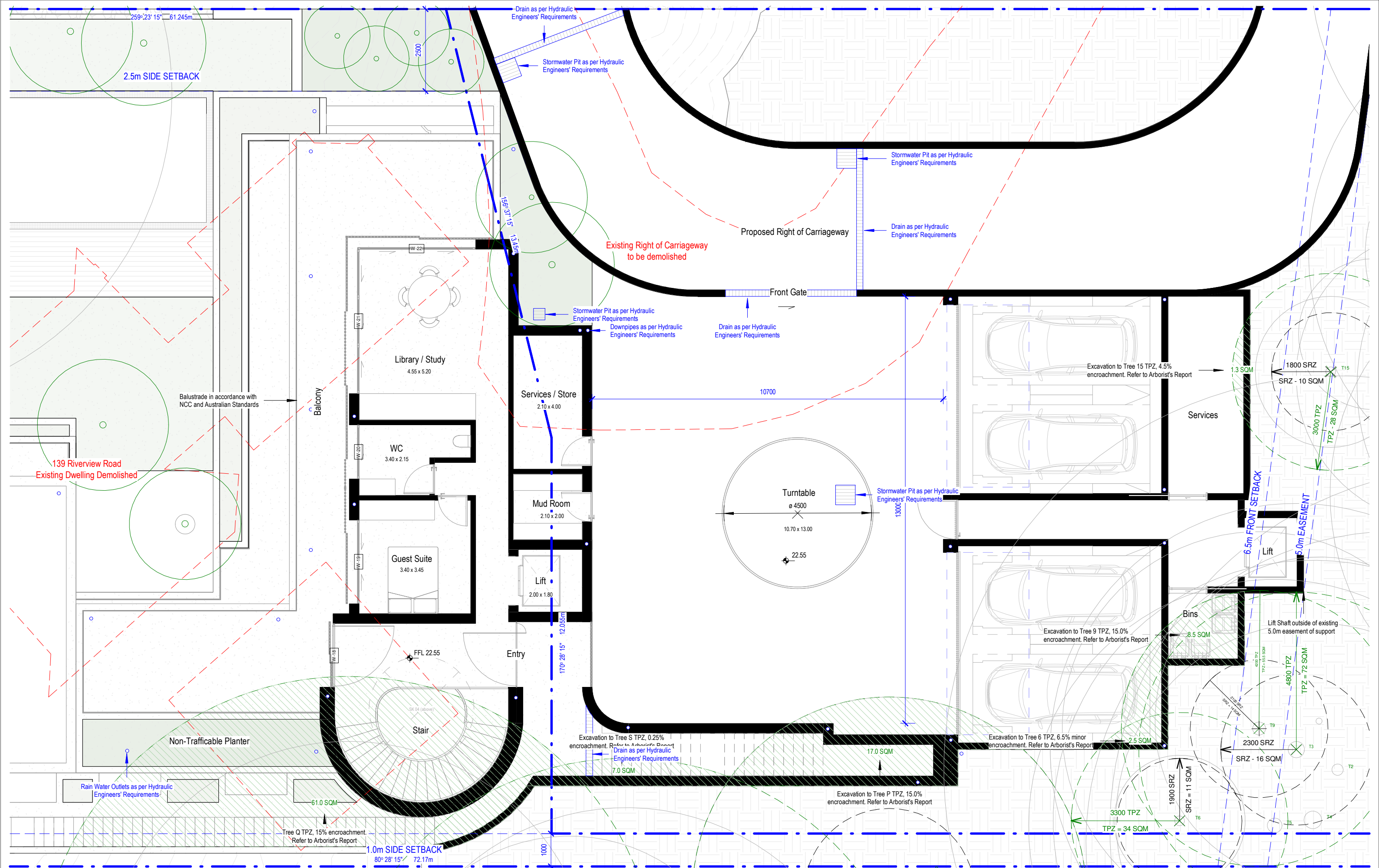
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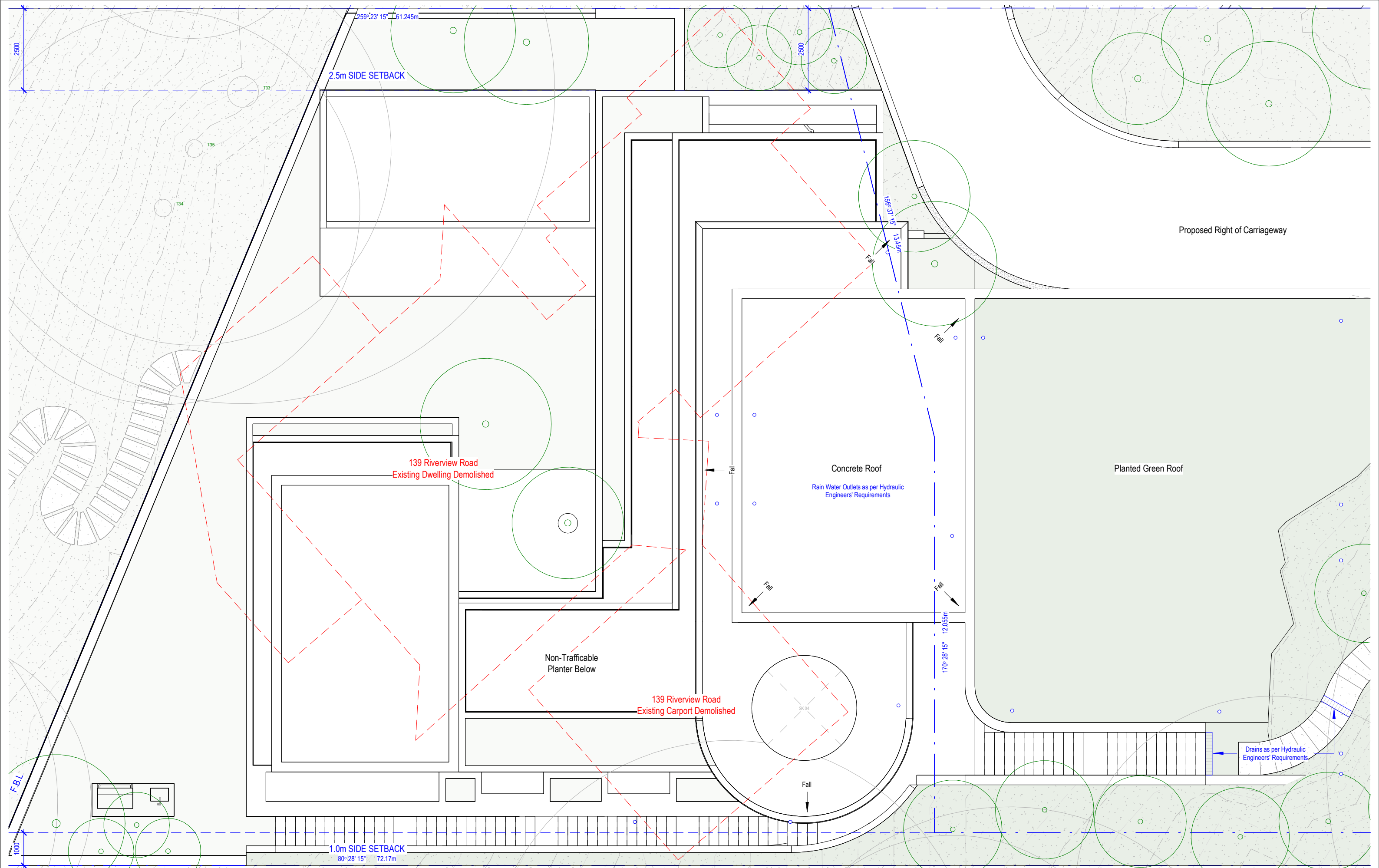
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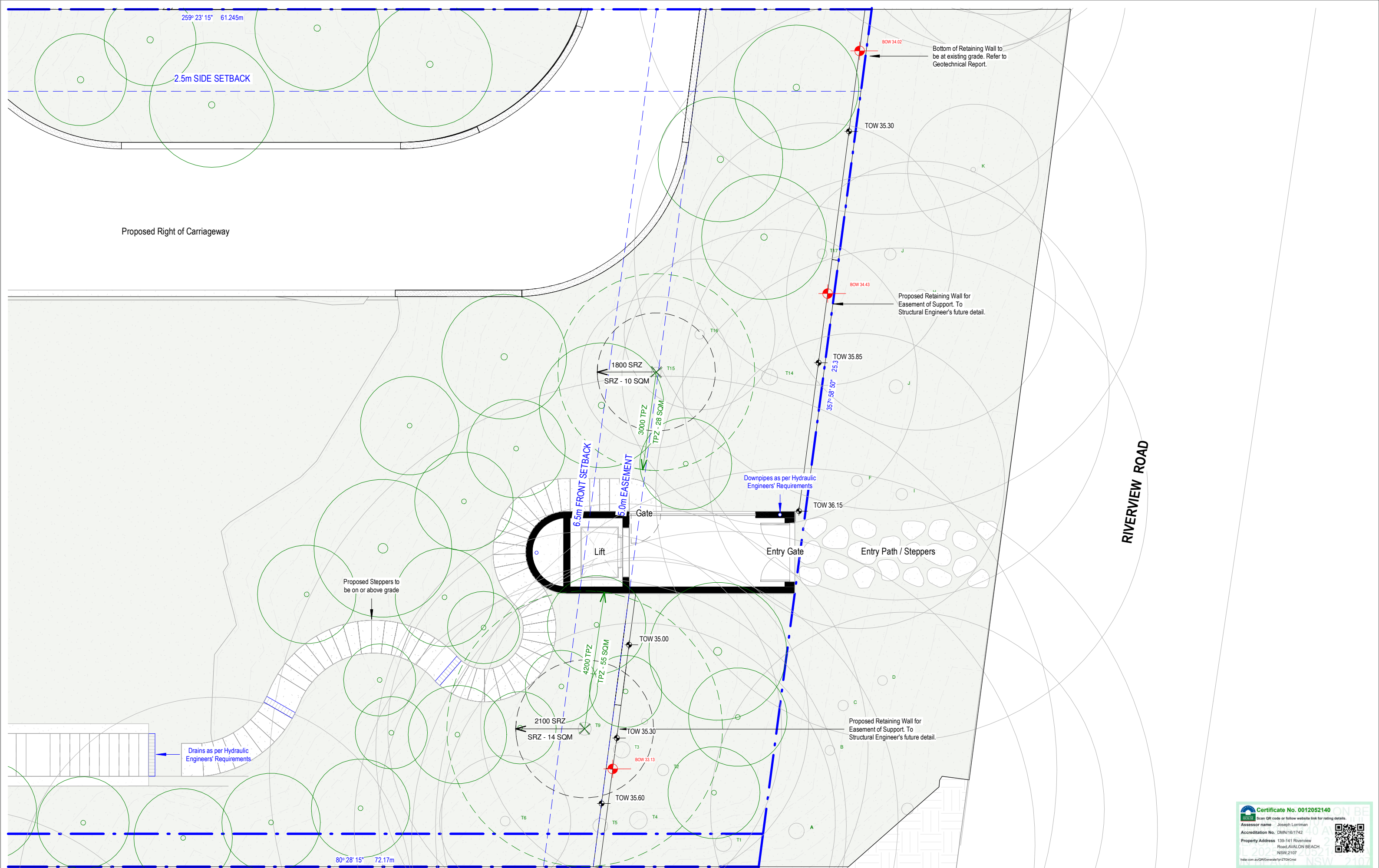
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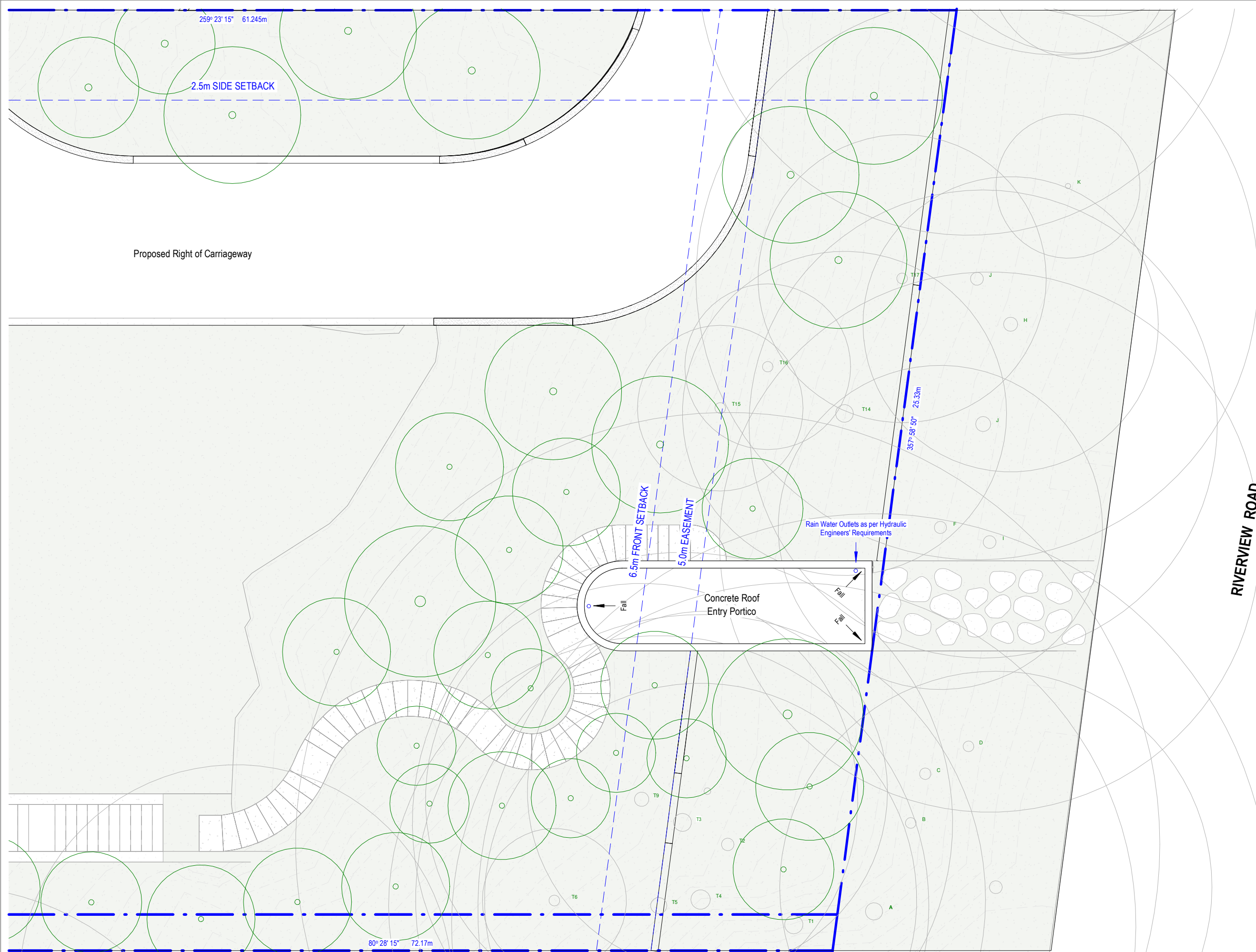
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RIVERVIEW ROAD



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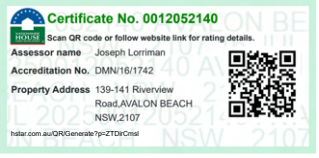
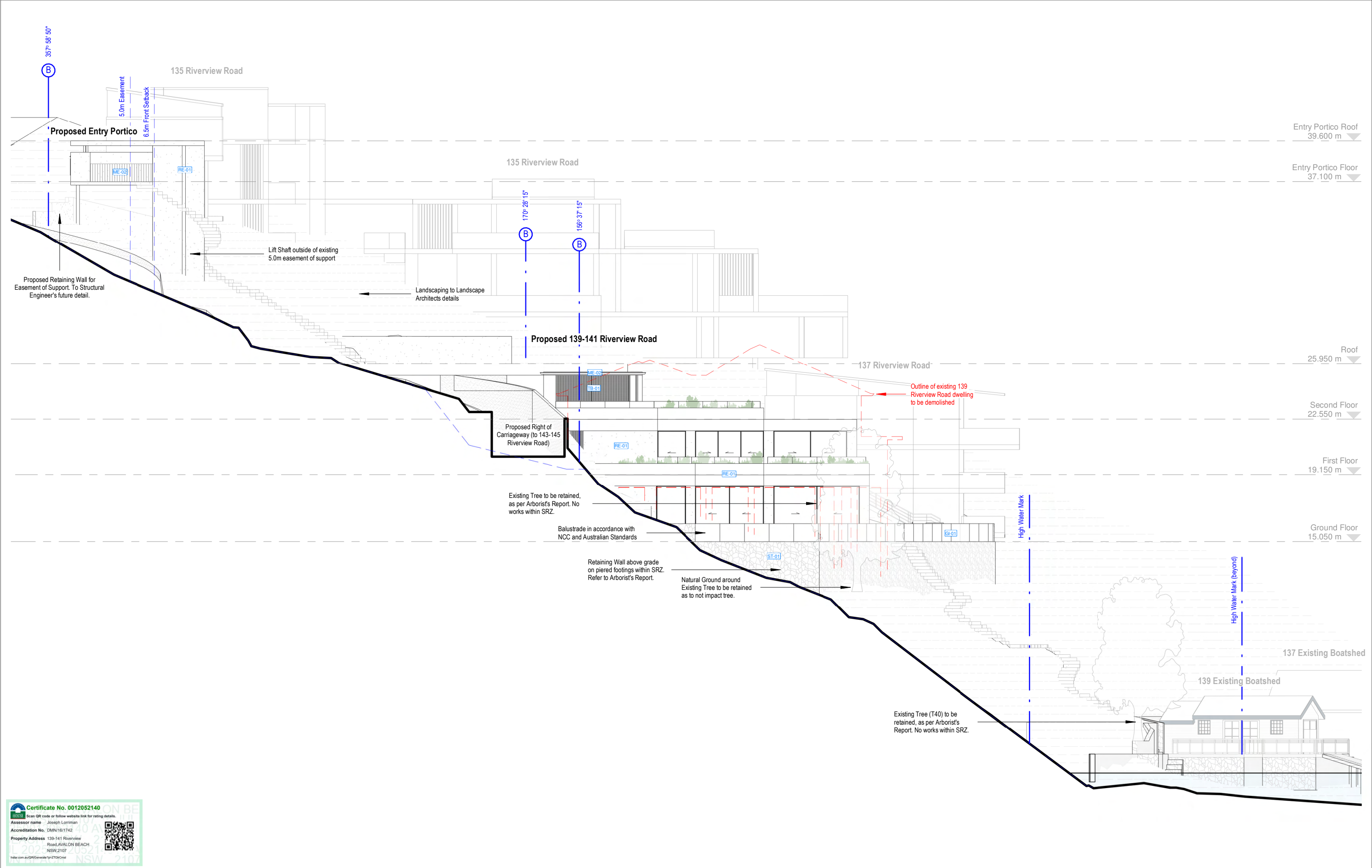
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Client:  
**MMIG Developments Pty Ltd**  
 Drawing Number: **DA107** Issue **1**  
 Date **12/06/2025**

