

AREA CALCULATIONS

EXISTING SITE AREA - 711.20 sqm

SITE COVER = 405 sqm

SOFT LANDSCAPED AREA = 303.50 sqm (42.5 %)

TOTAL PRIVATE OPEN SPACE AREA - 158 sqm

GROUND FLOOR GFA = 149.00 sqm

FIRST FLOOR GFA = 137.50 sqm

TOTAL GFA = 286.50 sqm

SEDIMENT CONTROL

INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON THIS DRAWING AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHICH EVER AREAS OF THE SITE ARE EXPOSED TO EROSION.

CONTROL STRUCTURES TO BE AS DETAILED OR AS OTHERWISE REQUIRED.

REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.

IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION CONTROL OR BY COUNCIL REQUIREMENTS REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.

SEDIMENT FENCE DETAIL

SUITABLE FOR DRAINAGE AREA OF 0.6HA MAX AND SLOPE GRADIENT OF 1:2 MAX WITH LENGTH OF 60M MAX

NOTES

1. STORMWATER DRAINAGE DESIGN NOT SHOWN. RAINWATER COLLECTION TANKS TO RE-USE FOR GARDEN AND AS PER BASIX REPORT

2. FOR MORE DETAILED SITE INFORMATION REFER TO GROUND FLOOR PLANS

3. REFER TO SEPERATE BASIX REPORT FOR ENERGY REQUIREMENTS

4. REFER TO ENVIROTECH REPORT FOR WASTEWATER TREATMENT DETAILS

5. REFER TO BUSHFIRE REPORT FOR FLAME ZONE CONDITIONS

6. REFER TO STATEMENT OF ENVIRONMENTAL EFFECTS FOR DEVELOPMENT DETAILS AND PLANNING CONSIDERATIONS

KEY

SUN DIRECTION - 21st JUNE

SITE ENTRY

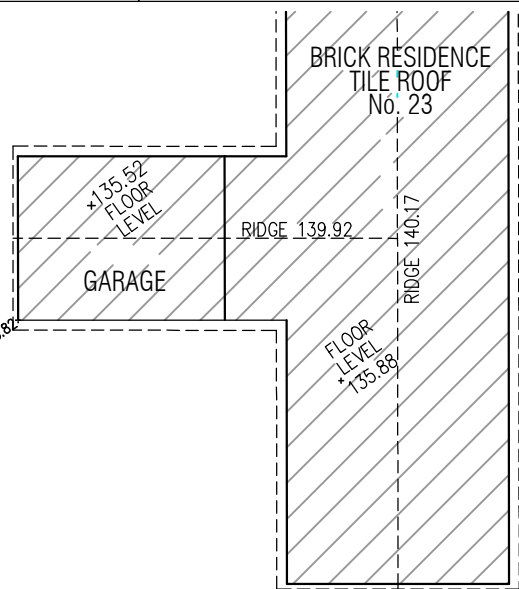
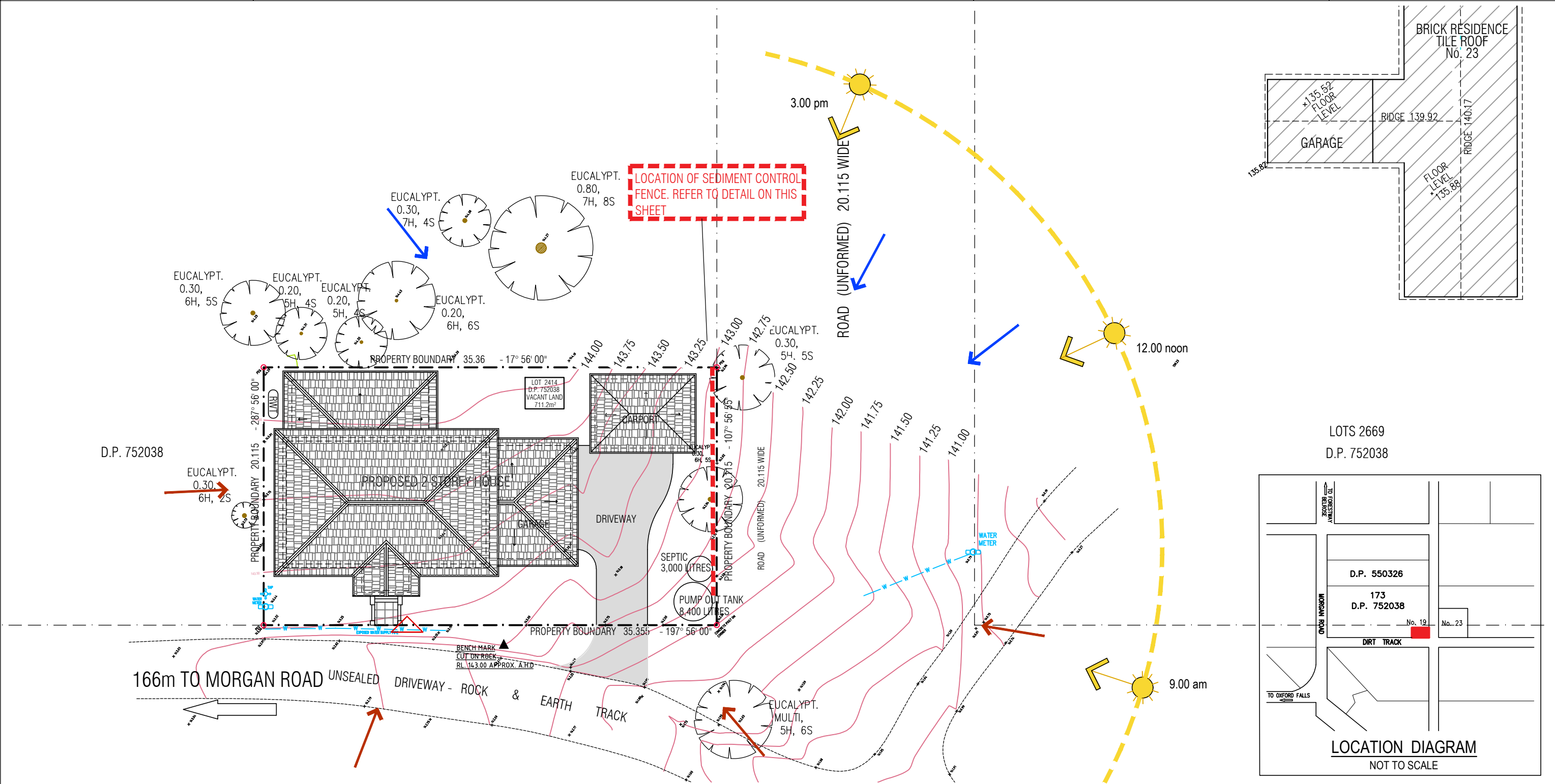
PREVAILING SUMMER WINDS

