

GENERAL ABBREVIATIONS	
apt#	apartment #
bal#	balustrade type #
bsn#	basin type #
bw	blockwork
ck	cooktop
cl	ceiling height
cos	check on site
cpd	cupboards
dp	downpipe
dpc	damp-proof course
dw	dishwasher
drw	drawers
edb	electrical distribution board
eg	eaves gutter
eng	engineer
ent	entry
ev	eaves vent
exg	existing
exist	existing
fcl	finished ceiling level
ffl	finished floor level
fw#	floor waste type #
gd	garage door
hr#	handrail type #
htr	hand towel rail
hws	hot water system
kp	kickplate
lb	letter box
m	mirror
mw#	microwave type #
mx	mixer tap
nom	nominal
ov	oven
pp	powerpoint
ps#	privacy screen
ref	refridgerator
rh	robe hook
rv	roof ventilator
sc	steel column
sk#	skylight #
snk#	sink type #
sp	solar panels
shwr	shower set
hc	tap external
tp#	tap type #
tr	towel rail
trh	toilet roll holder
w	window
wc#	toilet type #
wir	walk in rob

MATERIAL ABBREVIATIONS	
alv	aluminium louvres
cb	concrete blockwork
conc	concrete
cp	concrete pavers
cpt	carpet
wt#	wall tile type #
fb	facebrick
fc	fibre cement sheet
ft#	floor tile type #
lam#	laminare type #
lc#	lightweight cladding type #
mhd	metalhood
mrs	metal roof sheet
ms#	manufactured stone type #
pb	plasterboard
pbk	painted brickwork
pbw	plasterboard – water resistant
ply	marine grade plywood
pt	external paver
pu#	polyurethane finish type #
rb	rendered brickwork
rbk	rendered concrete blockwork
sb	sandstone blockwork
ss	stainless steel
tdk	timber decking boards
tfb	timber floorboards
tmb	timber/hardwood as scheduled
tcl	timber cladding
tlv	timber louvres

Sheet List

C-01 Exterior Mood Board
C-02 Materials + Finishes Schedule

P-01 Rendered Perspectives
P-02 Rendered Perspectives
P-03 Rendered Perspectives

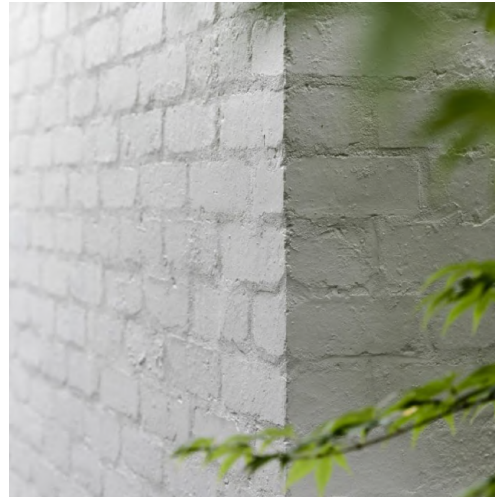
DA-01 Site Plan + Analysis
DA-02 Garage Plan
DA-03 Ground Floor Plan
DA-04 Roof Plan
DA-05 East Elevation
DA-06 West Elevation
DA-07 North Elevation
DA-08 South Elevation
DA-09 Section
DA-10 Erosion + Sediment Control Plan
DA-11 Erosion + Sediment Control Details
DA-12 Landscape Open Space Plan
DA-13 Landscape Details
DA-14 Notification Plan
DA-15 Floor Spatio Ratio Calculations

