



3 February 2014

Pittwater Council  
PO Box 882  
Mona Vale, NSW 1660

Dear Sir/Madam,

**Re: Development Application No. N0277/13  
Our Construction Certificate No. 102/2014  
Premises: 2 Bruce Street, Mona Vale**

Please find attached a copy of the following:-

- Construction Certificate, stamped approved plans and relevant documentation.
- Notice to Commence Building Work.
- Appointment of a Principal Certifying Authority.

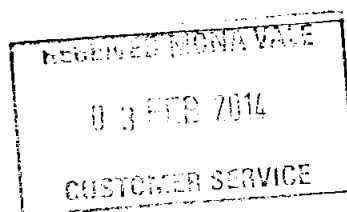
In accordance with the regulations we have enclosed a cheque for the sum of \$36.00 for the submission of the Part 4A certificate.

Should you have any further enquiries please do not hesitate to contact us and we will be pleased to assist you.

**NB: Please forward receipt for the above \$36.00 fee to CERTGROUP Building Certifiers, PO Box 870 Narrabeen NSW 2101**

Yours faithfully,

  
Mark Wysman  
CERTGROUP Building Certifiers



PRVC \$36  
Rec. 355435.



# CONSTRUCTION CERTIFICATE DETERMINATION

Issued under the Environmental Planning and Assessment Act 1979  
Section 109C (1) (b), 81A (2) and 81A (4)

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**CONSTRUCTION CERTIFICATE NO:** 102/2014

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## DETERMINATION

**Decision:** Approved

**Date of Decision:** 3 February 2014

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## SUBJECT LAND

**Address:** 2 Bruce Street, Mona Vale

**Lot No, DP:** Lot 22, DP 15762

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## DESCRIPTION OF DEVELOPMENT

Alterations and additions to the existing dwelling to enclose a deck area.

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## APPLICANT

**Name:** Adam Kibble & Rosie Burton

**Address:** 2 Bruce Street, Mona Vale

**Contact Number: (tel)** tel 0421 089 223

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## OWNER

**Name:** Adam Kibble & Rosie Burton

**Address:** 2 Bruce Street, Mona Vale

**Contact Number: (tel)** tel: 0421 089 223

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## BUILDER

**Contractor License No:** Mark Bennet Constructions Pty Ltd, Lic:186916C

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**PLANS AND SPECIFICATIONS**

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with "CERTGROUP Building Certifiers" stamp.

DRAWING NUMBER	DATE
Architectural Plan No's: DA01, DA02 prepared by: Robert Jones Architects	August 2013

**ATTACHMENTS**

Specification - 2 Bruce Street, Mona Vale	03/02/2014
Sydney Water Quick Check Stamp, Property No. 3437358	31/01/2014
Construction Certificate Application Received	31/01/2014

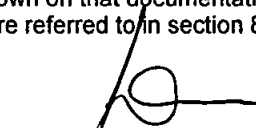
**CERTIFICATE**

I certify that work completed in accordance with documentation accompanying the application for this certificate (with such modifications as verified by the undersigned as may be shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Regulation, as are referred to in section 81A(5) of the Environmental Planning and Assessment Act, 1979"

SIGNATURE

DATE OF ENDORSEMENT

CERTIFICATE NO

  
\_\_\_\_\_  
3 February 2014  
102/2014

**CERTIFYING AUTHORITY**

Name of Certifying Authority

Name of Accredited Certifier

Registration No

Contact No

Address

CERTGROUP BUILDING CERTIFIERS

Mark Wysman

BPB 0449 – NSW Building Professionals Board

PH (02) 9944 8222, FAX (02) 9944 6330

PO BOX 870 NARRABEEN NSW 2101

**DEVELOPMENT CONSENT**

Council

Development Consent No

Date of Determination

Pittwater

N0277/13

26 November 2013

BUILDING CODE OF AUSTRALIA

CLASSIFICATION

1a



Issued under clauses 143B & 143C EPAR 2000



**Address:** 2 Bruce Street, Mona Vale



**Date: 31/1/2014**

### Result of Inspection

☐ Yes ☐ No ☒ N/a

☒ Yes ☐ No ☐ N/a

☐ Yes ☒ No ☐ N/a

NSW Building Professional Board 0449

POBOX 834 NARRABEEN, NSW 2101  
PH 99975303  
FAX 99975302  
MOBILE: 0414-679192  
EMAIL: malgaja@bigpond.com

## MARK BENNETT CONSTRUCTIONS PTY LTD

A.B.N. 55 061 984 085

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### QUOTATION

2 BRUCE STREET, MONA VALE 2103

Dear Adam,

I am pleased to submit the following quotation for the proposed works to your property.

