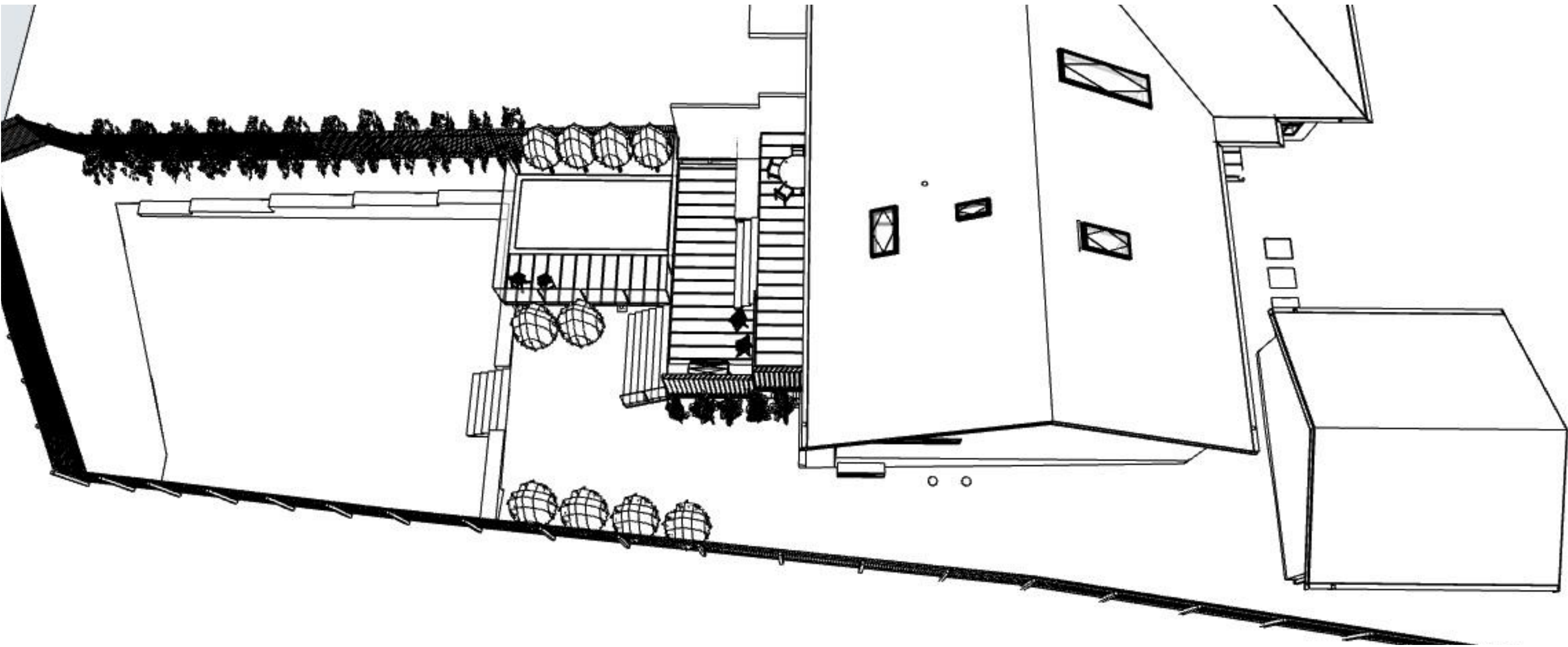


MANGANO RESIDENCE

Nicole & Richard Mangano
157 Plateau Road
Bilgola Plateau, NSW
Tel 0403 799 018



GENERAL NOTES & APPLICABLE CODES

- All documentation represents the detailed design intent .Contractor is responsible for the construction of the works.
- All dimensions are to be checked and verified on site by the contractor.
- 'COS' attached to the dimension indicates that the contractor is to check on site prior to the commencement of work.
- All existing structures and finishes interfered with by the proposed new work are to be repaired and/or replaced replaced as necessary by contractor.
- Locations of walls, structural elements and services are to be checked and verified on site by the contractor prior to the commencements of works
- All reinforced concrete slabs, footings and retaining walls, structural steel, structural timber framing, tie-downs/bracing and saw cut joints in slabs to be as per Structural engineer's Detail and specification.
- (SED) - refer to relevant documentation.
- All works to be constructed to comply with current BCA/NCC requirements and performance criteria.
- All materials and workmanship shall be in accordance with the current editions of relevant Australian Standards unless noted otherwise, notably the following:
 - AS. 1288 Glass in Buildings
 - AS. 1684 Timber Framing Code
 - AS. 1720 Timber structures
 - AS. 1926.1 Swimming pool safety
 - AS. 2870 Residential slabs and footings
 - AS. 3600 Concrete Structures
 - AS. 3700 Masonry structures
 - AS. 3740 Waterproofing of wet areas in residential buildings
 - AS. 4100 Steel Structures
- All finished floor/stairs services to be non slip in accordance with slip resistance clarification in relevant Australian standards
- Any new or altered sewer and stormwater lines to be connected to existing sewer and stormwater lines respectively, unless noted otherwise. Contractor to confirm and refer to Hydraulic/stormwater Documentation.
- All demolition works shall be carried out in accordance with the requirements of AS. 2601-2001 The demolition of structures
- Do not scale of plans, Use figured dimensions

ABBREVIATIONS

AC	AIR-CONDITIONING	FT	FLOOR TILES	+RL	REDUCED LEVEL
AP	ACCESS PANEL	F/P	FIRE PLACE (GASS)	R/W	RAINWATER TANK
AR	ARCHITRAVE	FW	FLOOR WASTE	SBL	SYNTHETIC/ARTIFICIAL GRASS
AV	AUDIO VISUAL	GB	GARDEN BED	SCL	SOLAR BATTERY LOCATION
B	BRICKWORK	GD	GRATED DRAIN	SC	STEEL COLUMN
BD	BOOKCASE	GFL	GROUND FLOOR LEVEL	SD	SETDOWN
BC	BOUNDARY	GL	GLASS LOUVRES	SGP	SPARE GAS POINT
BH	BULKHEAD	HF	HEATED FLOOR	SWD	STORMWATER DRAIN
BL	BALLUSTRADE	H	HEIGHT	SHR	SHOWER
BR	BRICKWORK RENDER	HLW	HIGHLIGHT WINDOW	S	SINK
BS	BENCH SEAT	HTR	HEATED TOWEL RAIL	SKL	SKYLIGHT
C	CUPBOARD	HWS	HOT WATER SYSTEM	SL	SHADOW LINE
CH	CEILING HEIGHT	J	JOINERY	SMH	SEWER MAN HOLE
CL	CEILING LEVEL	L	LINEN CUPBOARD	SO	STEAM OVEN
COP	CONCRETE -OFF FORM	MB	ELECTRIC METER BOX	SPR	SPREADER
COL	COLUMN	MR	METAL ROOFING	SQS	SQUARE SET
COS	CONFIRM ON SITE	MW	MICROWAVE	SRT	SLATE ROOF TILE
CONC	POLISHED CONCRETE FLOOR	NW	NIB WALL	SR	STEEL ROOF
CFC	COMPRESSED FIBRE CEMENT	O	OVEN	SS	SANDSTONE
CPT	CARPET	OF	OVERFLOW	ST	STONE
CS	COLORBOND STEEL	PB	PLASTER BOARD	STD	STONE THRESHOLD
CSC	CUSTOM STEEL SCREENING	PE	POLYURETHANE	SV	SERVICES VOID
CT	COOKTOP	PF	POLYURETHANE	TD	TIMBER DECKING
D	DESK	PL	PENDANT LIGHT	TF	TIMBER FLOOR BOARDS
DP	DOWNSPIPE	PP	PROPOSED	TL	TILE
DR	DRYER	PS	POOL STORAGE	TM	TIMBER
DW	DISH WASHER	PT	PAINT	TOW	TOP OF WALL
EX	EXISTING	R	ROBE	TV	TELEVISION
F	FREZZER	RB	RENDERED BRICKWORK	TL	TIMBER TRELLIS
FC	FC SHEETS WALL CLADDING	RC	REINFORCED CONCRETE	UNL	UNL
FG	FIXED GLASS	RCL	RETRACTABLE CLOTHES LINE	W	WASHING MACHINE
FL	FLOOR LEVEL	WL	WALL LIGHT	WO	WATER CLOSET
FR	REFRIGERATOR	ZT	ZIP TAP		

VICINITY MAP



PROJECT DATA

ZONING: E4 Environmental Living
SITE AREA: 1177m2
BLDG USE: Residential
OCC. GROUP: Residential
CONST. TYPE: Timber Framed Constructioin
CLIMATE ZONE: Zone 5
BLDG. CODE: Class 1-10
FIRE SPRINKLERS: N/A

SITE INFORMATION	PROPOSED	COMPLIANCE
site Area	1177m2	Yes
Housing density (dwelling/m2)	186.769m2	Yes
Max building height above natural GL	8.5m	Yes
Front setback	6.5m	Yes
Rear Setback	6.5m	Yes
Side boundary setbacks	1.0/2.5m - see floor plans	Yes
Building envelope	3.5m @ 45Deg	Yes
% of landscape open space (60%)	62%	Yes
Impervious area (m2)	437.63	Yes
Maximum cutting into ground (m)	1.134m	Yes
Maximum depth of fill (m)	0	Yes
Number of car spaces provided	2	Yes

