



PROPOSED NEW DOUBLE STOREY ATTACHED DUAL OCCUPANCY AT

1 NERIDAH AVENUE, BELROSE NSW 2085
LOT 1 DP 237377

SHEET LIST	
SHEET	DESCRIPTION
0.00	COVER SHEET
0.01	DEMOLITION PLAN
1.00	SUBDIVISION PLAN
1.01	SITE AND SITE ANALYSIS PLAN
1.02	AREA PLAN
1.04	SEDIMENT CONTROL AND WASTE MANAGEMENT PLAN
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1.06	NCC 2022 AND AUSTRALIAN STANDARDS COMPLIANCE
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2.03	FIRST FLOOR PLAN
2.04	FIRST FLOOR PLAN DIMENSION
3.01	ELEVATIONS & MATERIALS/FINISHES
3.02	ELEVATIONS & MATERIALS/FINISHES
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5.01	ROOF PLAN
6.01	SHADOW DIAGRAMS
7.01	LANDSCAPE PLAN
8.01	NOTIFICATION PLANS



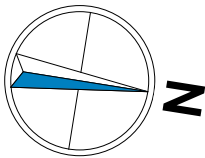
ARTIST IMPRESSION ONLY

<div><p>DREAM DRAFTING SYDNEY MAKING YOUR DREAM A REALITY</p><p>EMAIL: info@dreamdraftingsydney.com.au CONTACT: 0424 133 547 WEBSITE: www.dreamdraftingsydney.com.au</p></div>	<div><p>bdca ACCREDITED BUILDING DESIGNER</p></div>	CLIENT NAME: MR JAGDISH CHAUDHARI		DESIGNED BY: DD	DRAWN BY: DD	<div>GENERAL NOTES: 1. ALL PLANS ARE COPYRIGHT WORK OF DREAM DRAFTING SYDNEY 2. FIGURED DIMENSIONED SHALL BE TAKEN IN PREFERENCE TO SCALING 3. CHECK ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING WORK OR ORDERING MATERIALS. 4. ANY DISCREPANCIES TO BE REPORTED TO DREAM DRAFTING SYDNEY BEFORE PROCEEDING. 5. ALL EXISTING GROUND LINES AND TREE LOCATIONS ARE APPROXIMATE, THEREFORE TO BE VERIFIED ON-SITE BY THE BUILDER 6. ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH ALL THE RELEVANT CODES AND AUSTRALIAN STANDARDS.</div> <div>DA ISSUE</div>
		PROJECT ADDRESS 1 NERIDAH AVENUE, BELROSE NSW 2085	LOT DETAILS LOT 1 DP 237377	DATE: 03-12-2025	CHECKED BY: DD	
		SHEET TITLE: COVER SHEET	PROJECT NUMBER: 1504	SCALE:	REVISION: B	
				DWG NUMBER: 0.00	LGA: NORTHERN BEACHES	



LEGEND

- DEMOLISH EXISTING RESIDENCE, SHED, STAIRS, & AWNING
- DEMOLISH EXISTING CONCRETE DRIVEWAY & DECK
- PROPOSED REMOVAL OF EXISTING TREES



DEMOLITION PLAN

SCALE 1 : 200



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CONTACT: 0424 133 547

WEBSITE: WWW.DREAMDRAFTINGSYDNEY.COM.AU



CLIENT NAME: MR JAGDISH CHAUDHARI	
PROJECT ADDRESS 1 NERIDAH AVENUE, BELROSE NSW 2085	LOT DETAILS LOT 1 DP 237377
SHEET TITLE: DEMOLITION PLAN	PROJECT NUMBER: 1504

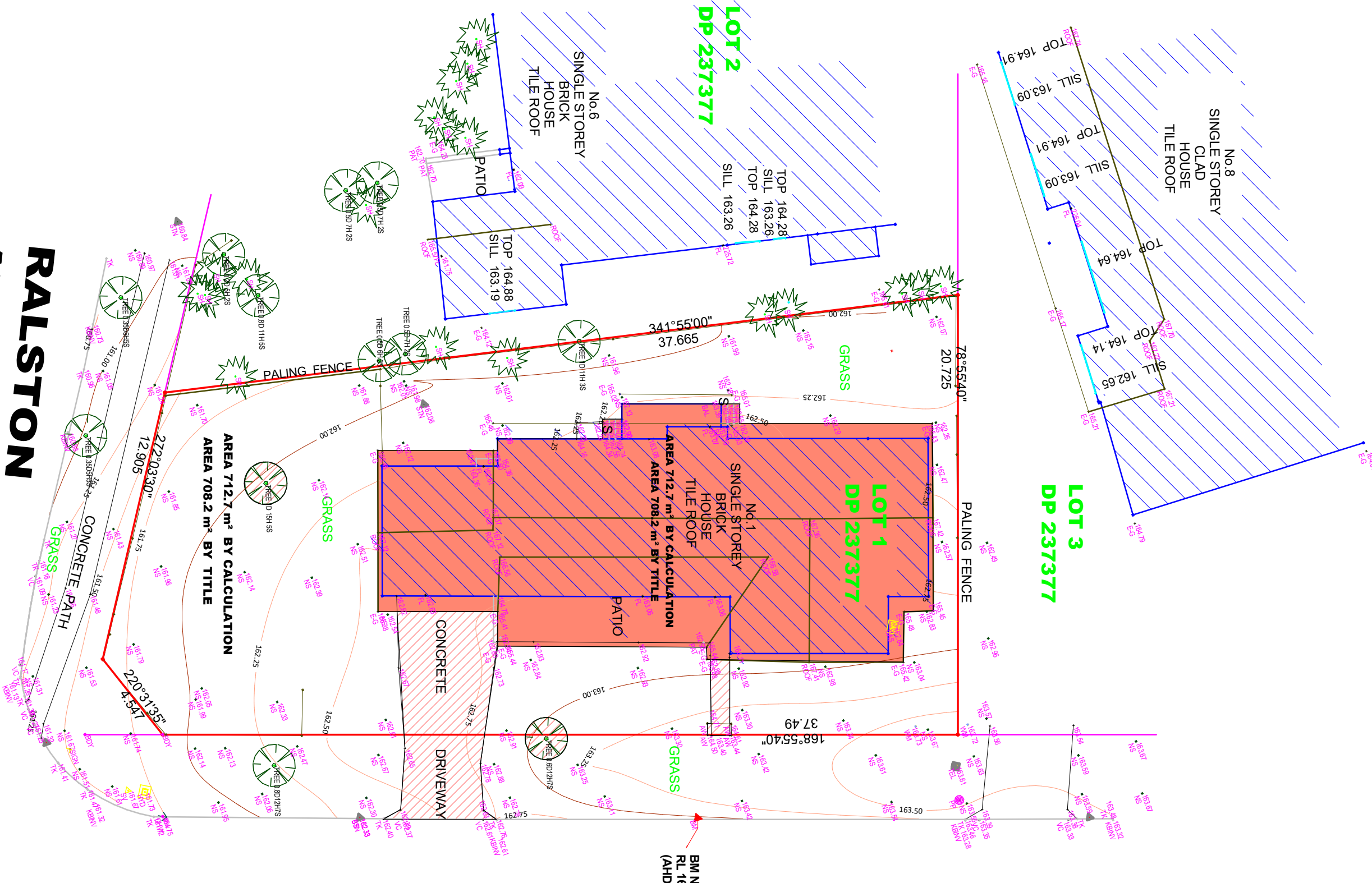
DESIGNED BY: DD	DRAWN BY: DD
DATE: 03-12-2025	CHECKED BY: DD
SCALE: 1 : 200	REVISION: B
DWG NUMBER: 0.01	LGA: NORTHERN BEACHES

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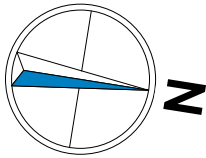
RALSTON AVENUE

NERIDAH AVENUE





RALSTON
AVENUE



SUBDIVISION PLAN

SCALE 1 : 200

NERIDAH
AVENUE

BM NAIL
RL 163.22
(AHD)

LOT 1A
359.05 m²

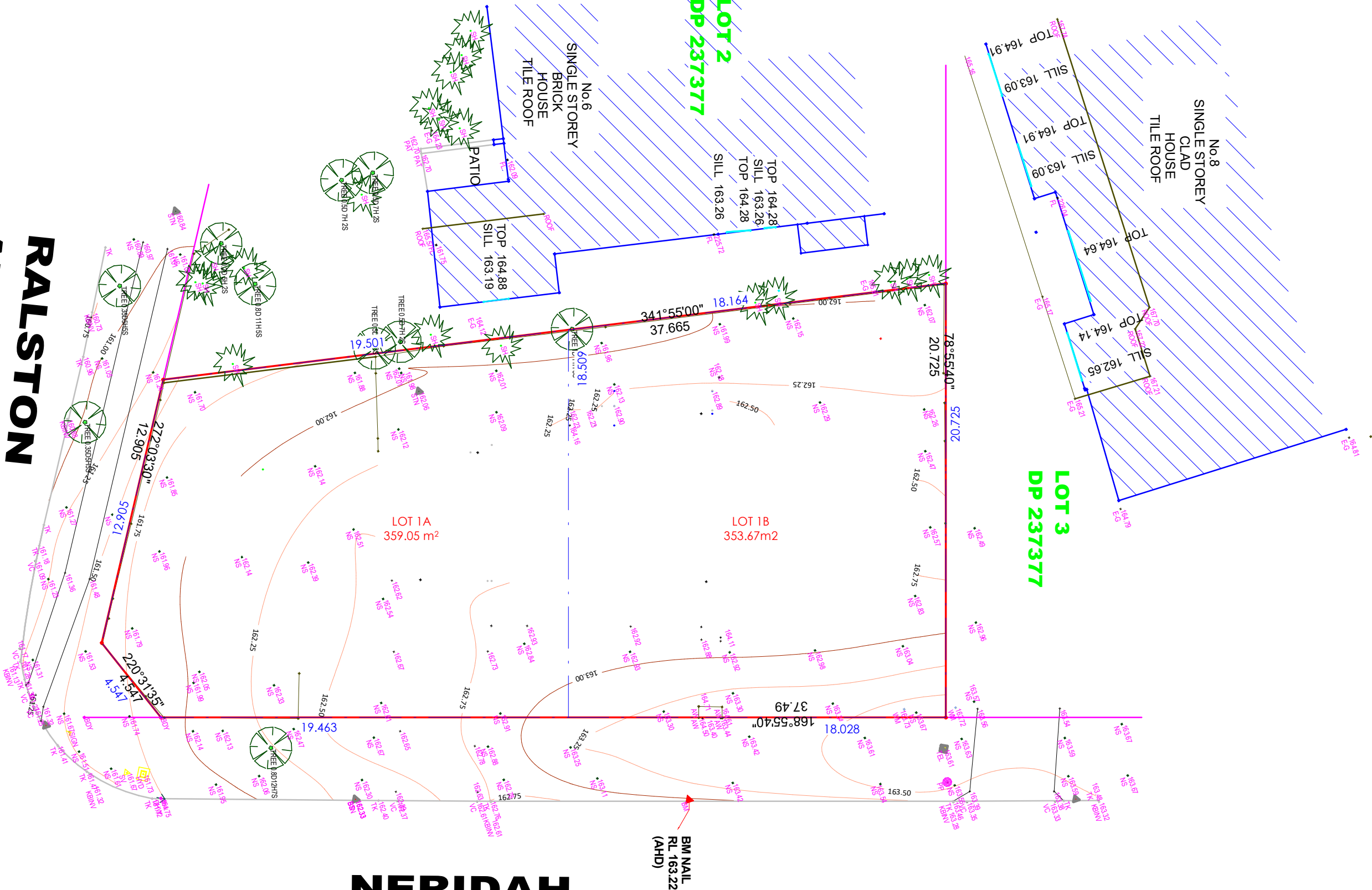
LOT 1B
353.67m²

LOT 2
DP 237377

LOT 3
DP 237377

No.6
SINGLE STOREY
BRICK
HOUSE
TILE ROOF

No.8
SINGLE STOREY
CLAD
HOUSE
TILE ROOF



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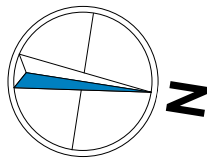
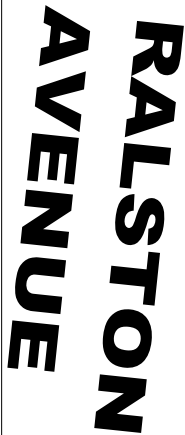
CLIENT NAME: MR JAGDISH CHAUDHARI	
PROJECT ADDRESS 1 NERIDAH AVENUE, BELROSE NSW 2085	LOT DETAILS LOT 1 DP 237377
SHEET TITLE: SUBDIVISION PLAN	PROJECT NUMBER: 1504

DESIGNED BY: DD	DRAWN BY: DD
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SCALE: 1 : 200	REVISION:
DWG NUMBER: 1.00	LGA: NORTHERN BEACHES

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DA ISSUE
















SCALE 1 : 200

NERIDAH AVENUE

SITE COVERAGE UNIT B	
1B. GROUND FLOOR	96.02 m ²
2B. FIRST FLOOR	100.33 m ²
3B. GARAGE	24.68 m ²
5B. BALCONY	10.03 m ²
6B. PORCH	10.13 m ²
	241.19 m ²

PROPERTY DESCRIPTION	
LOT:	1A
D.P:	237/377
L.G.A	NORTHERN BEACHES
SITE COVERAGE CALCULATIONS	
A. SITE AREA:	359.05 m ²
B. GROUND FLOOR AREA:	114.95 m ²
C. GARAGE AREA:	20.14 m ²
D. PORCH AREA:	9.39 m ²
E. ALFRESCO AREA:	0.00 m ²
<u>F. TOTAL GROUND FLOOR AREA:</u>	<u>144.48 m²</u>
G. FIRST FLOOR AREA:	114.95 m ²
H. BALCONY AREA:	10.39 m ²
<u>I. TOTAL FIRST FLOOR AREA:</u>	<u>125.34 m²</u>
J. DRIVEWAY AREA(INSIDE BDY'S)	19.98 m ²
K. ROOF AREA	167.23 m ²
<u>TOTAL BUILDING AREA:</u>	<u>269.82 m²</u>
SITE COVERAGE GROUND FLOOR: F - (D+E) / A	37.6%
SITE COVERAGE FIRST FLOOR: I - H / A	32.0%
LANDSCAPE AREA CALCULATIONS	
LANDSCAPE AREA REQUIRED: 40.0% =	143.62 m ²
LANDSCAPED AREA PROPOSED	178.70 m ²
LANDSCAPE AREA PROPOSED:	49%
PRINCIPLE PRIVATE OPEN SPACE:	30.00 m ²
PROPERTY DESCRIPTION	
LOT:	1B
D.P:	237/377
L.G.A:	NORTHERN BEACHES
SITE COVERAGE CALCULATIONS	
A. SITE AREA:	353.67 m ²
B. GROUND FLOOR AREA:	96.02 m ²
C. GARAGE AREA:	24.68 m ²
D. PORCH AREA:	10.13 m ²
E. ALFRESCO AREA:	0.00 m ²
<u>F. TOTAL GROUND FLOOR AREA:</u>	<u>130.83 m²</u>
G. FIRST FLOOR AREA:	100.33 m ²
H. BALCONY AREA:	10.03 m ²
<u>I. TOTAL FIRST FLOOR AREA:</u>	<u>110.36 m²</u>
J. DRIVEWAY AREA(INSIDE BDY'S)	23.33 m ²
K. ROOF AREA	134.76 m ²
<u>TOTAL BUILDING AREA:</u>	<u>241.19 m²</u>
SITE COVERAGE GROUND FLOOR: F - (D+E) / A	34.1%
SITE COVERAGE FIRST FLOOR: I - H / A	28.4%
LANDSCAPE AREA CALCULATIONS	
LANDSCAPE AREA REQUIRED: 40.0% =	141.50 m ²
LANDSCAPED AREA PROPOSED	199.51 m ²
LANDSCAPE AREA PROPOSED:	56.41%
PRINCIPLE PRIVATE OPEN SPACE:	30.00 m ²

LEGEND

	FILL		FOLD DOWN CLOTHESLINE
	CUT		AIR CONDITIONING UNIT
	PROPOSED DRIVEWAY - CONCRETE		BINS
	LETTER BOX		DOWN PIPE
	METER BOX		HOT WATER SYSTEM
	SLIMLINE RAIN WATER TANK		GARDEN TAP
			DROP EDGE BEAMS TO ENGINEER'S SPECS.

SITE NOTES:

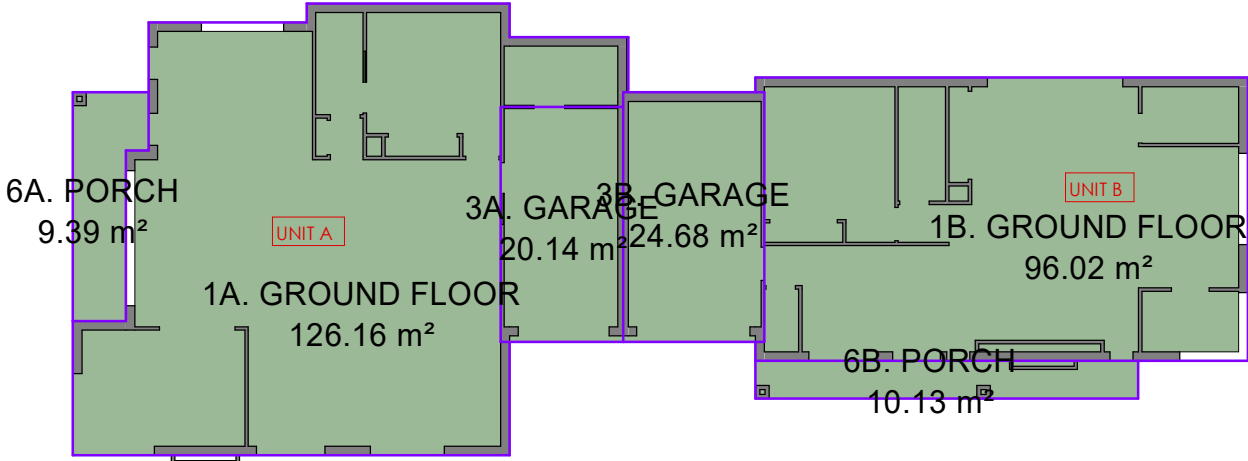
<ul style="list-style-type: none">- DO NOT SCALE OFF THE DRAWINGS UNLESS OTHERWISE STATED AS WRITTEN DIMENSIONS WILL TAKE PREFERENCE OVER SCALING.- WHERE ENGINEER'S DRAWINGS ARE REQUIRED SUCH MUST TAKE PREFERENCE OVER THIS SET OF DRAWINGS.- ALL BOUNDARY CLEARANCES ARE TO BE VERIFIED BY SURVEY BEFORE ANY WORK.- ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO ANY WORK COMMENCING.- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND ALL LOCAL AND STATE GOVERNMENT ORDINANCES, RELEVANT AUSTRALIAN STANDARD, NCC, ELECTRICITY AND WATER AUTHORITIES REGULATIONS AND ALL OTHER RELEVANT AUTHORITIES.
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DESIGNED BY: DD	DRAWN BY: DD
DATE: 03-12-2025	CHECKED BY: DD
SCALE: 1 : 200	REVISION: B
DWG NUMBER: 1.01	LGA: NORTHERN BEACHES

<p>GENERAL NOTES:</p> <ol style="list-style-type: none">1. ALL PLANS ARE COPYRIGHT WORK OF DREAM DRAFTING SYDNEY2. FIGURED DIMENSIONED SHALL BE TAKEN IN PREFERENCE TO SCALING3. CHECK ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING WORK OR ORDERING MATERIALS.4. ANY DISCREPANCIES TO BE REPORTED TO DREAM DRAFTING SYDNEY BEFORE PROCEEDING.5. ALL EXISTING GROUND LINES AND TREE LOCATIONS ARE APPROXIMATE, THEREFORE TO BE VERIFIED ON-SITE BY THE BUILDER6. ALL WORKSMANSHIP AND MATERIALS SHALL COMPLY WITH ALL THE RELEVANT CODES AND AUSTRALIAN STANDARDS.