DENNING RESIDENCE

DEVELOPMENT APPLICATION
16 KIRKWOOD STREET, SEAFORTH

for
N. + M. DENNING

MARCH, 2025





bal1 - balustrade
DULUX Snowy Mountains Half



lc1 - James Hardie AXON 133 Smooth cladding
DULUX Snowy Mountains Half



lc2 - James Hardie LINEA 180mm cladding
Colour to owners selection



mrs - Klip-Lok roof sheeting
COLORBOND Surfmist



rb - bagged brickwork
DULUX Snowy Mountains Half

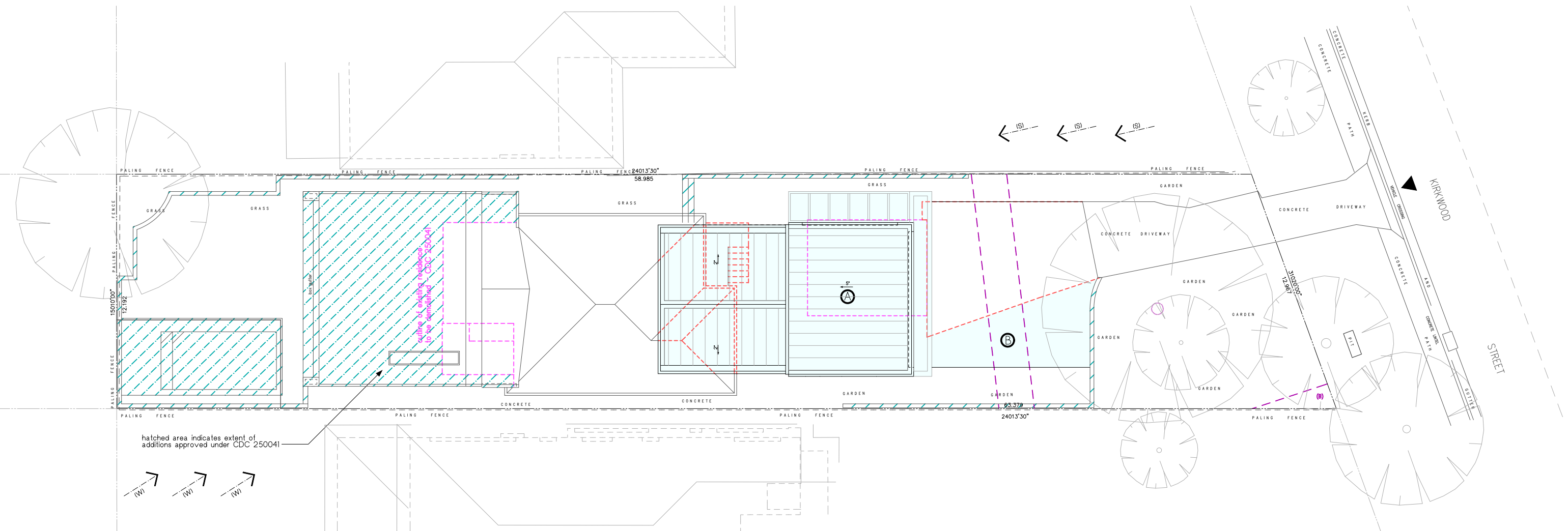


alv/tmb - aluminium louvres/timber battens
species/colour to owners selection



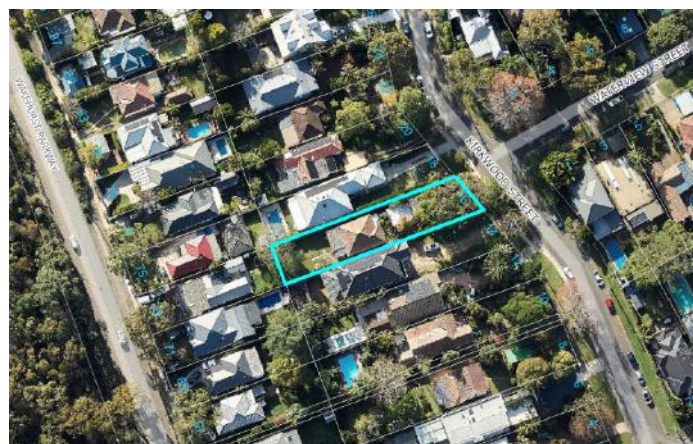






KEY

	CAR ENTRY POINT
	BOUNDARY
	CDC 250041 APPROVED DEMOLISHED STRUCTURES
	CDC 250041 APPROVED ADDITIONS
	DEMOLISHED
	PREVAILING WINDS (summer)
	PREVAILING WINDS (winter)
	WINDOW TO LIVING SPACE IN ADJACENT DWELLING
	EXISTING CONTOURS
	SLOPE OF LAND
	ROAD NOISE
	PROPOSED ADDITIONS
	PROPOSED DRIVEWAY EXTENSION



AERIAL VIEW OF 16 KIRKWOOD STREET, SEAFORTH
SCALE - N.T.S



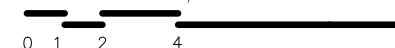
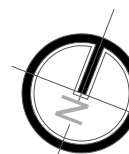
ZONING MAP OF 16 KIRKWOOD STREET, SEAFORTH
SCALE - N.T.S