PROJECT TEAM

ARCHITECT:
LOVETT DESIGNS
52 Therry Street, Avalon 2107
OFFICE PHONE 0406 213 365

STRUCTURAL ENGINEER:
ENGINEER - NB CONSULTING
SYDNEY Tel: (02) 9984 7000
Email:
admin@nbconsulting.com.au
Suite 207, 30 Fisher Road, Dee
Why NSW 2099

Civil ENGINEER:

ENGINEER - NB CONSULTING
SYDNEY Tel: (02) 9984 7000
Email:
admin@nbconsulting.com.au
Suite 207, 30 Fisher Road, Dee
Why NSW 2099

SURVEYOR:
Richards & Loftus
Surveying Services

9482-8756
0410 405 484
www.rl-surveying.com.au

Arbourist:

Urban Arbor Pty Ltd ABN: 65 164
482 777
02 8004 2802 Po Box 450,
Turramurra www.urbanarbor.com.au

SCOPE OF WORK

Alterations and additions to existing dwelling:

- Proposed garage
- New deck at rear of house
- New pool
- New retaining walls

SHEET INDEX

Drawing Number	Drawing Name	Issue/Revision	Date
A.01	COVER PAGE	DA	10/05/20
A.04	SURVEY PLAN		
A.05	NOTIFICATION PLAN	DA	10/05/20
A.06	SITE PLAN	DA	10/05/20
A.07	GROUND FLOOR - EXISTING FLOOR PLAN	DA	10/05/20
A.08	GROUND FLOOR - DEMOLITION PLAN	DA	10/05/20
A.09	GROUND FLOOR - PROPOSED PLAN	DA	10/05/20
A.10	BUILDING ELEVATIONS	DA	10/05/20
A.11	BUILDING ELEVATIONS CONT.	DA	10/05/20
A.12	BUILDING SECTIONS	DA	10/05/20
A.13	BUILDING SECTIONS CONT.	DA	10/05/20
A.14	SITE PLAN - OPEN SPACE LANDSCAPE PLAN	DA	10/05/20
A.15	SITE PLAN - SEDIMENT CONTROL FENCING	DA	10/05/20
A.16	SITE PLAN - WASTE MANAGEMENT PLAN	DA	10/05/20
A.17	SITE PLAN - STORMWATER/ ROOF PLAN	DA	10/05/20
A.18	SHADOW DIAGRAM 9AM	DA	10/05/20
A.19	SHADOW DIAGRAM 12NOON	DA	10/05/20
A.20	SHADOW DIAGRAM 3PM	DA	10/05/20
A.21	PERSPECTIVES	DA	10/05/20
A.22	MATERIAL AND COLOUR SAMPLE BOARD	DA	10/05/20
A.23	CHOSEN PLANTS SAMPLE BOARD	DA	10/05/20
A.24	EXCAVATION CUT/FILL	DA	10/05/20

Project address	
Project name	Mangano Residence
Street address	157 Plateau Road Road Bilgola Plateau 2107
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 843981
Lot number	121
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

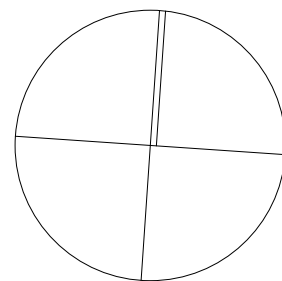
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	LOVETT DESIGNS PTY LTD
ABN (if applicable):	32632500559

LOVETT
DESIGNS

NOTES:
ALL DIMENSIONS TO BE CARRIED OUT IN ACCORDANCE WITH AS2901-2001 - DEMOLITION OF STRUCTURES

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE. DISCREPANCIES IN DOCUMENTATION TO THIS DRAWING IS FOR THE ARCHITECT'S COUNCIL APPROVAL AND AS SUCH, IS NOT SUITABLE FOR CONSTRUCTION

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MANGANO RESIDENCE

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157 Plateau Road
Bilgola Plateau, NSW
Tel 0403 799 018

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BY	REVISIONS	DATE

Date:	10/5/20
Scale:	AS NOTED
Drawn:	
Job:	
Sheet	

A.01

Plotted On: 10/5/20

TITLE SHEET / GENERAL INFO

NORTHERN BEACHES COUNCIL

PLAN OF DETAIL, LEVELS,
CONTOURS AND BOUNDARY
IDENTIFICATION
LOT 121
D.P.843981
BEING No.157
PLATEAU ROAD

BILGOLA PLATEAU

REFERENCE :- 2691 DS

SHEET No. 1 OF 1

ISSUE :- A

JOB No. :- 2691

DATE :- MARCH 2020

SCALE :- 1:100

DATUM :- A.H.D.

AZIMUTH :- MAGNETIC NORTH

CLIENT :- MANGANO

SURVEYED :- M.L.

JOB SET UP :- R.T.

DRAWN :- G.R.

CHECKED :- M.L.

ISSUE	DATE	AMENDMENT	DRAWN	CHKD
A	19-3-20	ORIGINAL ISSUE	G.R.	M.L.

ENCUMBRANCES NOTED ON TITLE FOLD 121/843981
1. RESERVATIONS AND CONDITIONS IN THE CROWN GRANTS
2. APPURTENANT EASEMENT FOR DRAINAGE, 0.5 WIDE (D.P.843981)
3. APPURTENANT EASEMENT FOR OVERHANGING EAVE & GUTTER 0.85 WIDE (D.P.843981)
4. RESTRICTION(S) ON THE USE OF LAND (D.P.843981)

NOTES

- ONLY VISIBLE SERVICES HAVE BEEN LOCATED
- ORIGIN OF LEVELS PM 51491
R.L. 141.332 A.H.D.
VIDE SCMS FEBRUARY 24, 2020
CLASS "LC"
- TOTAL SITE AREA 1177m²
VIDE D.P. 843981

LEGEND

- +26.23 Denotes spot height.
- +25.37 TK Denotes height on top of kerb.
- T-0.2/5/4 Denotes tree-diameter/spread/height.
- Denotes overhead power wires.
- Denotes Sydney Water Sewer.
- Plotted approx vide DDV Sequence No.95305206 Dated 28/02/2020
- Denotes flow direction of roof waters.
- 79.37 --- Denotes ridge and levels.
- 74.26 --- Denotes gutter and levels.
- 83.14 --- Denotes level on top of wall.
- All walls Brick, unless noted otherwise.

SURVEY DISCLAIMER

The intention of this survey is to provide selected detail, levels & contours, for design and DA purposes only. The survey is not intended to be an accurate location of the boundaries or any feature in relation to the boundaries, unless specific distances from selected features to the boundaries are shown on the plan.

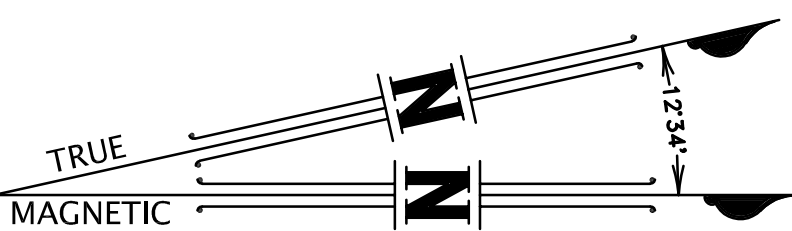
"Richards & Loftus Surveying Services" takes no responsibility for any distances scaled, or measured to the boundaries, from any version of this plan, be it electronic, paper or otherwise.

TREE NOTE

The spread and height of each tree is indicative only and cannot be shown accurately without very detailed further survey. The shape and size of the spread of the tree may vary due to lack of uniformity of the branches and trunk. All tree trunks are measured at DBH, (Diameter at Breast Height) approximately 1.3 metres above ground level.

Surveyed By:
Richards & Loftus
surveying services
Consulting Rooms
49 Mercedin Avenue
Hornsby Heights
NSW 2077
Phone: 0410 405 484
E-Mail: matt@r-l-surveying.com.au
Registered Surveyor - Warren Eldridge Id No. 993

BAR SCALES

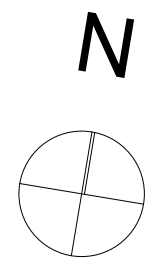




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NOTES:
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DEMOLITION OF
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Nicole & Richard Mangano
157 Plateau Road
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BY	REVISIONS	DATE
CL	A	26.04.20

Date:	16/5/20
Scale:	AS NOTED
Drawn:	CL - 26/04/20
Job:	MAN01LOV
Stage	DA

A.06

Plotted On: 16/5/20

SITE / FLOOR PLAN / SURVEY & DETAILS

Construction
 External wall: framed (weatherboard, fibro, metal clad)
 Roof: pitched roof with raked ceiling framed, R1.74 foil backed blanket 55mm
 Insulation to external walls R1.30 (or R1.70 including construction)
 Refer to engineers specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS01288-2047
 Waterproofing to BCA and AS3740
 New lighting to have minimum of 40% compact fluorescent lamps

Notes
157 Plateau Road, Bilgola Plateau is zoned E4 Environmental Living
All plans to be read in conjunction with Basix Certificate.
157 Plateau Road, Bilgola Plateau is not considered a heritage item.