DA ISSUE



1- GROUND FLOOR SITE COVERAGE

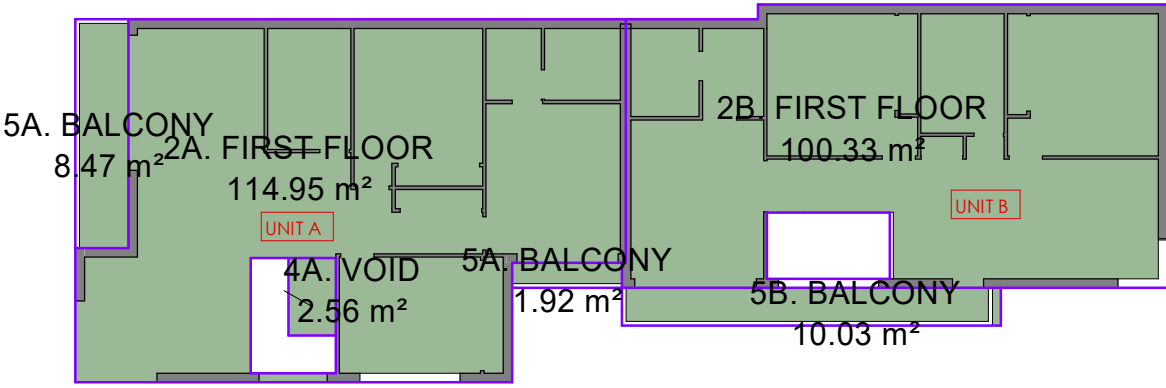
SCALE 1 : 200

SITE COVERAGE UNIT
A

1A. GROUND FLOOR	126.16 m ²
2A. FIRST FLOOR	114.95 m ²
3A. GARAGE	20.14 m ²
4A. VOID	2.56 m ²
5A. BALCONY	10.39 m ²
6A. PORCH	9.39 m ²
283.59 m ²	

SITE COVERAGE UNIT
B

1B. GROUND FLOOR	96.02 m ²
2B. FIRST FLOOR	100.33 m ²
3B. GARAGE	24.68 m ²
5B. BALCONY	10.03 m ²
6B. PORCH	10.13 m ²
241.19 m ²	



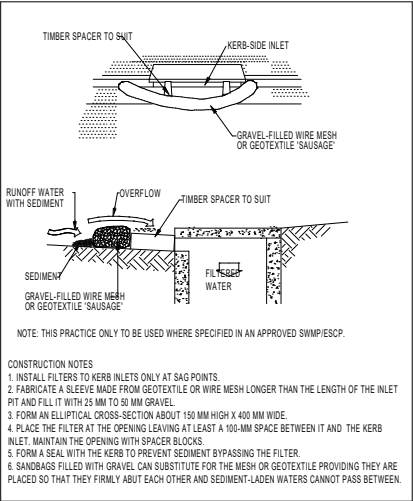
2- FIRST FLOOR SITE COVERAGE

SCALE 1 : 200

CLIENT NAME: MR JAGDISH CHAUDHARI	
PROJECT ADDRESS 1 NERIDAH AVENUE, BELROSE NSW 2085	LOT DETAILS LOT 1 DP 237377
SHEET TITLE: AREA PLAN	PROJECT NUMBER: 1504

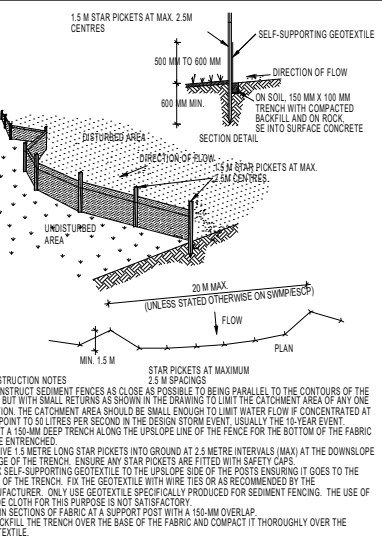
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DWG NUMBER: 1.02	LGA: NORTHERN BEACHES

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SEDIMENT CONTROL KERB DETAIL

SCALE 1 : 1



SEDIMENT CONTROL FENCE DETAIL

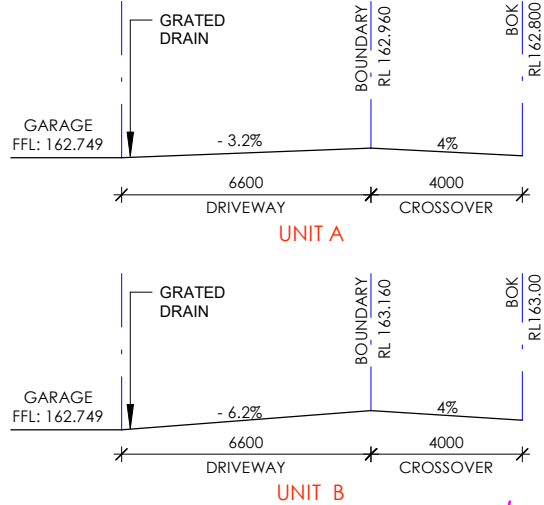
SCALE 1 : 1

SEDIMENT CONTROL CONTROL NOTES

- 1-ALL EROSION AND SEDIMENTATION CONTROLS MEASURES TO BE INSPECTED AND MAINTAINED DAILY.
- 2-ROADS AND FOOTPATHS TO BE SWEEPED AND KEPT CLEAN DAILY.
- 3-ALL DISTURBED AREAS TO BE MINIMIZED.
- 4-ALL STOCKPILES TO BE CLEAR OF DRAINS, GUTTERS AND FOOTPATHS.
- 5-DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE.
- 6-FILTERS SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POST AT 3.0m ON CENTERS, FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- 7-2.0m HIGH CHAIN MESH FENCE AROUND TREE PRESERVATION ZONES TO REMAIN INTACT UNTIL ALL CONSTRUCTION ON SITE IS COMPLETED.

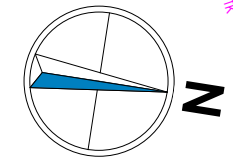
SOIL AND WATER MANAGEMENT NOTES

- SEDIMENT AND EROSION CONTROLS ARE TO BE ESTABLISHED PRIOR TO ANY CONSTRUCTION OCCURRING ON THE SITE.
- TOP SOIL AND OTHER MATERIAL STOCKPILES ARE TO BE HAVE SEPARATE SILT FENCING ON THEIR DOWNSTREAM SIDES.
- SILT FENCES AND STORMWATER EXCLUDERS ARE TO BE CLEANED OUT PERIODICALLY AND AFTER EACH STORMWATER EVENT BY THE CONTRACTOR.
- ALL EXPOSED AREAS ARE TO BE REVEGETATED AS SOON AS PRACTICABLE.
- DUST IS TO BE SUPPRESSED THROUGH WETTING DOWN OF THE SITE DURING DRY AND WINDY CONDITIONS.



DRIVEWAY PROFILE

RALSTON AVENUE



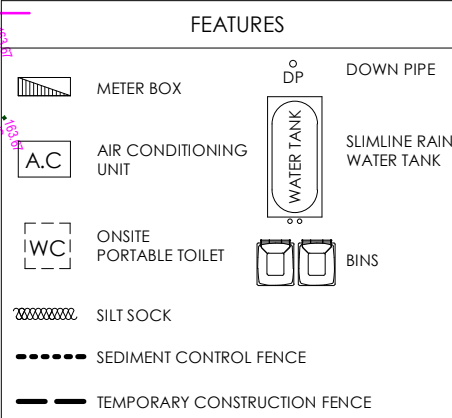
SEDIMENT EROSION PLAN

SCALE 1 : 200

NERIDAH AVENUE

NOTE: ALL GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS TO BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC.

NOTE: TEMPORARY SECURITY FENCING TO THE PERIMETER OF BOUNDARY WHERE REQUIRED, TO PREVENT PUBLIC ACCESS ON TO SITE.



CLIENT NAME:	MR JAGDISH CHAUDHARI
PROJECT ADDRESS	1 NERIDAH AVENUE, BELROSE NSW 2085
SHEET TITLE:	SEDIMENT CONTROL AND WASTE MANAGEMENT PLAN
LOT DETAILS	LOT 1 DP 237377
PROJECT NUMBER:	1604

DESIGNED BY: DD	DRAWN BY: DD
DATE: 03-12-2025	CHECKED BY: DD
SCALE: As indicated	REVISION: B
DWG NUMBER: 1.04	LGA: NORTHERN BEACHES

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STANDARD SPECIFICATION

BE ADVISED : SOME CLAUSES IN THIS SPECIFICATION MAY NOT BE RELEVANT TO THIS PROJECT

1.0 GENERAL

- 1.1 ALL DIMENSIONS SHALL BE CHECKED ON SITE PRIOR TO COMMENCEMENT ANY WORK.
- 1.2 ALL MATERIALS SHALL COMPLY WITH RELEVENT CURRENT AUSTRLIAN STANDARDS AND SHALL BE NEW AND THE BEST OF THEIR RESPECTIVE KINDS AND SUITABLE FOR THEIR INTENDED PURPOSES.
- 1.3 ALL WORKMANSHIP SHALL COMPLY WITH RELEVENT CURRENT AUSTRALIAN STANDARDS AND TO GOOD TRADE PRACTICES.
- 1.4 ALL WORK SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF THE RESPECTIVE AUTHORITY HAVING JURISDICTION OVER THE WORKS.
- 1.5 THE ARCHITECTURAL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE SPECIFICATION, SCHEDULES AND CONSULTANTS DRAWINGS THAT FORMS PART OF THE CONSTRUCTION DOCUMENTS REFERRED TO IN THE "BUILDING CONTRACT".
- 1.6 DO NOT SCALE FROM DRAWINGS. NOTIFY OF ANY ERRORS OR OMISSIONS BEFORE PROCEEDING WITH ANY WORKS.
- 1.7 ENSURE THAT BACKGROUNDS ARE SUITABLE FOR THE INTENDED SUBSEQUENT FINISHES. COMMENCEMENT OF WORK ON THE BACKGROUNDS IMPLIES ACCEPTANCE BY THE SUBCONTRACTOR OF THE BACKGROUNDS ON WHICH FINISHES ARE APPLIED.
- 1.8 SUPPLY ALL EQUIPMENT NECESSARY FOR THE COMPLETION OF RESPECTIVE WORKS.
- 1.9 PROGRESSIVELY CLEAN UP AFTER THE COMPLETION OF RESPECTIVE WORKS.

2.0 EARTHWORKS

- 2.1 UNLESS OTHERWISE STATED, REMOVE TOPSOIL TO A MINIMUM DEPTH OF 200mm INCLUDING ALL ROOTS, AND OTHER MATTER, AND REQUIRED BY THE SOIL CONDITION AND/OR THE BUILDER. PROVIDE SUITABLE CLEAN FILLING SAND AND COMPACT IN LAYERS NOT GREATER THAN 300mm TO REDUCE LEVELS AS SHOWN.
- 2.2 COMPACT SAND FILLING AND SANDY SUB GRADES UNDER FOOTINGS AND SLAB TO OBTAIN MIN. SEVEN (7) BLOWS PER 300mm ON A STANDARDS PERTH SAND PENEFROMETER TEST (AS PER AS 1289 F3.3)
- 2.3 DO NOT EXCAVATE SERVICES TRENCHES WITHIN AN ANGEL OF 45 DEGREES DOWN FROM BOTTOM EDGE OF FOOTING.
- 2.4 ALL RETAINING WALLS TO BE TREATED WITH "BITKOTE" WATERPROOFING AGENT.

3.0 CONCRETE

- 3.1 CONCRETE REINFORCEMENT AND FORMWORK SHALL BE TO A STRUTURAL ENGINEERS DETAILS. RELEVANT BUILDING CODES AND STANDARDS
- 3.2 ALL CONCRETE TO CONFORM TO THE REQUIREMENTS OF AS 3600 CONCRETE STRENGTH GRADE: N20, AGGREGATE 20mm, SLUMP 80mm.
- 3.3 SLAB IS TO BE CURED FOR 7 DAYS MIN. & SLAB REINFORCEMENT PLACED ON APPROVED CHAIRS TO IMPROVE CRACK CONTROL.
- 3.4 THE FOOTING AND SLAB CONSTRUCTION IS TO COMPLY WITH AS 2870.
- 3.5 PROVIDE A PROPRIETARY VAPOR BARRIER WHICH CONSISTS OF HIGH IMPACT RESISTANT POLYTHENE FILM MIN. 0.2mm THICK WHICH HAS BEEN PIGMENTED AND BRANDED BY THE MANUFACTURER.

3.6 TERMITE PROTECTION:

PROVIDE ANTI-TERMITE TREATMENT UNDER THE BUILDING AREAS IN ACCORDANCE WITH AS 2057, AS 3660.1 AND APPENDIX D, FOR RETICULATED SYSTEMS.
BUILDER SHALL PROVIDE "DURSBAN" (HAND SPRAYED ORGANO-PHOSPHATE) OR SIMILAR APPROVED ANTI-TERMITE TREATMENT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARD CODES.

4.0 BRICKWORK

- 4.1 BRICK WORK SHALL COMPLY WITH :

AS 3700 MASONRY CODE

AS A123 MASONRY CODE

MORTAR FOR MASONRY CONSRUCTION
- 4.2 BRICK GAUGE 7 STANDARD COURSES = 600mm.
- 4.3 ALL BRICKS SHOULD HAVE MIN. COMPRESSIVE STRENGTH OF 20MPa AND AS FOLLOWS:

EXTERNAL FACE WORK: 230x110x76mm

EXTERNAL RENDER: 305x162x90mm MAXIBRICK OR VERTICORE

WINDOW SILLS: 2c FACE BRICK SPLAYED SILLS

WINDOW HEADS: SOLID FACEBRICK COURSE

INTERNAL WALLS: 305x162x90mm MAXIBRICK OR VERTICORE

WITH BED JOINT AND PERPENDS FILLED

305x76x90mm LONGREACH OR JUMBO FOR COURSE ADJUSTMENT

- 4.4 MORTAR: 1:1:6 CEMENT:LIME:SAND
MORTAR (FACE BRICK) COLOR TO MATCH EXISTING AS SELECTED
- 4.5 TIES SHALL BE 3.5mm DIAMETER GALVANIZED WIRE KINKED FOR AND BUILT IN EVERY 5TH COURSE AT APPROXIMATELY 900mm CENTRES, WITH ADDITIONAL TIES AT THE RATE OF 1 TIE/300mm HEIGHT OF OPENINGS AND VERTICAL CONTROL JOINTS AND WITHIN 150mm OF THE OPENINGS. BUILD TIES INTO EACH LEAF AT LEAST 50mm. VERTICAL CONTROL JOINTS SHALL BE 12mm WIDE FILLED AT COMPLETION WITH 'COMPRIBAND' CONTINUOUS FILLER STRIP.
- 4.6 KEEP CAVITIES CLEAR OF MORTAR. PROVIDE CAVITY BOARDS. TEMPORARILY OMIT BRICKS TO PERMIT RAKING OUT OF CAVITY BOTTOMS.
- 4.7 FORM WEEP HOLES EVERY FOURTH PERPEND ABOVE FLASHINGS AND CAVITY FILL. KEEP CLEAR OF MORTAR. DO NOT LOCATE WEEPHOLES CLOSER THAN 500mm TO JOINTS IN DAMP PROOF COURSES OR FLASHINGS.
- 4.8 PROVIDE DAMP PROOF COURSES (DPC) IN THE BOTTOM 3 COURSES OF BRICK WORK AND SLAB AND/OR FOOTINGS. DPC ADDITIVE SHALL BE CLEAR IN ALL FACEWORK
- 4.9 SETOUT BRICKWORK ACCURATELY, PLUMB, LEVEL AND PROPERLY BONDED. RISING WORK TO BE RAKED BACK, JAMBS, REVEALS, CORNERS, PERPENDS, ETC. TO BE TRUE, PLUMB, AND IN LINE WITH PERPENDS TRUE TO LINE. SETOUT DOOR FRAMES NEAR PERPENDICULAR WALL WITH A MARGIN OF 12mm OR GREATER THAN 50mm.
- 4.10 MOISTEN ALL EXTRUDED BRICKS BEFORE LAYING.
- 4.11 PROVIDED 12mm PLASTERING MARGIN BETWEEN WINDOW FRAME AND INTERNAL BRICKWORK TO BE PLASTERED.
- 4.12 WHERE NECESSARY REINFORCE BELOW AND OVER OPENINGS WITH GALVANISED WOVEN WIRE FABRIC 75mm WIDE IN CENTRE OF EACH LEAF LOCATED IN 2 COUSES BELOW SILL AND IN THE 2 COURSES ABOVE AN OPENING EXTENDING A MINIMUM OF 600mm BEYOND THE OPENING.
- 4.13 BUILD IN ALCOR/PGI FLASHINGS AS FOLLOWS:

-WHEREVER SHOWN ON DRAWINGS.