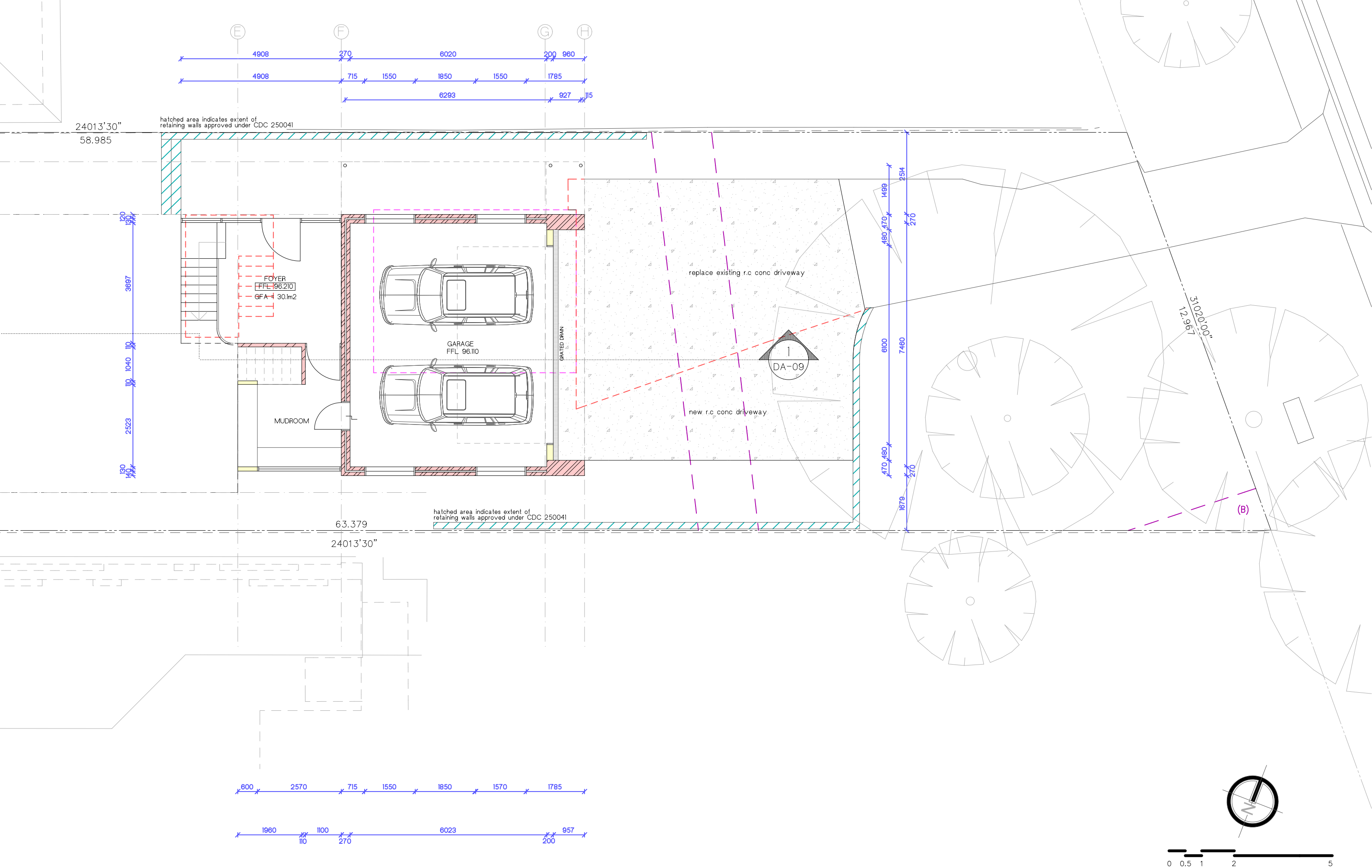
SITE CALCULATIONS

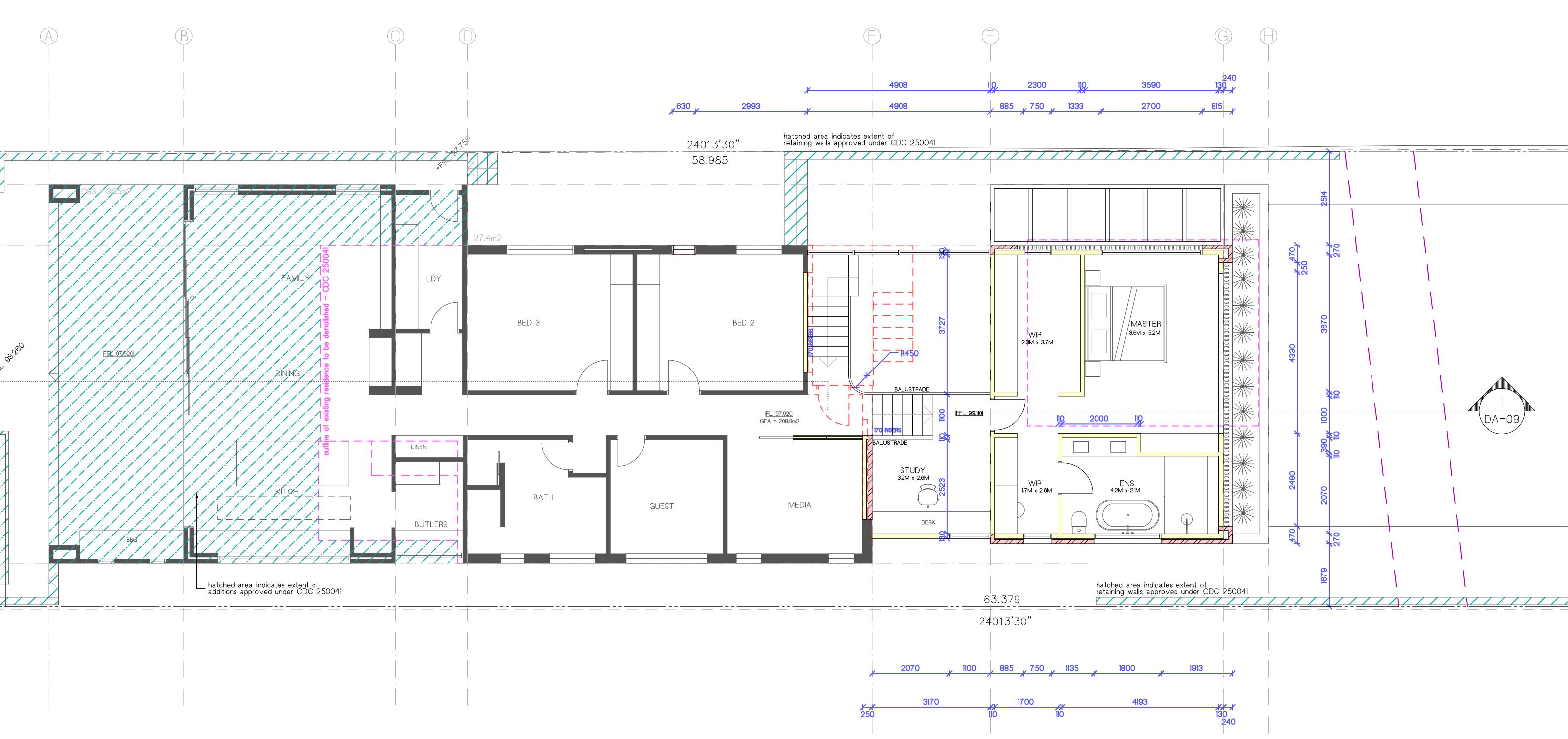
	Required	Proposed
Site Area	746.0m2	
Floor Space Ratio	0.45:1	0.32:1
Setbacks -(mm)		
-East (front)	6000 min.	17769
-North (side)	2082	900/2514
-South (side)	2082	1679
EXISTING OPEN SPACE AREA (OS3)	500.6m2	
PROPOSED OPEN SPACE AREA (OS3)	410.3m2	389.2m2
EXISTING LANDSCAPED AREA	424.5m2	
PROPOSED LANDSCAPED AREA	143.6m2	343.0m2