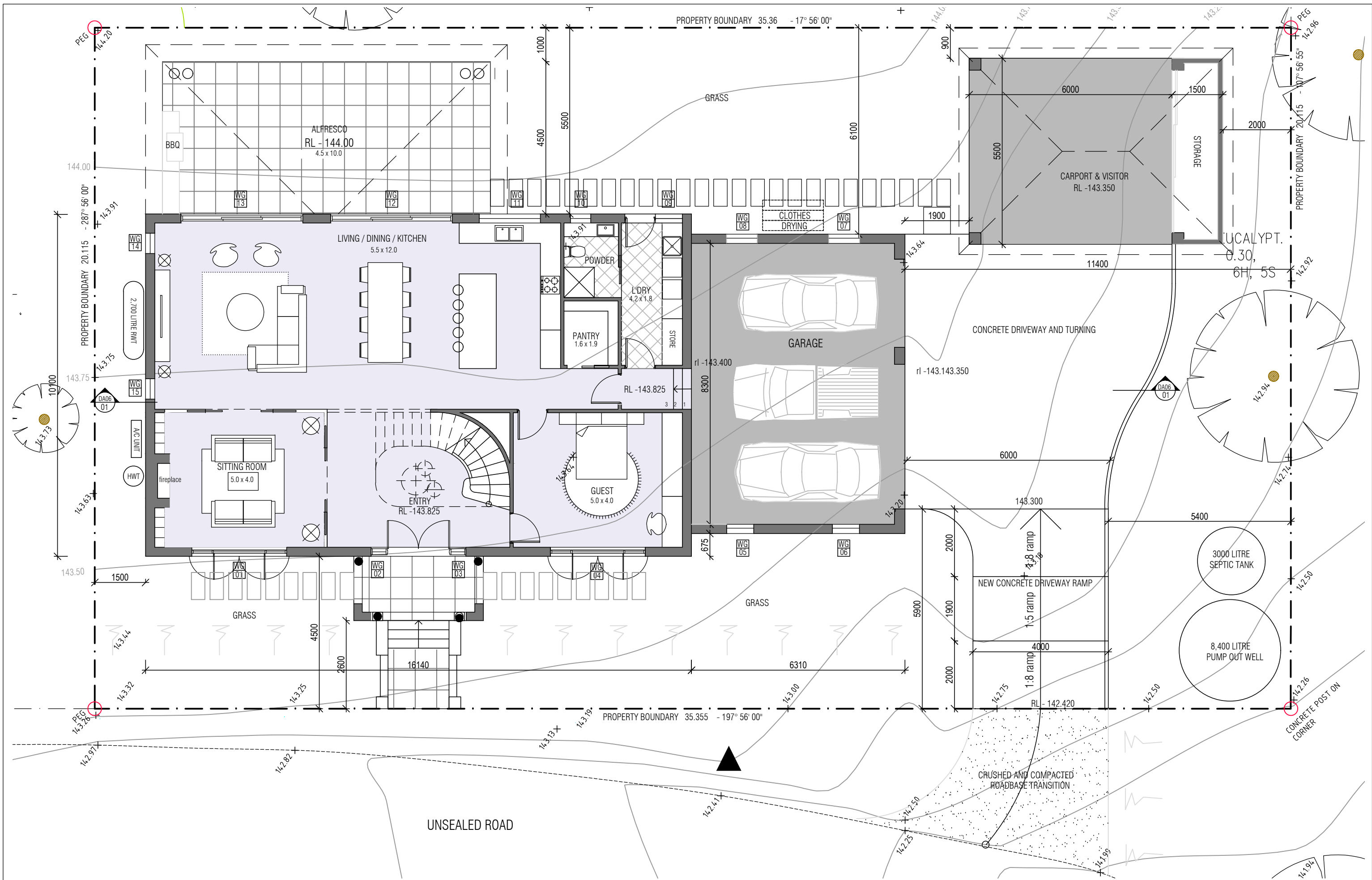
PREVAILING WINTER WINDS

EXISTING GROUND LEVEL

PROPOSED NEW LEVEL

EXISTING TREES TO REMAIN





01 GROUND FLOOR PLAN
1:100 @ A3

A	09.04.20	ISSUED FOR DEVELOPMENT APPLICATION
No	DATE	REVISION

ARCHITECT