Drawing:  
**Entry Portico Roof Plan**  
 Scale **1:100 @ A3**  
 Drawn by: **BW** Checked by: **EW**



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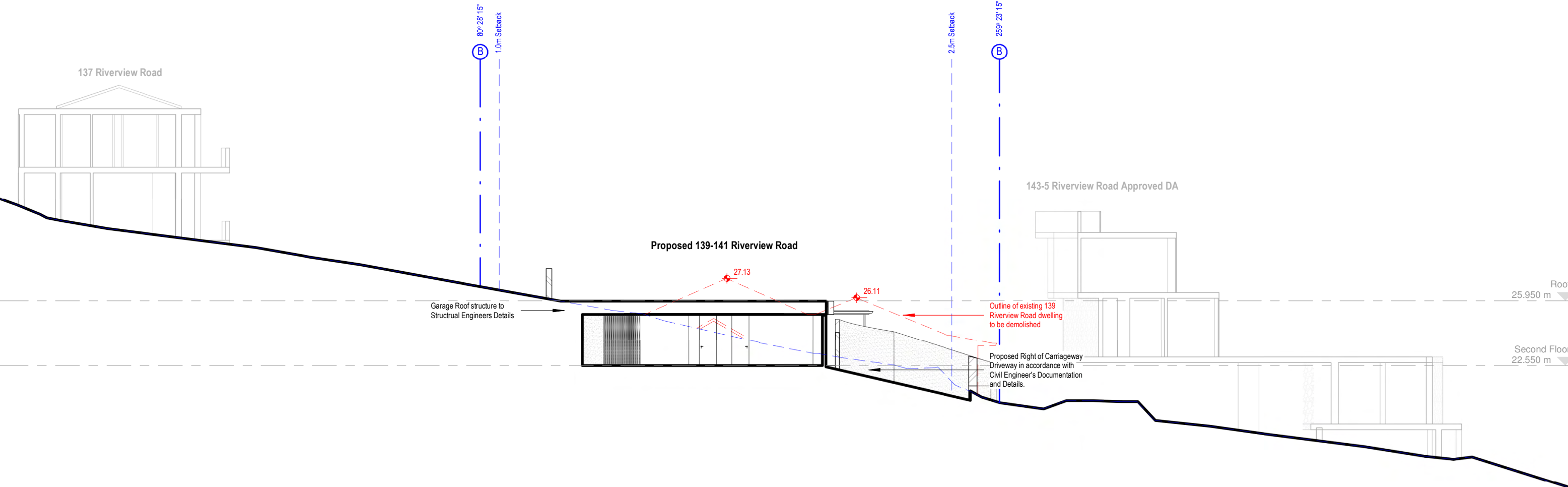
Project:  
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1	Development Application	12/06/2025

Client:  
**MMIG Developments Pty Ltd**  
 Drawing Number: Issue 1  
**DA200**  
 Date 12/06/2025

Drawing:  
**North Elevation**  
 Scale 1:200 @ A3  
 Drawn by: BW Checked by: EW





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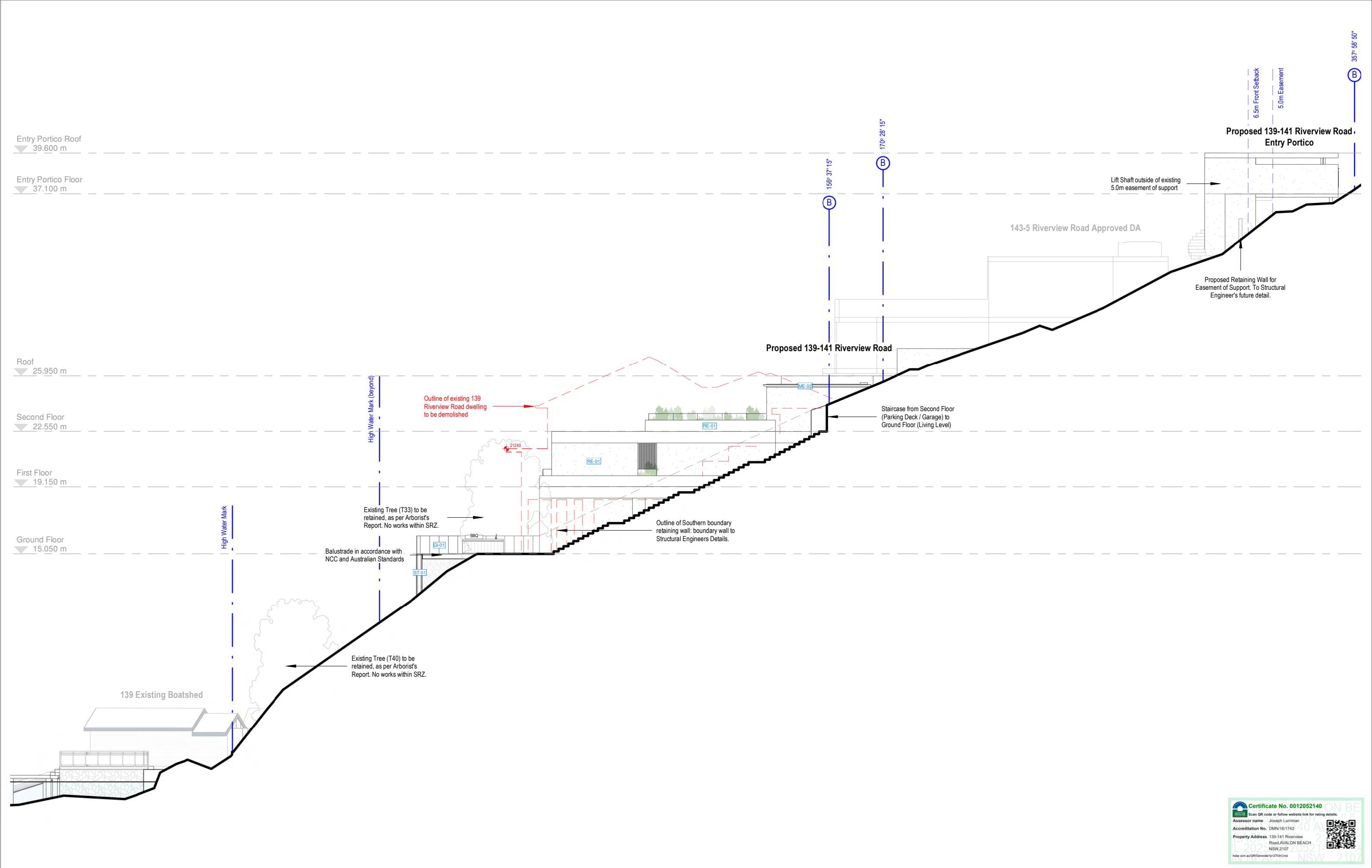
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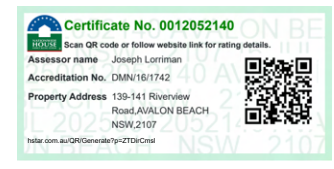
Client:  
**MMIG Developments Pty Ltd**  
 Drawing Number: Issue 1  
**DA201**  
 Date 12/06/2025

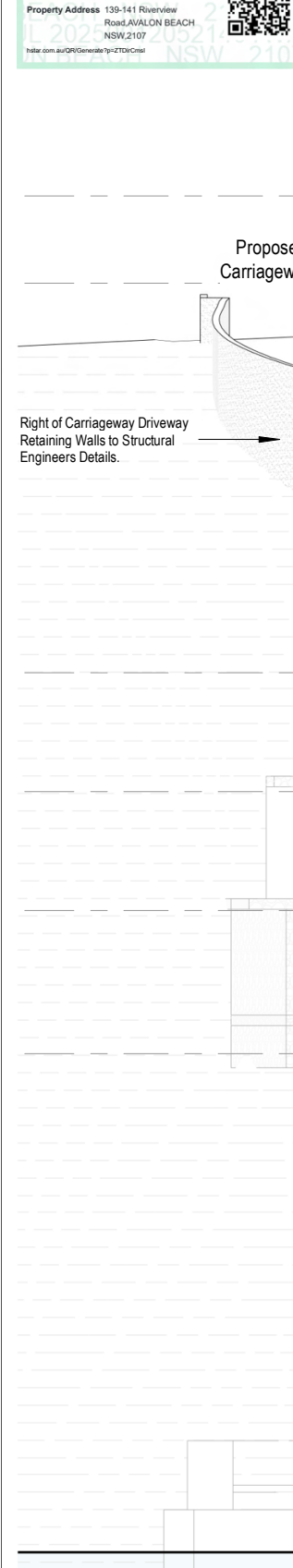
Drawing:  
**East Elevation**  
 Scale 1:200 @ A3  
 Drawn by: BW Checked by: EW

Certificate No. 0012052140  
 Assessor name Joseph Lorrman  
 Accreditation No. DMN161742  
 Property Address 139-141 Riverview Road, AVALON BEACH NSW 2107

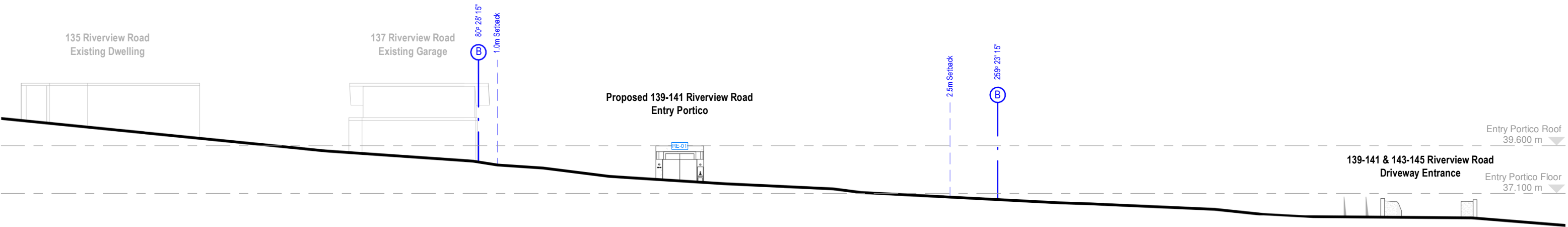


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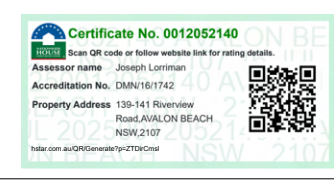
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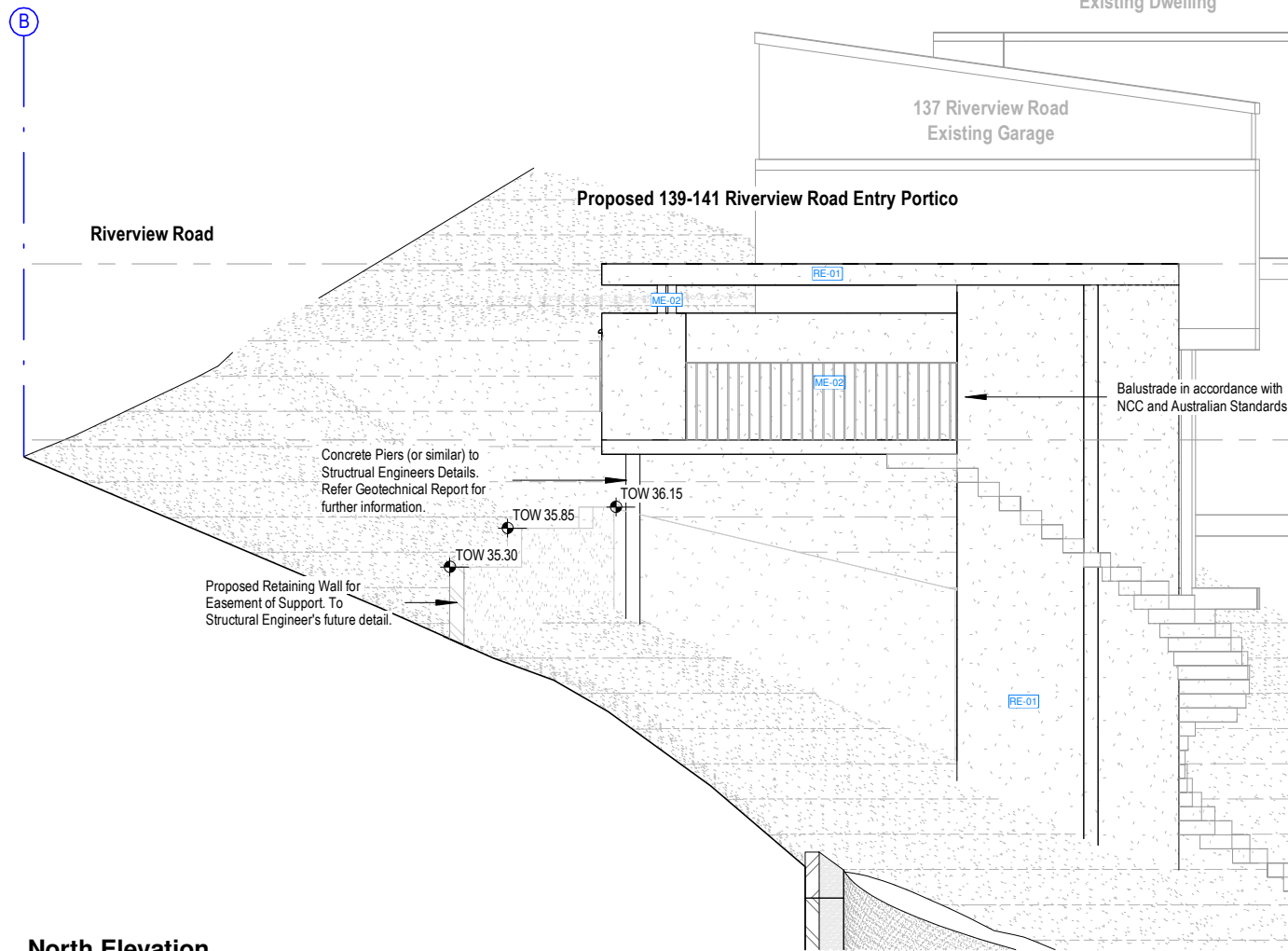
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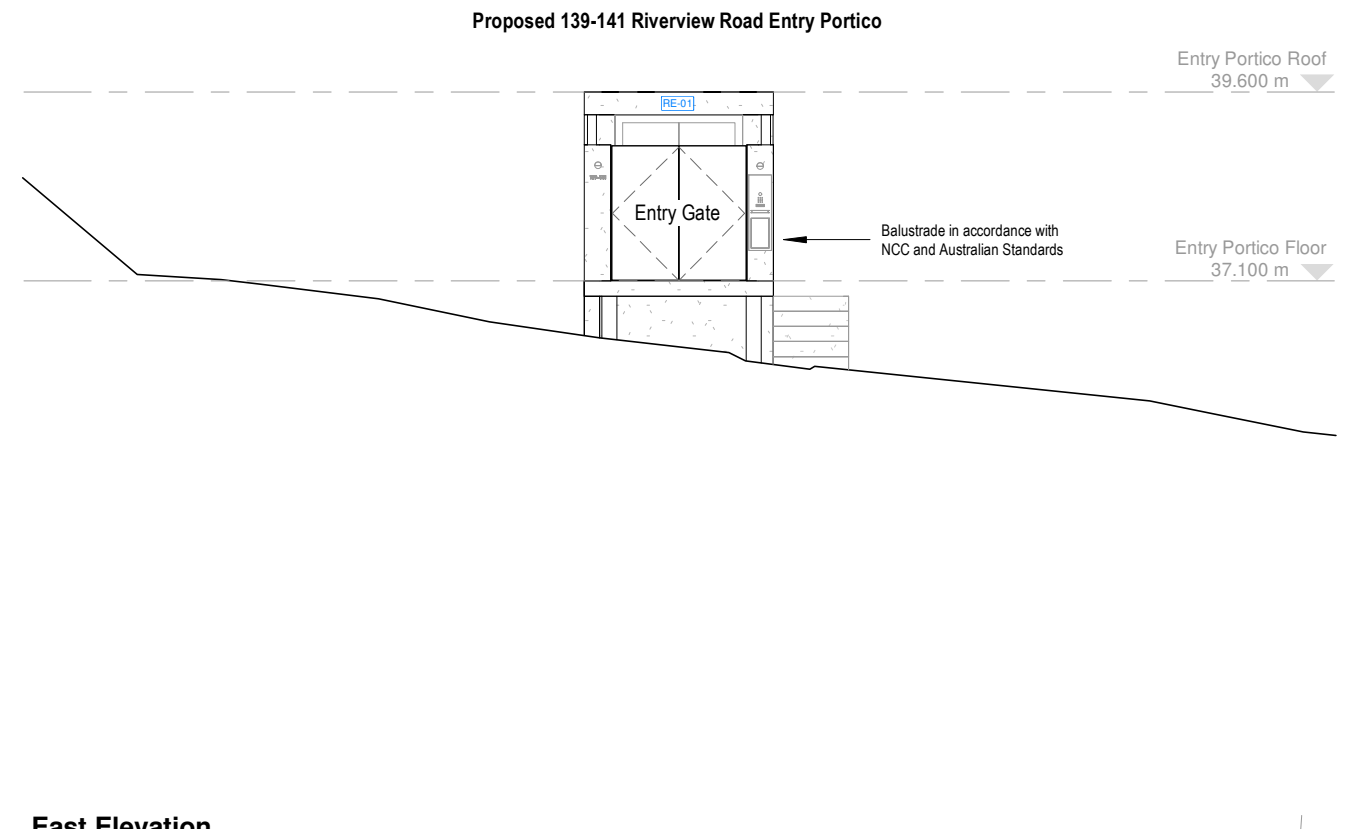
Client:  
**MMIG Developments Pty Ltd**  
 Drawing Number: **DA204** Issue **1**  
 Date **12/06/2025**