Basix

Basix Certificate Number : A375770

All plans to be read in conjunction with Basix certificate.

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

- a) additional insulation is not required where the area of new construction is less than 2m²
- b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

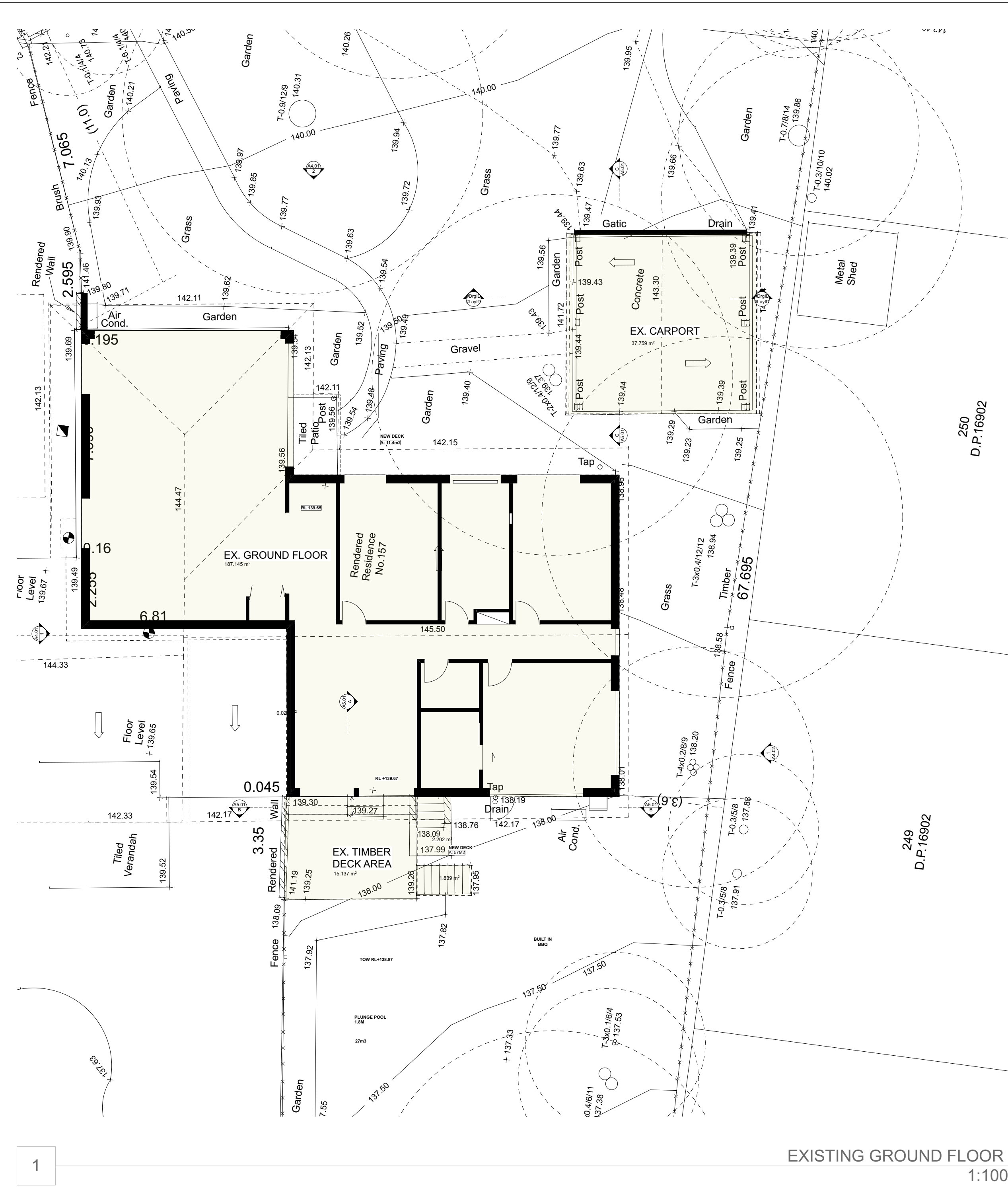
Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in mm, the leading edge of the eave, pergola, verandah, balcony or awning must be no more than 500 mm

above the head of the window or glazed door and no more than 2400mm above the sill

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed bar.

SITE INFORMATION	PROPOSED	COMPLIANCE
site Area	1177m2	Yes
Housing density (dwelling/m2)	186.769m2	Yes
Max building height above natural GL	8.5m	Yes
Front setback	6.5m	Yes
Rear Setback	6.5m	Yes
Side boundary setbacks	1.0/2.5m - see floor plans	Yes
Building envelope	3.5m @ 45Deg	Yes
% of landscape open space (60%)	62%	Yes
Impervious area (m2)	447.434	Yes
Maximum cutting into ground (m)	1.134m	Yes
Maximum depth of fill (m)	0	Yes
Number of car spaces provided	2	Yes



wall Legend



Denotes existing wall



Denotes existing floor area

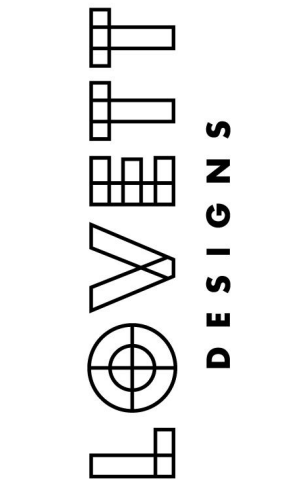
Builder to check & confirm existing measurements prior to commencement

Notes
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Basix

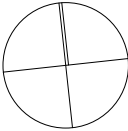
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Maximum depth of fill (m)	0	Yes
Number of car spaces provided	2	Yes



NOTES:
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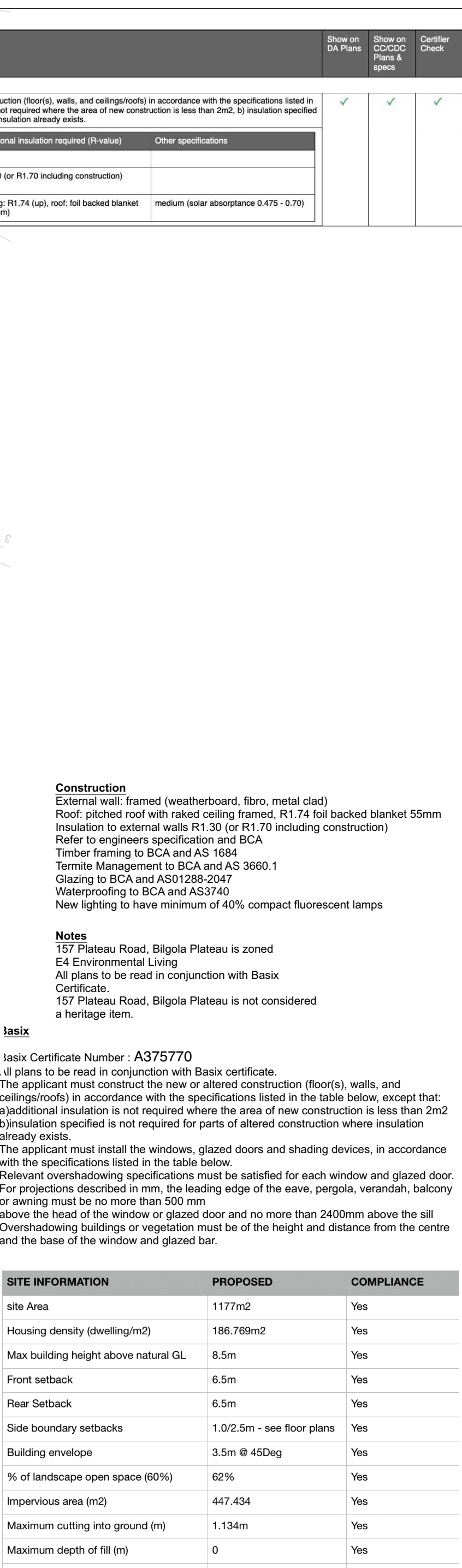
BY	REVISIONS	DATE
CL	A	26.04.20

Date:	26/4/20
Scale:	AS NOTED
Drawn:	CL - 26/04/20
Job:	MAN01LOV
Stage	DA

A.07

Plotted On: 26/4/20

EXISTING FLOOR PLAN - GROUND FLOOR



Date:	16/5/20	
Scale:	AS NOTED	
Drawn:	CL - 26/04/20	
Job:	MAN01LOV	
Stage	DA	
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Plotted On: 16/5/20