muri

ARCHITECTS + INTERIOR DESIGNERS

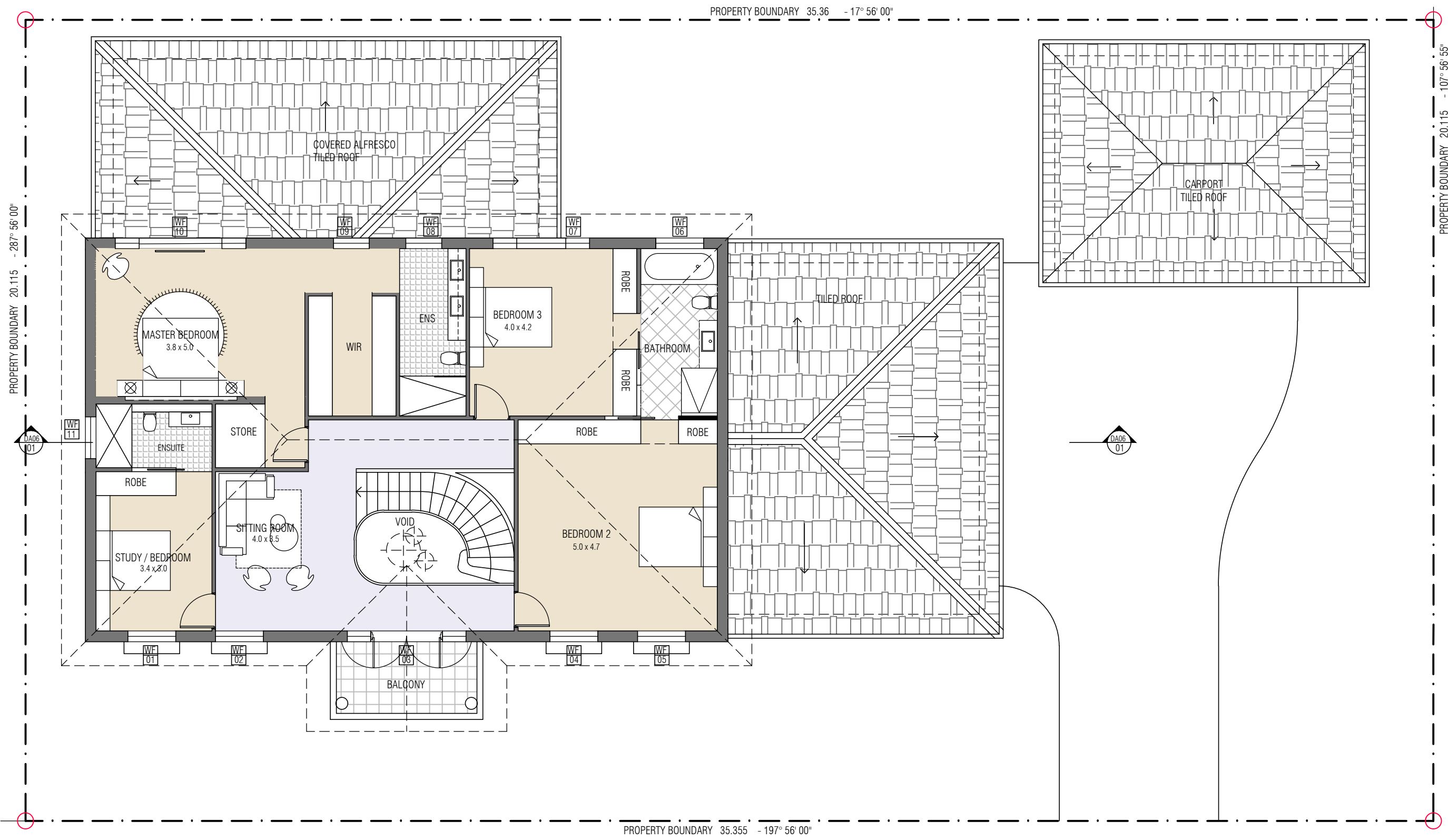
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CLIENT	DAVID AND LANDI CONWAY
PROJECT	PROPOSED NEW RESIDENCE 19 MORGAN ROAD, BELROSE
TITLE	PROPOSED GROUND FLOOR PLAN