Drawing:  
**Street Elevation**  
 Scale **1:200 @ A3**  
 Drawn by: **BW** Checked by: **EW**

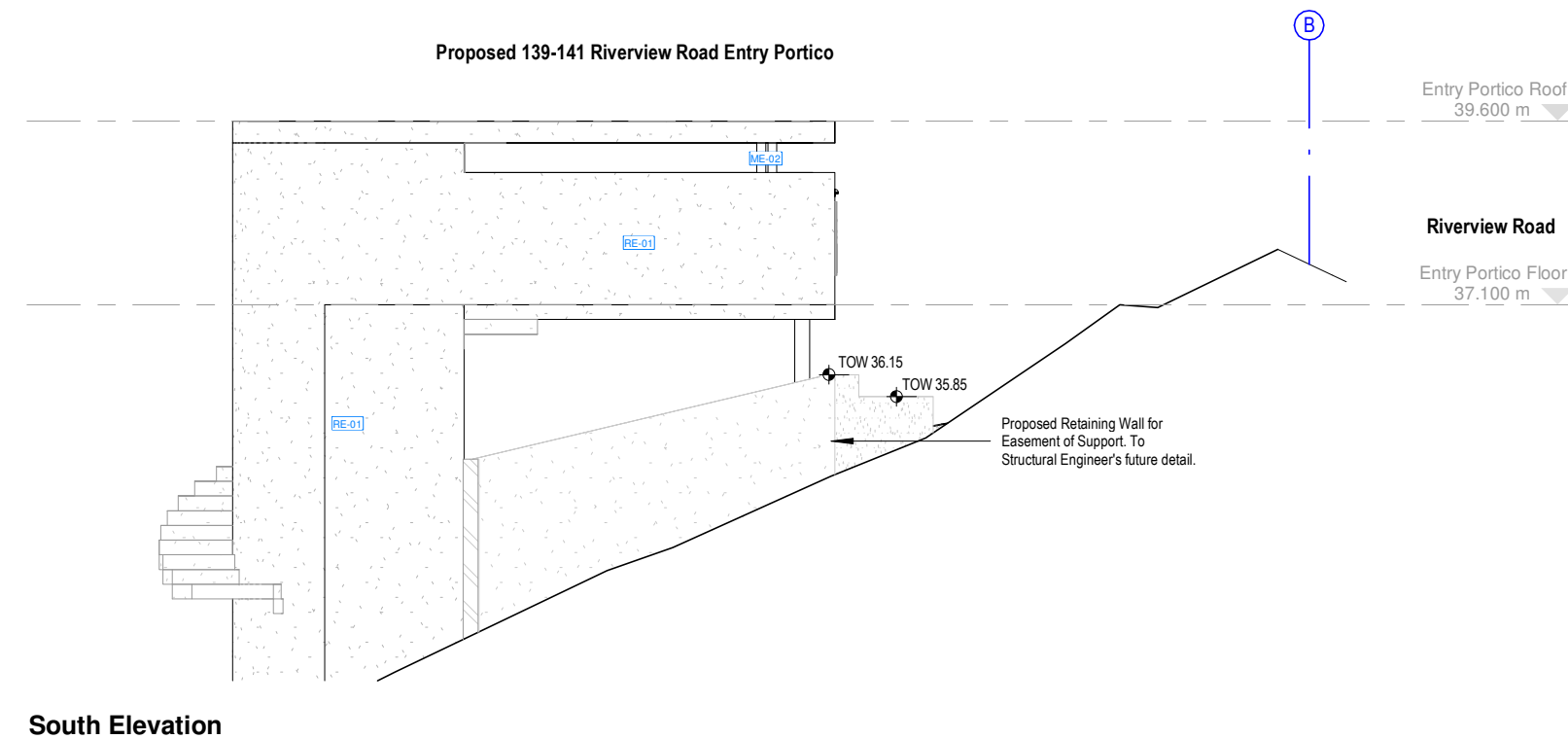




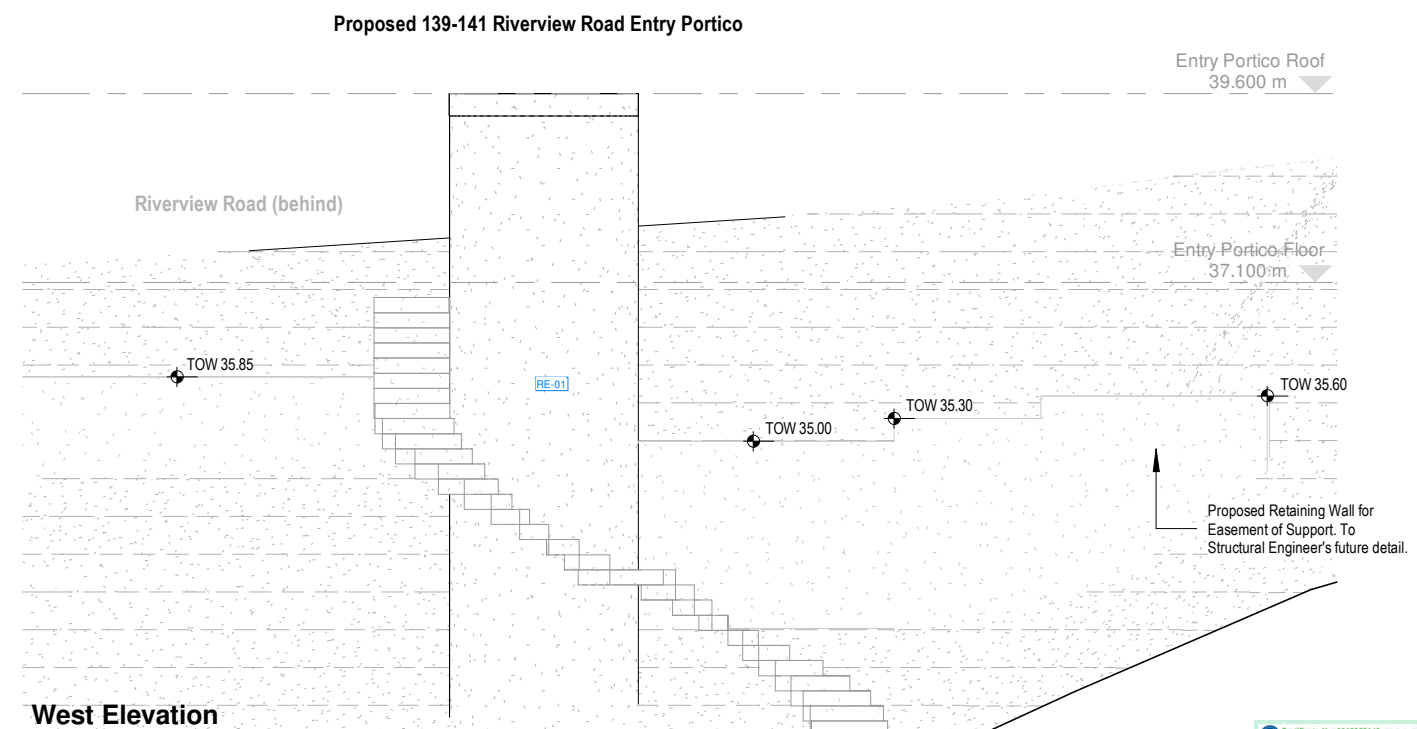
North Elevation



East Elevation



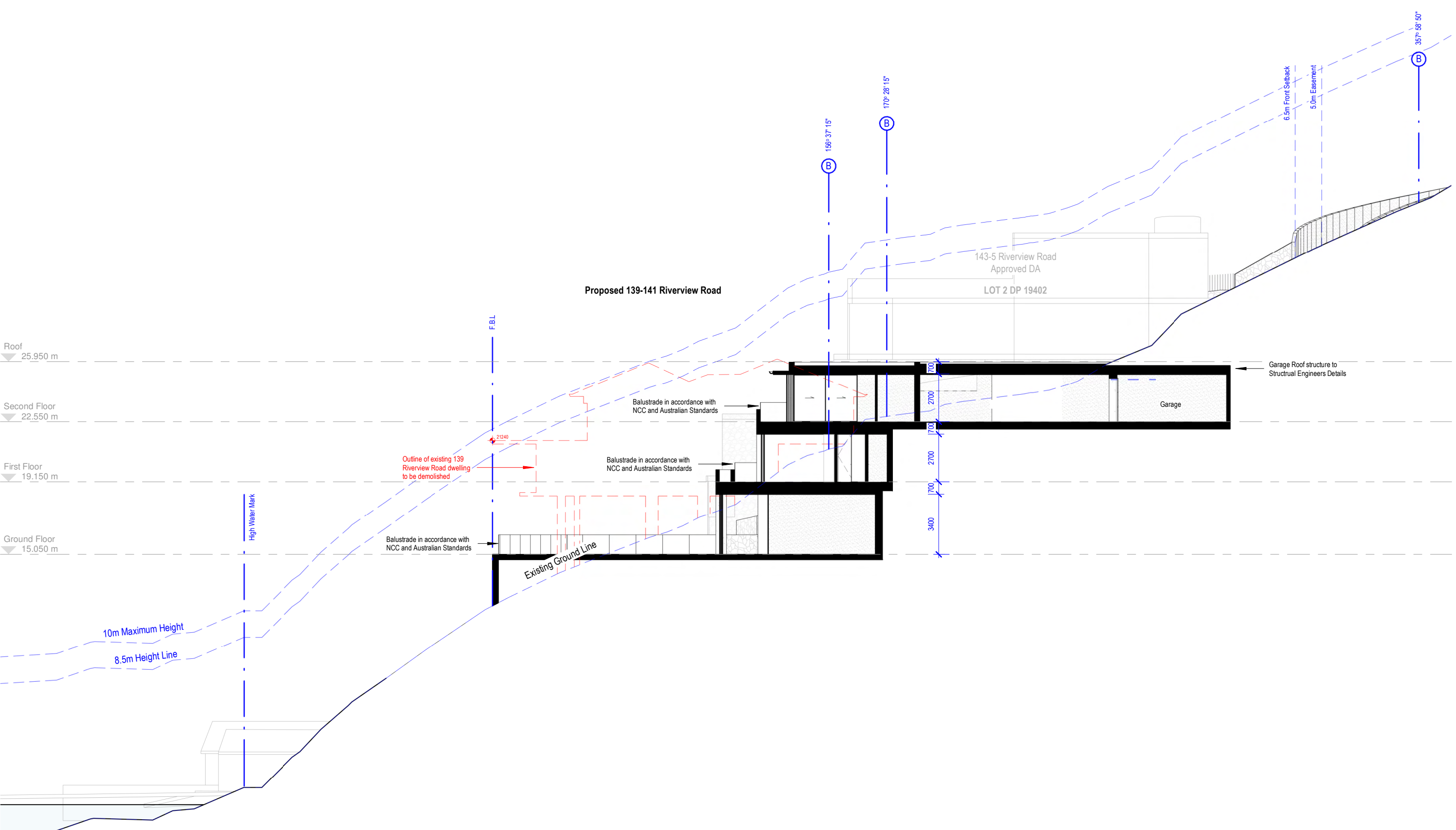
South Elevation



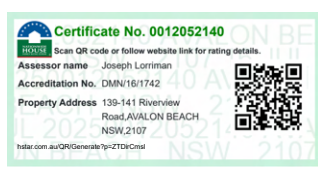
West Elevation

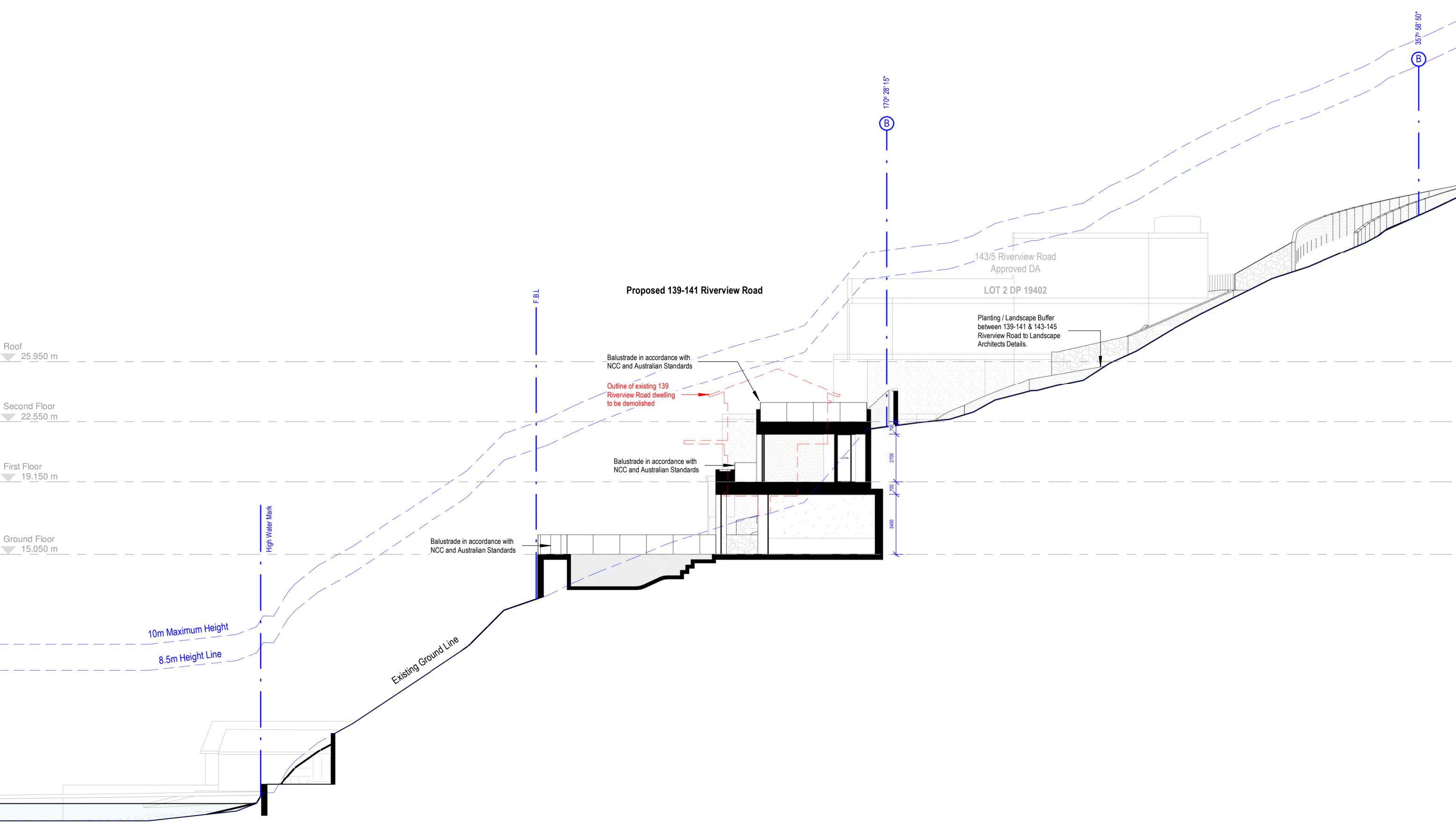
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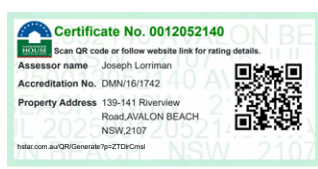
CM Studio Conditions of Use: This Document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission.