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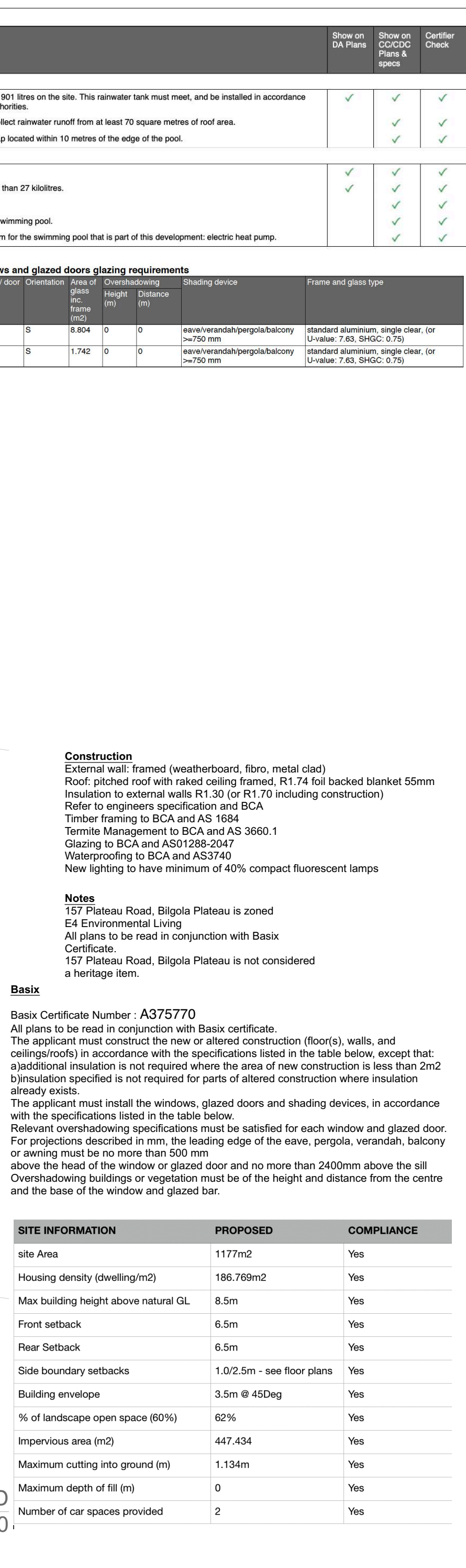
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NOTES:
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AS 2801
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STRUCT

**LOVETT
DESIGNS**

L



A.09

Plotted On: 16/5/20

PROPOSED FLOOR PLANS (CONT)

Architectural elevation drawing of a residential building at 159 Plateau Road. The drawing shows an existing house and a new garage. Key features include a new custom timber louver under the gable, a new linear drain, a new timber deck, and new pavers. Dimensions and levels are provided: Ridge RL+143.538, Ground Floor RL+139.65, Garage RL+139.45, and Existing natural ground level. A north arrow is located at the bottom right.

Notes
 157 Plateau Road, Bilgola Plateau is zoned E4 Environmental Living
 All plans to be read in conjunction with Basix Certificate.
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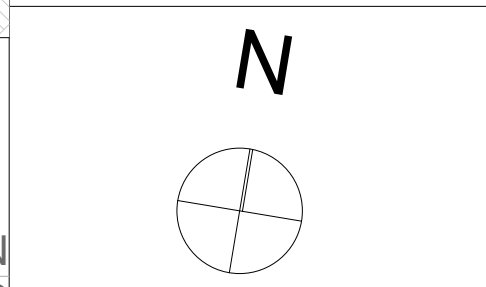
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2		<div>NORTH ELEVATION</div> <div>1:100</div>	<table> <tr> <td>Maximum cutting into ground (m)</td><td>1.134m</td><td>Yes</td></tr> <tr> <td>Maximum depth of fill (m)</td><td>0</td><td>Yes</td></tr> <tr> <td>Number of car spaces provided</td><td>2</td><td>Yes</td></tr> </table>	Maximum cutting into ground (m)	1.134m	Yes	Maximum depth of fill (m)	0	Yes	Number of car spaces provided	2	Yes
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DESIGNS**



MANGANO RESIDENCE	<p>Nicole & Richard Mangano 157 Plateau Road Bilgola Plateau, NSW Tel 0403 799 018</p>
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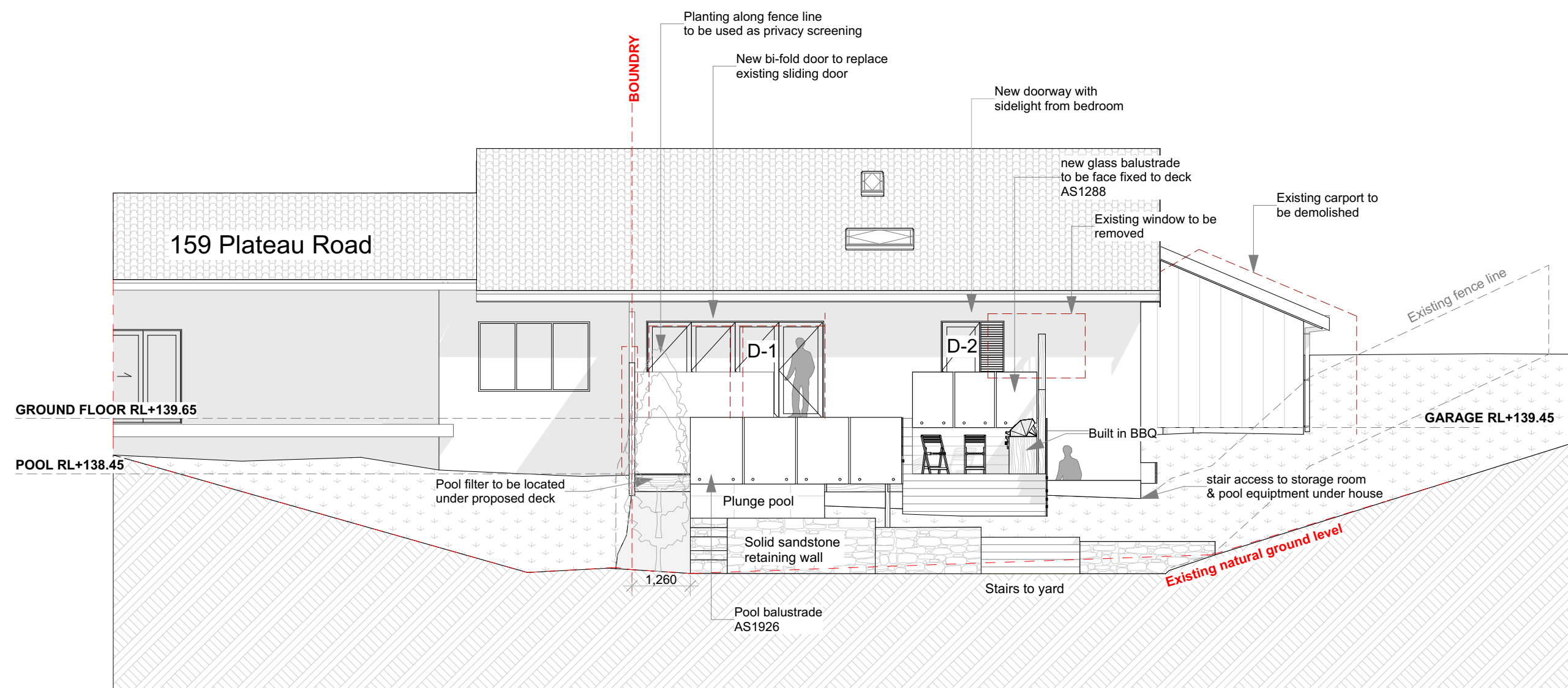
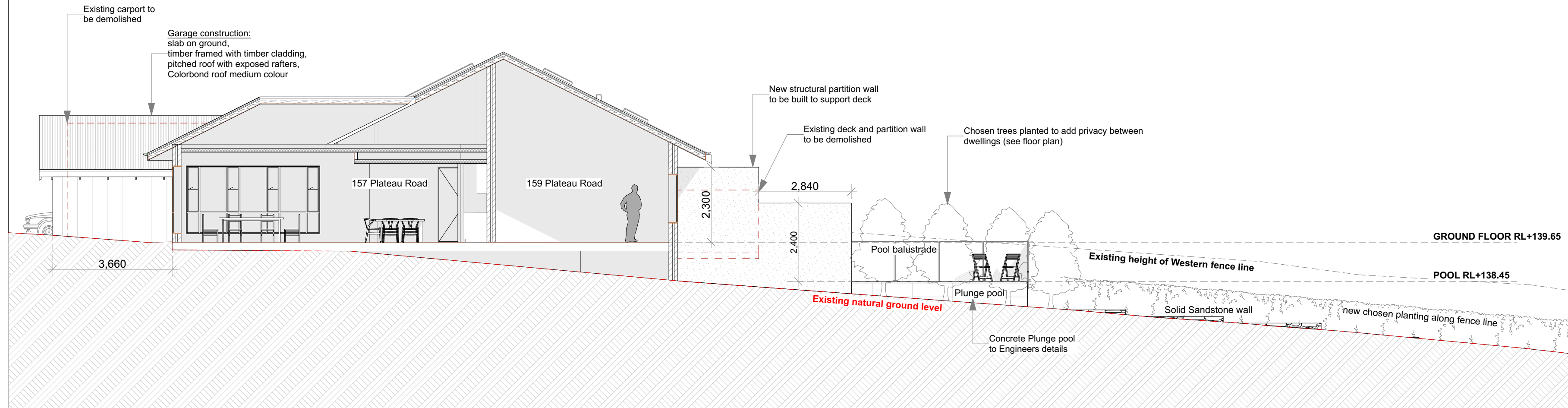
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BY	REVISIONS	DATE
CL	A	26.04.20
Date:	16/5/20	
Scale:	AS NOTED	
Drawn:	CL - 26/04/20	
Job:	MAN01LOV	
Stage	DA	