NORTH	DRAWN	DATE	SCALE
	SL	April 2020	1:100 @ A3
	CHECKED	DATE	ISSUE
	JOB No.	DRAWING No.	REV.
	1904	DA02	A



01 FIRST FLOOR PLAN
1:100 @ A3

A	09.04.20	ISSUED FOR DEVELOPMENT APPLICATION
No	DATE	REVISION

ARCHITECT

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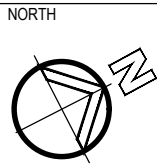
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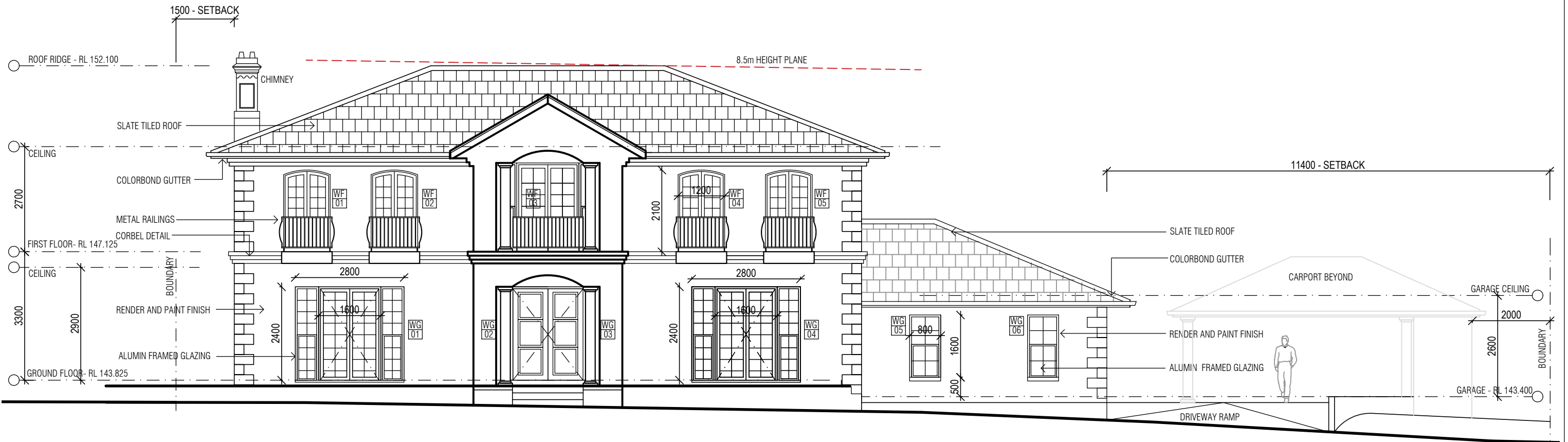
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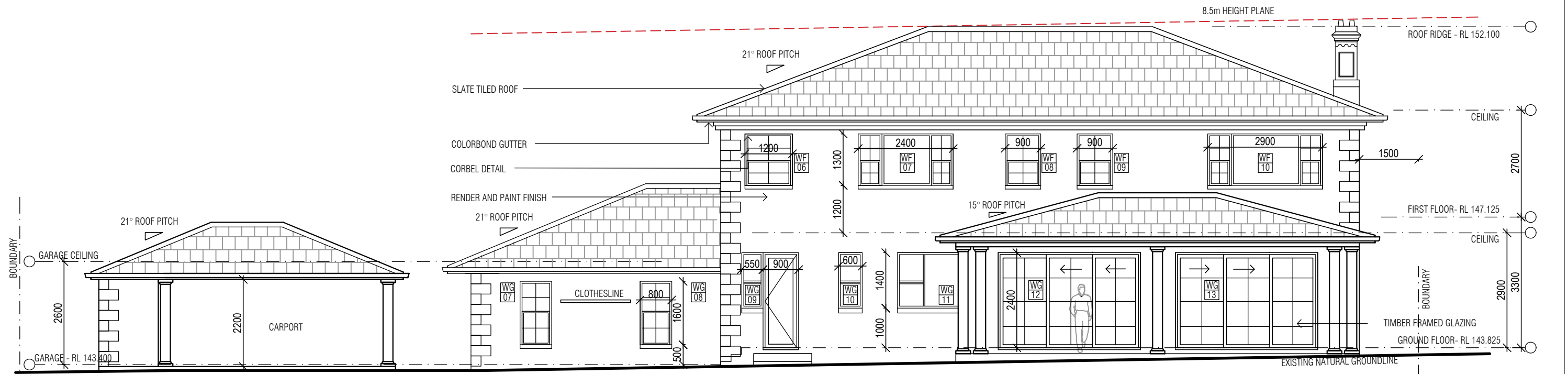
CLIENT	DAVID AND LANDI CONWAY
PROJECT	PROPOSED NEW RESIDENCE 19 MORGAN ROAD, BELROSE
TITLE	PROPOSED FIRST FLOOR PLAN