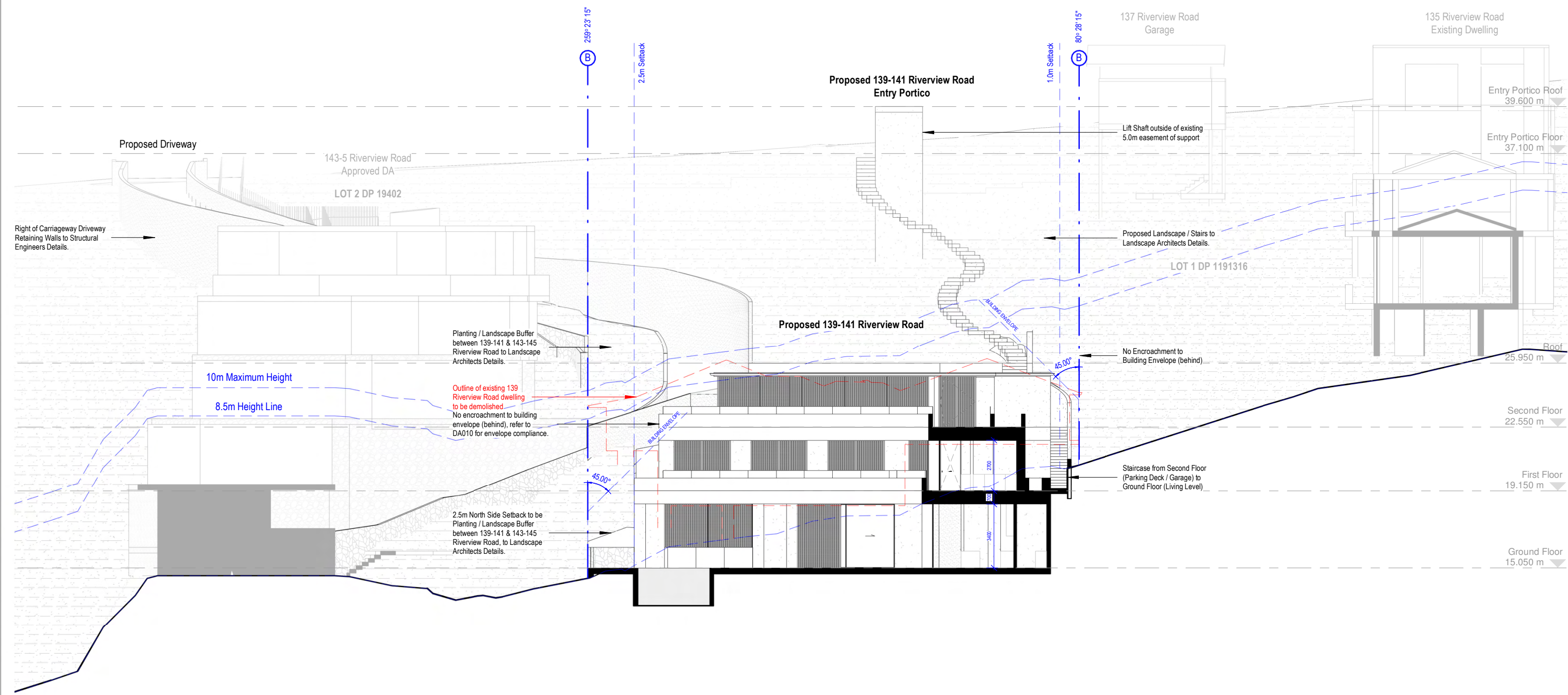
Project:  
**Riverview House II**  
 139-141 Riverview Road, Avalon Beach  
 Project number 2023\_152

Revisions		
No.	Description	Date
1	Development Application	12/06/2025

Client:  
**MMIG Developments Pty Ltd**  
 Drawing Number: Issue 1  
**DA301**  
 Date 12/06/2025

Drawing:  
**Section BB**  
 Scale 1:200 @ A3  
 Drawn by: BW Checked by: EW





\*Height Plane taken from cut - No Encroachment to Height Plane\*



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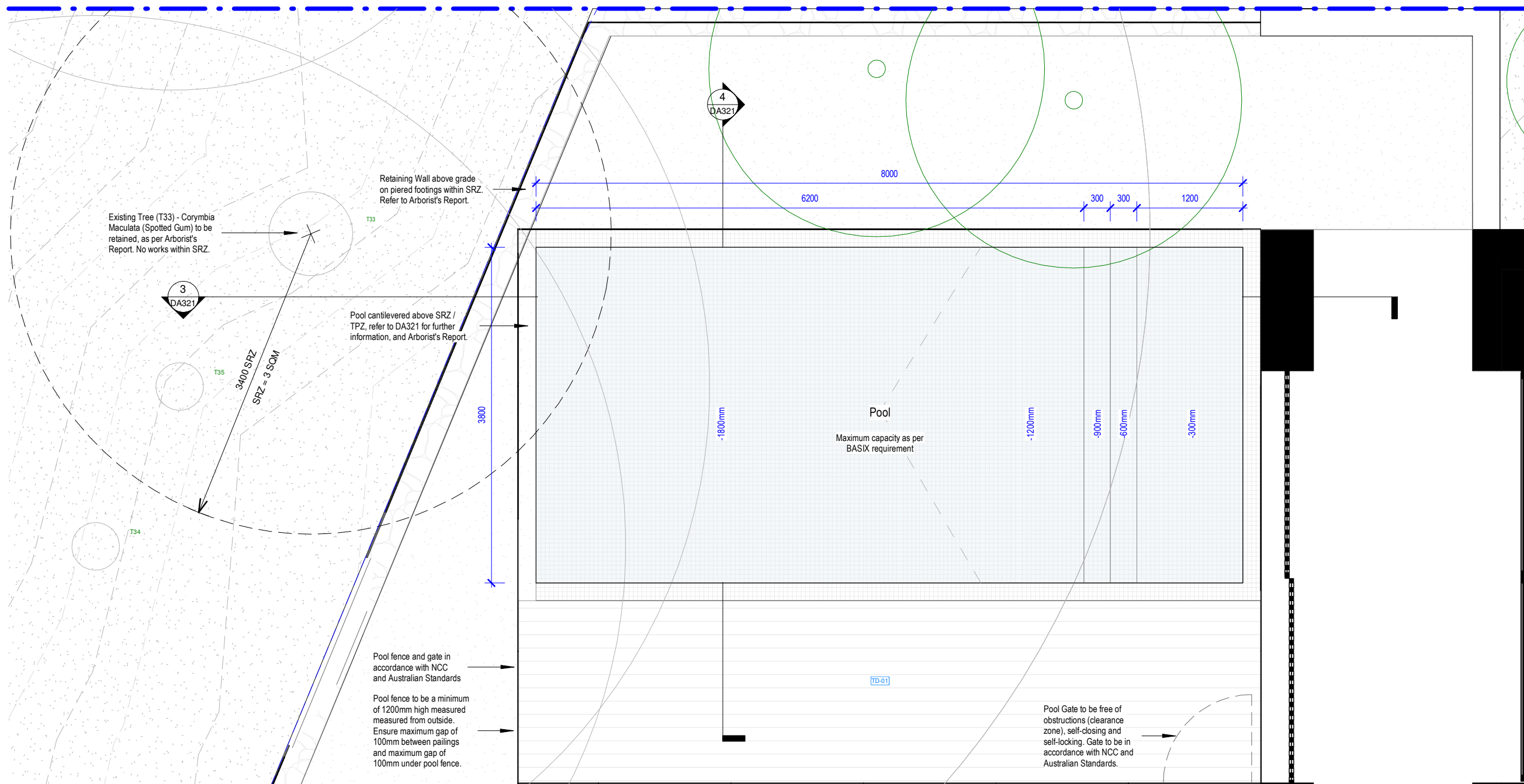
Project:  
**Riverview House II**  
 139-141 Riverview Road, Avalon Beach  
 Project number 2023\_152

Revisions		
No.	Description	Date
1	Development Application	12/06/2025

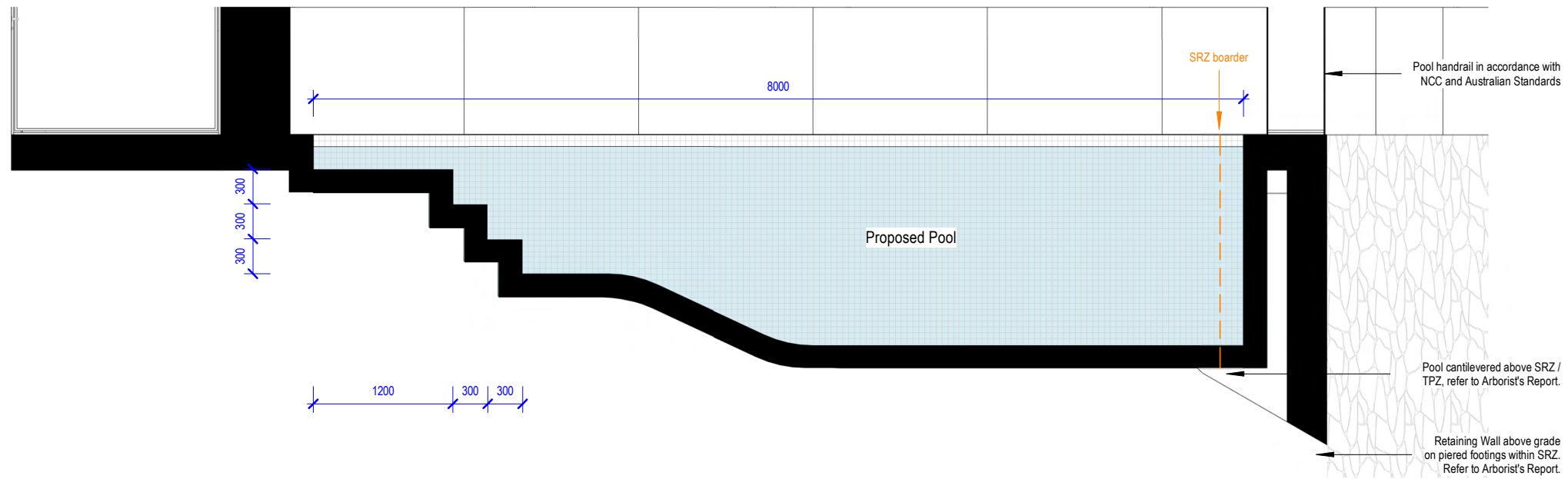
Client:  
**MMIG Developments Pty Ltd**  
 Drawing Number: Issue 1  
**DA302**  
 Date 12/06/2025

Drawing:  
**Section CC**  
 Scale 1:200 @ A3  
 Drawn by: BW Checked by: EW

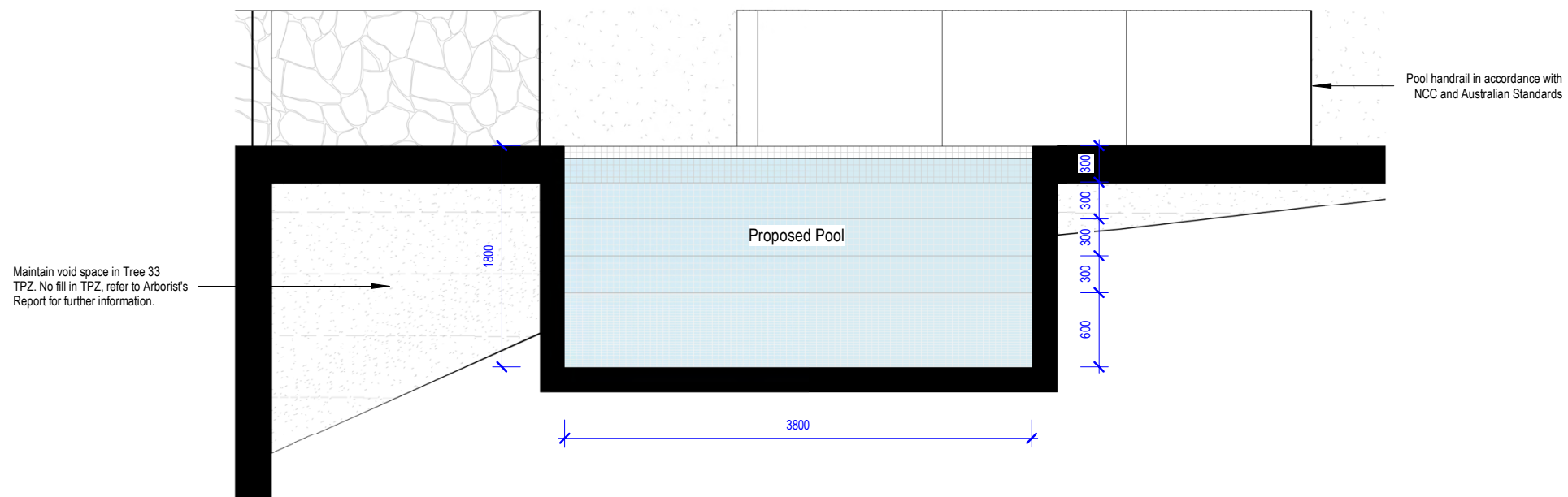




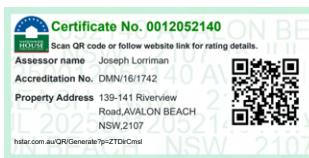
Revisions		
No.	Description	Date
1	Development Application	12/06/2025



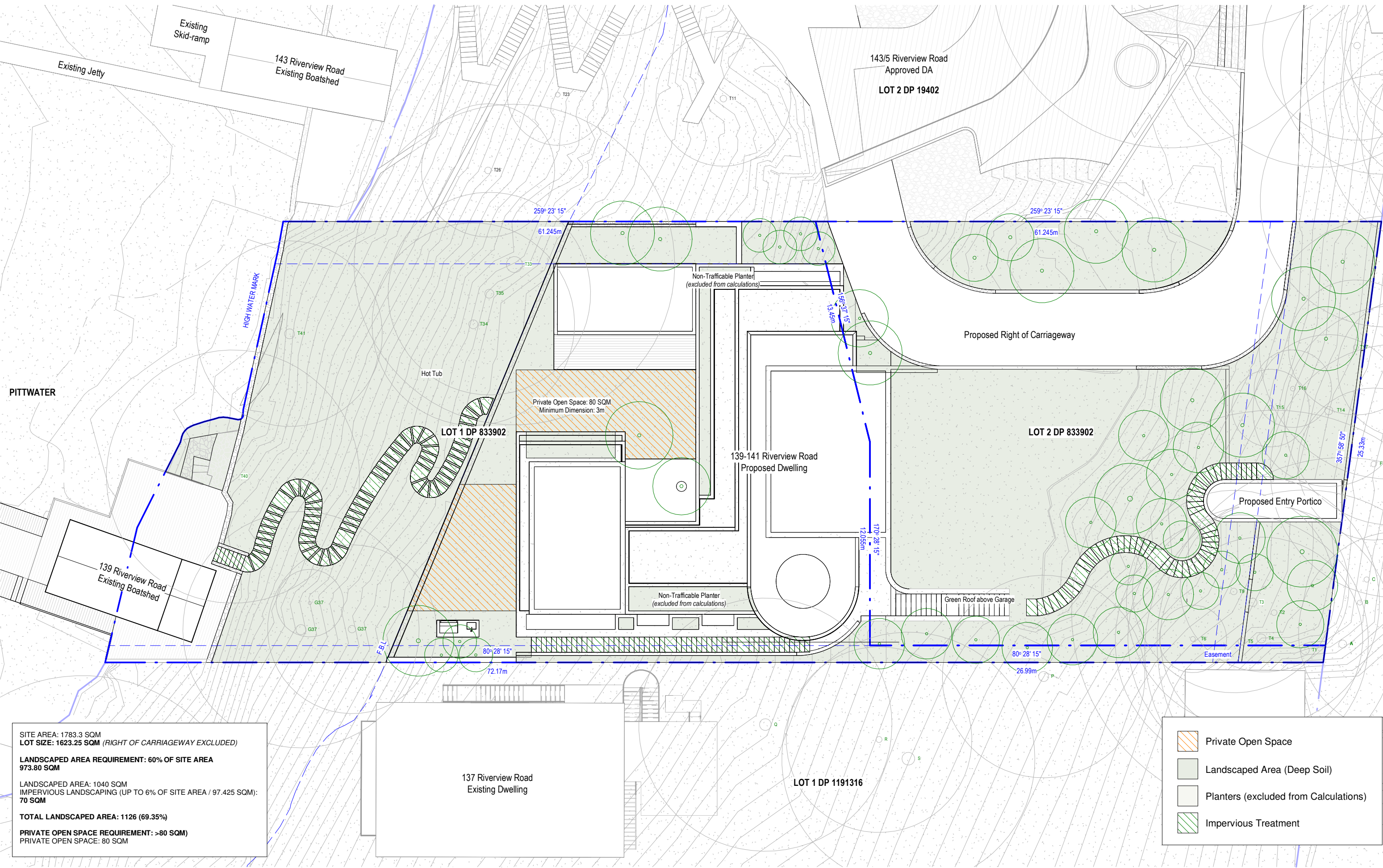
1. Long Pool Section



2. Short Pool Section



Revisions		
No.	Description	Date
1	Development Application	12/06/2025



**SITE AREA:** 1783.3 SQM  
**LOT SIZE:** 1623.25 SQM (RIGHT OF CARRIAGEWAY EXCLUDED)  
**LANDSCAPED AREA REQUIREMENT:** 60% OF SITE AREA  
**973.80 SQM**  
**LANDSCAPED AREA:** 1040 SQM  
**IMPERVIOUS LANDSCAPING (UP TO 6% OF SITE AREA / 97.425 SQM):**  
**70 SQM**  
**TOTAL LANDSCAPED AREA:** 1126 (69.35%)  
**PRIVATE OPEN SPACE REQUIREMENT: >80 SQM)**  
**PRIVATE OPEN SPACE:** 80 SQM