-CAVITY WALLS BUILT OF SLAB ON GROUND (WHERE NOT PARGED.)

-OVER LINTELS TO EXPOSED OPENINGS:

FULL WIDTH OF OUTER LEAF CONTINUOUS ACROSS CAVITY 50mm INTO INNER LEAF 2c ABOVE.

-OVER ROOF:

FULL WIDTH OF EXTERAL LEAF, STEPPED TO ROOF SLOPE TURNED DOWN MIN. 50mm OVER BASE FLASHING. TURN UP IN CAVITY SLOPING INWARDS AND BUILT INTO INNER LEAF 1c ABOVE.

-DOOR / WINDOW STILES:

FULL HIGHT 150mm WIDE FIXED TO FRAMES INTERLEAVED WITH SILL AND HEAD FLASHING AT EACH END.

-STRUCTURE OR SERVICES WITHIN 30mm OF OUTER BRICK LEAF IN CAVITY:

VERTICAL FLASHINGS CONTINUOUS 1c BELOW FL TO ABOVE STRUCTURE OR FRAME. NOMINAL 300mm WIDE. FOR HORIZONTAL STRUCTURES / SERVICES: CONTINUOUS FLASHING BUILT IN AS FOR OVER LINTELS.

-AT CAVITY WALLS WITH GLASS BLOCK 300mm WIDE FIXED TO GLASS BLOCK FRAME AND TURNED AWAY IN CAVITY FROM INNER LEAVE.

4.14 LINTELS

MAX SPAN (mm)	LINTELS SIZE (VERT x HORIZ x THICK)	BEARING EACH END (mm)
900	75x10	150
1200	75x75x8	150
1500	90x90x8	150
1800	100x75x8	230
2100	125x75x8	230
2400	125x75x10	230
2500	100x100x8	230
3000	150x90x10	230

5.0 CARPENTRY WORK

- 5.1 ROOF AND CEILING FRAMING SHOULD COMPLY WITH AS 1684 LIGHT TIMBER FRAMING CODE. DRAW STRAP FIRMLY OVER WALL PLATES AND SECURELY FIX TO TOP OF PLATE BY 2x30mm GALV. CLOUTS/STRAP.
- 5.2 REFER TO AS 1684 FOR ROOF FRAMING SIZES UNLESS SPECIFIED ON DRAWINGS.
- 5.3 SUPPLY AND FIX ALL BULKHEADS & FALSE CEILINGS AS SHOWN ON THE DRAWINGS.

6.0 METALWORK

- 6.1 ELECTRIC AND GAS METER BOXES AS SHOWN IN DRAWINGS
- 6.2 WINDOW FRAMES SHALL BE RESIDENTIAL OR COMMERCIAL SECTION WITH POWDERCOAT FINISH AS SELECTED BY OWNER. ALLOW FOR FLYSCREENS TO ALL WINDOWS. REFER TO ADDENDUM. ANGLED WINDOW UNITS SHALL BE FACTORY MADE AND FIXED AND DELIVERED ON SITE AS COMPLETE UNIT.
- 6.3 CLOTHES HOIST: REFER TO ADDENDUM.
- 7.0 ROOFING
- 7.1 SELECTED ROOFING MATERIAL SHALL BE INSTALLED AND FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND RELEVANT BUILDING CODES
- 7.2 GUTTER, FASCIA, DOWN PIPES, FLASHINGS SHALL BE IN LONGEST POSSIBLE LENGTHS AND SHALL MATCH EXISTING.
- 7.3 DOWN PIPES SHALL MATCH EXISTING.
- 7.4 ALLOW FOR ALL JOINTS AND JOINING MATERIALS, COLLARS, STRAPS & FASTENINGS NECESSARY TO COMPLETE WORK.
- 7.5 ALLOW FOR ALL ROOF PENETRATIONS, ROOF COWLS, FLASHINGS, FLUMES THROUGH ROOF.
- 7.6 FIX GUTTERS & FLASHINGS TO PERMIT THERMAL MOVEMENT IN THEIR FULL LENGTH
- 7.7 SEAL BETWEEN OVERLAPPING FLASHINGS; FLASHINGS TURNED DOWN OVER BASE OR APRON FLASHINGS; FLASHINGS OVER METAL ROOF; FLASHINGS OVER SECRET GUTTERS; AROUND ROOF PENETRATIONS ETC.

8.0 JOINERY

- 8.1 ALL JOINERY SHALL BE OF HIGHEST QUALITY MATERIALS TO BEST TRADE PRACTICES AND HIGH QUALITY FINISH.
- 8.2 EXTERNAL DOOR FRAMES SHALL BE: 110x40 DOUBLE REBATED FRAME WITH 130x40 WEATHERED THRESHOLD U.N.O.
- 8.3 SUPPLY AND BUILD IN TIMBER DOOR FRAMES TO EXTERNAL LOCATIONS AS SHOWN ON ARCHITECTURAL DRAWINGS.

9.0 CEILINGS

- 9.1 CEILINGS SHALL BE RECESSED EDGE, MINIMUM 8.0mm PLASTERGLASS OR GYPROCK.
- 9.2 FLUSH JOINTS, SCREW HEADS, AND OTHER BLEMISHES IN THE SHEETS USING APPROVED SYSTEMS TO PROVIDE FLUSH SMOOTH CONTINUOUS SURFACE
- 9.3 PROVIDE AND FIX ALL FLUSH STOP BEADS & CASING BEADS TO ALL CORNERS & EDGES.
- 9.4 PROVIDE ALL SELECTED MOLDINGS AND CORNICES TO ALL CEILINGS AS STATED IN ARCHITECTURAL DOCUMENTS.

10.0 PLASTERING

- 10.1 INTERNAL WALL FINISHES INCLUDING CUPBOARD, BIN, & FRIDGE RECESSES, ETC. SHALL BE (OTHER THAN FACE FINISHES OR WHERE COVERED BY FEATURE MATERIALS) FLOAT AND SET IN HARDWALL PLASTER U.N.O.
- 10.2 PLASTERED WALLS SHALL BE NOMINAL 12mm THICK CONSISTING OF 1:1:9, CEMENT:LIME:SAND RENDER, AND FINISHED WITH NOMINALLY 3mm HARDWALL PLASTER.
- 10.3 SUPPLY AND FIX EXTERNAL CORNER BEADS TO ALL EXTERNAL CORNERS.
- 10.4 PROVIDE STOP BEADS WHERE PLASTER WORK ABUTS TIMBER FRAMES, OR FACEWORK
- 10.5 EXTERNAL RENDER WHEN APPLICABLE SHALL BE 2 COAT SAND FINISH. (FOR PAINTING)
- 10.6 NIBS IN INTERNAL CORNERS ADJACENT TO DOOR FRAMES GREATER THAN 40mm SHALL NOT BE FLUSHED UP WITH FRAMES.
- 10.7 PROVIDE V-JOINTS IN RENDER & FINISHING PLASTER WHERE BRICK WORK ABUTS OR JOINS ONTO CONCRETE WORK.

11.0 GLAZING

- 11.1 CLEAR GLASS GENERALLY: OBSCURE GLASS TO BATHROOMS, REFER TO DRAWINGS. ALL TO THE RELEVANT AUSTRALIAN STANDARDS.
- 11.2 WHERE GLASS BLOCKS HAVE BEEN NOMINATED, THEY SHALL BE IN FRAMES AND INSTALLED TO MANUFACTURES SPECIFICATIONS.

12.0 FLOORING FINISHES

- 12.1 CARPET FLOOR COVERINGS TO NOMINATED AREAS COMPLETE WITH SELECTED UNDERLAY SMOOTH EDGE, DIMINISHING STRIPS ETC, TO COMPLETE THE WORKS: REFER TO DRAWINGS & FINISHES SCHEDULE.
- 12.2 PROVIDE TILED FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS ANGLE TRIMS, ETC.TO COMPLETE THE WORKS: REFER TO DRAWINGS & FINISHES SCHEDULE.
- 12.3 PROVIDE TIMBER FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS, DIMINISHING BOARDS ETC. TO COMPLETE THE WORKS: FLOOR BOARDS TO BE SANDED & POLISHED TO HIGH STANDARD WITH PREMIUM QUALITY SEALER (2 COATS). REFER TO DRAWINGS & FINISHERS SCHEDULE.

13.0 SIGNAGE

- 13.1 WHERE NECESSARY SUPPLY & FIX SELECTED UNIT AND HOUSE NUMBERS TO EACH UNIT AND TO LETTERBOXES AS SCHEDULED.
- 13.2 DREAM DRAFTING SYDNEY RESERVES THE RIGHT TO ERECT A BUILDERS SIGN ON THE PROPERTY FACING THE STREET FRONTAGE IN COMPLIANCE WITH AUTHORITY REQUIREMENTS.

14.0 PAVING

- 14.1 GENERALLY: WHEN PAVING IS INCLUDED IN THE BUILDING CONTRACT, THE FOLLOWING SHALL APPLY AS A MINIMUM STANDARD
- 14.2 SUPPLY AND LAY ALL PAVING TO EXTERNAL AREAS AS SHOWN ON WORKING DRAWINGS.
- 14.3 CUT, FILL AND COMPACT SAND TO REQUIRED LEVELS. SCREED TO UNIFORM THINNESS AND LEVELS
- 14.4 PROVIDE BRICK EDGE-RETRAINING FOOTING EMBEDDED IN MORTAR BENEATH THE PAVING BRICK, GENERALLY. TO DRIVEWAY AREAS, PROVIDE NOMINAL 300x150mm CONCRETE FOOTING ALONG PERIMETER OF DRIVEWAY AND BED EDGE BRICK IN MORTAR.
- 14.5 PROVIDE 100mm COMPACTED LIMESTONE BASE TO DRIVEWAY TOPPED WITH 50mm CLEAN SAND AND GRADE TO FALLS.
- 14.6 PAVING PATTERN: REFER TO ADDENDUM.
- 14.7 BRICK PAVERS SHALL BE:

TRAFFICABLE AREAS: MIN. 65mm SOLID CLAY OR CONCRETE

PEDESTRIAN AREAS: MIN. 43mm SOLID CLAY OR CONCRETE





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EMAIL: INFO@DREAMDRAFTINGSYDNEY.COM.AU

CONTACT: 0424 133 547

WEBSITE: WWW.DREAMDRAFTINGSYDNEY.COM.AU



CLIENT NAME:	
MR JAGDISH CHAUDHARI	
PROJECT ADDRESS	LOT DETAILS
1 NERIDAH AVENUE, BELROSE NSW 2085	LOT 1 DP 237377
SHEET TITLE:	PROJECT NUMBER:
STANDARD SPECIFICATIONS	1504

DESIGNED BY: DD	DRAWN BY: DD
DATE: 03-12-2025	CHECKED BY: DD
SCALE: 1 : 100	REVISION: B
DWG NUMBER: 1.05	LGA: NORTHERN BEACHES

GENERAL NOTES:

1. ALL PLANS ARE COPYRIGHT WORK OF DREAM DRAFTING SYDNEY

2. FIGURED DIMENSIONED SHALL BE TAKEN IN PREFERENCE TO SCALING

3. CHECK ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING WORK OR ORDERING MATERIALS.

4. ANY DISCREPANCIES TO BE REPORTED TO DREAM DRAFTING SYDNEY BEFORE PROCEEDING.

5. ALL EXISTING GROUND LINES AND TREE LOCATIONS ARE APPROXIMATE, THEREFORE TO BE VERIFIED ON-SITE BY THE BUILDER

6. ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH ALL THE RELEVANT CODES AND AUSTRALIAN STANDARDS.

DA ISSUE

NCC 2022 & AUSTRALIAN STANDARDS COMPLIANCE

H1 STRUCTURE

STRUCTURE PROVISIONS
(DEEMED-TO-SATISFY PROVISION H1D2 TO H1D11)
- STRUCTURE PROVISIONS FOR CLASS 1 OR CLASS 10 BUILDINGS MUST BE IN ACCORDANCE WITH SECTION 2 OF THE ABCB HOUSING PROVISIONS OR THE RELEVANT PROVISIONS OF H1D3 TO H1D12 OR ANY COMBINATION THEREOF.

SITE PREPARATION
(DEEMED-TO-SATISFY PROVISION H1D3)
- SITE PREPARATION TO BE IN ACCORDANCE WITH THE FOLLOWING
1. PART 3.2 OF THE ABCB HOUSING PROVISIONS PROVIDED SITE CLASSED AS A, S, M, H OR E IN ACCORDANCE WITH PART 4.2.2 OF THE ABCB HOUSING PROVISIONS AND THE WORK IS UNDERTAKEN IN NORMAL SITE CONDITIONS.
2. AS4678 FOR EARTH RETAINING
3. PART 3.4 OF ABCB HOUSING PROVISIONS FOR TERMITE RISK MANAGEMENT

FOOTINGS & SLABS
(DEEMED-TO-SATISFY PROVISION H1D4)
1. FOOTINGS & SLABS TO BE CONSTRUCTED IN ACCORDANCE WITH EITHER AS 2870 OR AS3600
2. WHERE IT FALLS WITHIN THE REQUIREMENTS OF H1D4 SECTION 2 OF THE NCC THEN CAN COMPLY WITH SECTION 4 OF THE ABCB HOUSING PROVISIONS

MASONARY
(DEEMED-TO-SATISFY PROVISION H1D5)
- MASONARY VENEER TO BE CONSTRUCTED IN ACCORDANCE WITH: AS3700 OR AS4773.1 & AS4773.2 OR PART 5 OF THE ABCB HOUSING PROVISIONS OF THE NCC PROVIDED:
1. WIND CLASS N3 & LESS
2. COMPLY WITH H1D4 & PART 5.6 USING COMPONENTS OF PART 5.7 OF THE HOUSING PROVISIONS
3. SOIL CLASS A, S, M IN ACCORDANCE TO AS2870
4. TIED MASONARY AS PER H1D6
5. NOT LOCATED WITHIN ALPINE AREAS
6. NO EARTHQUAKE AFFECTED DESIGN REQUIREMENTS

- CAVITY BRICK UNREINFORCED TO BE CONSTRUCTED IN ACCORDANCE WITH:
AS3700 OR AS4773.1 & AS4773.2 OR PART 5.3 OF THE ABCB HOUSING PROVISIONS PROVIDED:
1. WIND SPEED OF NOT MORE THAN N3
2. COMPLY WITH H1D4 & PART 5.6 USING COMPONENTS OF PART 5.7 OF THE ABCB HOUSING PROVISIONS
3. SOIL CLASS A, S, M IN ACCORDANCE WITH AS2870
4. NOT LOCATED WITHIN ALPINE AREAS
5. NO EARTHQUAKE AFFECTED DESIGN REQUIREMENTS

- SINGLE LEAF UNREINFORCED MASONARY TO BE CONSTRUCTED IN ACCORDANCE WITH:
AS3700 OR AS4773.1 & AS4773.2 OR PART 5.4 OF THE ABCB HOUSING PROVISIONS PROVIDED:
1. WIND SPEED NOT MORE THAN N3
2. COMPLY WITH H1D4 & PART 5.6 USING COMPONENTS OF PART 5.7 OF THE ABCB HOUSING PROVISIONS
3. SOIL CLASS A, S, M IN ACCORDANCE WITH AS2870
4. NOT LOCATED WITHIN ALPINE AREAS
5. NO EARTHQUAKE AFFECTED DESIGN REQUIREMENTS

- REINFORCED MASONARY TO BE CONSTRUCTED IN ACCORDANCE WITH:
1. AS3700 EXCEPT '(FOR PIERS—ISOLATED OR ENGAGED)' IS REMOVED FROM CLAUSE 8.5.1 (D); AND WHERE CLAUSE 8.5.1 REQUIRES DESIGN AS FOR UNREINFORCED MASONRY IN ACCORDANCE WITH SECTION 7, THE MEMBER MUST ALSO BE DESIGNED AS UNREINFORCED MASONRY IN ACCORDANCE WITH TABLE 10.3 AND 4.1 (A)(I)(C) OF AS 3700; OR AS4773.1 & AS4773.2

- ISOLATED MASONARY PIERS TO BE CONSTRUCTED IN ACCORDANCE WITH ONE OF THE FOLLOWING, AS APPROPRIATE:
1. AS3700 EXCEPT '(FOR PIERS—ISOLATED OR ENGAGED)' IS REMOVED FROM CLAUSE 8.5.1 (D); AND WHERE CLAUSE 8.5.1 REQUIRES DESIGN AS FOR UNREINFORCED MASONRY IN ACCORDANCE WITH SECTION 7, THE MEMBER MUST ALSO BE DESIGNED AS UNREINFORCED MASONRY IN ACCORDANCE WITH TABLE 10.3 AND 4.1 (A)(I)(C) OF AS 3700; OR AS4773.1 & AS4773.2
2. PART 5.5 OF THE ABCB HOUSING PROVISIONS PROVIDED
- WIND CLASS NO MORE THAN N3
- COMPLY WITH H1D4
- COMPLY WITH PART 5.6.2(4) OF THE HOUSING PROVISIONS OF THE NCC AND HAVE 6.2MPa FOR SOLID & CORE UNITS AND 15MPa FOR HOLLOW UNITS.
- THE ROOF STRUCTURE & WALLS IN ACCORDANCE WITH AS3700 EXCEPT
'(FOR PIERS—ISOLATED OR ENGAGED)' IS REMOVED FROM CLAUSE 8.5.1 (D); AND WHERE CLAUSE 8.5.1 REQUIRES DESIGN AS FOR UNREINFORCED MASONRY IN ACCORDANCE WITH SECTION 7, THE MEMBER MUST ALSO BE DESIGNED AS UNREINFORCED MASONRY IN ACCORDANCE WITH TABLE 10.3 AND 4.1 (A)(I)(C) OF AS 3700; AND
3. SOIL CLASS A, S, M IN ACCORDANCE WITH AS2870
4. NOT LOCATED WITHIN ALPINE AREAS
5. NO EARTHQUAKE AFFECTED DESIGN REQUIREMENTS

- MASONARY ACCESSORIES TO BE CONSTRUCTED IN ACCORDANCE WITH:
1. AS3700 OR
2. AS4773.1 & AS4773.2
3. PART 5.6 OF HOUSING PROVISIONS OF THE NCC PROVIDED
- WIND CLASS N3 OR LESS
- NOT LOCATED WITHIN ALPINE AREAS
- NO EARTHQUAKE AFFECTED DESIGN REQUIREMENTS

FRAMING
(DEEMED-TO-SATISFY PROVISION H1D6)
- STEEL FRAMING TO BE CONSTRUCTED IN ACCORDANCE WITH NASH STANDARD RESIDENTIAL AND LOW-RISE STEEL FRAMING PART 1 & 2, STEEL STRUCTURES AS4100 AND/OR COLD-FORMED STEEL STRUCTURES AS/NZS4600
- TIMBER FRAMING TO BE CONSTRUCTED IN ACCORDANCE WITH AS1720.1, AS1720.5, AS1684.2 OR AS1684.4, AS1684.3 & AS1860.2
IF WITHIN A CYCLONE AREA AS1684.3
- STRUCTURAL STEEL SECTIONS TO BE CONSTRUCTED IN ACCORDANCE WITH AS4100, AS/NZS4600 & PART 6.3 TO 6.3.9 OF ABCB HOUSING PROVISIONS
- SOFTWARE IN ACCORDANCE WITH ABCB PROTOCOL FOR STRUCTURAL SOFTWARE & GEOMETRIC LIMITS, PROGRAMS THAT CONTAIN SIMILAR TABLES TO AS1684 OR NASH STANDARD RESIDENTIAL & LOW-RISE STEEL FRAMING PART 2.