DRAWN	SL	DATE	April 2020	SCALE	1:100 @ A3
CHECKED		DATE		ISSUE	
JOB No.	1904	DRAWING No.	DA03	REV.	A



01 EAST ELEVATION
1:100 @ A3



02 WEST ELEVATION
1:100 @ A3

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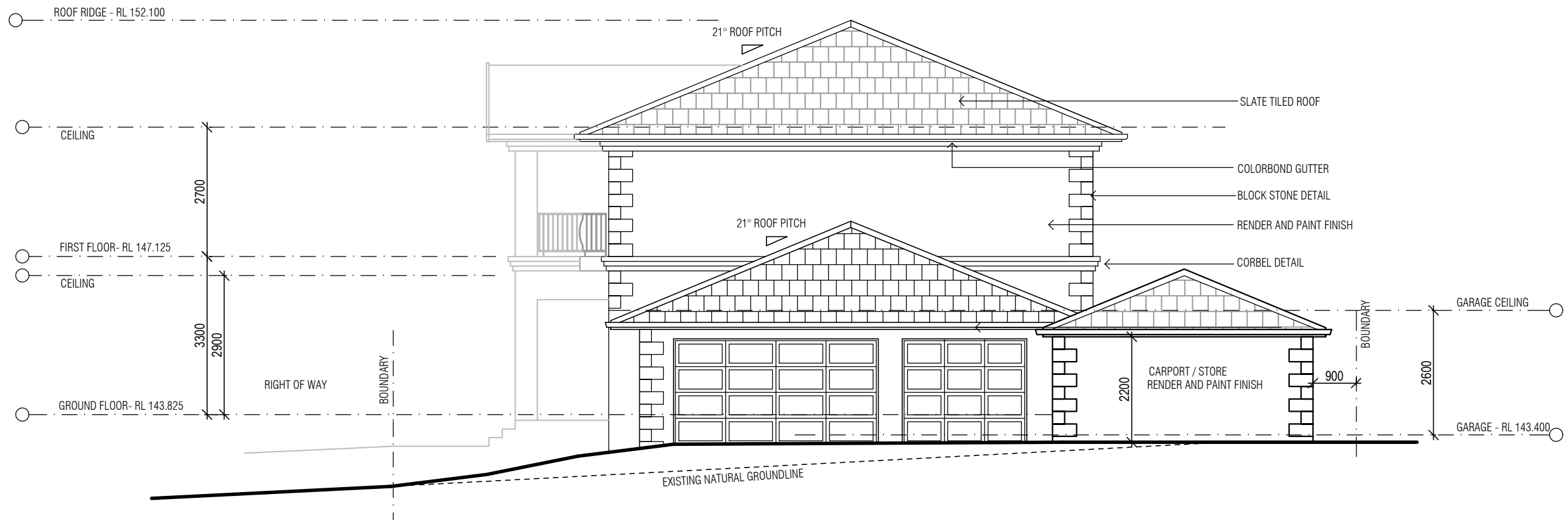
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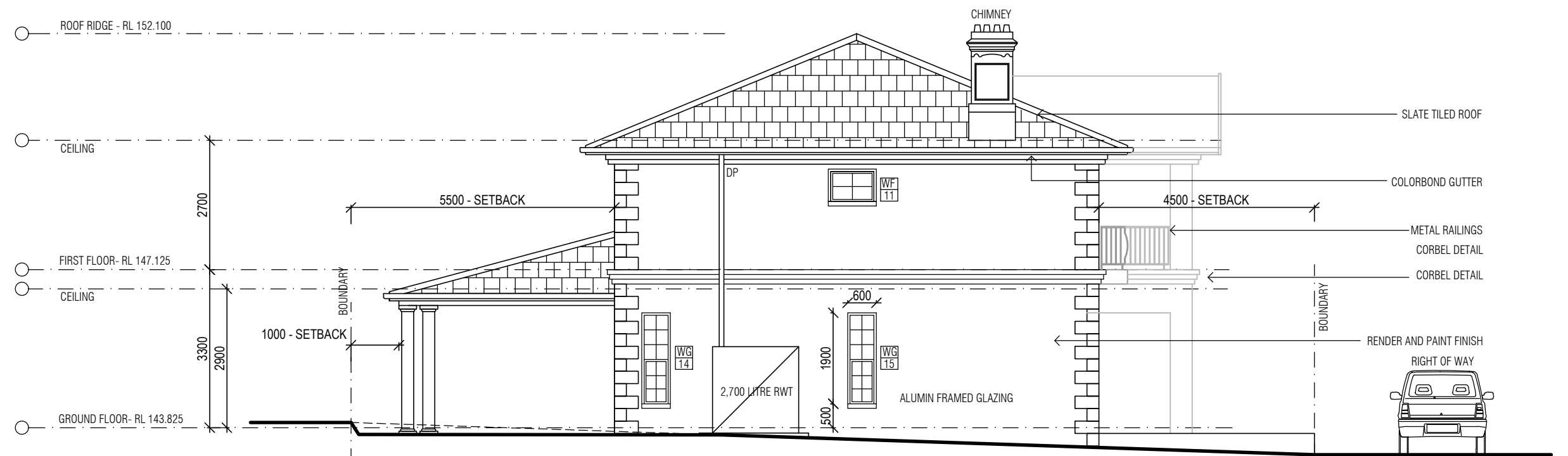
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CLIENT	DAVID AND LANDI CONWAY
PROJECT	PROPOSED NEW RESIDENCE 19 MORGAN ROAD, BELROSE
TITLE	PROPOSED ELEVATIONS