- Private Open Space
- Landscaped Area (Deep Soil)
- Planters (excluded from Calculations)
- Impervious Treatment

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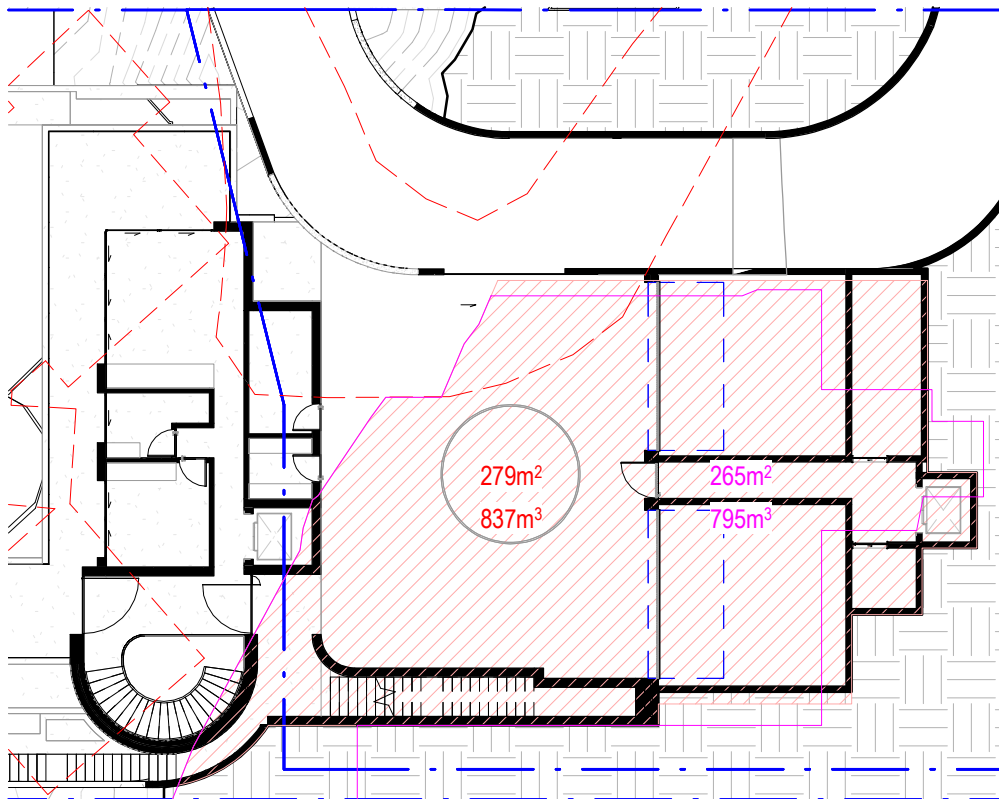
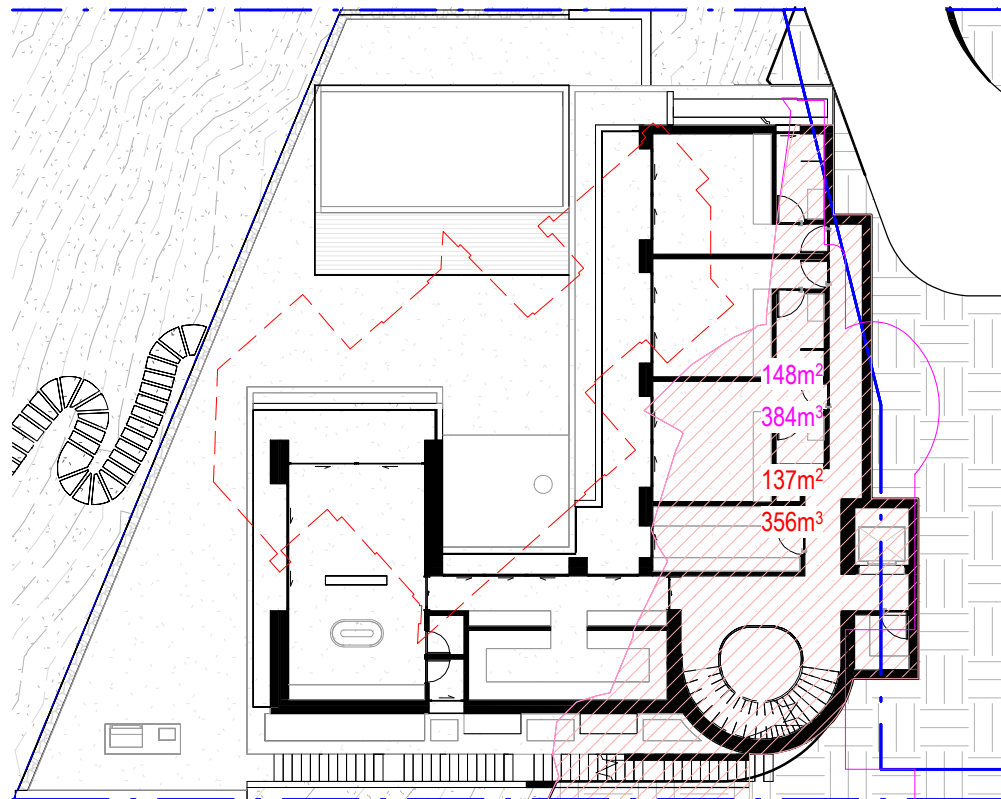
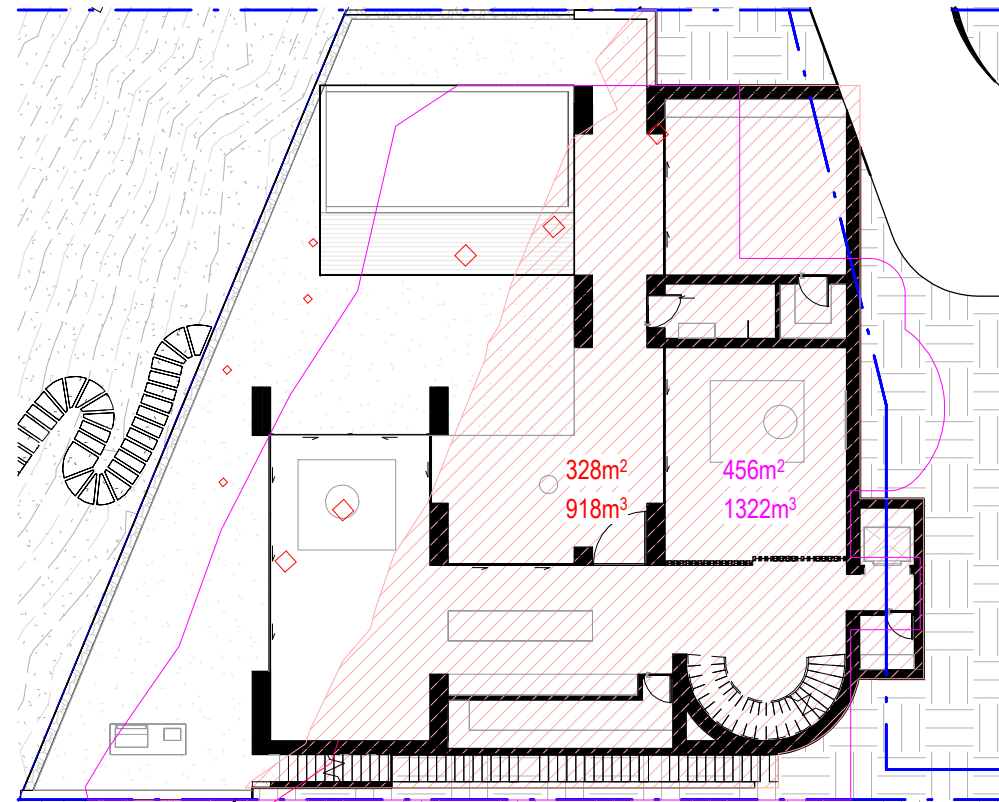
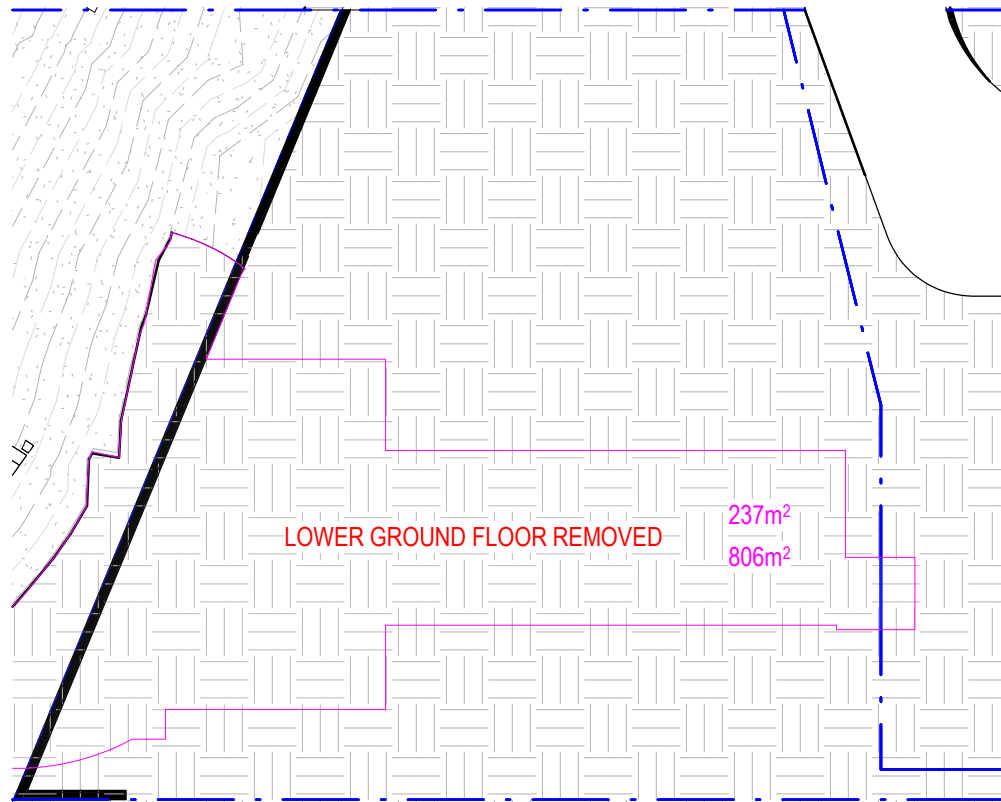
**Project:**  
**Riverview House II**  
 139-141 Riverview Road, Avalon Beach  
 Project number **2023\_152**

Revisions		
No.	Description	Date
1	Development Application	12/06/2025

**Client:**  
**MMIG Developments Pty Ltd**  
 Drawing Number: **DA410** Issue **1**  
 Date **12/06/2025**



**Drawing:**  
**Landscape Compliance Plan**  
 Scale **1:200 @ A3**  
 Drawn by: **BW** Checked by: **EW**



**PROPOSED DA**

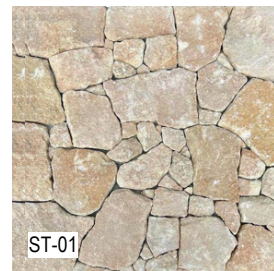
Proposed Excavation 3307m<sup>3</sup>

**REVISED DA**

Revised Excavation 2111m<sup>3</sup>

Certificate No. 0012052140  
 Assessor name: Joseph Lorrinan  
 Accreditation No. DMN16/1742  
 Property Address: 139-141 Riverview Road, AVALON BEACH, NSW 2107  
 L 2025 2052140

Revisions		
No.	Description	Date
1	Development Application	12/06/2025



Stone Cladding



Copper / Bronze Metalworks



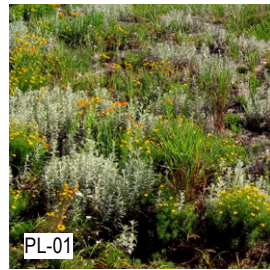
Timber Windows & Doors



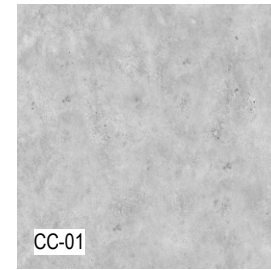
Timber Decking



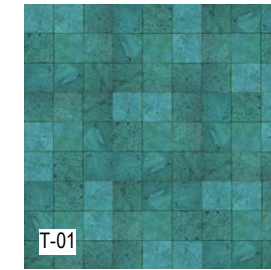
Rammed Earth / Earthy Tone Rendered Wall



Non-Trafficable Planter



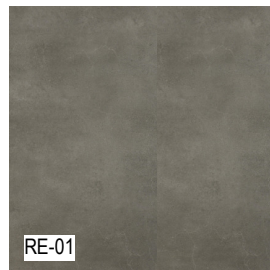
Concrete



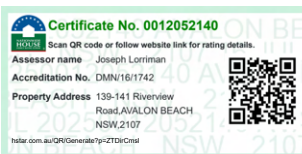
Pool Tile



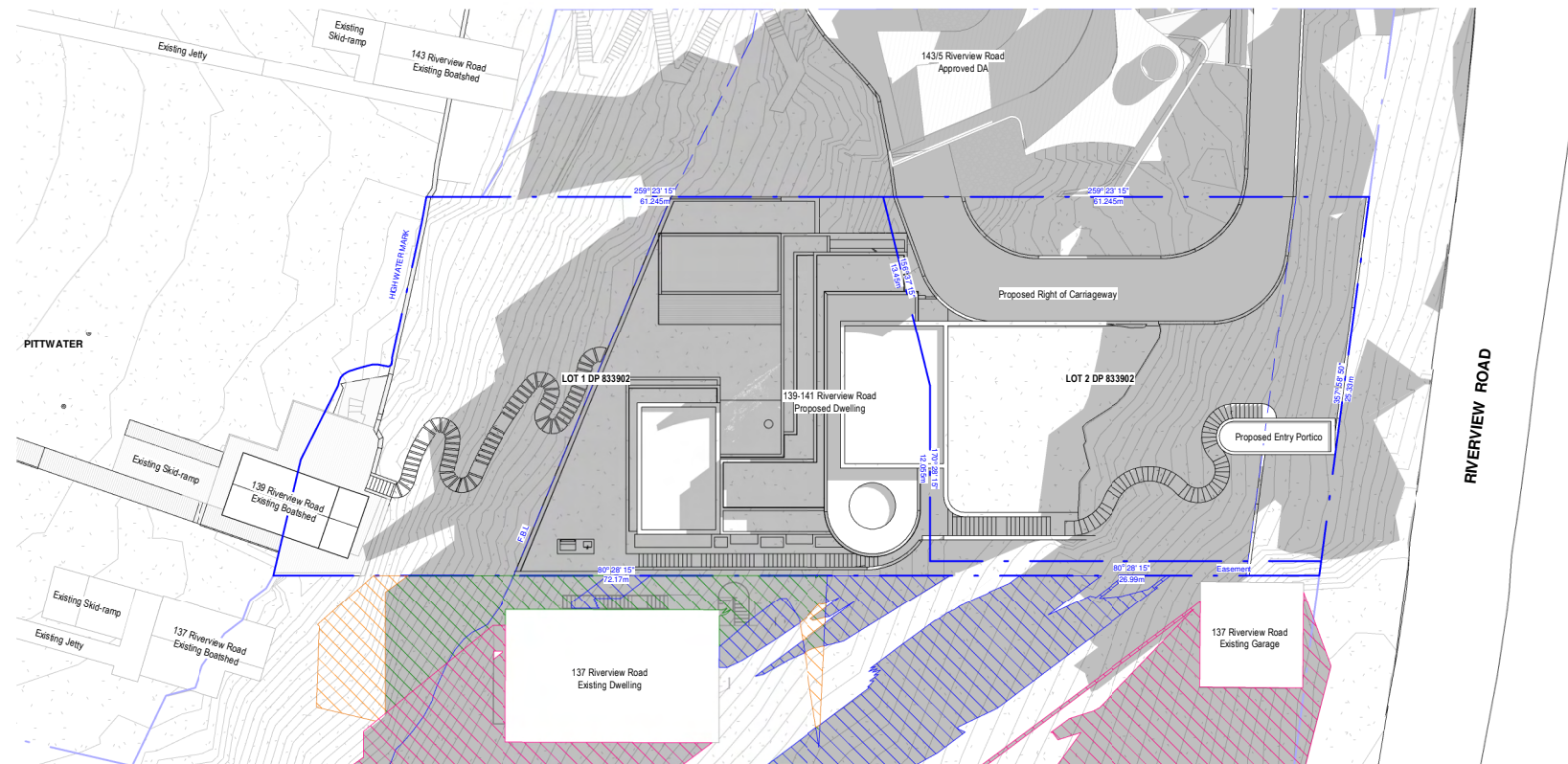
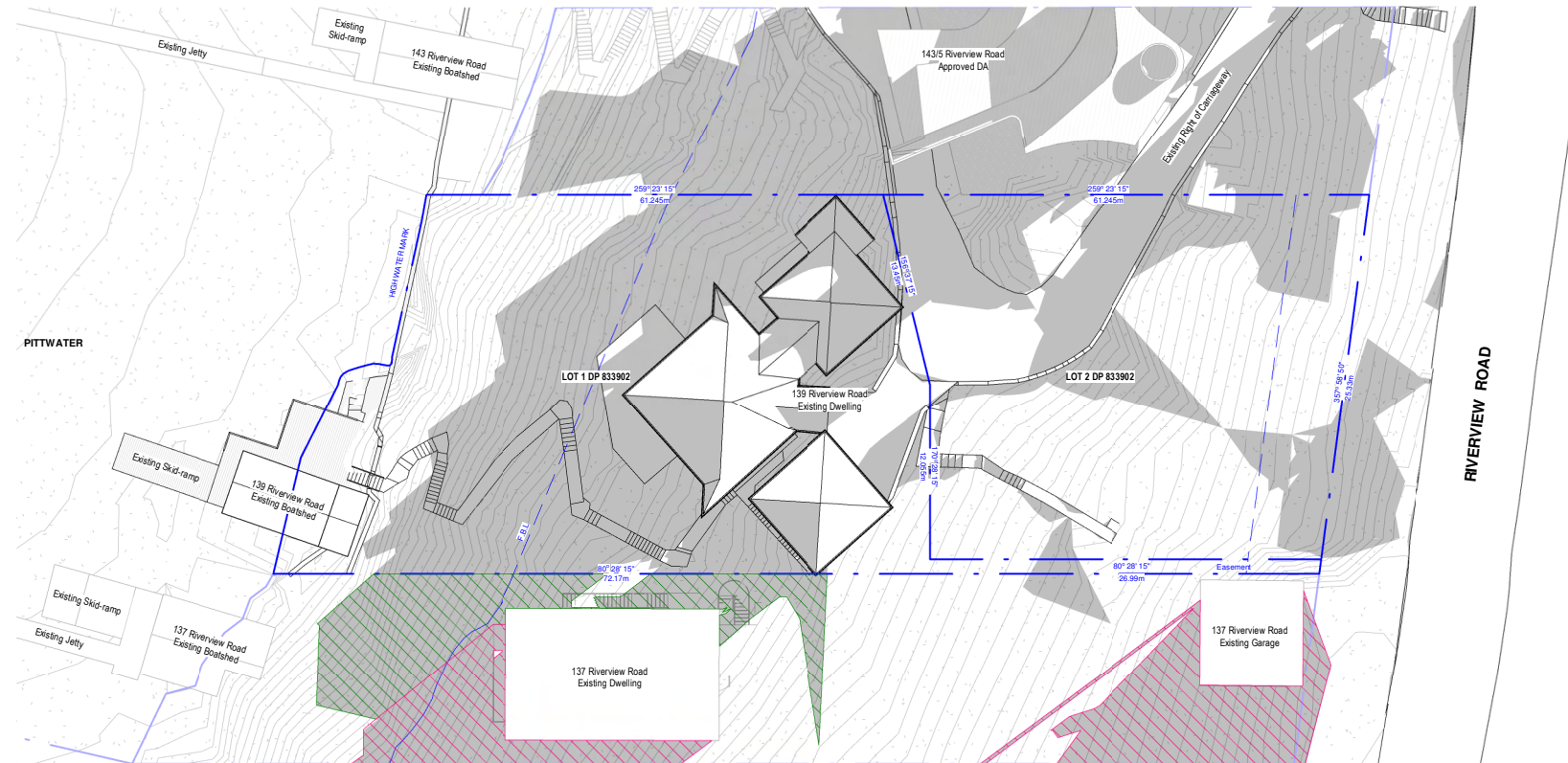
Glazing (as per BASIX)