ROOF AND WALL CLADDING
(DEEMED-TO-SATISFY PROVISION H1D7)

- TERRACOTTA, FIBRE-CEMENT AND TIMBER SLATES AND SHINGLES IN ACCORDANCE WITH AS4597
- ROOF TILES AS SELECTED TO BE IN ACCORDANCE WITH AS2050 OR PART 7.3 OF THE ABCB HOUSING PROVISIONS, PROVIDED
(A) WIND CLASS NOT MORE THAN N3
(B) COMPLY WITH AS204; AND
(C) ROOF PITCH OF NO LESS THAN 15 DEGREES AND NO MORE THAN 35 DEGREES
- TIMBER AND COMPOSITE WALL CLADDING TO BE IN ACCORDANCE WITH AS5146.1 FOR AUTOCLAVED AERATED WALL CLADDING OR PART 7.5 OF THE ABCB HOUSING PROVISIONS FOR WALL CLADDING.
- METAL WALL CLADDING TO BE IN ACCORDANCE WITH AS1562.1

EARTHQUAKE AREAS
(DEEMED-TO-SATISFY PROVISION H1D9)
- CLASS 1 & 10 BUILDING TO BE IN ACCORDANCE WITH SECTION 2 OF THE ABCB HOUSING PROVISIONS SUBJECT TO SEISMIC ACTIVITY

FLOOD HAZARD AREAS
(DEEMED-TO-SATISFY PROVISION H1D10)
- CLASS 1 TO BE IN ACCORDANCE WITH ABCB STANDARD FOR CONSTRUCTION OF BUILDINGS IN FLOOD HAZARD AREAS

ATTACHMENT OF FRAMED DECKS AND BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING THE WALING PLATE
(DEEMED-TO-SATISFY PROVISION H1D11)
- ATTACHMENT OF FRAMED DECKS AND BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WALING PLATE TO BE IN ACCORDANCE WITH PART 12.3 OF THE ABCB HOUSING PROVISIONS (SUBJECT TO CONDITIONS)

PILED FOOTINGS
(DEEMED-TO-SATISFY PROVISION H1D12)
- PILED FOOTINGS TO BE IN ACCORDANCE WITH AS2159

H2 DAMP & WEATHER PROOFING

DRAINAGE
(DEEMED-TO-SATISFY H2D2)
- DRAINAGE TO BE IN ACCORDANCE WITHAS/NZS3500.3; OR
- PART 3.3 OF THE ABCB HOUSING PROVISIONS FOR ROOFS IN AREAS SUBJECT TO 5 MINUTE DURATION RAINFALL INTENSIFIES OF NOT MORE THAN 255 MM PER HOUR OVER AN ANNUAL EXCEEDANCE PROBABILITY OF 5% (AS PER TABLE 7.4.3D OF THE ABCB HOUSING PROVISIONS) WHERE A DRAINAGE SYSTEM IS REQUIRED; AND SUB-SOIL AREAS WHERE EXCESSIVE SOIL MOISTURE PROBLEMS MAY OCCUR; AND LAND ADJOINING AND UNDER BUILDINGS.

FOOTINGS & SLABS
(DEEMED-TO-SATISFY PROVISION H2D3)
- FOOTINGS & SLABS TO BE PROVIDED IN ACCORDANCE WITH H1D4 (I)(A) OR (B)

MASONARY
(DEEMED-TO-SATISFY PROVISION H2D4)
- MASONARY WALLS TO BE PROVIDED IN ACCORDANCE WITH EITHER AS3700, AS4773.1 & AS4773.2 OR PART 5.7 OF THE ABCB HOUSING PROVISIONS PROVIDING CONSTRUCTED IN ACCORDANCE WITH H1D5 AND REQUIREMENTS OF PART 5.7

SUBFLOOR VENTILATION
(DEEMED-TO-SATISFY PROVISION H2D5)
- FOUNDATIONS AREAS TO BE PROVIDED WITH ACCESS & SUBFLOOR VENTILATION TO BE IN ACCORDANCE WITH PART 6.2 OF THE ABCB HOUSING PROVISIONS

ROOF AND WALL CLADDING
(DEEMED-TO-SATISFY PROVISION H2D6)
- GUTTERS & DOWNPIPES TO BE IN ACCORDANCE WITH AS/NZS 3500.3 OR PART 7.4 OF THE ABCB HOUSING PROVISIONS

GLAZING
(DEEMED-TO-SATISFY PROVISION H2D7)
- GLAZING TO BE IN ACCORDANCE WITH H1D8(1) OF THE NCC

EXTERNAL WATERPROOFING
(DEEMED-TO-SATISFY PROVISION H2D8)
EXTERNAL WATERPROOFING TO BE IN ACCORDANCE WITH AS4654.1 & AS4654.2 ALSO APPLICABLE TO ROOFING SYSTEMS WITH H1D7(2) & (3)M TERRACES, BALCONIES, SUSPENDED CONCRETE SLABS & SPACED DECKING IN CONJUNCTION WITH FRAMING THAT IS SUITABLE FOR EXTERNAL USE

H3 FIRE SAFETY

FIRE HAZARD PROPERTIES AND NON-COMBUSTIBLE BUILDING ELEMENTS
- HAZARD PROPERTIES AND NON-COMBUSTIBLE BUILDING ELEMENTS TO BE PROVIDED IN ACCORDANCE WITH H3D2
- FLEXIBLE DUCTWORK USED FOR THE TRANSFER OF PRODUCTS INITIATING FROM A HEAT SOURCE THAT CONTAINS A FLAME MUST COMPLY WITH THE FIRE HAZARD PROPERTIES SET OUT IN AS4254.1

FIRE SEPARATION FROM EXTERNAL WALLS
(DEEMED-TO-SATISFY PROVISION H3D3)
- COMPLIANCE WITH PART 9.2 OF THE ABCB HOUSING PROVISIONS

FIRE PROTECTION OF SEPARATION WALLS AND FLOORS
(DEEMED-TO-SATISFY PROVISION H3D4)
- COMPLIANCE WITH PART 9.3 OF THE ABCB HOUSING PROVISIONS

FIRE SEPARATION OF GARAGE-TOP-DWELLINGS
(DEEMED-TO-SATISFY PROVISION H3D5)
- COMPLIANCE WITH PART 9.4 OF THE ABCB HOUSING PROVISIONS

SMOKE ALARMS AND EVACUATION LIGHTING
(DEEMED-TO-SATISFY PROVISION H3D6)
- COMPLIANCE WITH PART 9.5 OF THE ABCB HOUSING PROVISIONS

H4 HEALTH & AMENITY

WET AREAS WATERPROOFING
(DEEMED-TO-SATISFY PROVISION H4D2)
- WET AREAS TO BE PROVIDED IN COMPLIANCE WITH AS3740 OR PART 10.2 OF THE ABCB HOUSING PROVISIONS

MATERIALS AND INSTALLATION OF WET AREA COMPONENTS AND SYSTEMS
(DEEMED-TO-SATISFY PROVISION H4D3)
- MATERIALS AND INSTALLATION OF WET AREA COMPONENTS AND SYSTEMS TO COMPLY WITH EITHER AS3740 AND CLAUSE 10.2.12 OOF THE ABCB HOUSING PROVISIONS OR 10.2.7 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS

ROOM HEIGHTS
(DEEMED-TO-SATISFY PROVISION H4D4)
- ROOM HEIGHTS TO COMPLY WITH PART 10.3 OF THE ABCB HOUSING PROVISIONS

FACILITIES
(DEEMED-TO-SATISFY PROVISION H4D5)
- FACILITIES TO BE PROVIDED IN ACCORDANCE WITH PART 10.4 OF THE ABCB HOUSING PROVISIONS

LIGHT
(DEEMED-TO-SATISFY PROVISION H4D6)
- LIGHT TO BE PROVIDED IN ACCORDANCE WITH PART 10.5 OF THE ABCB HOUSING PROVISIONS

VENTILATION
(DEEMED-TO-SATISFY PROVISION H4D7)
- MECHANICAL VENTILATION TO COMPLY WITH AS 1668.2 EXCEPT FOR AN EXHAUST FAN FROM A SANITARY COMPARTMENT, LAUNDRY, KITCHEN, OR BATHROOM
- COMPLY WITH PART 10.6 OFF THE ABCB HOUSING PROVISIONS

SOUND INSULATION
(DEEMED-TO-SATISFY PROVISION H4D8)
- SOUND INSULATION TO BE PROVIDED IN ACCORDANCE WITH PART 10.7 OF THE ABCB HOUSING PROVISIONS

CONDENSATION MANAGEMENT
(DEEMED-TO-SATISFY PROVISION H4D9)
- SOUND INSULATION TO BE PROVIDED IN ACCORDANCE WITH PART 10.8 OF THE ABCB HOUSING PROVISIONS

H5 SAFE MOVEMENT & ACCESS

STAIRWAY & RAMP CONSTRUCTION
(DEEMED-TO-SATISFY PROVISION H5D2)
- STAIRS AND RAMPS TO COMPLY WITRH PART 11.2 OF THE ABCB HOUSING PROVISIONS

BARRIERS AND HANDRAILS
(DEEMED-TO-SATISFY PROVISION H5D3)
- BARRIERS AND HANDRAILS TO COMPLY WITH PART 11.3 OF THE ABCB HOUSING PROVISIONS



ADDITIONAL COMPLIANCE

ALL ASPECTS OF CONSTRUCTION TO BE COMPLIANT WITH RELEVANT PERFORMANCE REQUIREMENTS OF THE NATIONAL CONSTRUCTION CODE AND AUSTRALIAN STANDARDS INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:

- GARAGE AND DRIVEWAY PROFILES/GRADES TO COMPLY IN ACCORDANCE WITH AS2890
- TERMITE CONTROL MEASURES:
 - REDSTOP PIPE PENETRATIONS
 - GRANITE GUARD APPLICATION TO PERIMETER WALLS IN ACCORDANCE WITH AS3660.1 CLAUSE 6.59 & 6.60
- VERTICAL ARTICULATION JOINTS
 - VERTICAL ARTICULATION JOIUNTS TO COMPLY WITH PART 5.6.8 OF THE ABCB HOUSING PROVISIONS
- STAIRS, RAMPS AND BALUSTRADES NOTE:
 - STAIRS TO BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 11.2.2 OF VOLUME 2 OF THE NCC
 - FINISHES OF ALL STAIRS TO MEET THE REQUIREMENTS OF CLAUSE 11.2.4 OF VOLUME 2 OF THE NCC
 - ANY LANDINGS TO MEET THE REQUIREMENTS OF CLAUSE 11.2.5 OF VOLUME 2 OF THE NCC
 - ANY RAMPS TO BE CONSTRUCTED IN ACCORDANCE WITH CLAUSE 11.2.6 OF VOLUME 2 OF THE NCC
 - THRESHOLDS WILL BE CONSTRUED IN ACCORDANCE WITH CLAUSE 11.2.6 OF VOLUME 2 OF THE NCC
 - STAIRS TO BE SERVICED BY A HANDRAIL IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 11.3.1 TO 11.3.6 OF VOLUME 2 OF THE NCC
 - THE BALUSTRADES SERVICING THE DWELLING (INTERNAL AND EXTERNAL) TO MEET THE REQUIREMENTS OF CLAUSE 1 VOLUME 2 OF THE NCC
- WET AREA FLASHING
 - TO BE IN ACCORDANCE WITH AS3740 OR PART 10 OF THE ABCB HOUSING PROVISION



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— MAKING YOUR DREAM A REALITY —

EMAIL: INFO@DREAMDRAFTINGSYDNEY.COM.AU

CONTACT: 0424 133 547

WEBSITE: WWW.DREAMDRAFTINGSYDNEY.COM.AU



CLIENT NAME:	
MR JAGDISH CHAUDHARI	
PROJECT ADDRESS	LOT DETAILS
1 NERIDAH AVENUE, BELROSE NSW 2085	LOT 1 DP 237377
SHEET TITLE:	PROJECT NUMBER:
NCC 2022 AND AUSTRALIAN STANDARDS COMPLIANCE	E504

DESIGNED BY: DD	DRAWN BY: SS
DATE: 03-12-2025	CHECKED BY: DD
SCALE: 1 : 100	REVISION: B
DWG NUMBER: 1.06	LGA: NORTHERN BEACHES

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DA ISSUE

- NOTES:
- ALL INTERNAL DOOR HEIGHTS AS INDICATED ON THE DOOR SCHEDULE.

• W.I.P SHELF HEIGHT=1800 WITH 4 SHELVES.

• LINEN SHELF HEIGHT=1800 WITH 4 SHELVES.

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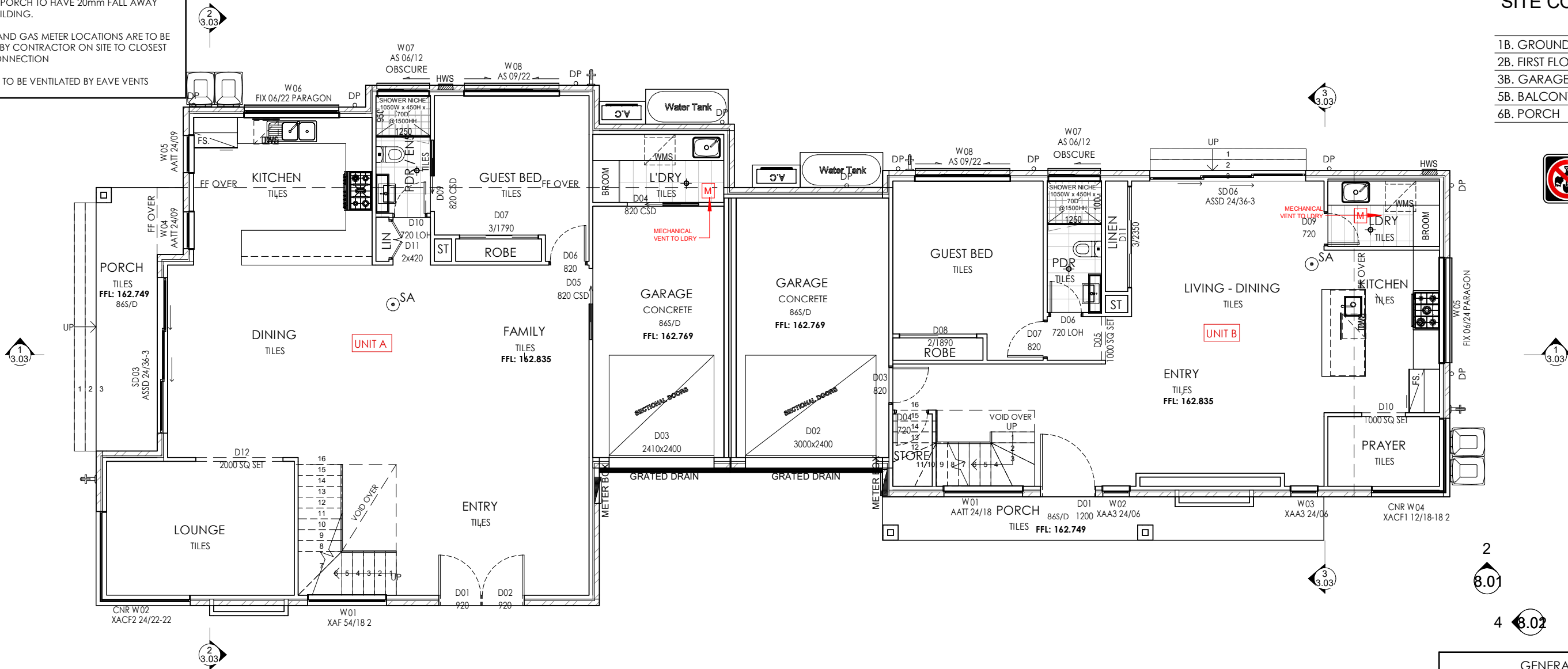
• ROOF SPACE TO BE VENTILATED BY EAVE VENTS

SITE COVERAGE UNIT A

1A. GROUND FLOOR	126.16 m²
2A. FIRST FLOOR	114.95 m²
3A. GARAGE	20.14 m²
4A. VOID	2.56 m²
5A. BALCONY	10.39 m²
6A. PORCH	9.39 m²
	283.59 m²

SITE COVERAGE UNIT B

1B. GROUND FLOOR	96.02 m²
2B. FIRST FLOOR	100.33 m²
3B. GARAGE	24.68 m²
5B. BALCONY	10.03 m²
6B. PORCH	10.13 m²
	241.19 m²

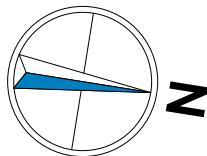


LEGEND:

MWS	MICROWAVE PROVISION
DW	DISHWASHER PROVISION
WM	WASHING MACHINE SPACE
FS	FRIDGE SPACE
DP	DOWN PIPE LOCATION
SD	SMOKE DETECTOR
L.O.H	LIFT OFF HINGES
⊕	FLOOR WASTE
G TAP	GARDEN TAP

GROUND FLOOR PLAN

SCALE 1 : 100



NOTE:
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TO BE DETERMINED ON SITE.