A.10

Plotted On: 16/5/20

BUILDING ELEVATIONS



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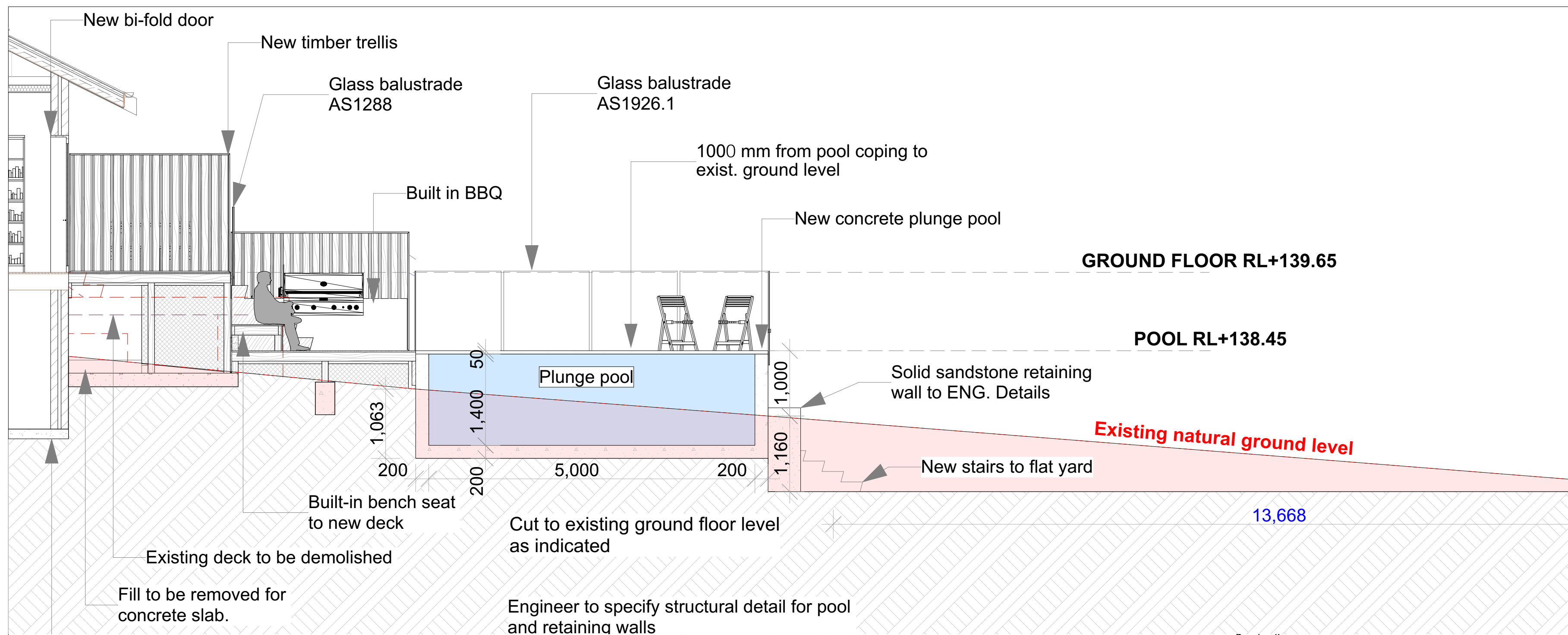
ALL DIMENSIONS TO BE
CARRIED OUT IN
ACCORDANCE WITH
AS2801 - 2001 -
DEMOLITION OF
STRUCTURES

**LOVETT
DESIGNS**

Construction
External wall: framed (weatherboard, fibro, metal clad)
Roof: pitched roof with raked ceiling framed, R1.74 foil backed blanket 55mm
Insulation to external walls R1.30 (or R1.70 including construction)
Refer to engineers specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS3740
New lighting to have minimum of 40% compact fluorescent lamps

Notes
157 Plateau Road, Bilgola Plateau is zoned
E4 Environmental Living
All plans to be read in conjunction with Basix
Certificate.
157 Plateau Road, Bilgola Plateau is not considered
a heritage item.

SITE INFORMATION	PROPOSED	COMPLIANCE
site Area	1177m2	Yes
Housing density (dwelling/m2)	186.769m2	Yes
Max building height above natural GL	8.5m	Yes
Front setback	6.5m	Yes
Rear Setback	6.5m	Yes
Side boundary setbacks	1.0/2.5m - see floor plans	Yes
Building envelope	3.5m @ 45Deg	Yes
% of landscape open space (60%)	62%	Yes
Impervious area (m2)	447.434	Yes
Maximum cutting into ground (m)	1.134m	Yes
Maximum depth of fill (m)	0	Yes
Number of car spaces provided	2	Yes



CD01 SECTION A (1)
1:50

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Basis

Basix Certificate Number : A375770

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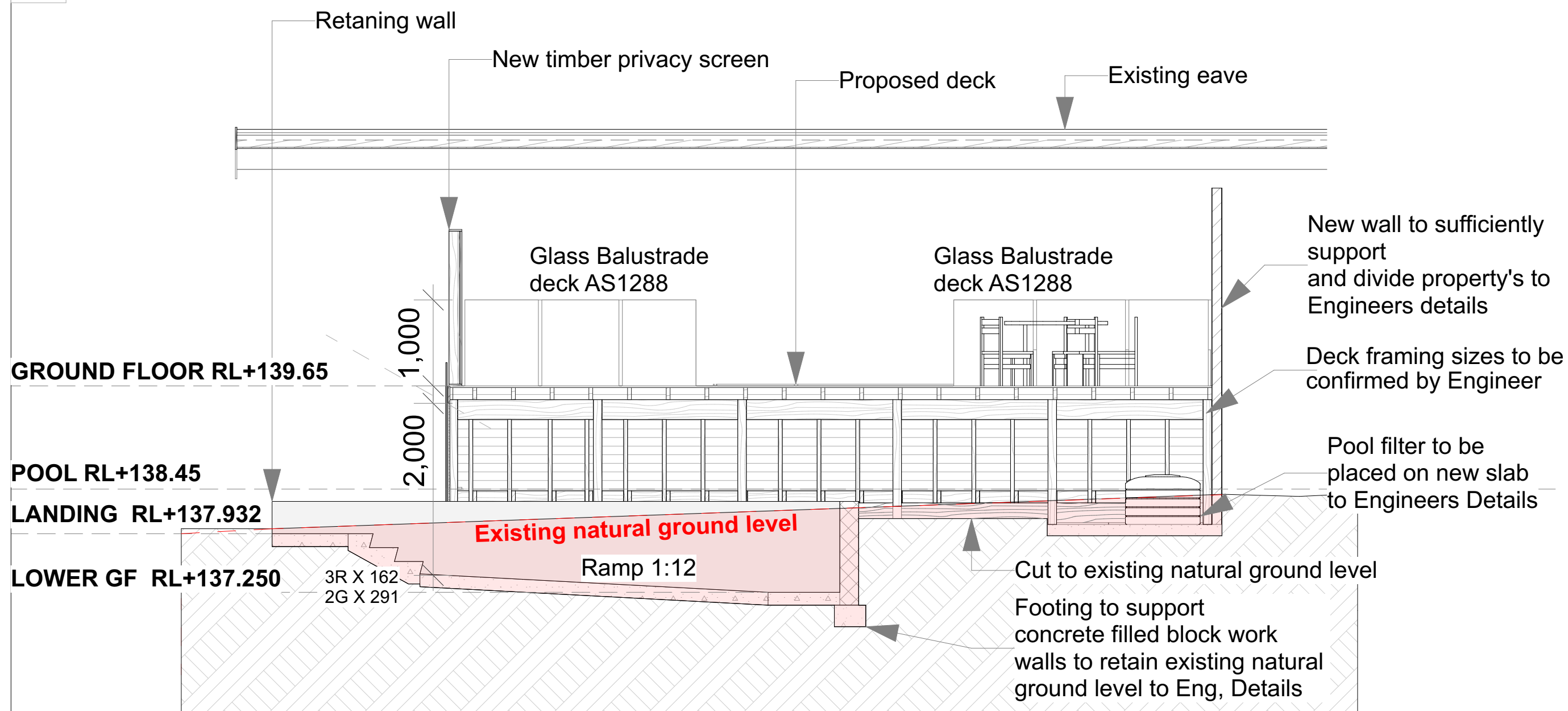
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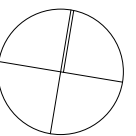
CD02 SECTION B (2)
1:50

NOTES:

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APPROVAL
AND AS SUCH, IS NOT
SUITABLE FOR
CONSTRUCTION

N



MANGANO RESIDENCE

Nicole & Richard Mangano
157 Plateau Road
Bilgola Plateau, NSW
Tel 0403 799 018

3 cm ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE THREE CENTIMETERS (3 cm) EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