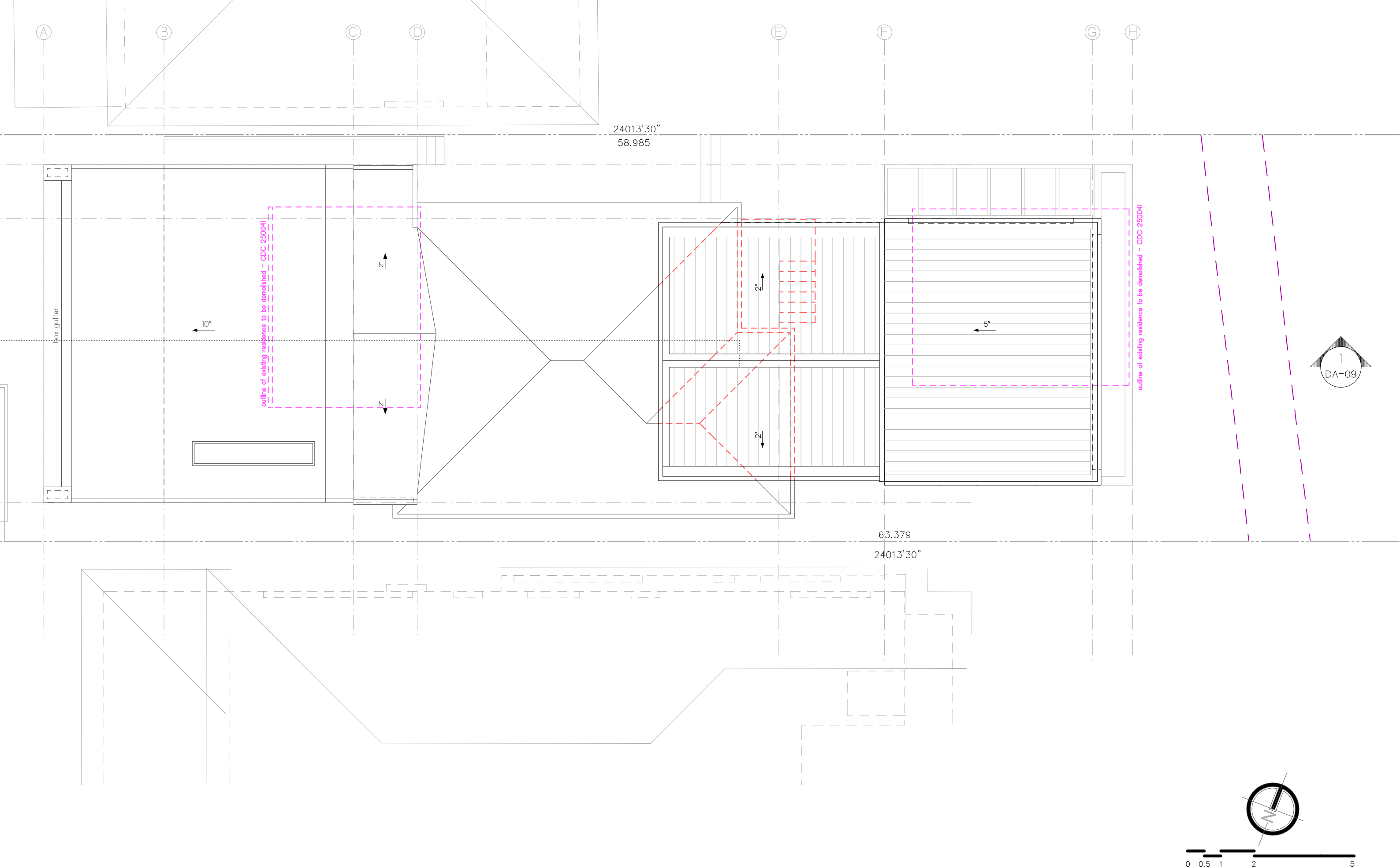


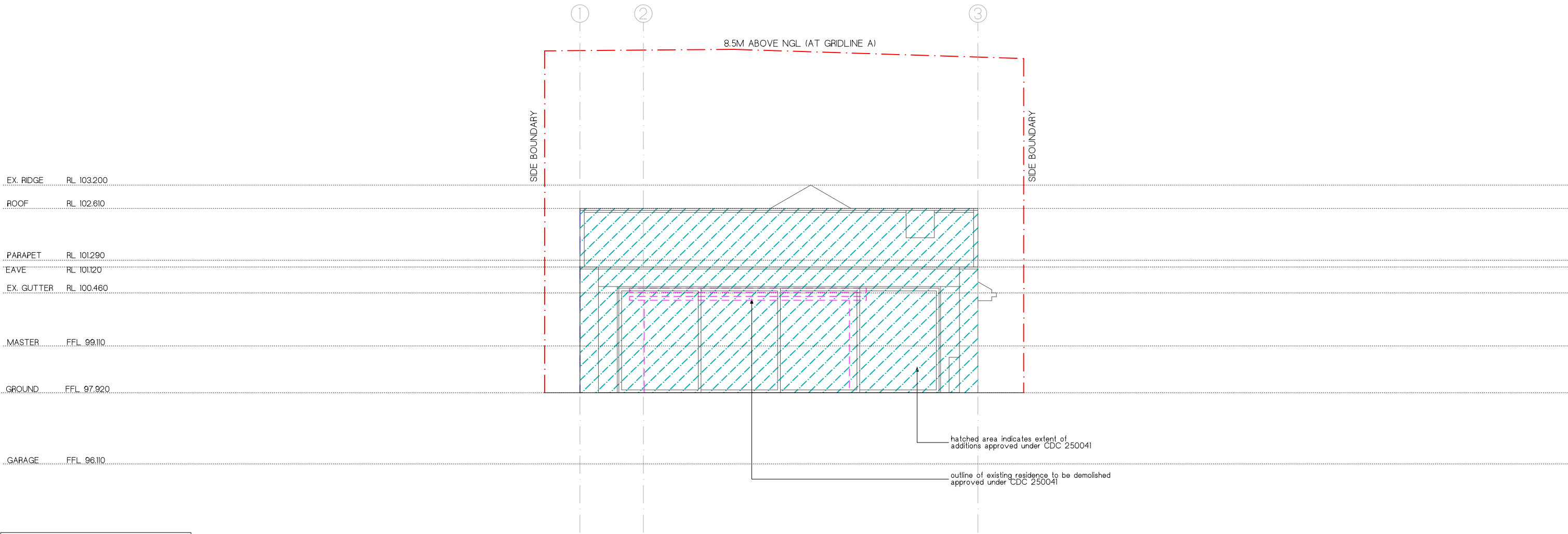
PROPOSED WORKS





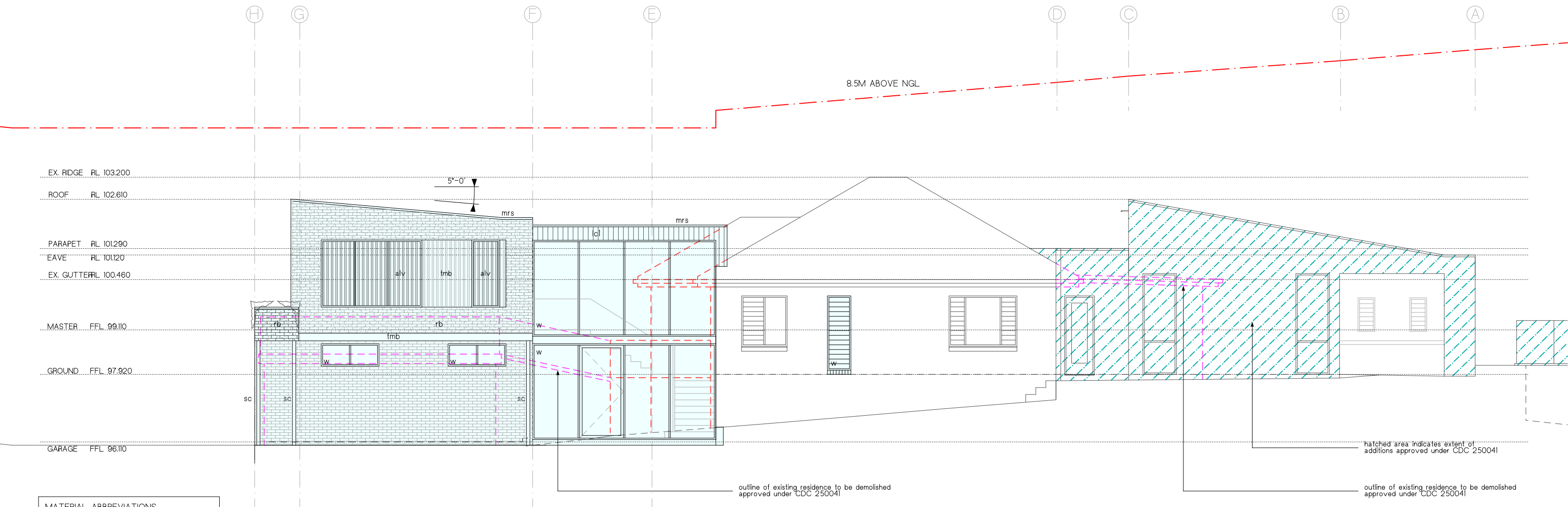




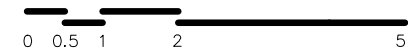


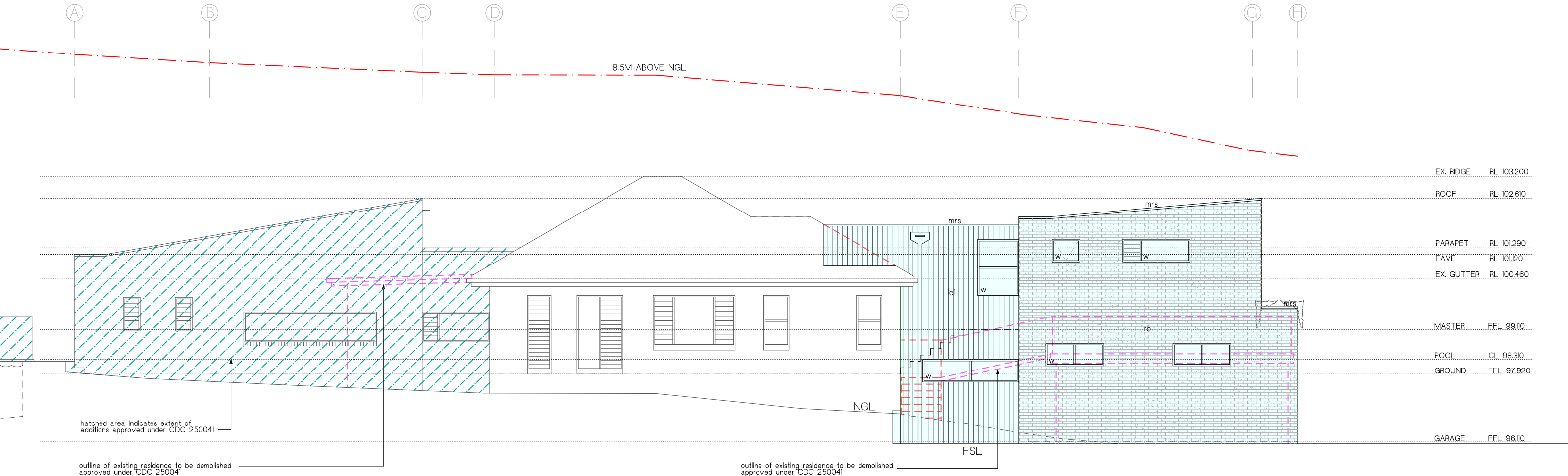