NOTE:
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CLIENT NAME: MR JAGDISH CHAUDHARI	
PROJECT ADDRESS 1 NERIDAH AVENUE, BELROSE NSW 2085	LOT DETAILS LOT 1 DP 237377
SHEET TITLE: GROUND FLOOR PLAN	PROJECT NUMBER: 1504

DESIGNED BY: SS	DRAWN BY: SS
DATE: 03-12-2025	CHECKED BY: DD
SCALE: 1 : 100	REVISION: B
DWG NUMBER: 2.01	LGA: NORTHERN BEACHES

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DA ISSUE

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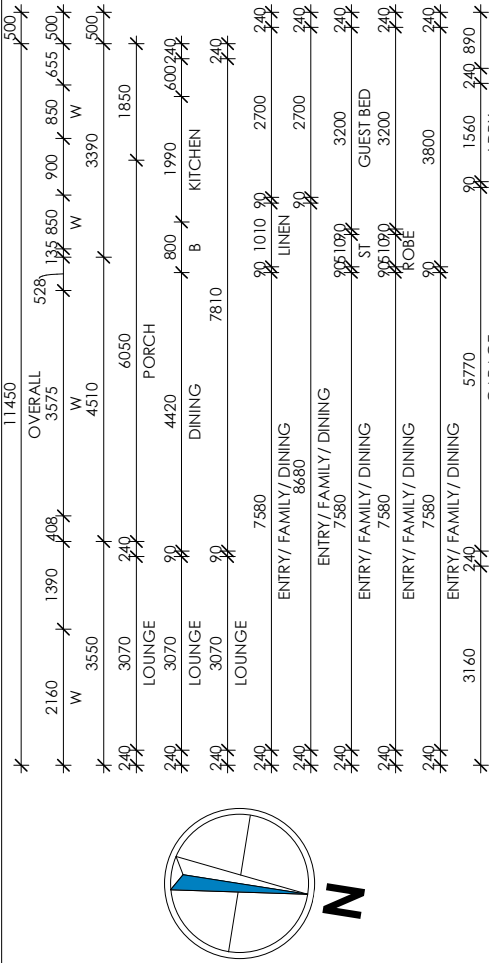
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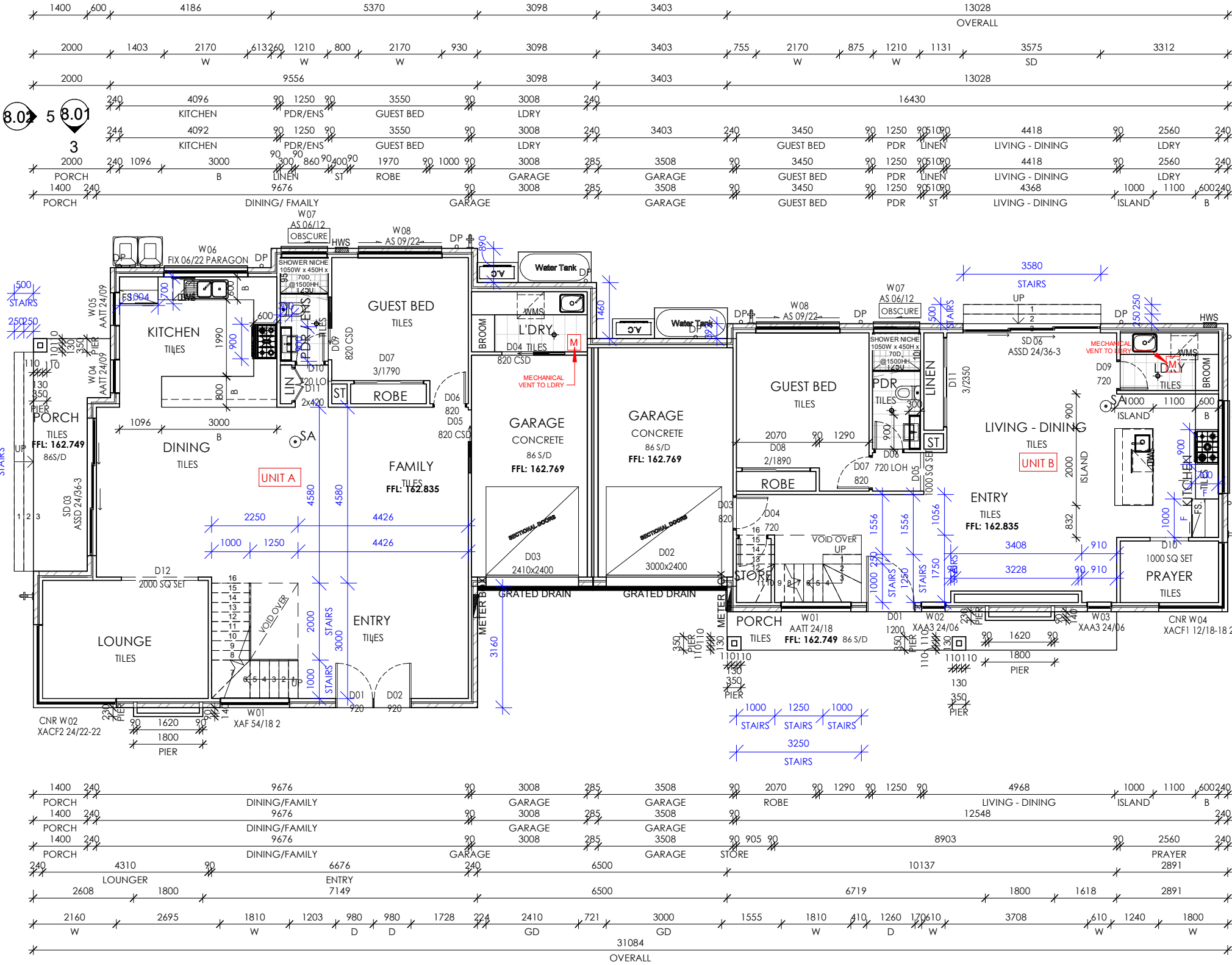
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LEGEND:	
MWS	MICROWAVE PROVISION
DW	DISHWASHER PROVISION
WM	WASHING MACHINE SPACE
FS	FRIDGE SPACE
DP o	DOWN PIPE LOCATION
SD	SMOKE DETECTOR
L.O.H	LIFT OFF HINGES
⊕	FLOOR WASTE
G TAP	GARDEN TAP

GROUND FLOOR PLAN

SCALE 1 : 120



NOTE:
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SITE COVERAGE UNIT A

1A. GROUND FLOOR	126.16 m ²
2A. FIRST FLOOR	114.95 m ²
3A. GARAGE	20.14 m ²
4A. VOID	2.56 m ²
5A. BALCONY	10.39 m ²
6A. PORCH	9.39 m ²
283.59 m ²	

SITE COVERAGE UNIT B

1B. GROUND FLOOR	96.02 m ²
2B. FIRST FLOOR	100.33 m ²
3B. GARAGE	24.68 m ²
5B. BALCONY	10.03 m ²
6B. PORCH	10.13 m ²
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DA ISSUE

CLIENT NAME:

MR JAGDISH CHAUDHARI

PROJECT ADDRESS

1 NERIDAH AVENUE, BELROSE NSW 2085

SHEET TITLE:

GROUND FLOOR PLAN DIMENSION

LOT DETAILS

LOT 1 DP 237377

PROJECT NUMBER:

1504

DESIGNED BY: SS

DRAWN BY: SS

DATE: 03-12-2025

CHECKED BY: DD

SCALE: 1 : 120

REVISION: B

DWG NUMBER: 2.02

LGA: NORTHERN BEACHES

- NOTES:
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SITE COVERAGE UNIT

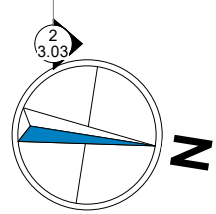
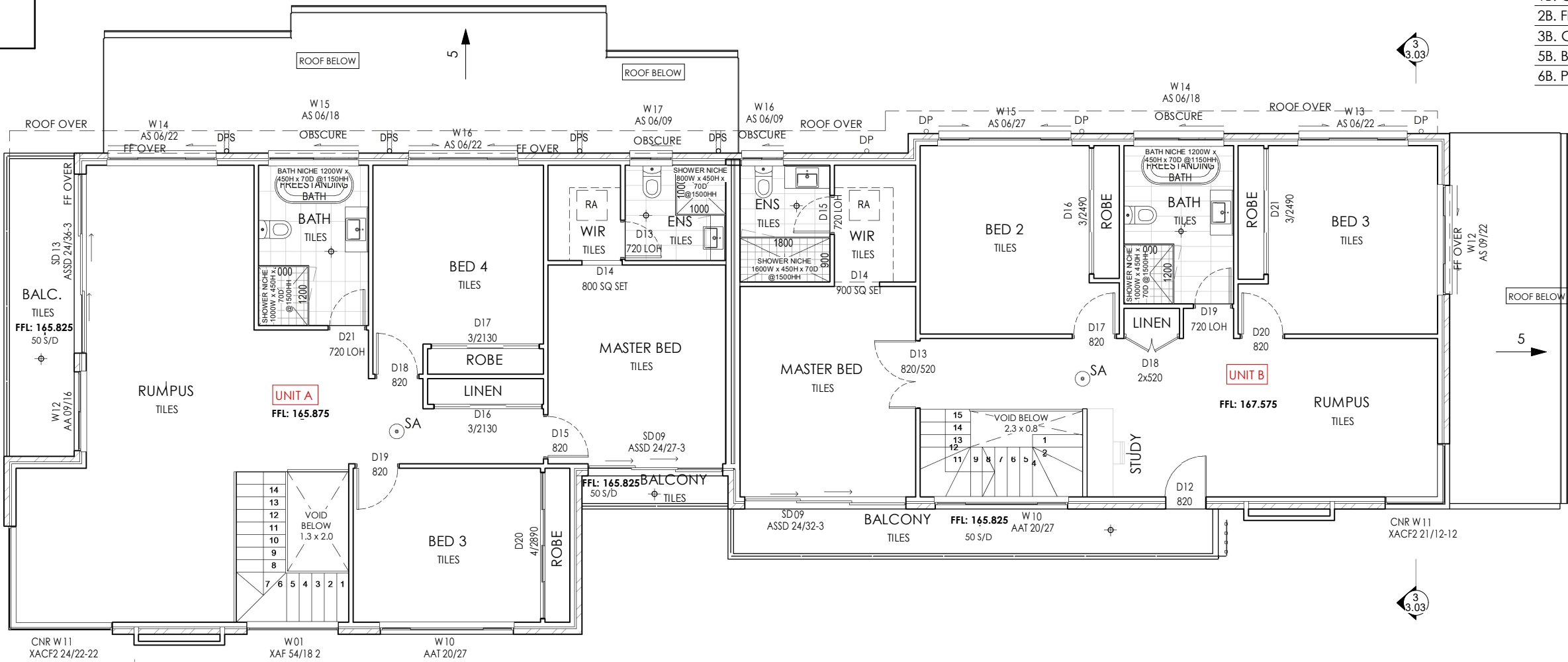
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FIRST FLOOR PLAN

SCALE 1 : 100

LEGEND:

MWS	MICROWAVE PROVISION
DW	DISHWASHER PROVISION
WM	WASHING MACHINE SPACE
FS	FRIDGE SPACE
DP	DOWN PIPE LOCATION
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CLIENT NAME:	MR JAGDISH CHAUDHARI
PROJECT ADDRESS	1 NERIDAH AVENUE, BELROSE NSW 2085
SHEET TITLE:	FIRST FLOOR PLAN
LOT DETAILS	LOT 1 DP 237377
PROJECT NUMBER:	1504

DESIGNED BY: SS	DRAWN BY: SS
DATE: 03-12-2025	CHECKED BY: DD
SCALE: 1 : 100	REVISION: B
DWG NUMBER: 2.03	LGA: NORTHERN BEACHES

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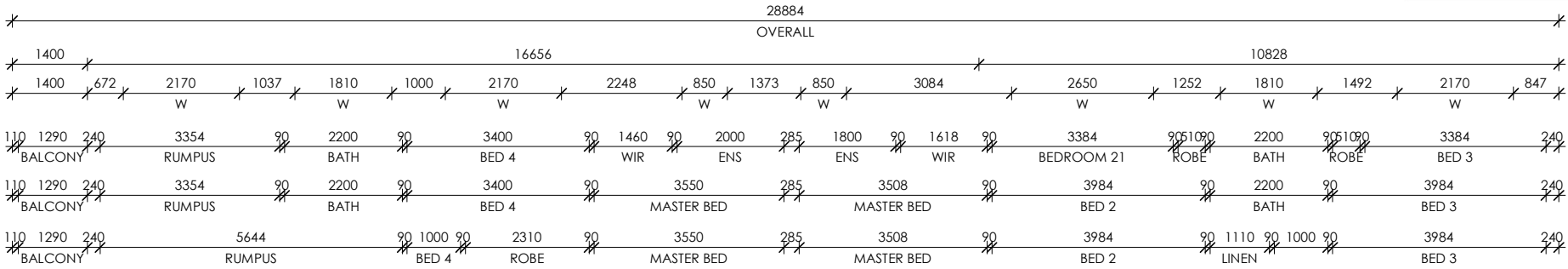
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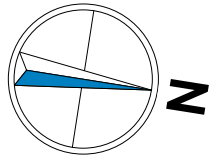
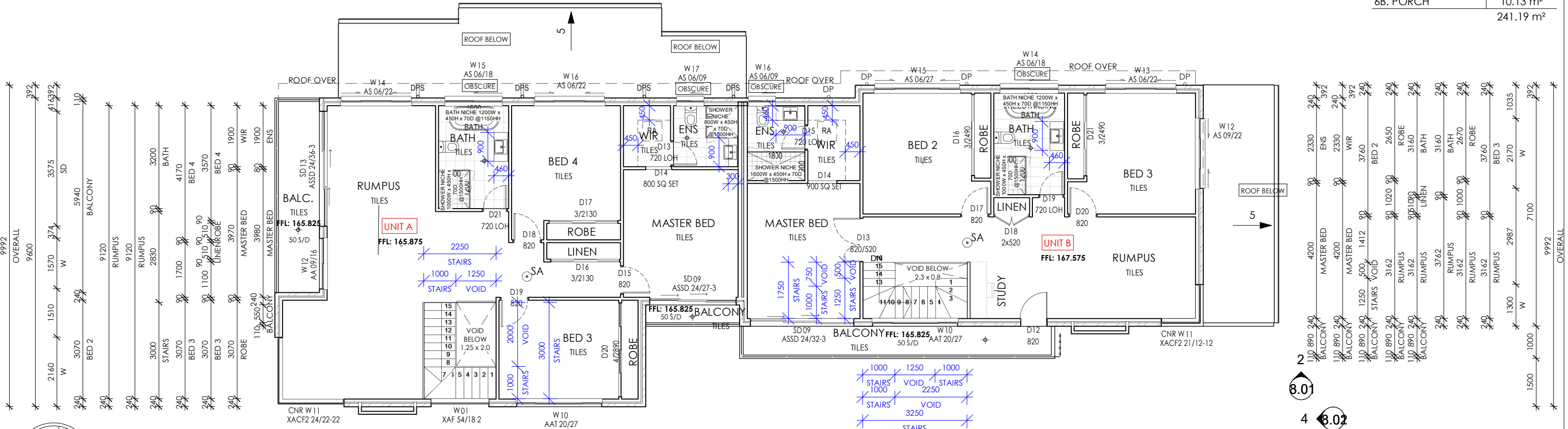
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283.59 m²	

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241.19 m²	



FIRST FLOOR PLAN

SCALE1: 120

LEGEND:	
MWS	MICROWAVE PROVISION
DW	DISHWASHER PROVISION
WM	WASHING MACHINE SPACE
FS	FRIDGE SPACE
DP o	DOWN PIPE LOCATION
SD	SMOKE DETECTOR
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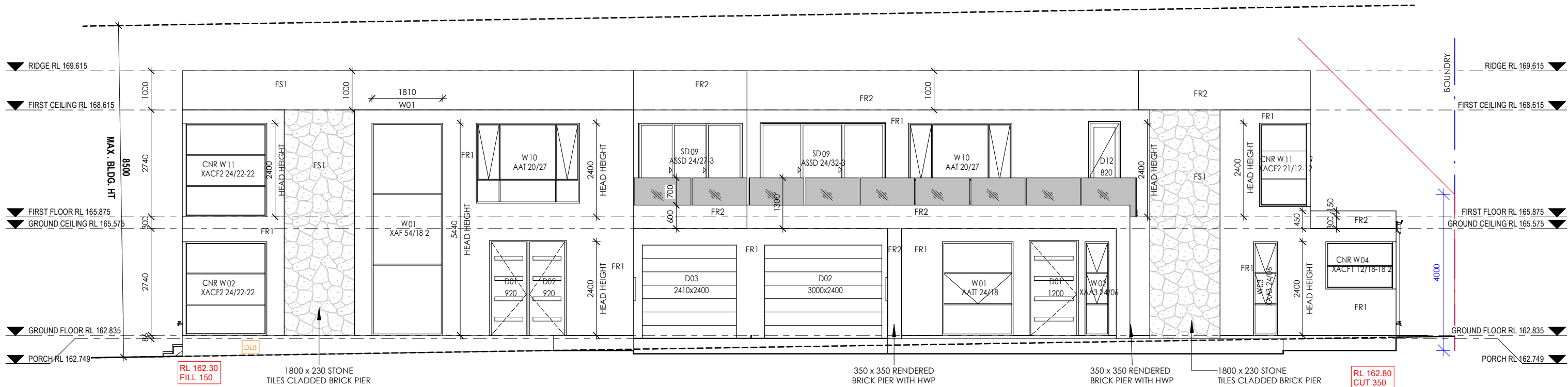


CLIENT NAME: MR JAGDISH CHAUDHARI	
PROJECT ADDRESS 1 NERIDAH AVENUE, BELROSE NSW 2085	LOT DETAILS LOT 1 DP 237377
SHEET TITLE: FIRST FLOOR PLAN DIMENSION	PROJECT NUMBER: 1504

DESIGNED BY: SS	DRAWN BY: SS
DATE: 03-12-2025	CHECKED BY: DD
SCALE: 1 : 120	REVISION: B
DWG NUMBER: 2.04	LGA: NORTHERN BEACHES