#### INCLUDED INTENDER PRICE:-

- Pull out existing door frame to verandah
- Install 2 new windows to enclose existing verandah
- Replace existing timber louvers to west wall with weatherboards and linings to internal framing.
- Relocate electrical points where required
- Lay new Blackbutt flooring over existing floor to match
- Paint all new works to match existing
- 

TENDER PRICE.....\$19385(Incl GST)

Thank you for the opportunity to tender this building works and I look forward to your reply.

Yours faithfully,

MARK BENNETT

**SPECIFICATION – Dated 3.02.14 – 2 Bruce Street, Mona Vale**

CERTGROUP BUILDING CERTIFIERS  
APPROVED CONSTRUCTION CERTIFICATE  
PLAN / DOCUMENTATION

All work to be carried out in a tradesman like manner and in accordance with the standards codes and regulations of the Standards Association of Australia, National Construction Code and any statutory authority having jurisdiction over the works

Builder is to check and confirm all necessary dimensions on site prior to construction. Do not scale from drawings.

Demolition work must be undertaken in accordance with the provisions of AS2601- 2001 - Demolition of Structures.

For the protection of the health and safety of workers, adjoining property owners, the public and the environment, any person renovating or demolishing any building built before the 1970's should be aware that any surfaces may be coated with lead based paint. Lead dust is a hazardous substance. The requirements of AS 4361.2 Guide to lead paint management are to be followed in this regard.

All structural work is to be in accordance with the structural details prepared by a structural engineer (i.e) piers, footings, concrete slabs, retaining walls, steelwork, formwork, underpinning, additional structural loads, timber framing, wind bracing and associated connections. Builder to obtain prior to finalising tender.

All brickwork is to be selected by the owner and is to comply with AS1640. All masonry is to comply with AS3700.

Provide all metalwork and flashing items necessary to satisfactory complete works. All gutters, downpipes to be colourbond.

All Timber construction to be in accordance with the Australian Standard 1684 "Timber Framing Code".

All glazing installed to comply with AS 1288, 2047 and in accordance with manufacturers recommendation.

All wall and ceiling linings to be plasterboard or cement render as selected and villaboard in wet areas, to comply with the relevant Australian Standards or installed in accordance to manufacturers specification. All bathrooms and wet areas to be adequately waterproofed to manufacturers specification and AS3740 and Part 3.8.1. of the National Construction Code.

All Architraves and skirtings to be to owners satisfaction or standard colonial moulding or to match existing in paint or stain finish as selected.

All roofing and roof plumbing work to be in accordance with manufacturers specification and be completely watertight.

All plumbing and drainage work to be installed and completed by a licenced tradesman and in accordance with the statutory body having authority over the works. Connect all waste to Sydney Water sewer line.

Connect all stormwater to existing system or street drainage system in accordance with AS 3500 and part 3.1.2 Drainage of the National Construction Code.

Smoke detector alarms to be installed in accordance with AS3786 and the National Construction Code.

Termite protection measures to comply with AS3660 and be installed to manufacturers specification

Stairs and Balustrades to comply with part 3.9.1 & 3.9.2 of the National Construction Code.

Electrical works to be in accordance with SAA wiring rules and be done by a licenced tradesman. Obtain electrical layout prior to proceeding. All electrical power (GPO) and light outlets to be determined by owner.

The Builder is to make all applications, pay all fees, obtain all certificates and approvals, provide all insurances required for the building work. The Builder is to clean the site and remove all rubbish on completion.

Any workmanship and materials not shown on this drawing ( or unless specifically excluded from the Builders Quote,) which are required to complete the building works shall be provided and installed at the builders expense.

Any detailing additional to that supplied, shall be resolved between the owner and the builder to owner's approval. Except for any structural details or design which is to be supplied by the structural engineer.



## APPLICATION FORM

Made under the Environmental Planning and Assessment Act 1979, Sections 81A(2), 84A, 85A, & 109C, Environmental Planning and Assessment Regulation 2000, clauses 126, 139.

To complete this form, please place a tick (✓) in the boxes and complete sections as appropriate. No Faxed applications please.