MATERIAL ABBREVIATIONS	
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conc	concrete
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cpt	carpet
wt#	wall tile type #
fb	facebrick
fc	fibre cement sheet
ft#	floor tile type #
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lc#	lightweight cladding type #
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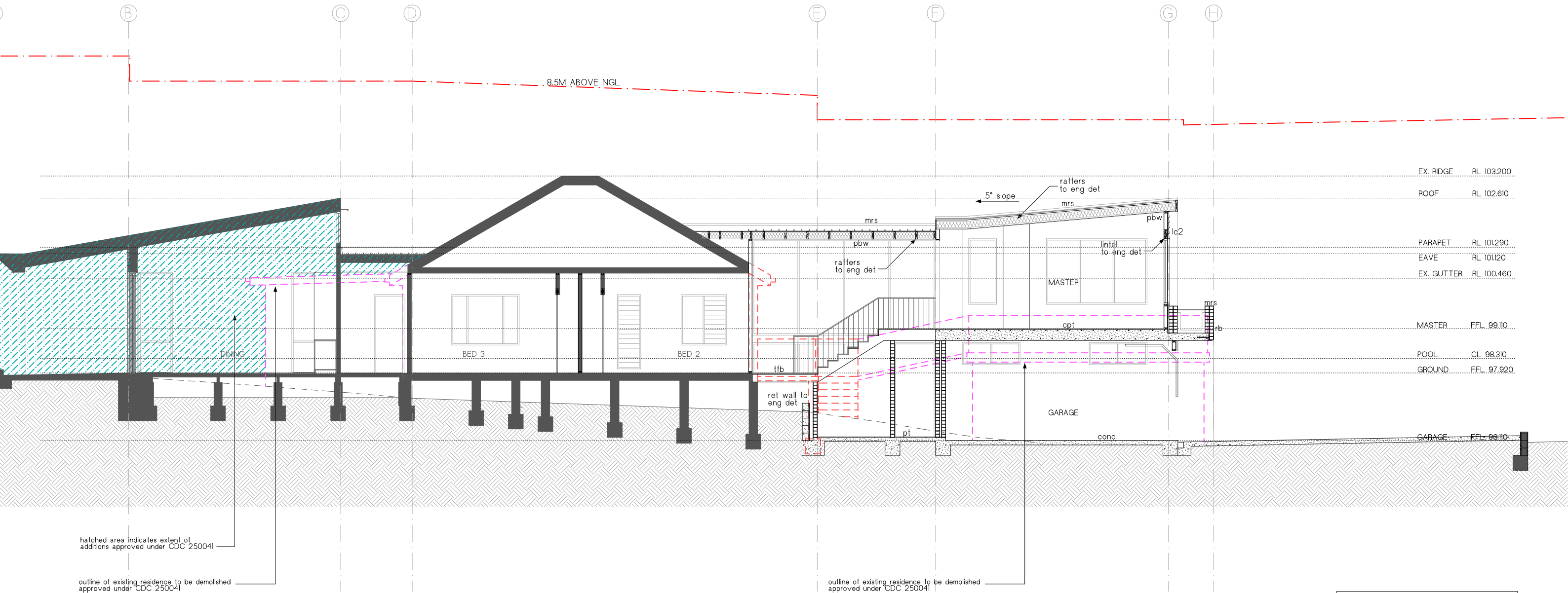