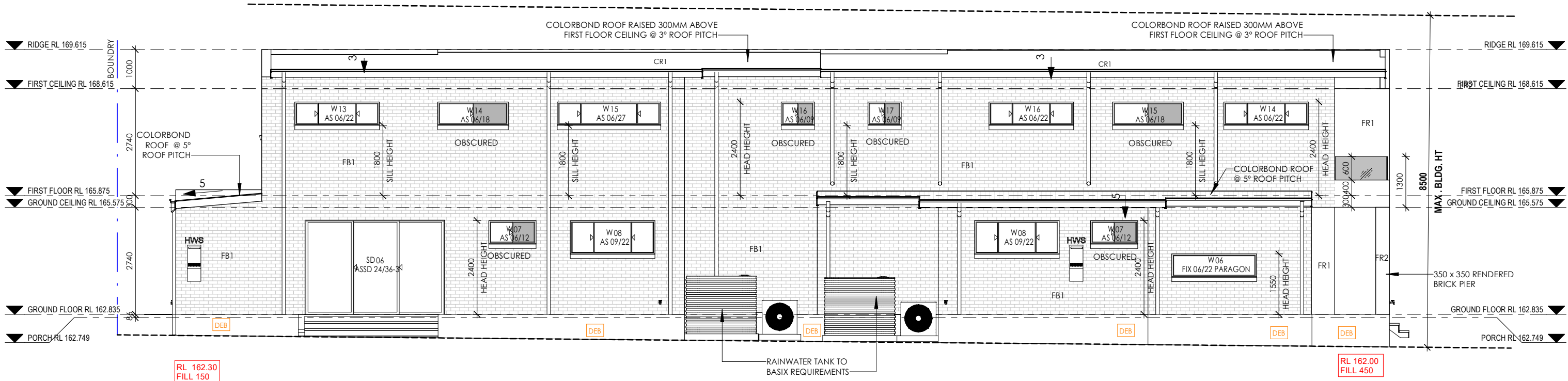
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DA ISSUE



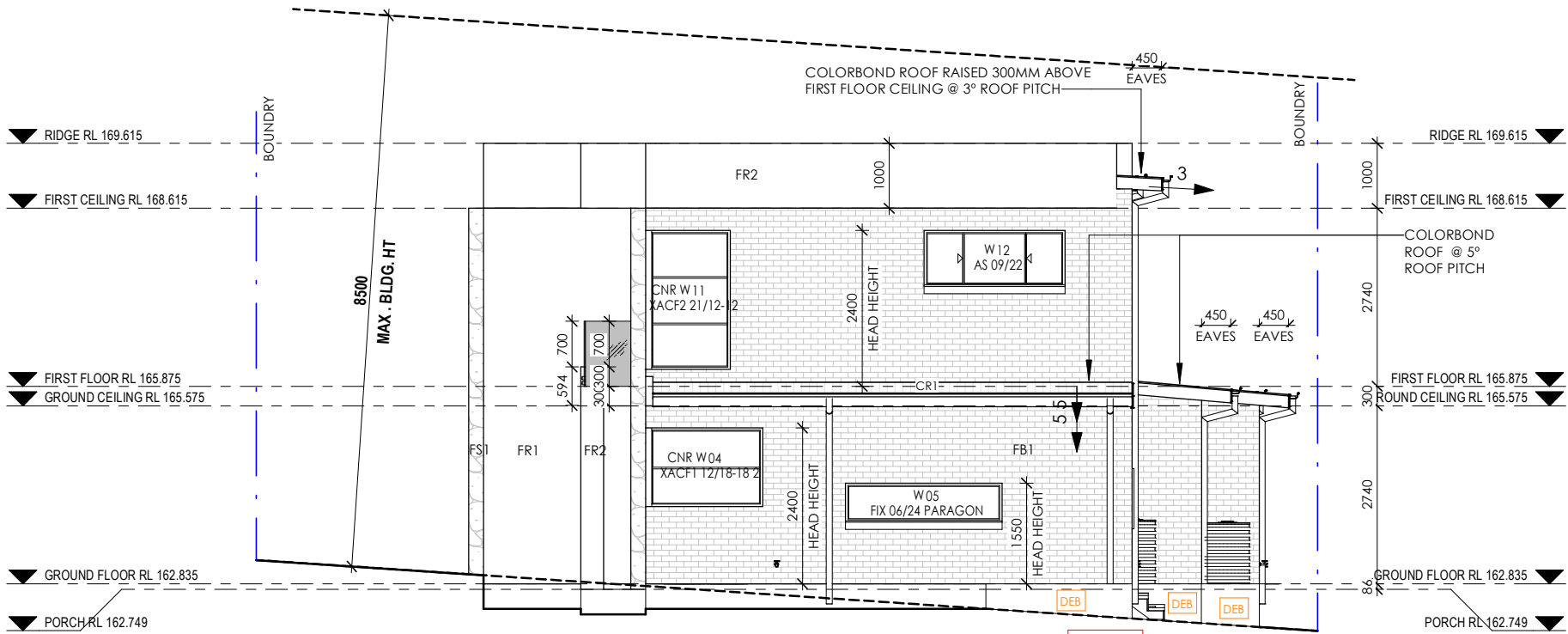
FRONT ELEVATION - EAST

SCALE 1 : 100



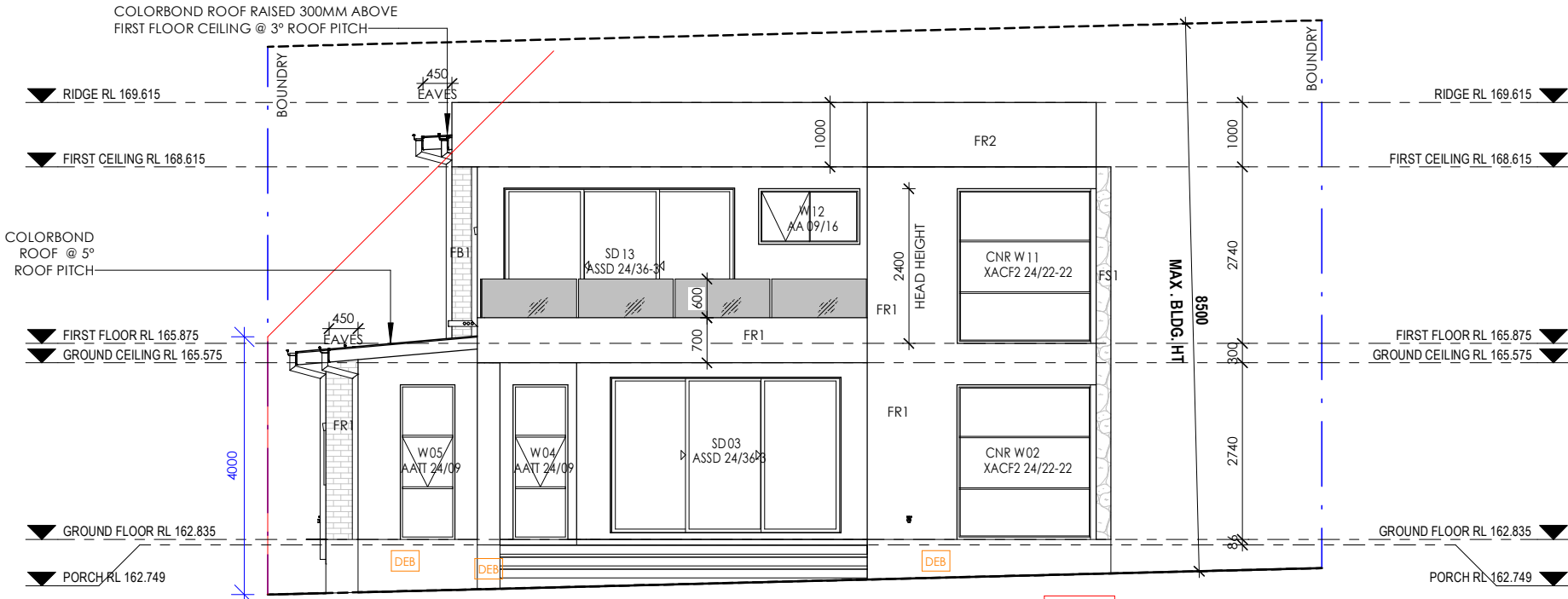
REAR ELEVATION - WEST

SCALE 1 : 100



SIDE ELEVATION - NORTH

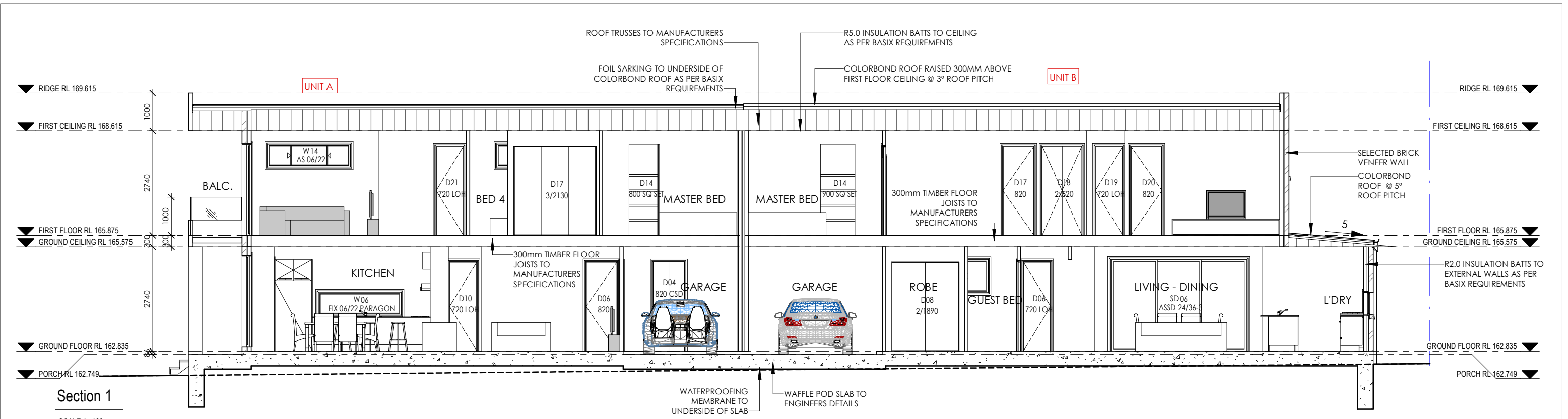
SCALE 1 : 100



SIDE ELEVATION - SOUTH

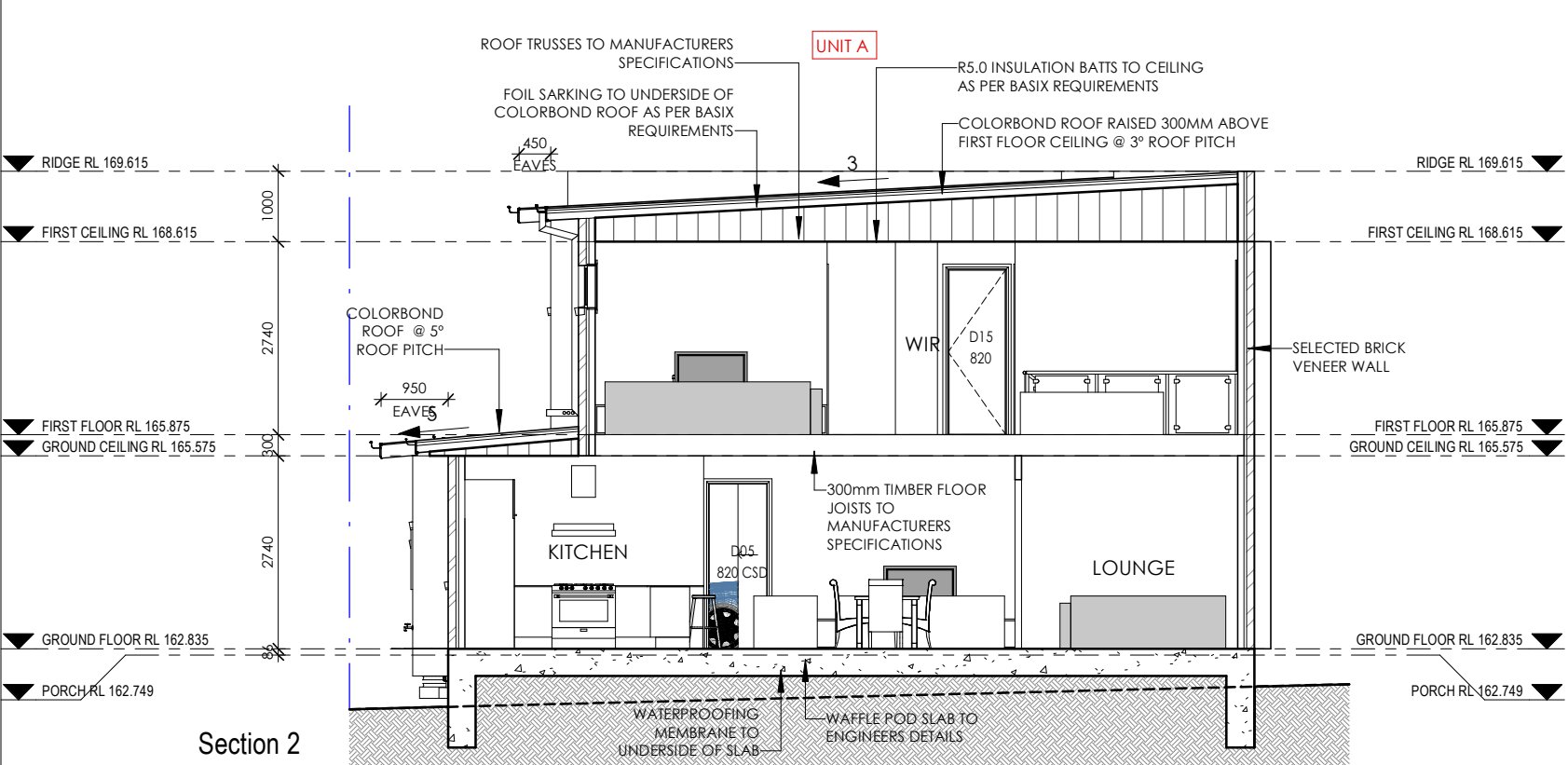
SCALE 1 : 100

SCHEDULE OF EXTERNAL FINISHES		
ITEM	DESCRIPTION	IMAGE REFERENCE
EXTERNAL BRICK WALLS:		
FB1 AUSTRAL BRICKS MORTAR: DARK JOINT - COVE	WARMED STONE OR SIMILAR	
FEATURE RENDER:		
FR1	LEXICON HALF OR SIMILAR	
FEATURE RENDER:		
FR2	MONUMENT OR SIMILAR	
FEATURE STONE:		
FS1	STONE TILES OR SIMILAR	
ROOF COVERING:		
CR1	WINDSPRAY OR SIMILAR	
COLORBOND		
GARAGE DOOR:		
B & D SIMILAR SECTIONAL PROFILE	MONUMENT OR SIMILAR	
GUTTER, FASCIA & DOWNPIPES:		
WINDSPRAY OR SIMILAR	WINDSPRAY OR SIMILAR	
COLORBOND		
WINDOW & SLIDING DOORS:		
BLACK OR SIMILAR	BLACK OR SIMILAR	
ALUMINIUM POWDERCOATED		
FRONT DOOR:		
PMAD104 1200W	MONUMENT OR SIMILAR	
FRONT DOOR:		
PMAD104 2 X 920W	MONUMENT OR SIMILAR	
DRIVEWAY:		
COLOURED CONCRETE DRIVEWAY BROOM FINISH	GREY	
FENCE:		
1.8m COLORBOND FENCE	WINDSPRAY OR SIMILAR	



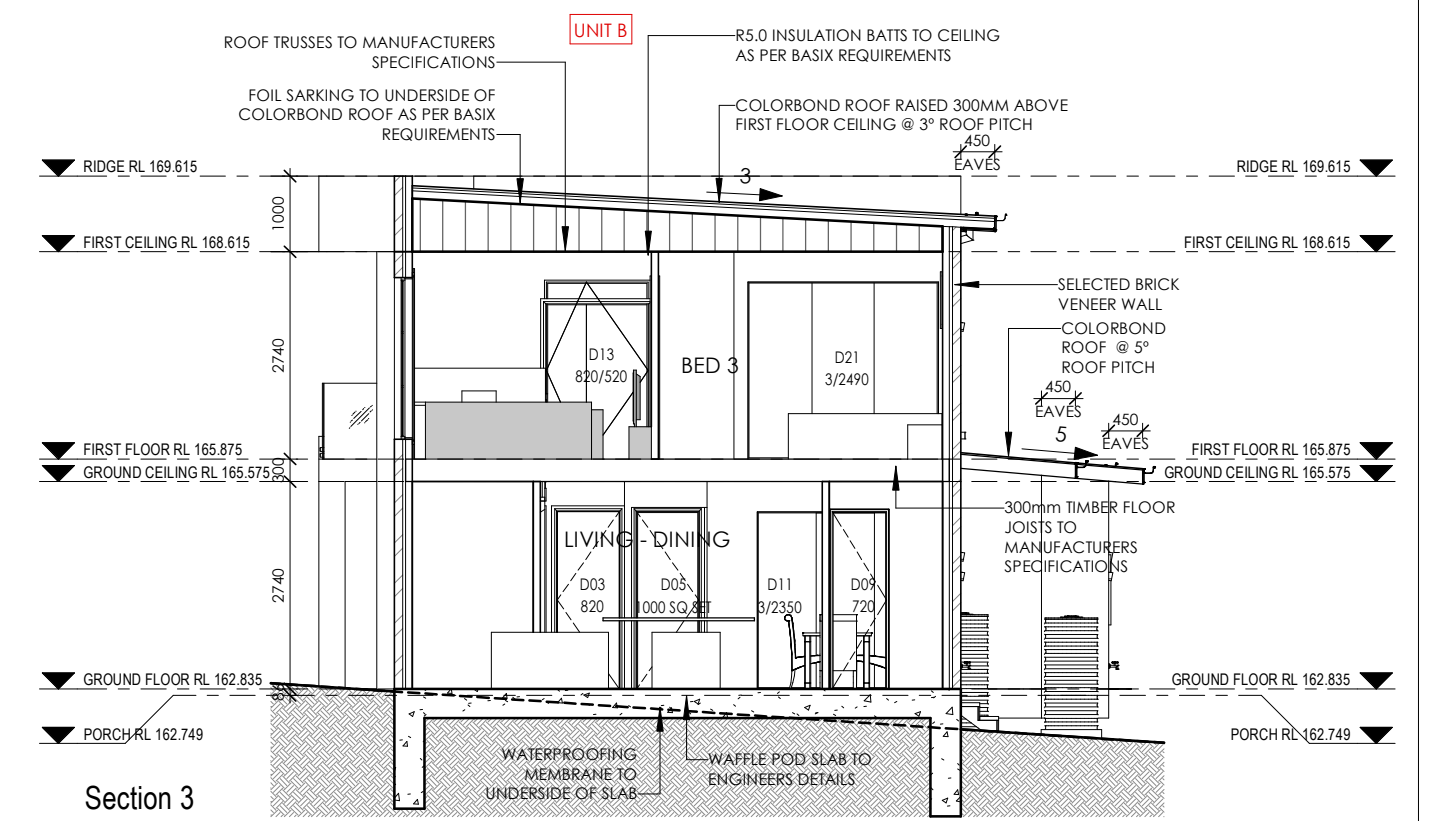
Section 1

SCALE 1 : 100



Section 2

SCALE 1 : 100



Section 3

SCALE 1 : 100

DOOR SCHEDULE UNIT A

MARK	HEIGHT	WIDTH	DESCRIPTION
01	2400	920	PMAD104 ENTRY DOOR
02	2400	920	PMAD104 ENTRY DOOR
03	2400	2410	PANELIFT GARAGE DOOR
04	2340	820	CAVITY SLIDING DOOR
05	2340	820	CAVITY SLIDING DOOR
06	2340	820	FLUSH PANEL
07	2340	1790	SLIDING ROBE DOOR
09	2340	820	CAVITY SLIDING DOOR
10	2340	720	FLUSH PANEL LOH
11	2340	420	FLUSH PANEL
12	2400	2000	SQUARE SET OPENING
13	2340	720	FLUSH PANEL LOH
14	2400	800	SQUARE SET OPENING
15	2340	820	FLUSH PANEL
16	2340	2130	SLIDING ROBE DOOR
17	2340	2130	SLIDING ROBE DOOR
18	2340	820	FLUSH PANEL
19	2340	820	FLUSH PANEL
20	2340	2890	SLIDING ROBE DOOR
21	2340	720	FLUSH PANEL LOH