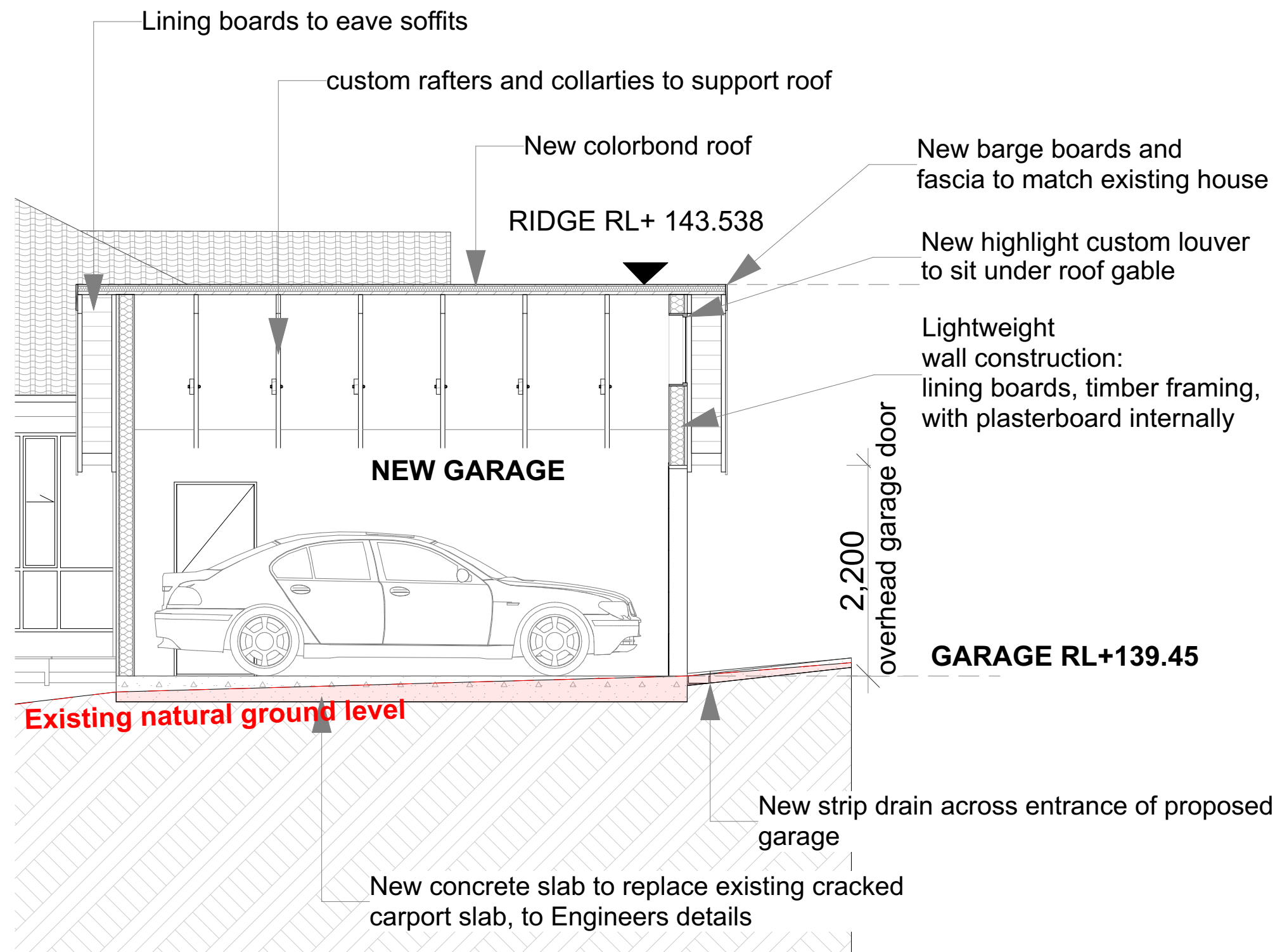
BY	REVISIONS	DATE
CL	A	26.04.20

Date:	16/5/20
Scale:	AS NOTED
Drawn:	CL - 26/04/20
Job:	MAN01LOV
Stage	DA

A.12

Plotted On: 16/5/20

BUILDING SECTIONS



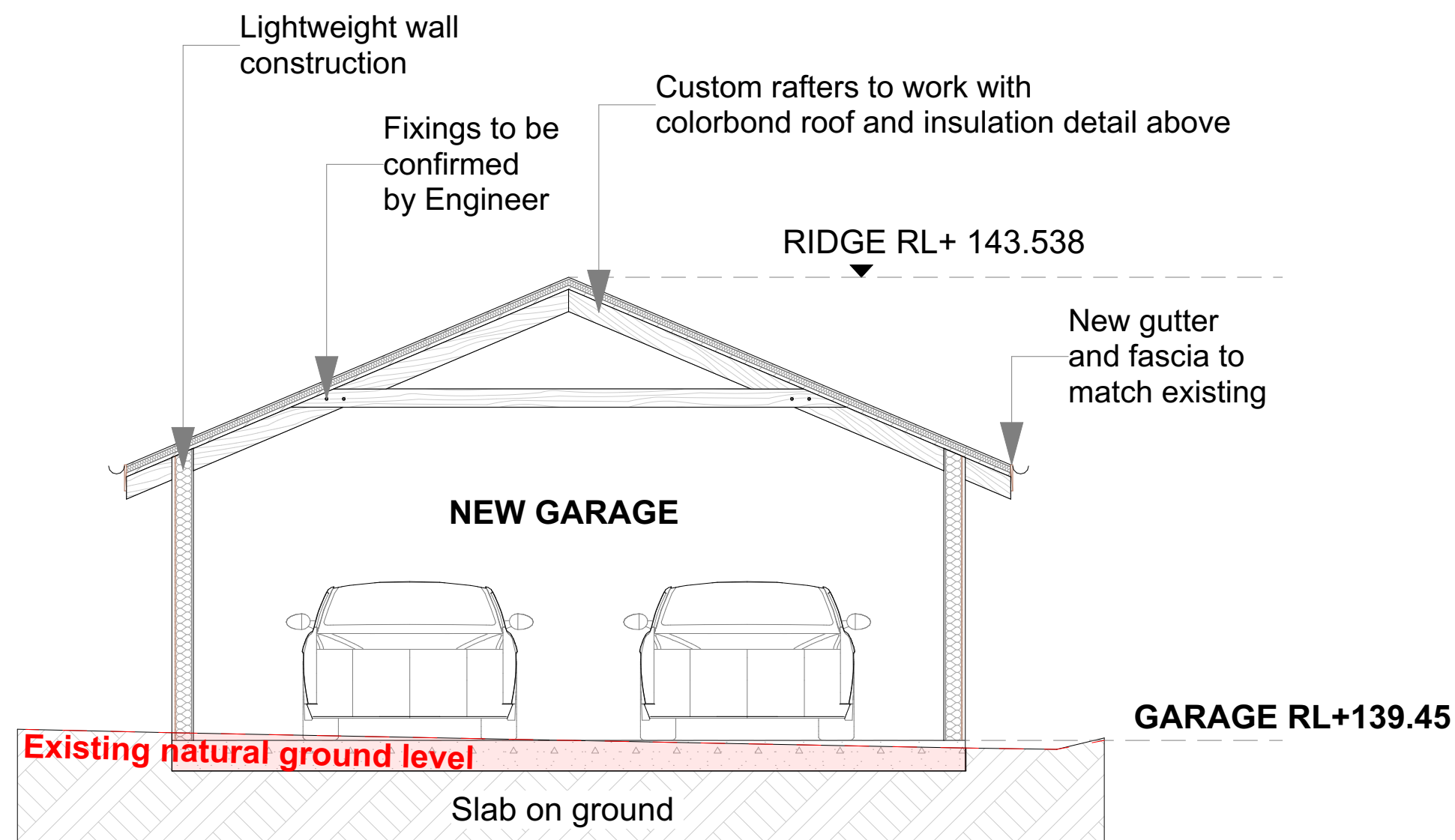
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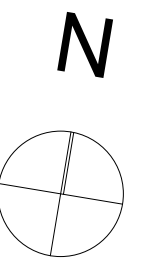


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DESIGNS

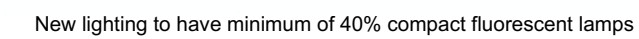
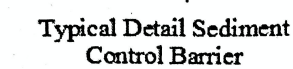
LOVEITT



Nicole & Richard Mangano
157 Plateau Road
Bilgola Plateau, NSW
Tel 0403 799 018

BY	REVISIONS	DATE
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Stage	DA	

BUILDING SECTIONS (CONT.)