MATERIAL ABBREVIATIONS

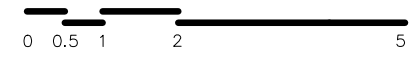
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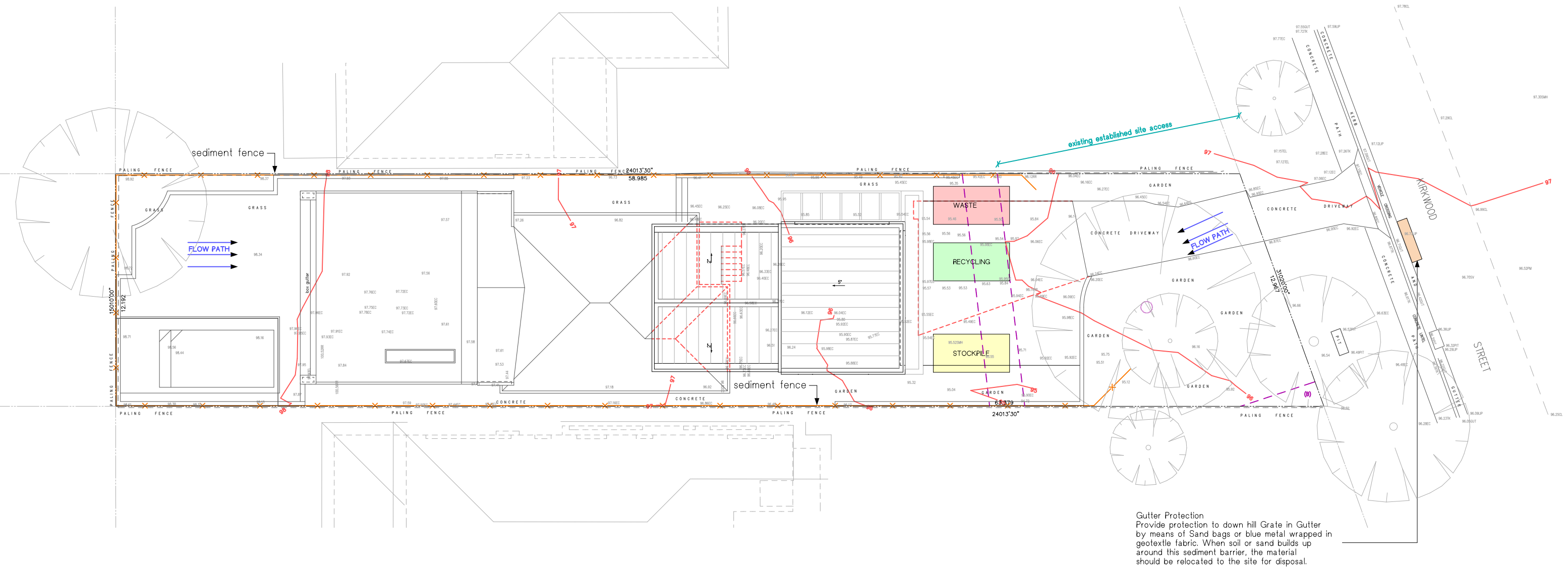




SECTION 1
Scale 1:100

MATERIAL ABBREVIATIONS	
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Erosion & Sediment Control Plan (ESCP)

This drawing is in accordance with the requirements of the NSW Department of Land and Water Conservation's "Urban Erosion and Sediment Control" manual.

Any vehicle leaving the site must be washed down on the "Stabilised Site Entry" to remove any clay that may have become attached to the vehicle.

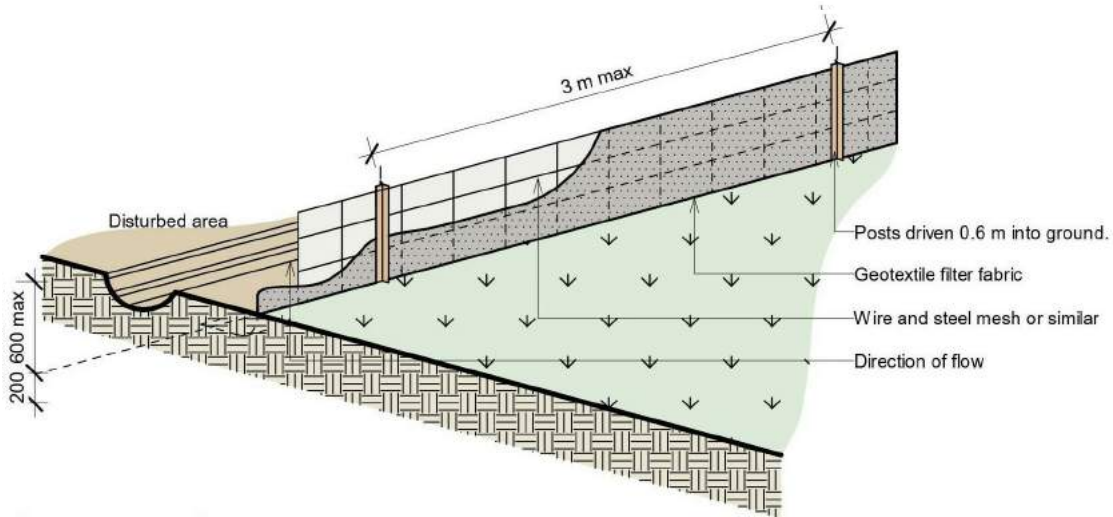
The road around the entry/exit site is to be swept at regular intervals to prevent sediment build up at the entry/exit point of the site.

1. Site works will not start until the erosion and sediment control works outlined in clauses 2 to 5, below, are installed and functional.

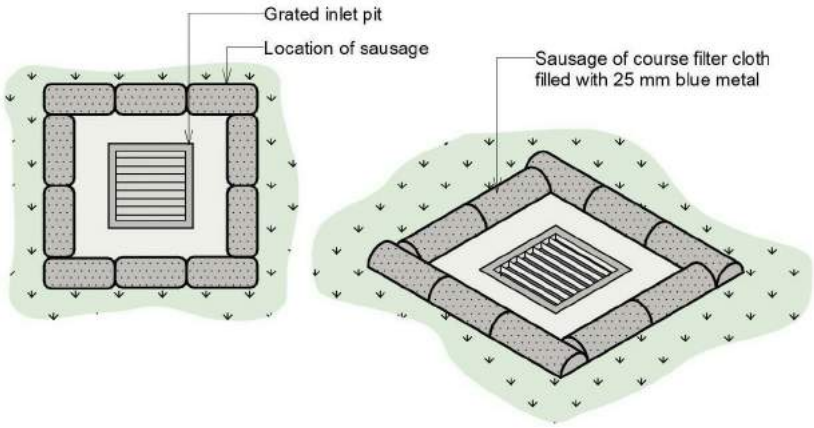
2. Entry and exit to the site will be confirmed to one stabilised location. Fencing will be used to restrict all vehicular movements to stabilised entrance. Stabilisation achieved by either:

- * Constructing a concrete driveway to the street.
- * Constructing a stabilised site access, according to the Stabilised Site Access Detail drawing.