WINDOW & SLIDING DOOR SCHEDULE UNIT A

MARK	CODE	STYLE	HEIGHT	WIDTH	FRAME TYPE	GLAZING
01	XAF 54/18 2	DESIGNER FIXED	5440	1810	POWDER COATED ALUMINIUM	SINGLE CLEAR
02	XACF2 24/22-22	DESIGN FIXED CORNER	2400	2160	POWDER COATED ALUMINIUM	SINGLE CLEAR
03	ASSD 24/36-3	STACKING	2410	3575	POWDER COATED ALUMINIUM	SINGLE CLEAR
04	AATT 24/09	AWNING WINDOW	2400	850	POWDER COATED ALUMINIUM	SINGLE CLEAR
05	AATT 24/09	AWNING WINDOW	2400	850	POWDER COATED ALUMINIUM	SINGLE CLEAR
06	FIX 06/22 PARAGON	PARAGON	600	2170	POWDER COATED ALUMINIUM	SINGLE CLEAR
07	AS 06/12	SLIDING	600	1210	POWDER COATED ALUMINIUM	OBSCURE
08	AS 09/22	SLIDING	860	2170	POWDER COATED ALUMINIUM	SINGLE CLEAR
09	ASSD 24/27-3	STACKING	2410	2676	POWDER COATED ALUMINIUM	SINGLE CLEAR
10	AAT 20/27	AWNING	2050	2650	POWDER COATED ALUMINIUM	SINGLE CLEAR
11	XACF2 24/22-22	DESIGN FIXED CORNER	2400	2160	POWDER COATED ALUMINIUM	SINGLE CLEAR
12	AA 09/16	AWNING	860	1570	POWDER COATED ALUMINIUM	SINGLE CLEAR
13	ASSD 24/36-3	STACKING	2410	3575	POWDER COATED ALUMINIUM	SINGLE CLEAR
14	AS 06/22	SLIDING	600	2170	POWDER COATED ALUMINIUM	SINGLE CLEAR
15	AS 06/18	SLIDING	600	1810	POWDER COATED ALUMINIUM	OBSCURE
16	AS 06/22	SLIDING	600	2170	POWDER COATED ALUMINIUM	SINGLE CLEAR
17	AS 06/09	SLIDING	600	850	POWDER COATED ALUMINIUM	OBSCURE

DOOR SCHEDULE UNIT B

MARK	HEIGHT	WIDTH	DESCRIPTION
01	2400	1200	PANELIFT GARAGE DOOR
02	2400	3000	PANELIFT GARAGE DOOR
03	2340	820	FLUSH PANEL
04	2340	720	FLUSH PANEL
05	2400	1000	SQUARE SET OPENING
06	2340	720	FLUSH PANEL LOH
07	2340	820	FLUSH PANEL LOH
08	2340	1750	SLIDING ROBE DOOR
09	2340	720	FLUSH PANEL
10	2400	1000	SQUARE SET OPENING
11	2340	2300	SLIDING ROBE DOOR
12	2400	820	EXTERNAL FLUSH PANEL
13	2340	1350	FLUSH PANEL
14	2400	900	SQUARE SET OPENING
15	2340	720	FLUSH PANEL LOH
16	2340	2490	SLIDING ROBE DOOR
17	2340	820	FLUSH PANEL
18	2340	520	DOUBLE FLUSH PANEL
19	2340	720	FLUSH PANEL LOH
20	2340	820	FLUSH PANEL
21	2340	2490	FLUSH PANEL

WINDOW & SLIDING DOOR SCHEDULE UNIT B

MARK	CODE	STYLE	HEIGHT	WIDTH	FRAME TYPE	GLAZING
01	AATT 24/18	AWNING WINDOW	2400	1810	POWDER COATED ALUMINIUM	SINGLE CLEAR
02	XAA3 24/06	DESIGNER AWNING	2400	610	POWDER COATED ALUMINIUM	SINGLE CLEAR
03	XAA3 24/06	DESIGNER AWNING	2400	610	POWDER COATED ALUMINIUM	SINGLE CLEAR
04	XACF1 12/18-18 2	DESIGN FIXED CORNER	1210	1800	POWDER COATED ALUMINIUM	SINGLE CLEAR
05	FIX 06/24 PARAGON	PARAGON	600	2410	POWDER COATED ALUMINIUM	SINGLE CLEAR
06	ASSD 24/36-3	STACKING	2410	3575	POWDER COATED ALUMINIUM	SINGLE CLEAR
07	AS 06/12	SLIDING	600	1210	POWDER COATED ALUMINIUM	OBSCURE
08	AS 09/22	SLIDING	860	2170	POWDER COATED ALUMINIUM	SINGLE CLEAR
09	ASSD 24/32-3	STACKING	2410	3216	POWDER COATED ALUMINIUM	SINGLE CLEAR
10	AAT 20/27	AWNING	2050	2650	POWDER COATED ALUMINIUM	SINGLE CLEAR
11	XACF2 21/12-12	DESIGN FIXED CORNER	2140	1300	POWDER COATED ALUMINIUM	SINGLE CLEAR
12	AS 09/22	SLIDING	860	2170	POWDER COATED ALUMINIUM	SINGLE CLEAR
13	AS 06/22	SLIDING	600	2170	POWDER COATED ALUMINIUM	SINGLE CLEAR
14	AS 06/18	SLIDING	600	1810	POWDER COATED ALUMINIUM	OBSCURE
15	AS 06/27	SLIDING	600	2650	POWDER COATED ALUMINIUM	SINGLE CLEAR
16	AS 06/09	SLIDING	600	850	POWDER COATED ALUMINIUM	OBSCURE

CLIENT NAME:

MR JAGDISH CHAUDHARI

PROJECT ADDRESS

1 NERIDAH AVENUE, BELROSE NSW 2085

LOT DETAILS

LOT 1 DP 237377

SHEET TITLE:

DOOR WINDOW SCHEDULE & BASIX COMMITMENTS

PROJECT NUMBER:

1504

DESIGNED BY: DD

DRAWN BY: DD

DATE: 03-12-2025

CHECKED BY: DD

SCALE:

REVISION: B

DWG NUMBER: 4.01

LGA: NORTHERN BEACHES

GENERAL NOTES:

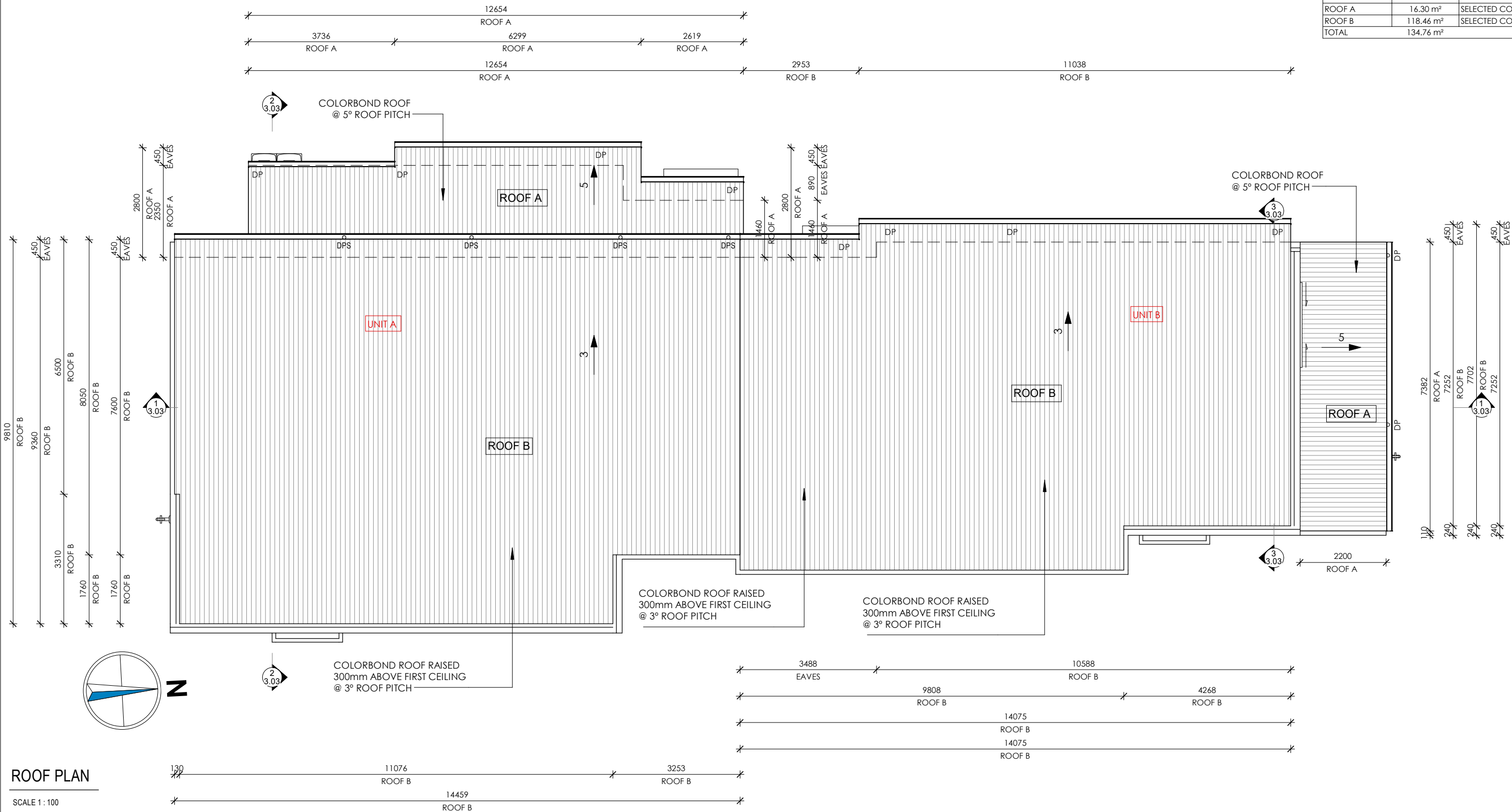
1. ALL PLANS ARE COPYRIGHT WORK OF DREAM DRAFTING SYDNEY
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DA ISSUE



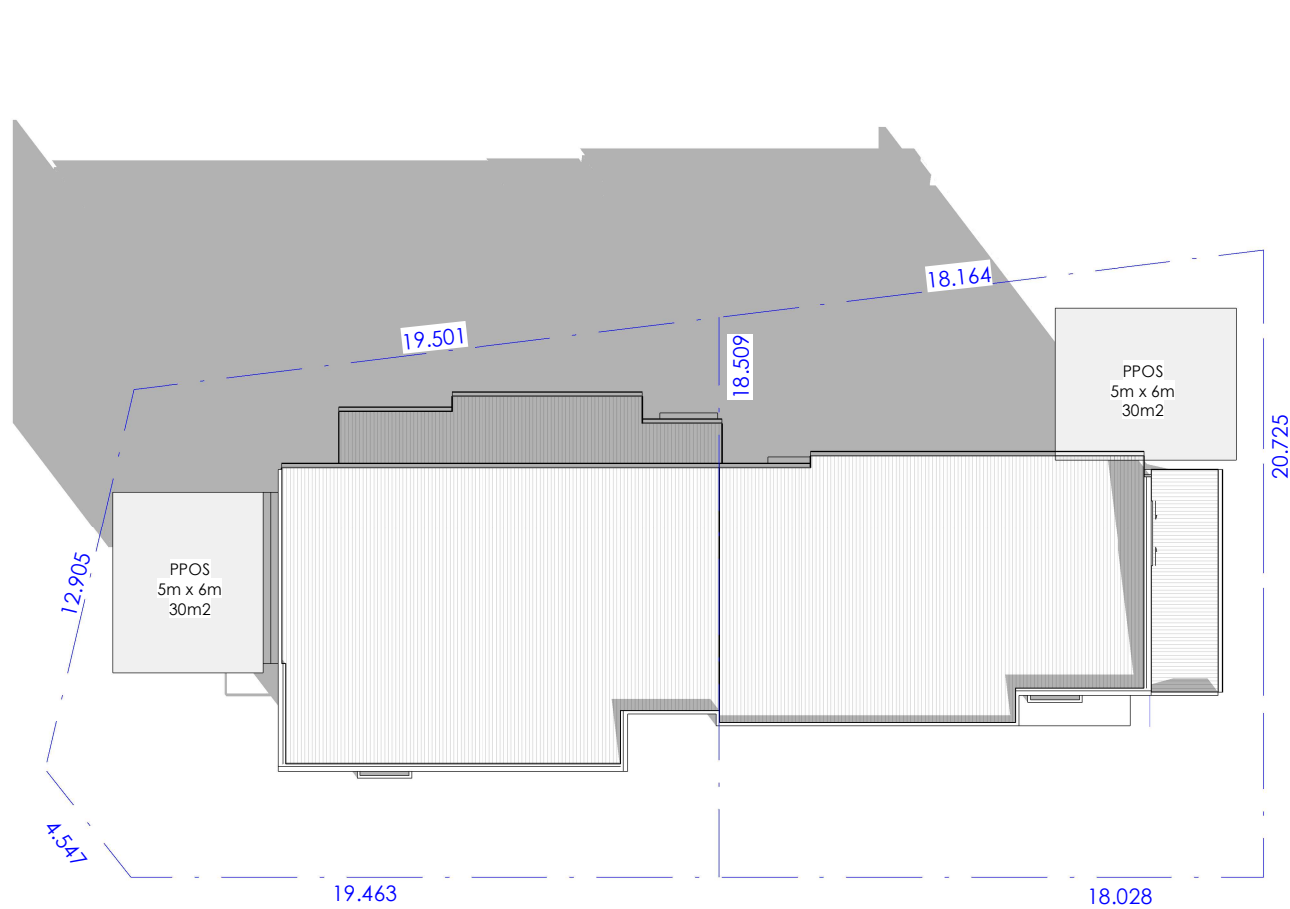
UNIT A ROOF SCHEDULE		
MARK	AREA	ROOF TYPE
ROOF A	31.35 m²	SELECTED COLORBOND ROOF
ROOF B	135.87 m²	SELECTED COLORBOND ROOF
TOTAL	167.23 m²	

UNIT B ROOF SCHEDULE		
MARK	AREA	ROOF TYPE
ROOF A	16.30 m²	SELECTED COLORBOND ROOF
ROOF B	118.46 m²	SELECTED COLORBOND ROOF
TOTAL	134.76 m²	



ROOF PLAN

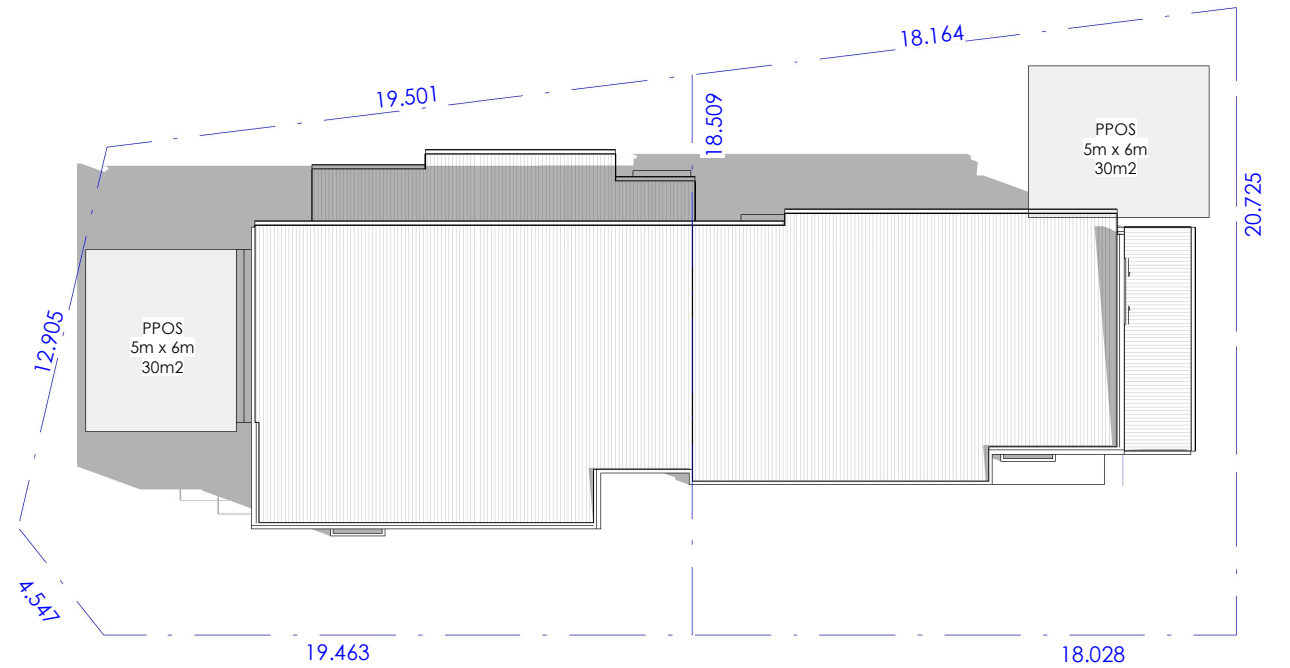
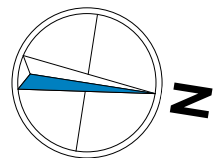
SCALE 1 : 100