### APPLICATION SOUGHT

- ☒ Construction Certificate  
☒ Principal Certifying Authority  
☐ Complying Development Certificate
- ☐ NSW Housing Code  
(SEPP Exempt & Complying Development Code)  
☐ Council existing Exempt & Complying Development Policy

#### Office Use Only

CC: 102/2014

CDC:

Job:

Date Receipt:

31.1.14

### SUBJECT LAND

Address 2 Bruce St Mona Vale  
Lot No 22 DP 15762 SP \_\_\_\_\_ Vol/Fol, Etc \_\_\_\_\_

### DETAILS OF THE APPLICANT

Name / Company Adam Kibble & Rosie Burton Contact Person Adam  
Mailing Address 2 Bruce St Mona Vale  
Postcode 2103 State NSW  
E-mail adamkibble@gmail.com Tel 9979 4704 Mobile 0421 089 223  
Applicant Signature [Signature] Date 30/1/14

### CONSENT OF OWNER(S)

I/We as the owner/s of the above property authorise for Mark Wysman to provide Construction or Complying Development Certification and to act as the Principal Certifying Authority for the subject building works, including site inspections and to lodge the Notice of Commencement/Appointment of the Principal Certifying Authority with the relevant Council.

Name / Company Adam Kibble & Rosie Burton Contact Person Adam  
Owner's Address 2 Bruce St Mona Vale  
Postcode 2103 State NSW  
Mailing Address as above  
Postcode \_\_\_\_\_ State \_\_\_\_\_  
E-mail adamkibble@gmail.com Tel 9979 4704 Mobile 0421 089 223  
Owner/s Signature/s [Signature] Date 30/1/14  
Date \_\_\_\_\_

## DESCRIPTION OF WORK

Type of work proposed:

☐ New Building ☒ Additions / Alterations

Class of Building under Building Code of Australia

1a.

Description of the work

Alterations + additions to the  
Existing dwelling to Enclose deck area.

Construction Cost of Works \$ 19,385

## DETAILS OF THE RELEVANT CONSENTS

Consent No. N0277/13 Date issued: 26/11/13

Construction Certificate No. 102/2014 Date issued: 3/2/14

Complying Development Certificate No. Date issued:

## STATISTICAL RETURN FOR AUSTRALIAN BUREAU OF STATISTICS

What is the site area of land?

In square metres 529 m<sup>2</sup>

Gross floor area of existing building? NIL if building does not exist.

In square metres Approx 203 m<sup>2</sup>

What is the existing building or site used for at present?

Main Uses Residential

Other Uses

Does the site contain dual occupancy?

☐ Yes ☒ No

Gross floor area of proposed building?

In square metres Approx 10 m<sup>2</sup> = 203 m<sup>2</sup>

What will the proposed building be used for?

Main Uses Residential

Other Uses

### HOW MANY DWELLINGS:-

Are pre-existing at this property? 1 Are proposed to be demolished? none

Are proposed to be constructed? 0 Are attached to an existing building? 0

Are attached to a new building? 0 How many storeys will the building consist of? 3

## WHAT ARE THE MAIN BUILDING MATERIALS (PLEASE TICK APPROPRIATE BOXES)

### WALLS

- ☒ Full Brick  
☐ Brick Veneer  
☐ Concrete or Stone  
☐ Steel  
☐ Fibrous Cement  
☒ Timber/weatherboard  
☐ Cladding- aluminium  
☐ Other

### ROOF

- ☐ Aluminium  
☐ Concrete or Slate  
☐ Tile  
☐ Fibrous Cement  
☒ Steel  
☐ Other