NORTH	DRAWN SL	DATE April 2020	SCALE 1:100 @ A3
	CHECKED	DATE	ISSUE
JOB No.	DRAWING No.	REV.	
1904	DA04	A	



01 NORTH ELEVATION
1:100 @ A3



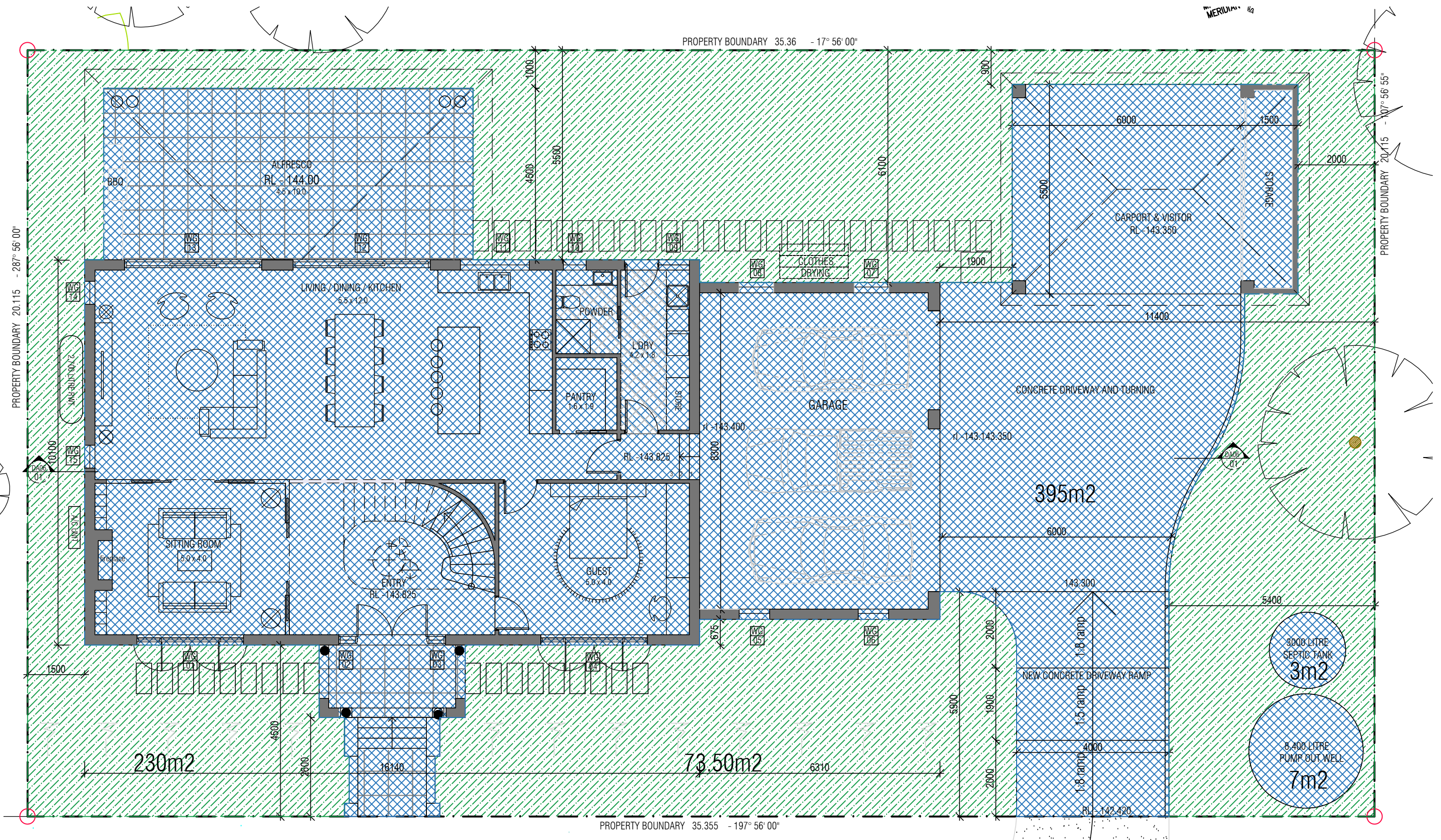
02 SOUTH ELEVATION
1:100 @ A3

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CLIENT	DAVID AND LANDI CONWAY
PROJECT	PROPOSED NEW RESIDENCE 19 MORGAN ROAD, BELROSE
TITLE	PROPOSED ELEVATIONS

NORTH	DRAWN SL	DATE April 2020	SCALE 1:100 @ A3
	CHECKED	DATE	ISSUE
JOB No. 1904	DRAWING No. DA05	REV. A	



AREA CALCULATIONS

SITE AREA = 711.20 sqm

LANDSCAPED AREA = 303.50 sqm (42.5%)

BUILT UPON AREA = 405.0 sqm

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CLIENT

DAVID AND LANDI CONWAY

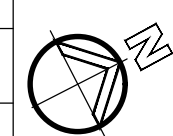
PROJECT

PROPOSED NEW RESIDENCE
19 MORGAN ROAD, BELROSE

TITLE

SITE AREA CALCULATIONS

NORTH



DRAWN

SL

DATE

April 2020

SCALE

1:100 @ A3

CHECKED

DATE

ISSUE

JOB No.

1904

DRAWING No.

DA07

REV.

A

EXTERNAL FINISHES SCHEDULE – 19 Morgan Road , Belrose

AREA	CODE	SAMPLE	DESCRIPTION	SUPPLIER	COLOR FINISH
Window Framing	WF-01		All glazed doors and windows	To be specified	Off White
Roof Tiles	R-01		Slate or Similar Slate look	TBC	Medium Grey
External Walls	C-01		Render and Paint	Dulux	Beige Royal or similar
Driveway	DR-01		Paving or similar	To be Specified	Light Natural Stone