External Render (Retaining Wall)



Revisions		
No.	Description	Date
1	Development Application	12/06/2025



Neighbour Shadow  
 Existing Shadow  
 Additional Shadow  
 Reduced Shadow

**Certificate No. 0012052140**  
 Scan QR code or follow website link for rating details.  
 Assessor name: Joseph Lummis  
 Accreditation No. DBM/161742  
 Property Address: 139-141 Riverview Road, AVALON BEACH NSW, 2107

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Project: **Riverview House II**

139-141 Riverview Road, Avalon Beach

Project number **2023\_152**

Revisions		
No.	Description	Date
1	Development Application	12/06/2025

Client: **MMIG Developments Pty Ltd**

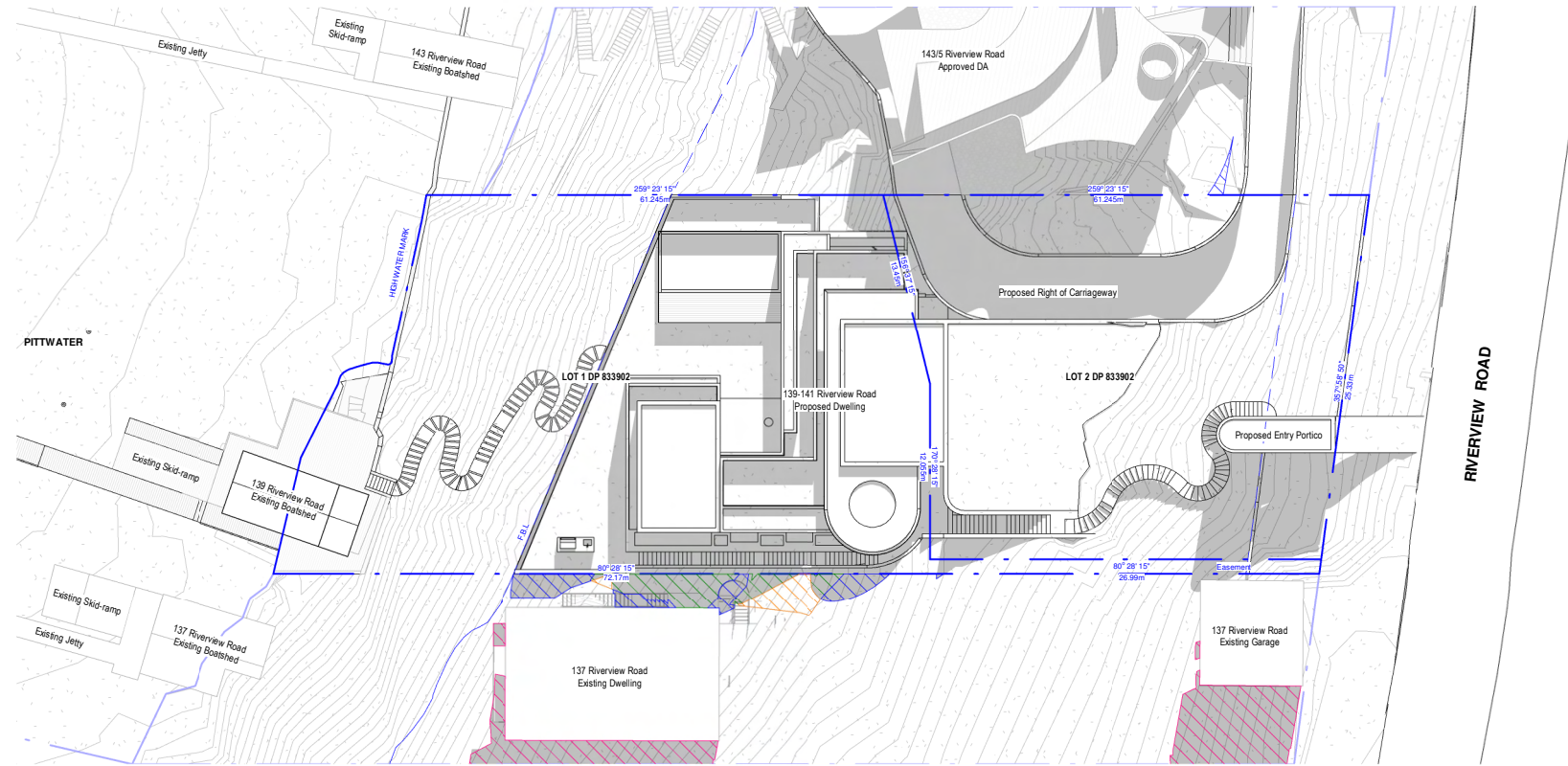
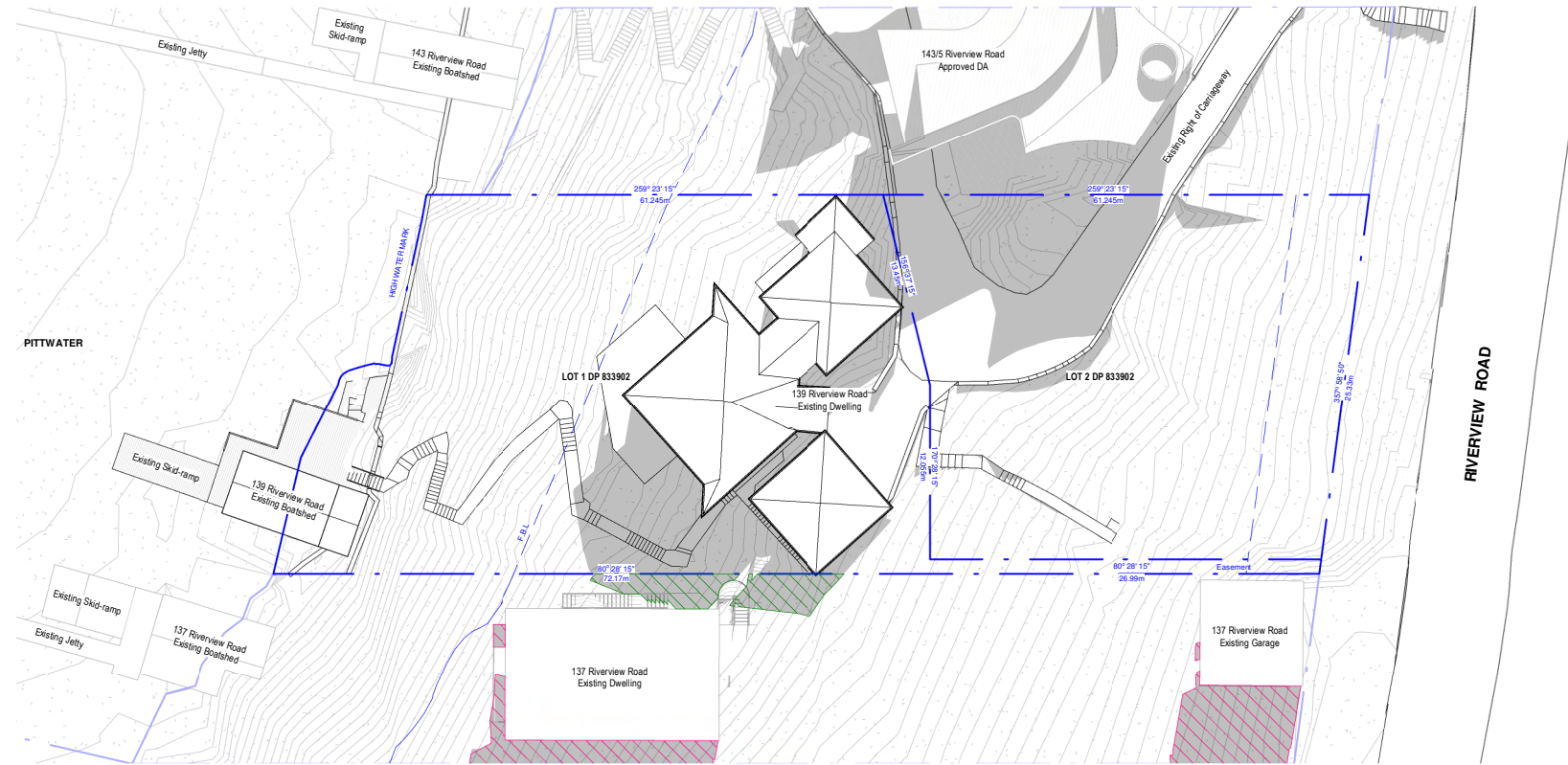
Drawing Number: **DA600** Issue **1**

Date: **12/06/2025**

Drawing: **Shadow Diagram - 21 June 9am**

Scale: **1:500 @ A3**

Drawn by: **BW** Checked by: **EW**



Neighbour Shadow  
 Existing Shadow  
 Additional Shadow  
 Reduced Shadow

**Certificate No. 0012052140**  
 Scan QR code or follow website link for rating details.  
 Assessor name: Joseph Lottman  
 Accreditation No. DA/N16/1742  
 Property Address: 139-141 Riverview Road, AVALON BEACH, NSW, 2107  


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Project: **Riverview House II**

139-141 Riverview Road, Avalon Beach

Project number **2023\_152**

Revisions		
No.	Description	Date
1	Development Application	12/06/2025

Client: **MMIG Developments Pty Ltd**

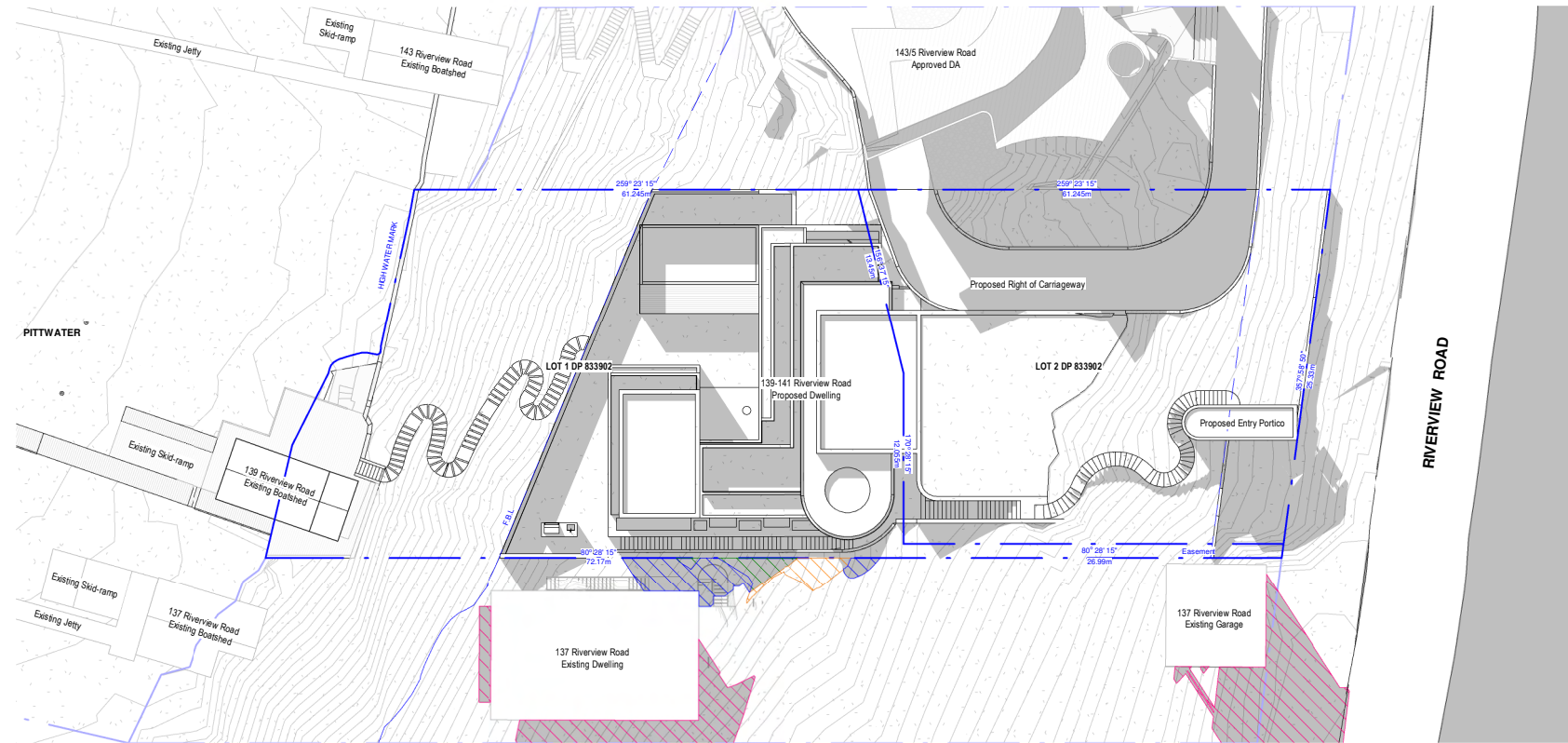
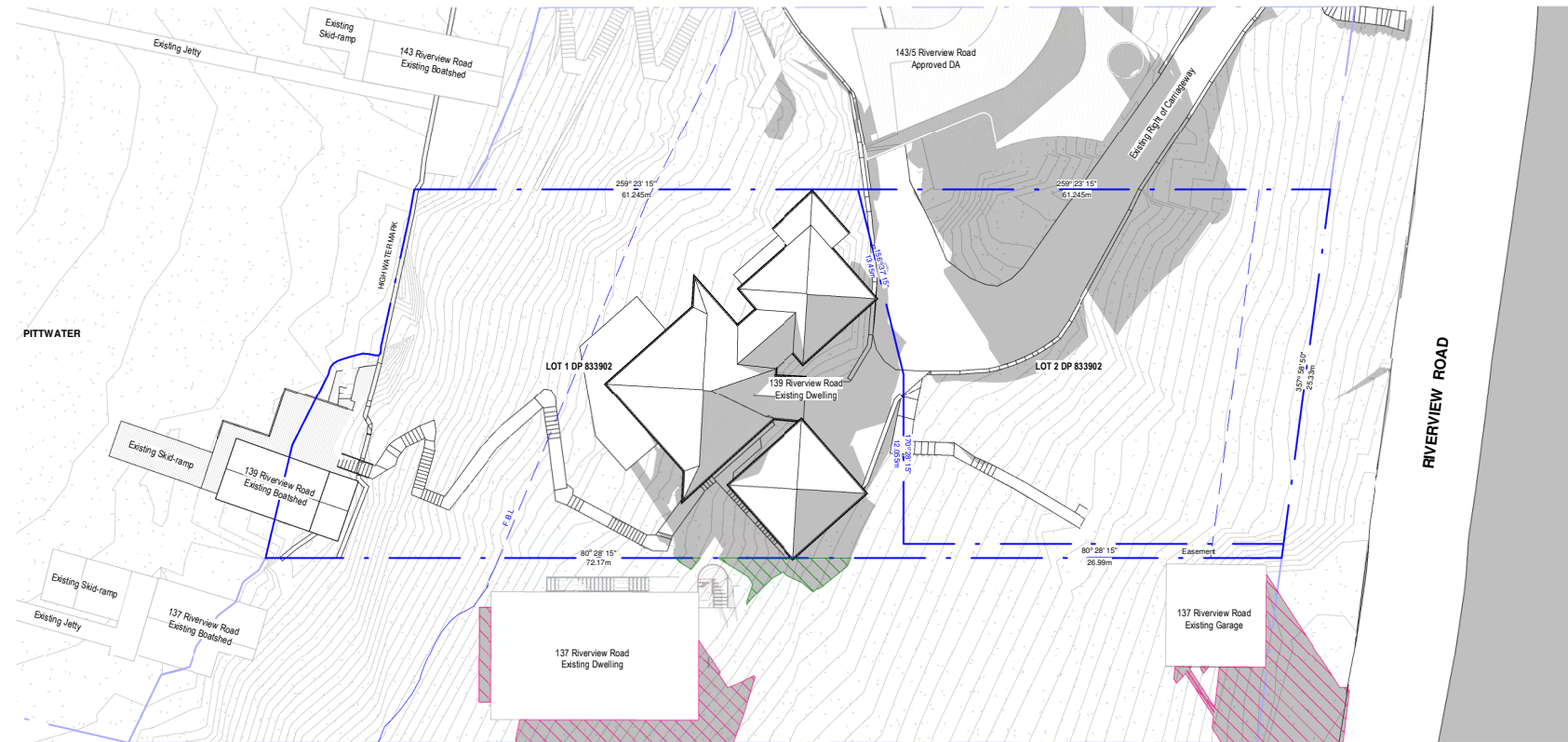
Drawing Number: **DA601** Issue **1**