### FLOOR

- ☒ Concrete or slate  
☒ Timber  
☐ Other  
☐ Unknown

### FRAME

- ☒ Timber  
☐ Steel  
☐ Aluminium  
☐ Other

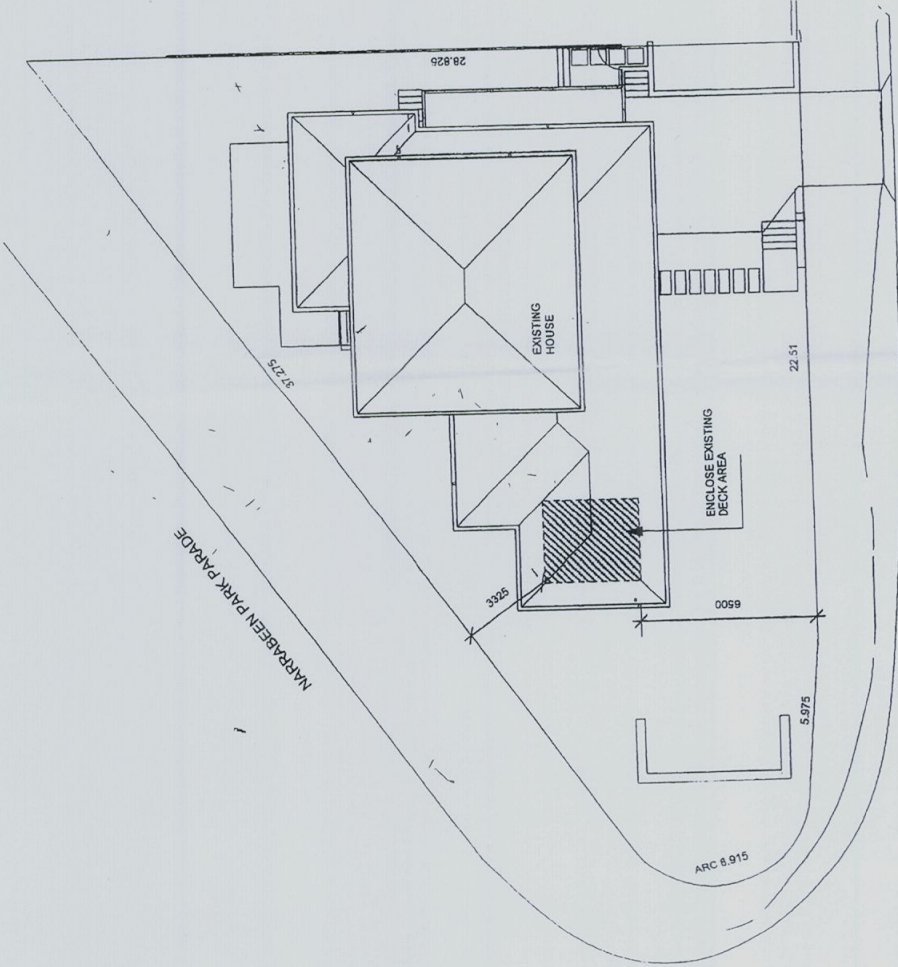
## PRIVATE POLICY & TERMS

All information provided by the owner / applicant on this form will be taken to be accurate & correct. CERTGROUP Building Certifiers does not accept any responsibility for any intentional or unintentional error or omission made by the owner / applicant on this form. The information you provide in this notice is required under the Environmental Planning and Assessment Act 1979 if you erect a building. The information will be held by the consent authority and by the council (if the council is not the consent authority). Please contact CERTGROUP Building Certifiers if the information you have provided in this notice is incorrect or changes.

CERTGROUP Building Certifiers ■ tel 9944 8222 ■ fax 99446330  
info@certgroup.com.au ■ www.certgroup.com.au ■ PO Box 870 Narrabeen NSW 2101 ■ abn 47 121 229 166

Construction Certificates ■ Complying Development Certificates ■ Building Code & Planning Consultants





PITTWATER COUNCIL  
APPROVED DEVELOPMENT  
CONSENT PLANS  
NOTE: THESE PLANS MUST BE READ IN  
CONJUNCTION WITH THE CONDITIONS OF  
DEVELOPMENT CONSENT.  
THIS APPROVAL DOES NOT AUTHORISE ANY  
WORKS ON THE ADJACENT ROAD RESERVE  
OR ANY COUNCIL RESERVE.

# SYDNEY WATER APPROVED

1. Position of structure in relation to Sydney Water's assets is satisfactory.
2. Connections to Sydney Water's services may only be made in accordance with a permit and approved plans.
3. In the event of a water main break, any water service will be shut off.
4. Any proposed structure must be carried out in accordance with the Sydney Water Act 1991, AS 3460 and the NSW Code of Practice.
5. Gallies, traps, and Boundary Traps must not be installed in any Roof, Balcony, Veranda, Floor or other cover unless otherwise approved by Sydney Water.
6. Property No. 3437358.