Notes
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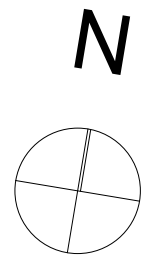
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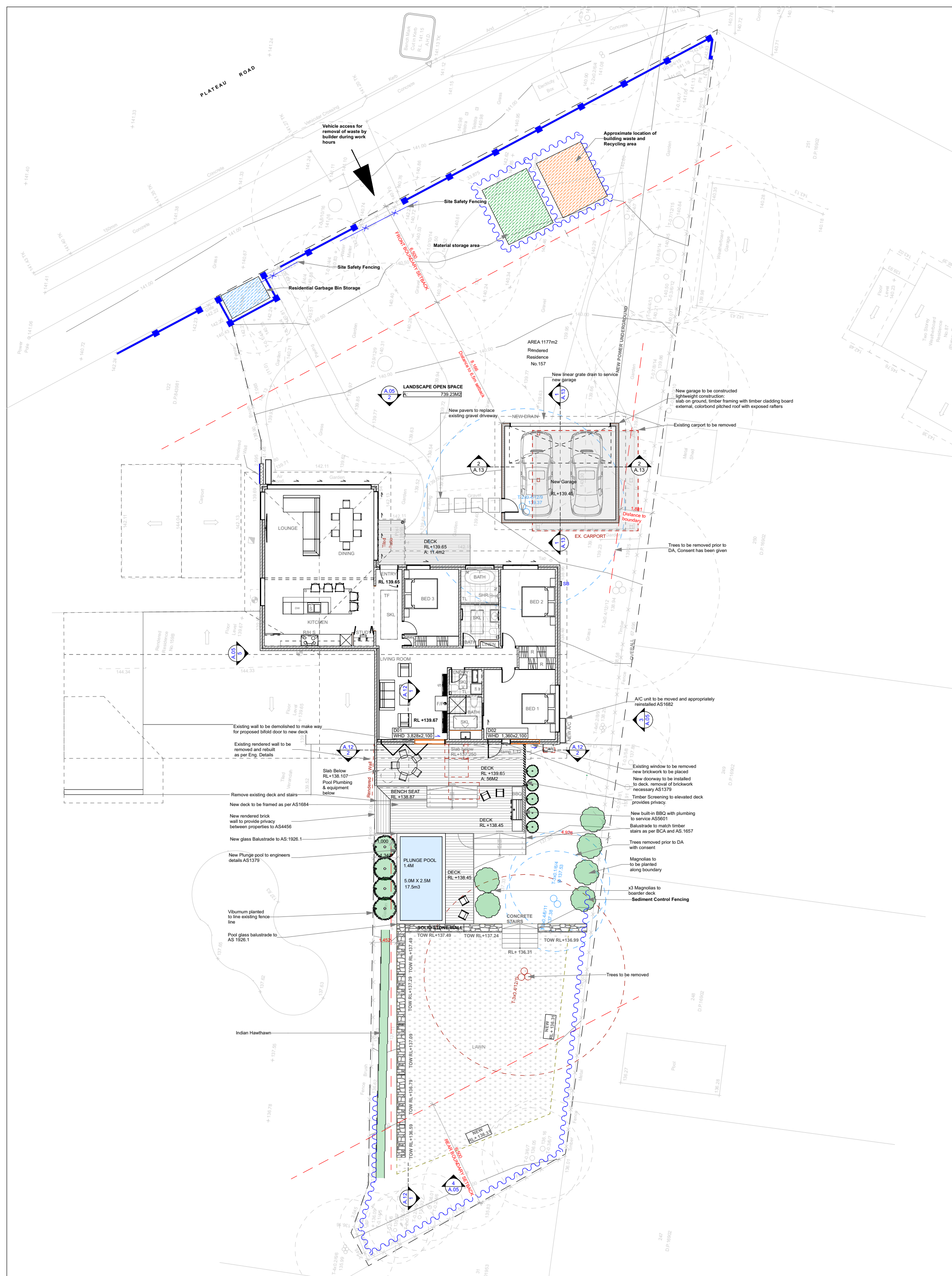
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Job:	MAN01LOV	
Stage	DA	

A.15

Plotted On: 16/5/20

SEDIMENT & EROSION CONTROL FENCING



WASTE MANAG1EMENT PLAN

1:200

Construction

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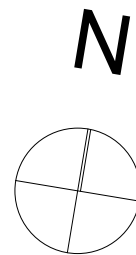
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Job:	MAN01LOV	
Stage	DA	

A.16

Plotted On: 16/5/20

WASTE MANAGEMENT PLAN





EXISTING SHADOW

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 Insulation to external walls R1.30 (or R1.70 including construction)
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Basix Certificate Number : A375770

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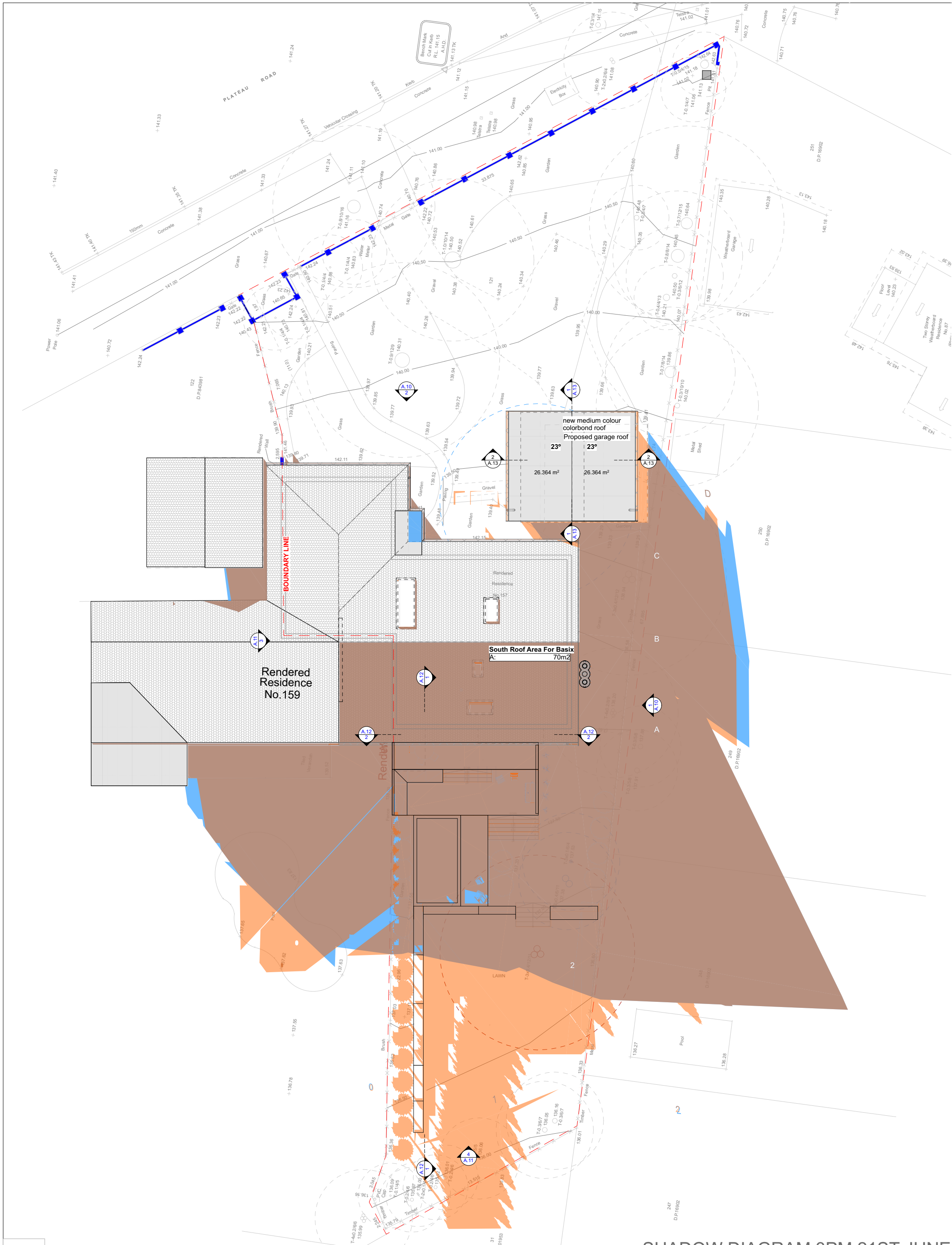
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Stage	DA	