Date: **12/06/2025**

Drawing: **Shadow Diagram - 21 June 12pm**

Scale: **1:500 @ A3**

Drawn by: **BW** Checked by: **EW**



Neighbour Shadow  
 Existing Shadow  
 Additional Shadow  
 Reduced Shadow

Certificate No. 0012052140  
 Assessors Name: Joseph Lertman  
 Accreditation No. DMN16/1742  
 Property Address: 139-141 Riverview Road, AVALON BEACH, NSW 2107

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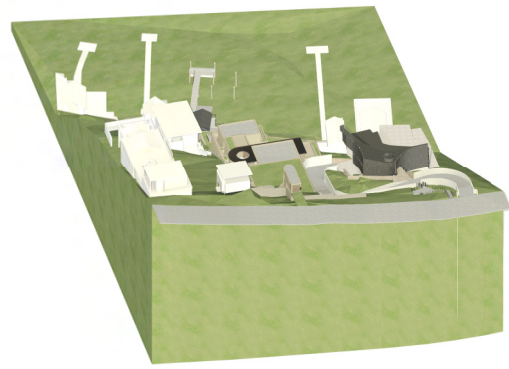
Project: **Riverview House II**  
 139-141 Riverview Road, Avalon Beach  
 Project number **2023\_152**

Revisions		
No.	Description	Date
1	Development Application	12/06/2025

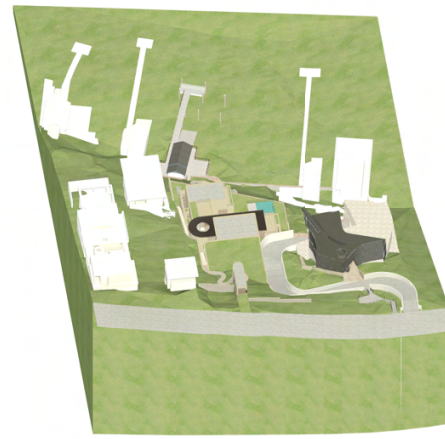
Client: **MMIG Developments Pty Ltd**  
 Drawing Number: **DA602** Issue **1**  
 Date: **12/06/2025**

Drawing: **Shadow Diagram - 21 June 3pm**  
 Scale: **1:500 @ A3**  
 Drawn by: **BW** Checked by: **EW**





Summer Solstice: 8am



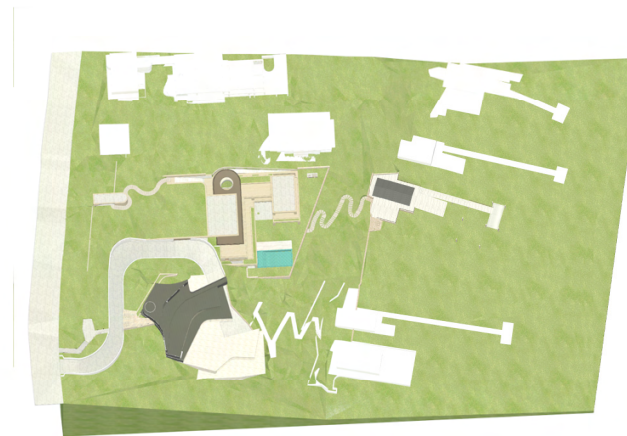
Summer Solstice: 9am



Summer Solstice: 10am



Summer Solstice: 11am



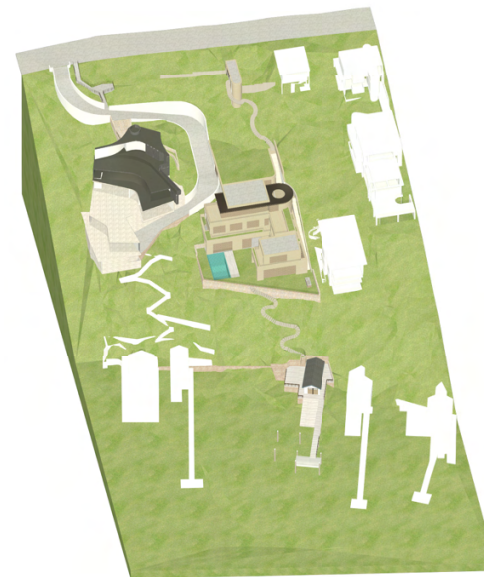
Summer Solstice: 12pm



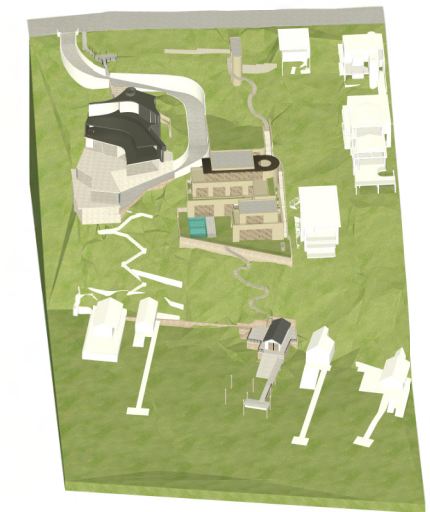
Summer Solstice: 1pm



Summer Solstice: 2pm



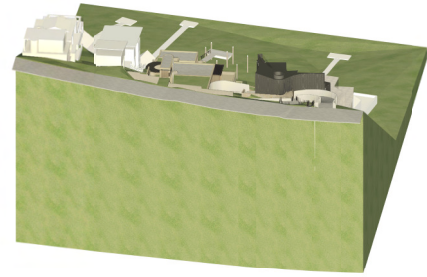
Summer Solstice: 3pm



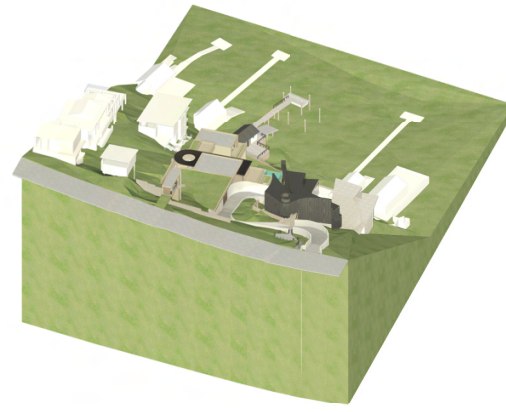
Summer Solstice: 4pm



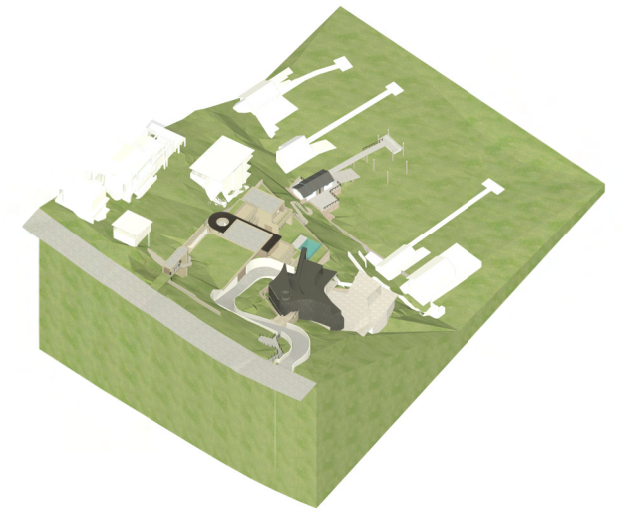
Revisions		
No.	Description	Date
1	Development Application	12/06/2025



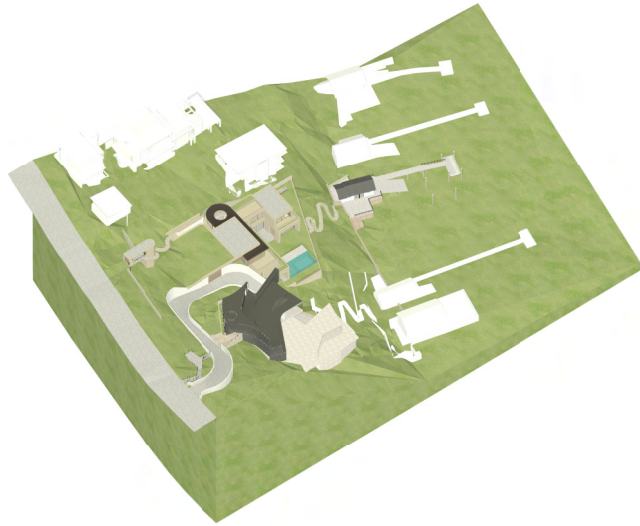
Autumn Equinox: 8am



Autumn Equinox: 9am



Autumn Equinox: 10am



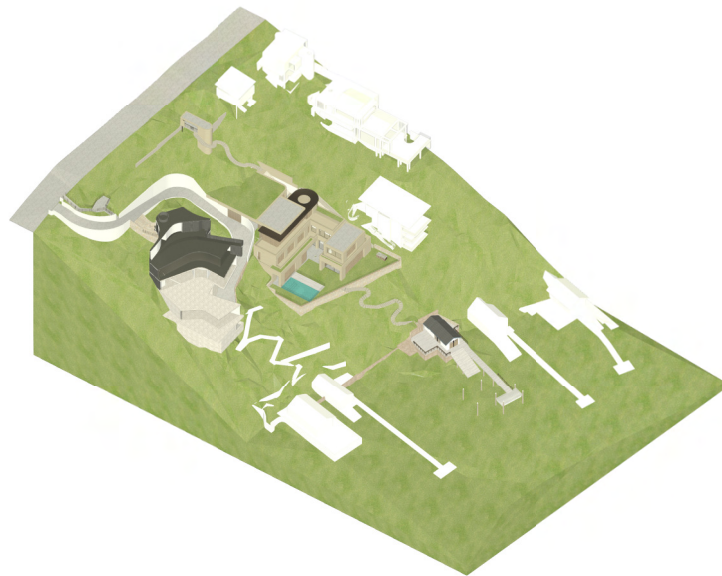
Autumn Equinox: 11am



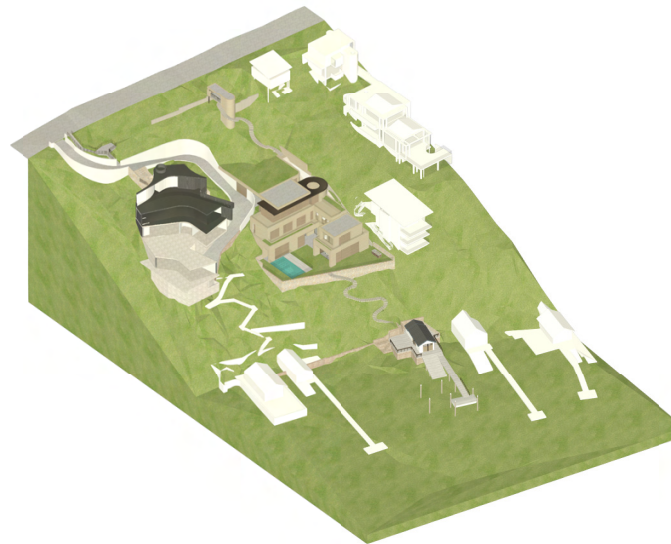
Autumn Equinox: 12pm



Autumn Equinox: 1pm



Autumn Equinox: 2pm



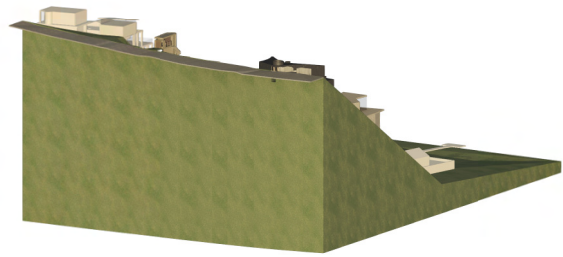
Autumn Equinox: 3pm



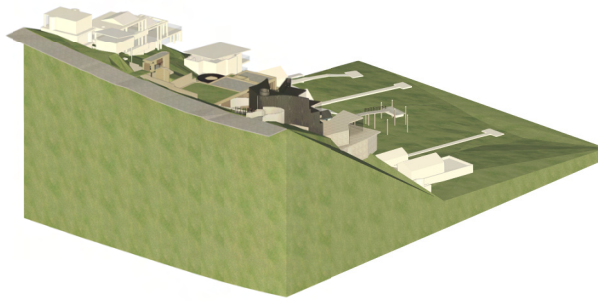
Autumn Equinox: 4pm



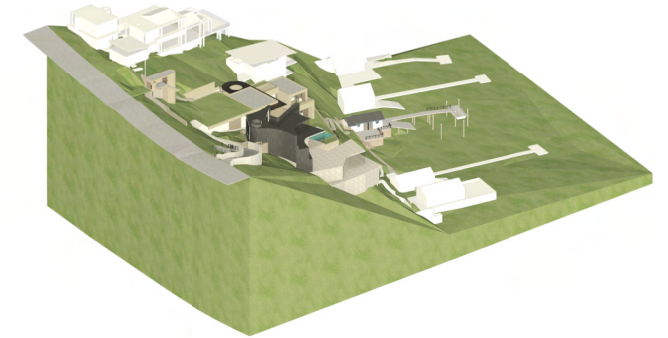
Revisions		
No.	Description	Date
1	Development Application	12/06/2025



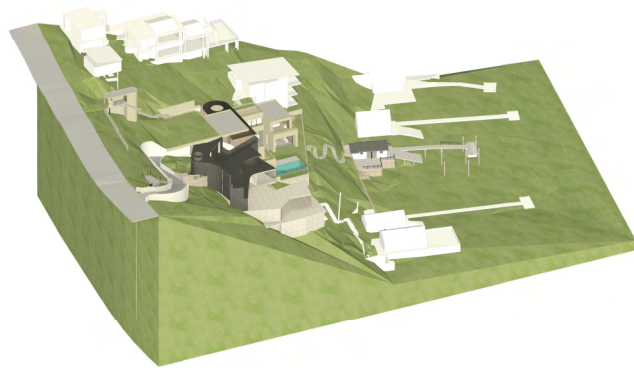
Winter Solstice: 8am



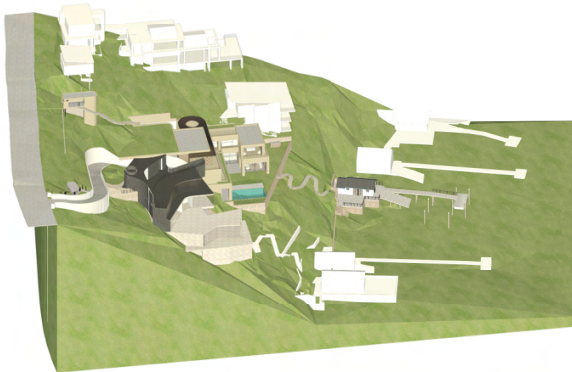
Winter Solstice: 9am



Winter Solstice: 10am



Winter Solstice: 11am



Winter Solstice: 12pm



Winter Solstice: 1pm



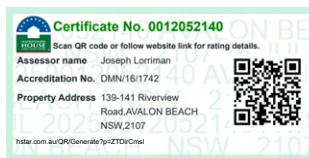
Winter Solstice: 2pm



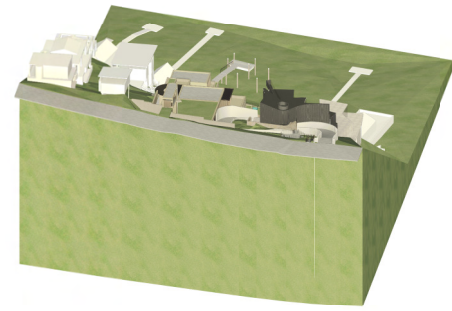
Winter Solstice: 3pm



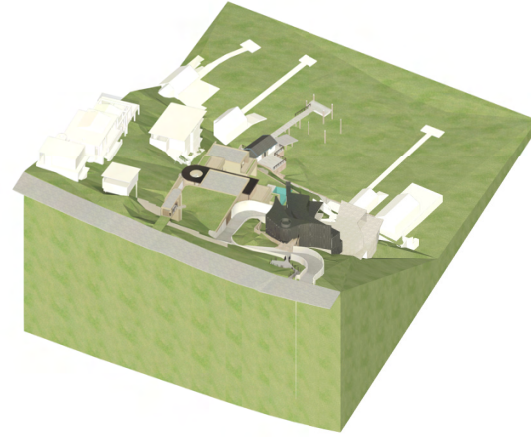
Winter Solstice: 4pm



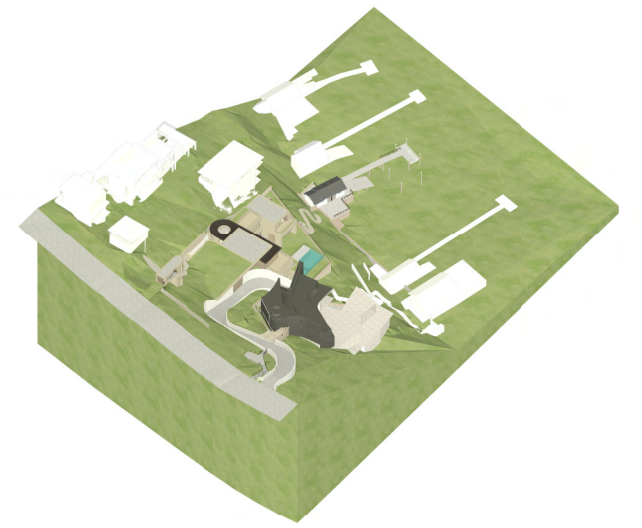
Revisions		
No.	Description	Date
1	Development Application	12/06/2025