Reece, Mona Vale  
Quick Check Agent on behalf of  
SYDNEY WATER

Reece  
31 / 1 / 14

SITE PLAN 1:200

BRUCE STREET

## CERTGROUP BUILDING CERTIFIERS

CONSTRUCTION CERTIFICATE No. 102/14

Consent No. 102/14 Date 26.11.13  
Plans or documentation associated with the issue of  
the Construction Certificate

Mark Wysman Date 3/2/14  
Accreditation No. BPB0449

robertjones  
Architects  
STAVELAND PARADE  
AVALON BEACH NSW 2107  
T 02 9973 2533  
F 02 9973 2516  
E robertjones@westnet.com.au  
reg no. 4446  
abr 18 913 804 982

MR A. KIBBLE  
MRS R. BURTON

PROJECT  
ALTERATION TO  
EXISTING HOUSE  
2 BRUCE STREET  
MONA VAL

## APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN  
CONJUNCTION WITH THE CONDITIONS OF  
DEVELOPMENT CONSENT.

THIS APPROVAL DOES NOT

SCALE  
1:100, 1:200

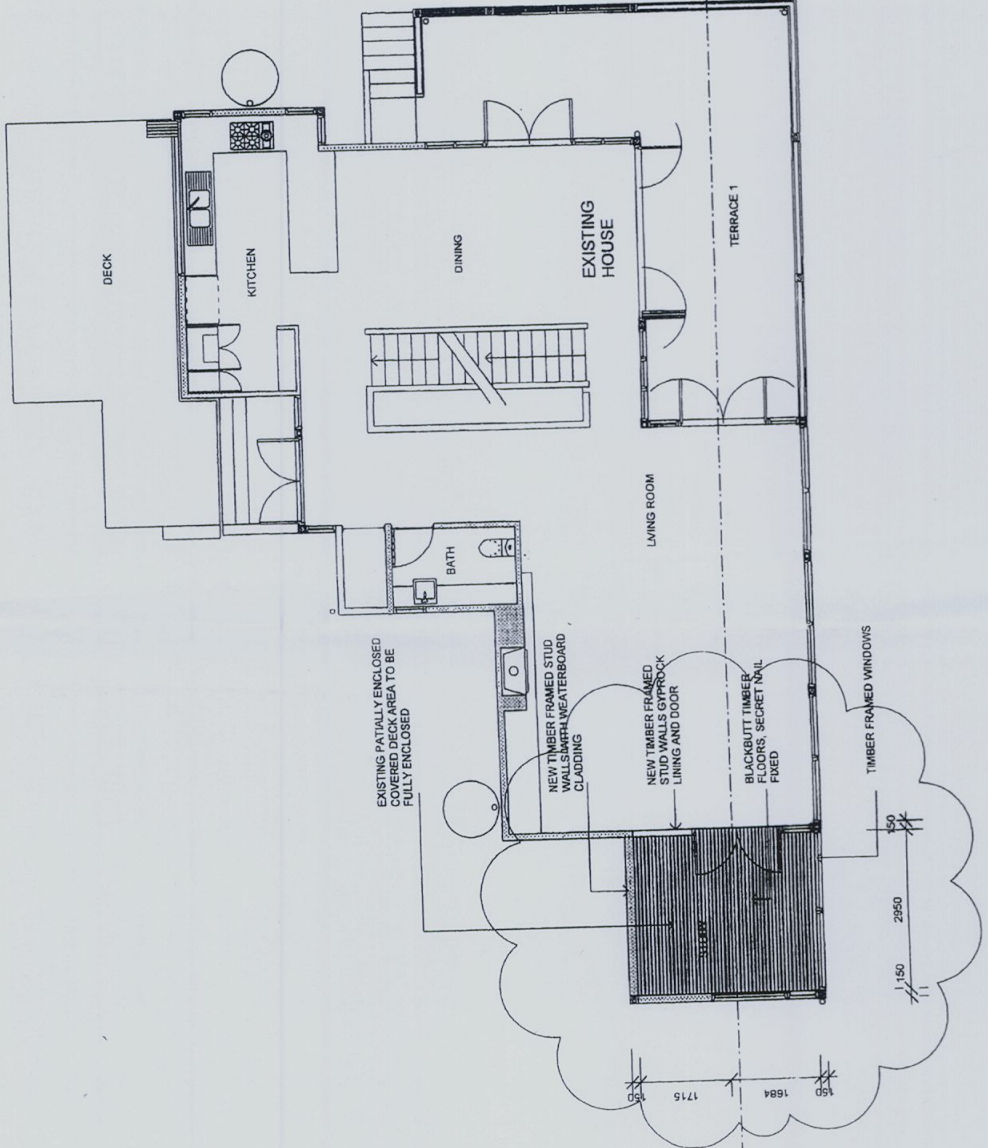
PROJECT NUMBER  
360/13

DATE  
AUGUST 2013

NORTH

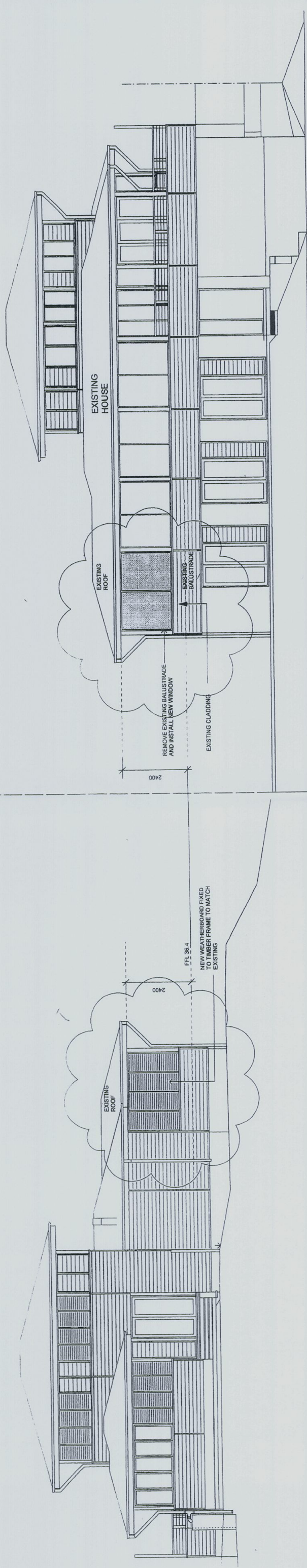
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REVISION NO



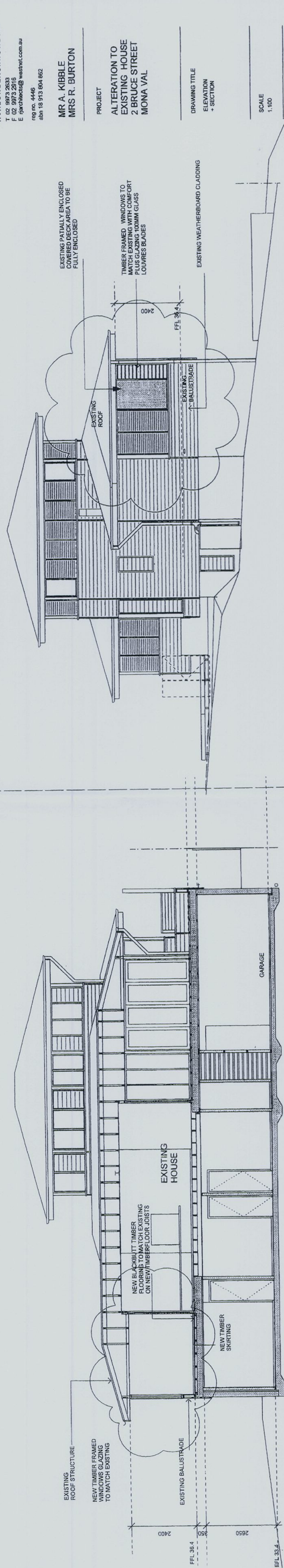
FIRST FLOOR PLAN





WESTERN ELEVATION

EASTERN ELEVATION



SECTION X-X

SOUTHERN ELEVATION

robert jones  
Architects

STAVALONPARADE  
AVALONBEACHNSW2107  
T 02 8972 2633  
C 02 8972 2633  
E 02 8972 2633  
rj@robertjonesarchitects.com.au

reg no. 4446  
asn 18 915 604 862

MR A. KIBBLE  
MRS R. BURTON

PROJECT  
ALTERATION TO  
EXISTING HOUSE  
2 BRUCE STREET  
MONA VAL

DRAWING TITLE  
ELEVATION  
+ SECTION

SCALE  
1:100

PROJECT NUMBER  
360/13

DATE  
AUGUST 2013

CERTGROUP BUILDING CERTIFIERS  
APPROVED CONSTRUCTION CERTIFICATE  
PLAN / DOCUMENTATION

DA 02

REVISION NO