A.18

Plotted On: 10/5/20

SHADOW DIAGRAMS 9AM



PROPOSED SHADOW

EXISTING SHADOW

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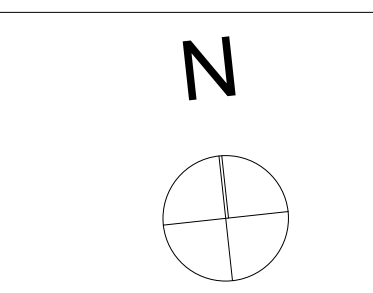
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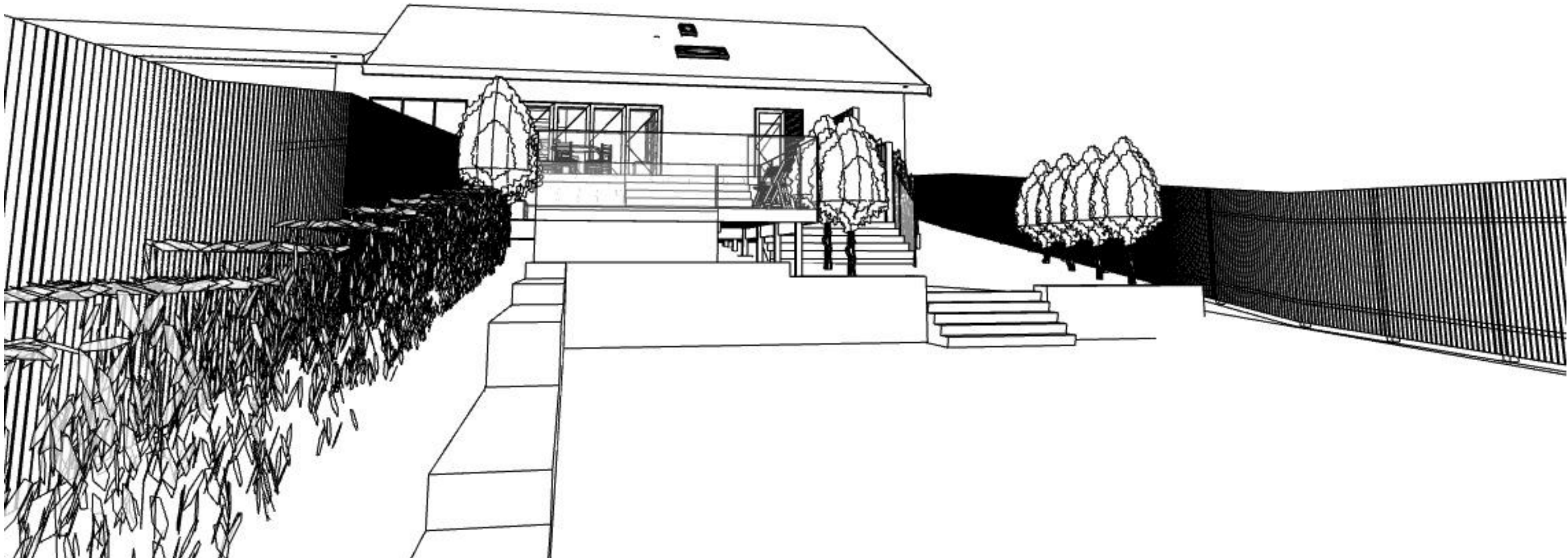
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Stage	DA

A.20

Plotted On: 10/5/20

SHADOW DIAGRAM 3PM



1

PERSPECTIVE - PROPOSED POOL AND RETAINING

1:100

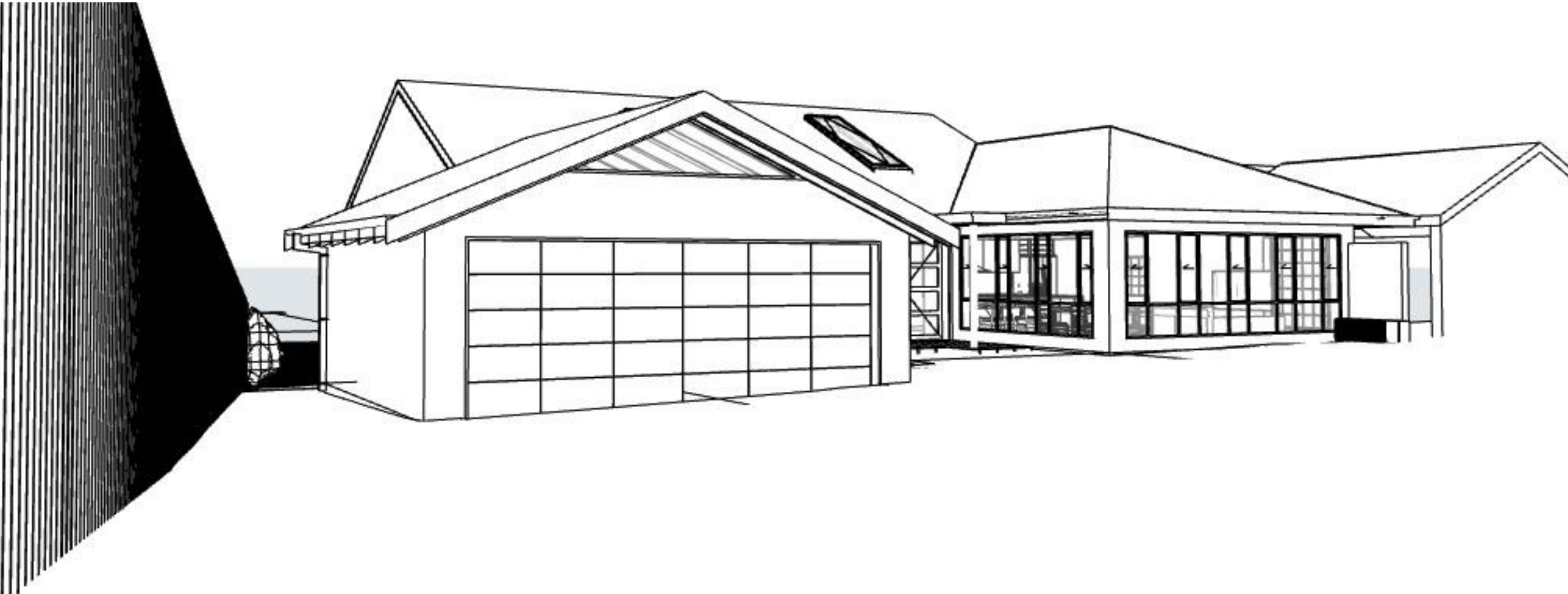
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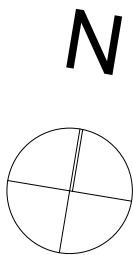
PERSPECTIVE - PROPOSED GARAGE, FRONT OF PROPERTY

1:100

LOVETT
DESIGNS

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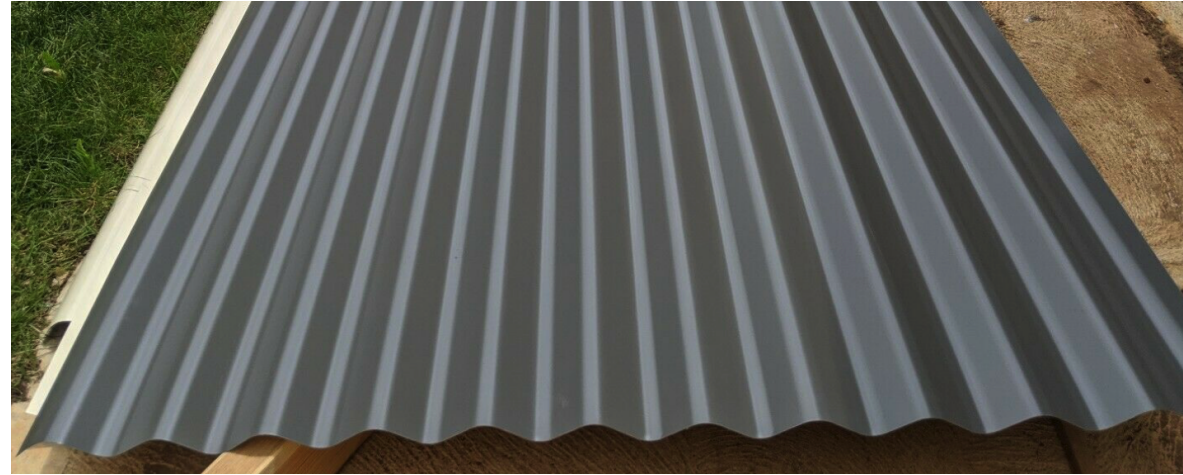
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Stage	DA

A.21

Plotted On: 16/5/20

PERSPECTIVES



COLORBOND SHEET MEDIUM COLOUR
1:1.619



2	SOLID SANDSTONE BLOCKS
	1:1.290



3	TIMBER WEATHER BOARDS
	1:1.444



4	EXTERNAL FLOOR BOARDS BLACKBUTT OR SIMILAR	1:1.159
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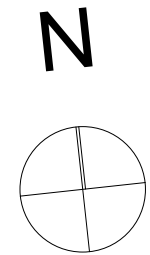


5	OFF FORM POOL 1:0.767
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NOTES:

ALL DIMENSIONS TO BE
CARRIED OUT IN
ACCORDANCE WITH
AS2601 -2001 -
DEMOLITION OF
STRUCTURES

DO NOT SCALE DRAWING.
VERIFY ALL
DIMENSIONS ON SITE
REPORT ANY
DISCREPANCIES IN
DOCUMENTATION TO
ARCHITECT.
THIS DRAWING IS FOR THE
PURPOSE OF COUNCIL
APPROVAL
AND AS SUCH, IS NOT
SUITABLE FOR
CONSTRUCTION



MANGANO RESIDENCE

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157 Plateau Road
Bilgola Plateau, NSW
Tel 0403 799 018

3 cm ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE THREE CENTIMETERS (3 cm) EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

BY	REVISIONS	DATE
CL	A	26.04.20
Date:	10/5/20	
Scale:	AS NOTED	
Drawn:	CL - 26/04/20	
Job:	MAN01LOV	
Stage	DA	

A.22

Plotted On: 10/5/20

MATERIAL AND COLOUR SAMPLE CHART



1

Indian hawthorn

1:1



2

viburnum

1:1



3

Magnolias

1:1

LOVETT
DESIGNS

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Stage	DA

A.23

Plotted On: 10/5/20

CHOSEN PLANTS SAMPLE BOARD