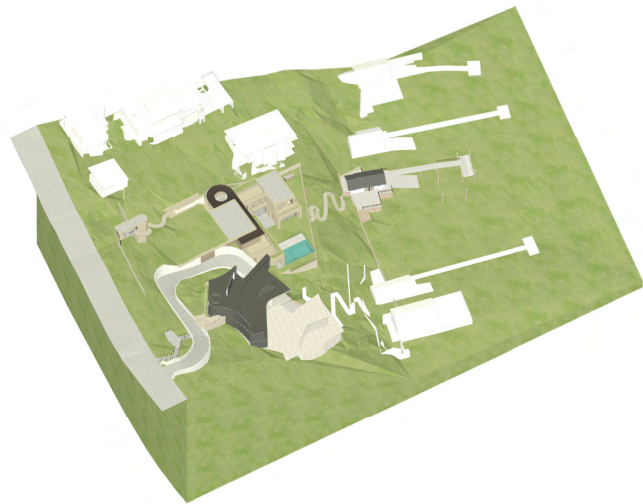
Spring Equinox: 8am



Spring Equinox: 9am



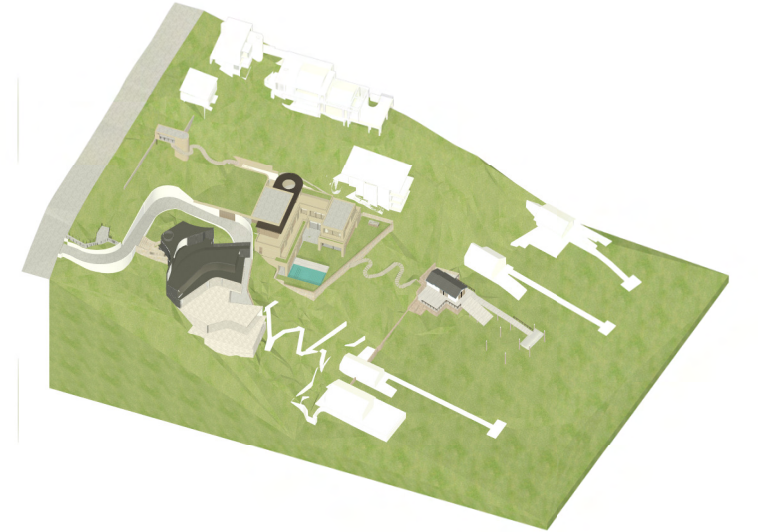
Spring Equinox: 10am



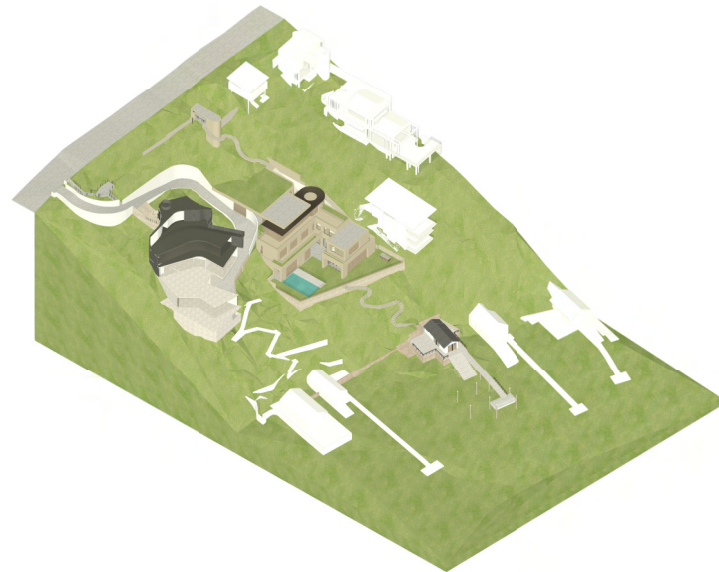
Spring Equinox: 11am



Spring Equinox: 12pm



Spring Equinox: 1pm



Spring Equinox: 2pm



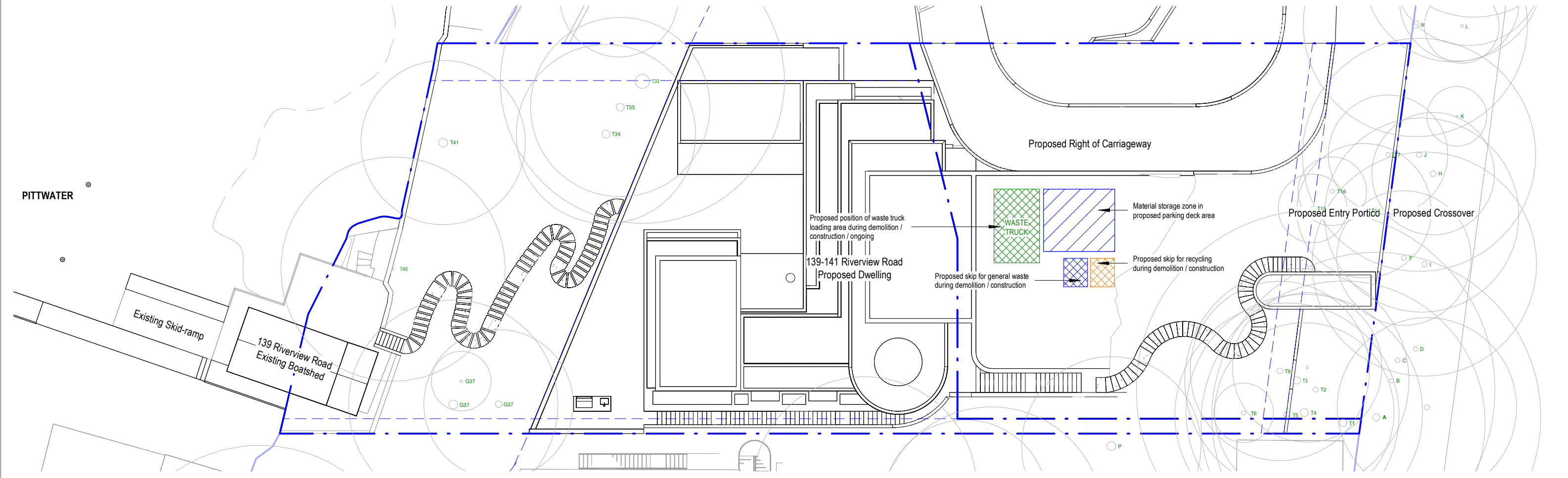
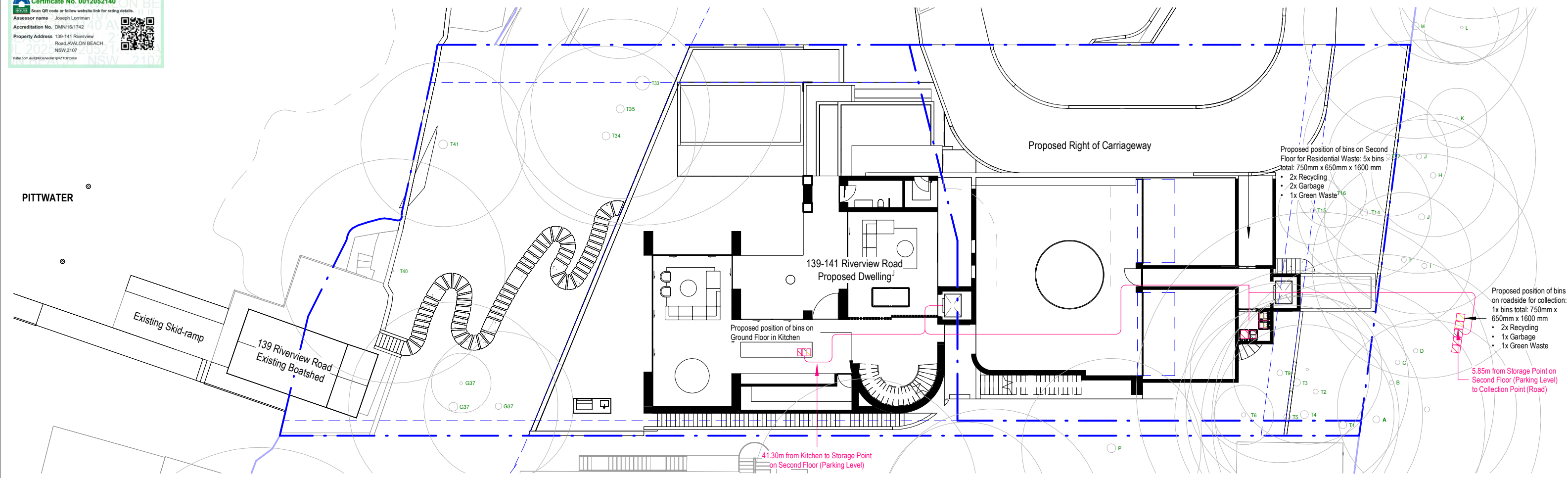
Spring Equinox: 3pm



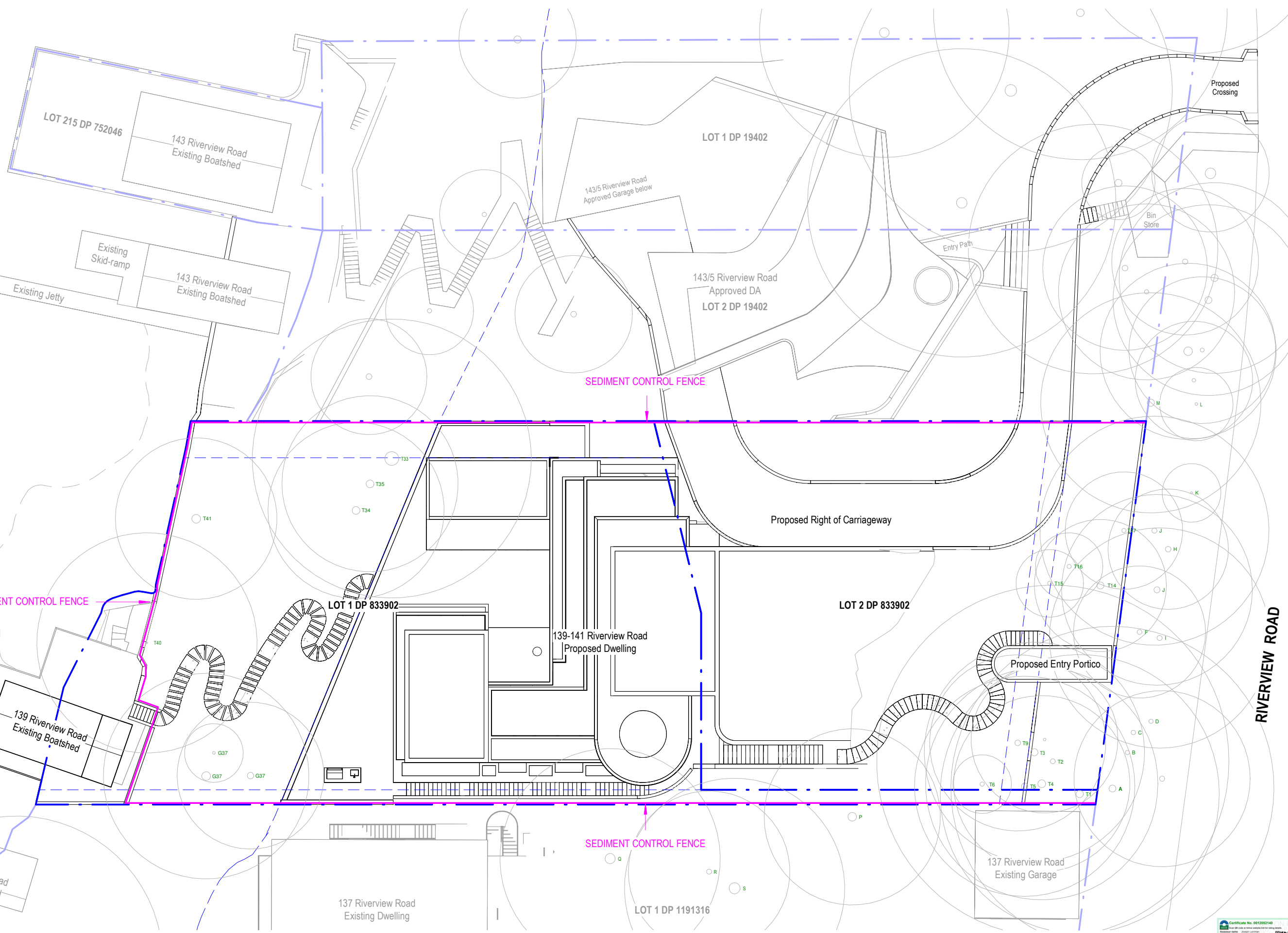
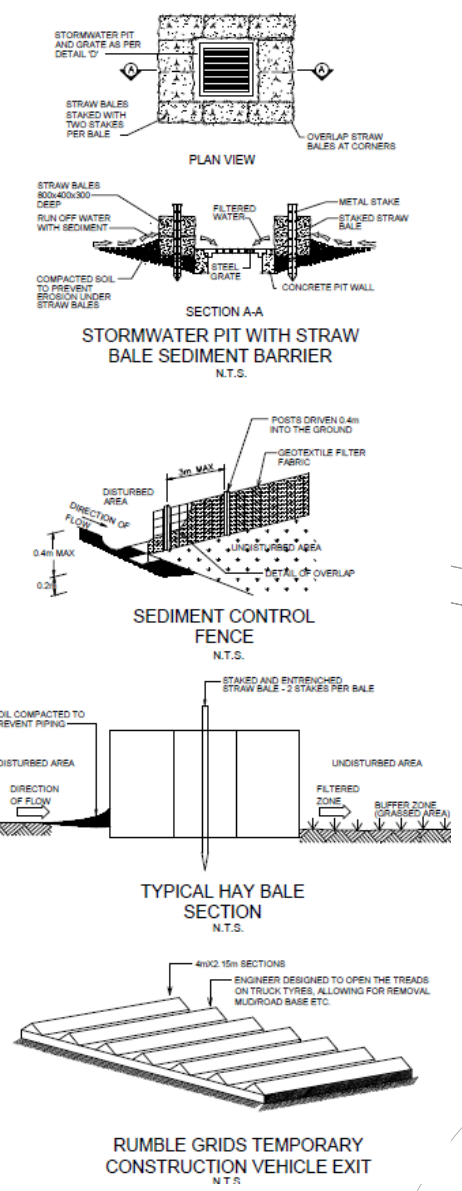
Spring Equinox: 4pm



Revisions		
No.	Description	Date
1	Development Application	12/06/2025



Revisions		
No.	Description	Date
1	Development Application	12/06/2025



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Project: **Riverview House II**  
139-141 Riverview Road, Avalon Beach  
Project number **2023\_152**

Revisions		
No.	Description	Date
1	Development Application	12/06/2025

Client: **MMIG Developments Pty Ltd**  
Drawing Number: **DA710** Issue **1**  
Date: **12/06/2025**

Drawing: **Erosion + Sediment Control Plan**  
Scale: **1:250 @ A3**  
Drawn by: **BW** Checked by: **EW**



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Project:  
**Riverview House II**  
 139-141 Riverview Road, Avalon Beach  
 Project number **2023\_152**

Revisions		
No.	Description	Date
1	Development Application	12/06/2025

Client:  
**MMIG Developments Pty Ltd**  
 Drawing Number: **DA900** Issue **1**  
 Date **12/06/2025**

Drawing:  
**Photomontage**  
 Scale **NTS @ A3**  
 Drawn by: **BW** Checked by: **EW**