9 AM SHADOW DIAGRAMS

DATE : 21st JUNE
TIME ZONE : +10.00 HOURS
TIME : 09:00:00

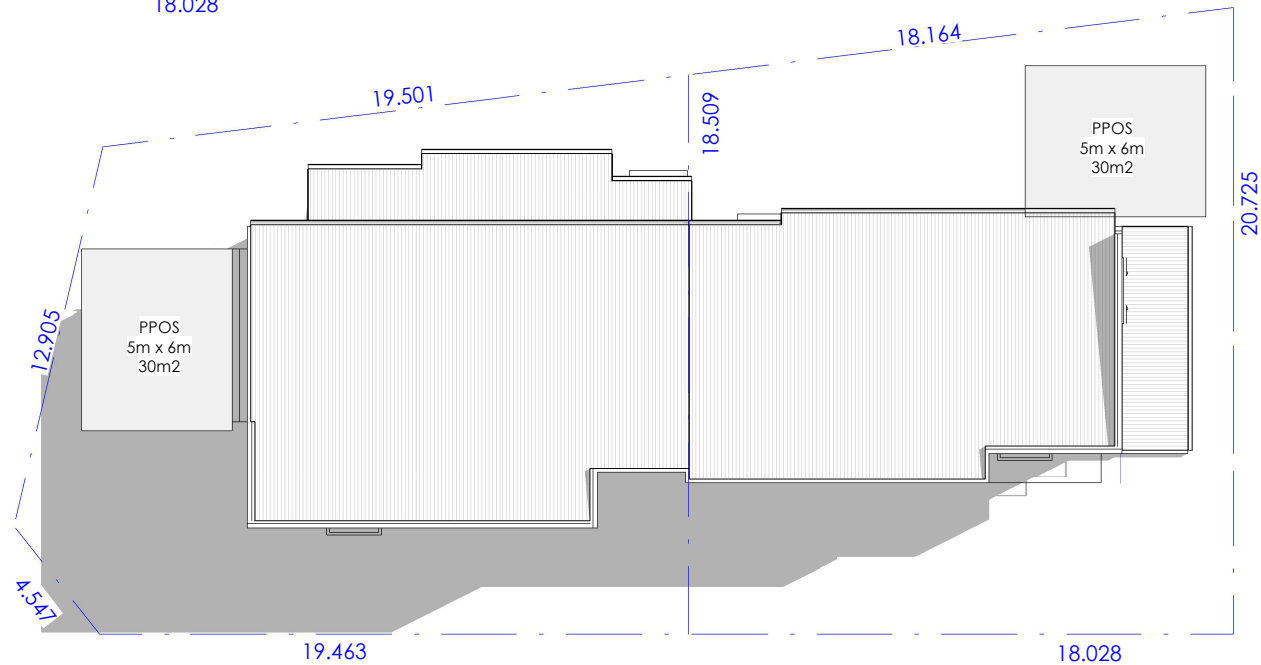
9 am
SCALE1 : 250



12 NOON SHADOW DIAGRAMS

DATE : 21st JUNE
TIME ZONE : +10.00 HOURS
TIME : 12:00:00

12 pm
SCALE1 : 250



3 PM SHADOW DIAGRAMS

DATE : 21st JUNE
TIME ZONE : +10.00 HOURS
TIME : 09:00:00

3 pm
SCALE1 : 250

- GENERAL NOTES
1. CONTOURS SHOWN HEREON ARE DESIGN CONTOURS. REFER TO CONCEPT ENGINEERING PLANS.
 - 2.THIS PLAN IS TO BE READ IN CONJUNCTION WITH SERVICE PLANS AND ENGINEERING PLANS.
 - 3.THE VALUES OF AZIMUTH AND ALTITUDE OF SUN ARE PROVIDED BY GEOSCIENCE AUSTRALIA (06/06/20).
 - 4.SHADOWS ARE GENERATED FOR WINTER SOLSTICE. (21/06/2019)

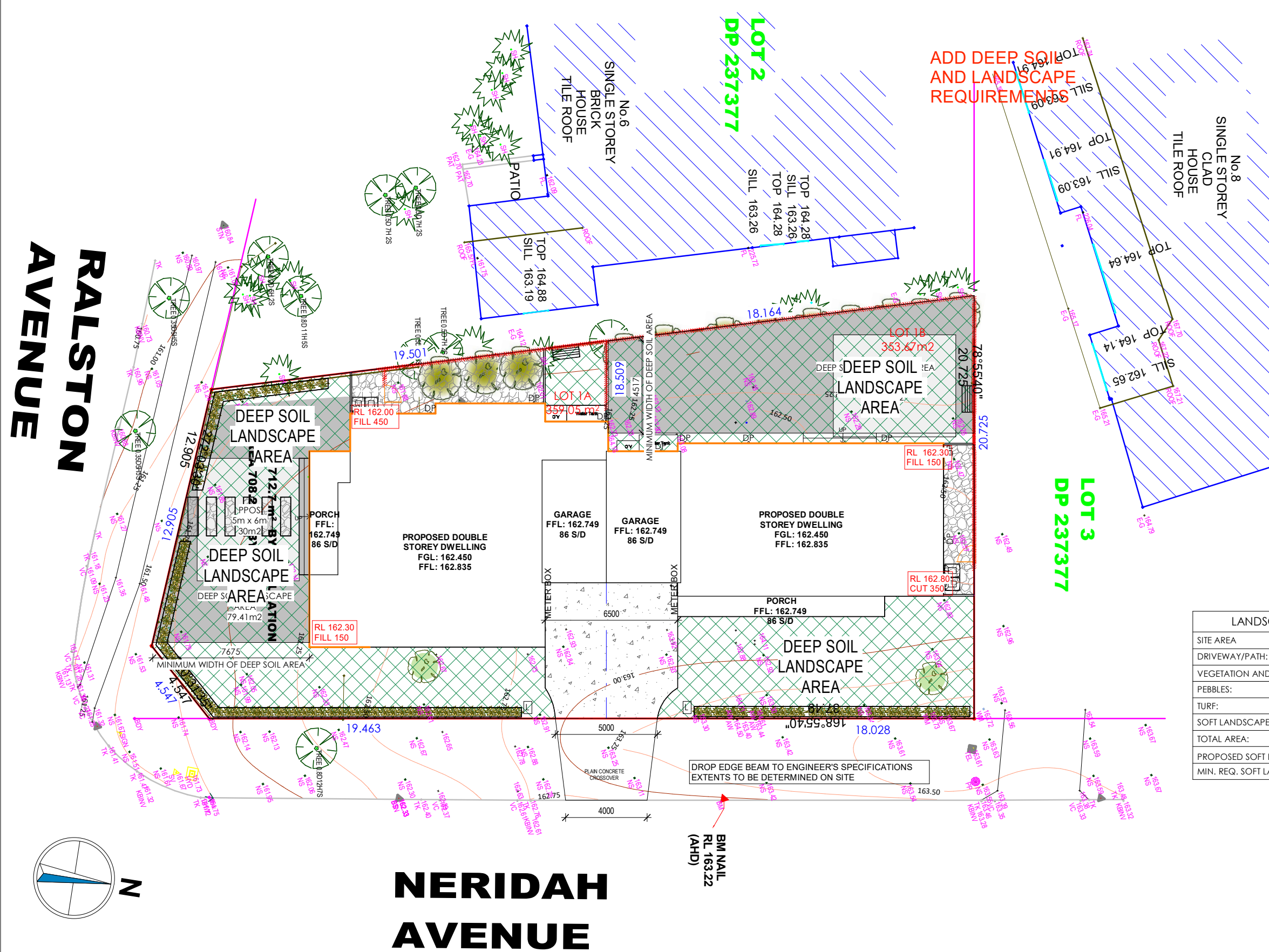
CLIENT NAME: MR JAGDISH CHAUDHARI	
PROJECT ADDRESS 1 NERIDAH AVENUE, BELROSE NSW 2085	LOT DETAILS LOT 1 DP 237377
SHEET TITLE: SHADOW DIAGRAMS	PROJECT NUMBER: 1504

DESIGNED BY: DD	DRAWN BY: SS
DATE: 03-12-2025	CHECKED BY: DD
SCALE: 1 : 250	REVISION: B
DWG NUMBER: 6.01	LGA: NORTHERN BEACHES

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DA ISSUE



LANDSCAPE LEGEND		
SHRUBS		
SYMBOL	EXAMPLE	IMAGE REF
SHR-A	SCIENTIFIC NAME: ACEMENA SMITHII COMMON NAME: LILLY PILLY POT SIZE: 100mm HEIGHT: 2m	
	SCIENTIFIC NAME: ASPIDISTRA ELATOIR COMMON NAME: CAST IRON PLANT POT SIZE: 100mm HEIGHT: 1m	
	SCIENTIFIC NAME: ACER BUERGERANUM COMMON NAME: TRIDENT MAPLE POT SIZE: 250mm HEIGHT: 8m	
	SCIENTIFIC NAME: MELALEUCA NODOSA COMMON NAME: BALL HONEYMYRTLE POT SIZE: 200mm HEIGHT: 5m	
FEATURES		
	TURF	LETTER BOX
	COLORBOND FENCE 1.8m(H)	METER BOX
	CONCRETE DRIVEWAY	A.C AIR CONDITIONING UNIT
	MULCH	DOWN PIPE
	20mm WASHED PEBBLES	BRICK EDGING (80mm W)
	SLIMLINE RAIN WATER TANK	

LANDSCAPE AREA UNIT A		LANDSCAPE AREA UNIT B	
SITE AREA	359.05m²	SITE AREA	353.67m²
DRIVEWAY/PATH:	19.98m²	DRIVEWAY/PATH:	23.33m²
VEGETATION AND MULCH:	16.7m²	VEGETATION AND MULCH:	6.7m²
PEBBLES:	28m²	PEBBLES:	11m²
TURF:	134m²	TURF:	182m²
SOFT LANDSCAPE AREA:	178.7m²	SOFT LANDSCAPE AREA:	199.7m²
TOTAL AREA:	178.7m² + 19.98m² = 198.68	TOTAL AREA:	218.63m²
PROPOSED SOFT LANDSCAPE AREA:	49.770227%	PROPOSED SOFT LANDSCAPE AREA:	56.465066%
MIN. REQ. SOFT LANDSCAPE AREA:	30m²	MIN. REQ. SOFT LANDSCAPE AREA:	30m²

- LANDSCAPE NOTES:
1. THIS PLAN INDICATES THE GENERAL LANDSCAPE ARRANGEMENT ONLY AND IS NOT FOR CONSTRUCTION.
 2. ALL WEEDS TO BE REMOVED FROM SITE BY PHYSICAL REMOVAL OR BY SPRAYING HERBICIDE.
 3. ALL LANDSCAPED AREA TO HAVE A MINIMUM 1:100 FALL TO STORMWATER OUTLET POINT. REFER TO DRAINAGE DIAGRAM.
 4. MULCH LEVEL IN GARDEN BEDS IS TO BE MAINTAINED MINIMUM AT 75mm.
 5. EXCAVATE HOLE FOR PLANTING 200mm DEEPER AND 300mm WIDER THAN THE SIZE OF THE POT.
 6. ALL GARDEN BEDS ARE TO BE PREPARED WITH A MIX OF GOOD QUALITY TOPSOIL AND ORGANIC FERTILIZER TO A DEPTH OF 300mm AS SHOWN IN THE TREE PLANTING DETAIL.
 7. TURF AREAS ARE TO BE PREPARED WITH A MINIMUM OF 150mm GOOD QUALITY TOPSOIL.
 8. ALL PLANTS ARE TO BE PERIODICALLY PRUNED TO AN APPROPRIATE SIZE AND SPREAD.
 9. ALL FLOOR LEVELS SHOWN ARE APPROXIMATE ONLY.
 10. EXACT LEVELS TO BE DETERMINED ON SITE.
 11. NOMINATED PLATFORM LEVELS MAY VARY PLUS OR MINUS 100mm.

CONCEPT LANDSCAPE PLAN

SCALE 1 : 200

DREAM DRAFTING SYDNEY

MAKING YOUR DREAM A REALITY

EMAIL: INFO@DREAMDRAFTINGSYDNEY.COM.AU

CONTACT: 0424 133 547

WEBSITE: WWW.DREAMDRAFTINGSYDNEY.COM.AU

bdpa

ACCREDITED BUILDING DESIGNER

CLIENT NAME:
MR JAGDISH CHAUDHARI

PROJECT ADDRESS
1 NERIDAH AVENUE, BELROSE NSW 2085

SHEET TITLE:
LANDSCAPE PLAN

LOT DETAILS
LOT 1 DP 237377

PROJECT NUMBER:
1504

DESIGNED BY: DD

DATE: 03-12-2025

SCALE: 1 : 200

DWG NUMBER: 7.01

DRAWN BY: SS

CHECKED BY: DD

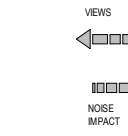
REVISION: B

LGA: NORTHERN BEACHES

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DA ISSUE

RALSTON AVENUE



SITE PLAN

SCALE 1 : 200

VIEW

NOISE IMPACT

VIEW

NOISE IMPACT

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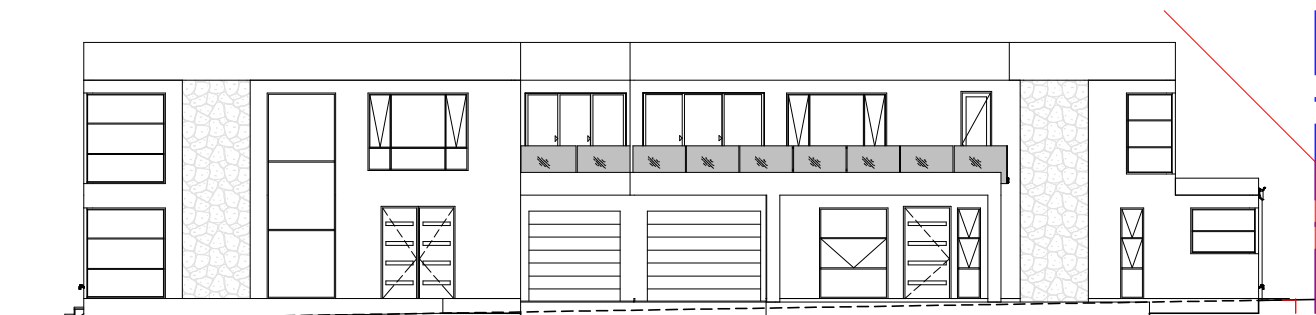
VIEW

NOISE IMPACT

VIEW

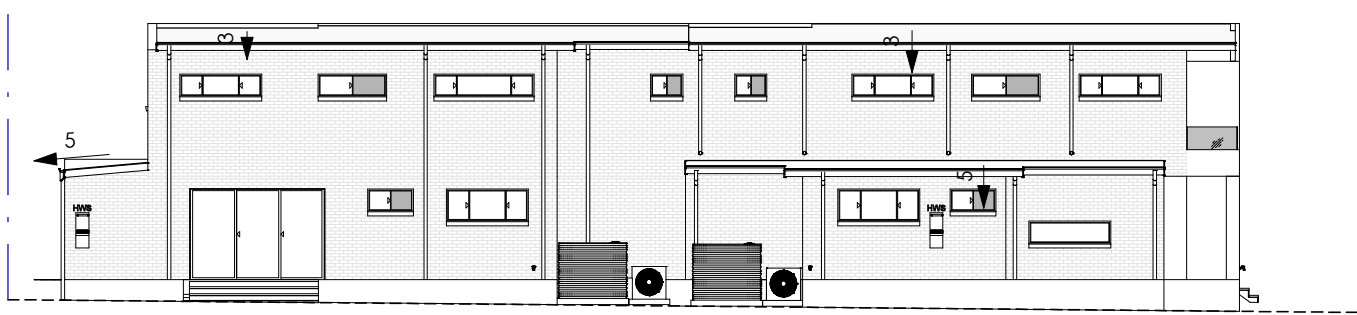
NOISE IMPACT

NERIDAH AVENUE



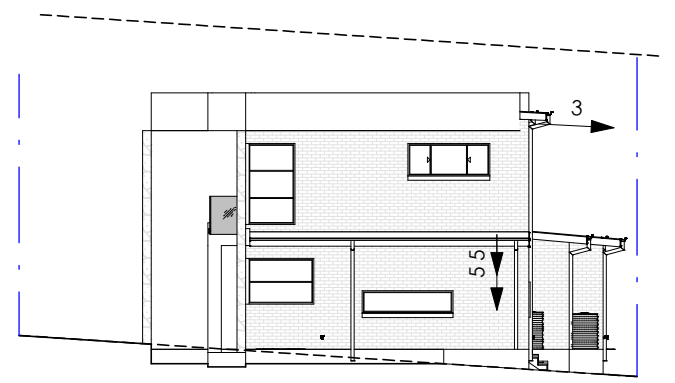
N FRONT ELEVATION - EAST

SCALE 1 : 200



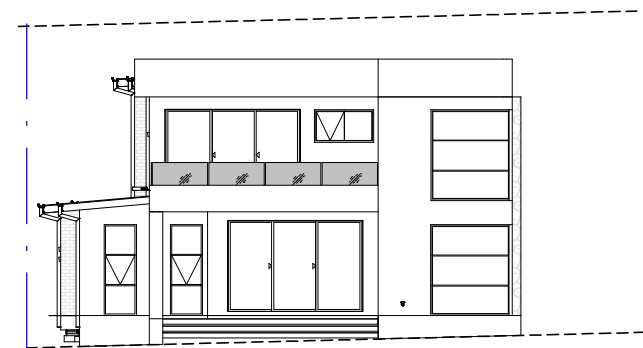
N REAR ELEVATION - WEST

SCALE 1 : 200



N SIDE ELEVATION - NORTH

SCALE 1 : 200



N SIDE ELEVATION - SOUTH

SCALE 1 : 200

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CLIENT NAME: MR JAGDISH CHAUDHARI	LOT DETAILS LOT 1 DP 237377
PROJECT ADDRESS 1 NERIDAH AVENUE, BELROSE NSW 2085	PROJECT NUMBER: 1504
SHEET TITLE: NOTIFICATION PLANS	

DESIGNED BY: DD	DRAWN BY: SS
DATE: 03-12-2025	CHECKED BY: DD
SCALE: 1 : 200	REVISION: B
DWG NUMBER: 8.01	LGA: NORTHERN BEACHES

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DA ISSUE