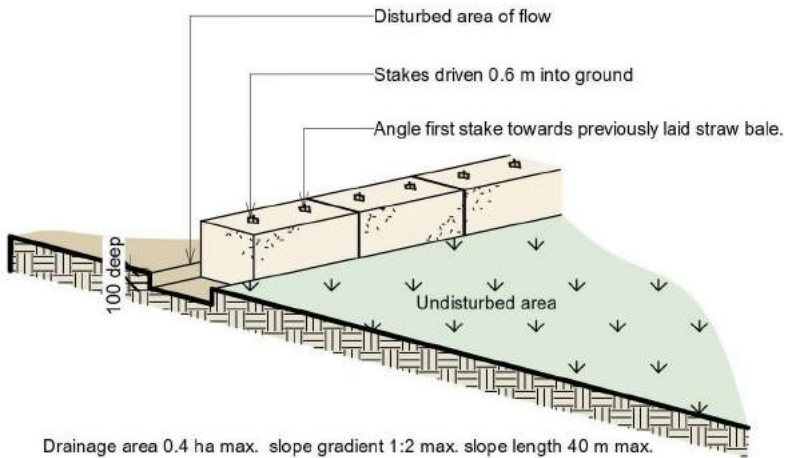
3. Sediment control (see Typical Sediment Fence Plan and Sediment Fence Section Detail) and barrier fences will be installed as shown on the ESCP with low flow channel bank (see Stabilised Site Entry).
4. Mesh and gravel sausage protection will be provided to protect gutter inlets near the allotment.
5. Topsoil will be stripped and stockpiled for later use in landscaping the site.
6. All stockpiles will be placed in the location shown on the ESCP and at least 2 metres clear of all areas of concentrated water flow and the driveway protected by site works.
7. Lands to the rear and sides of the allotment and on the footpath will not be disturbed during works except where essential, e.g. drainage works across the footpath. Where work are necessary, they will be undertaken in such a way to leave the lands in a condition of high erosion hazards for as short a period as practicable. They will be rehabilitated as soon as possible. Stockpiles will not be placed on these lands and they will not be used as vehicle parking areas.
8. Approved bins for concrete and mortar slurries, paints, acid washings and litter will be provided and arrangements made for collection and disposal.
9. Guttering will be connected to the stormwater system as soon as practicable.
10. Topsoil will be respread and all disturbed areas will be rehabilitated within 20 working days of the completion of works.
11. All erosion and sediment controls will be checked at least weekly and after rain to ensure they are maintained in a fully functional condition.



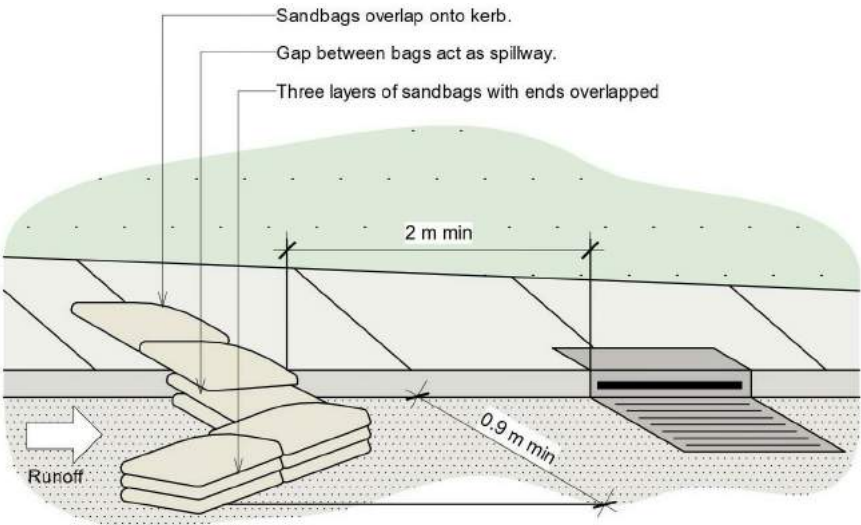
Sediment fence



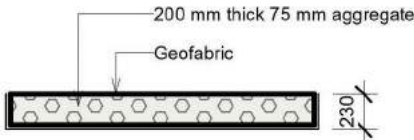
Location of sausage



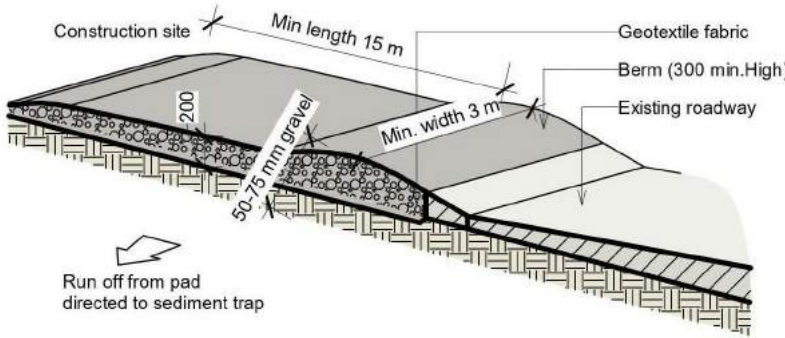
Straw bale sediment filter



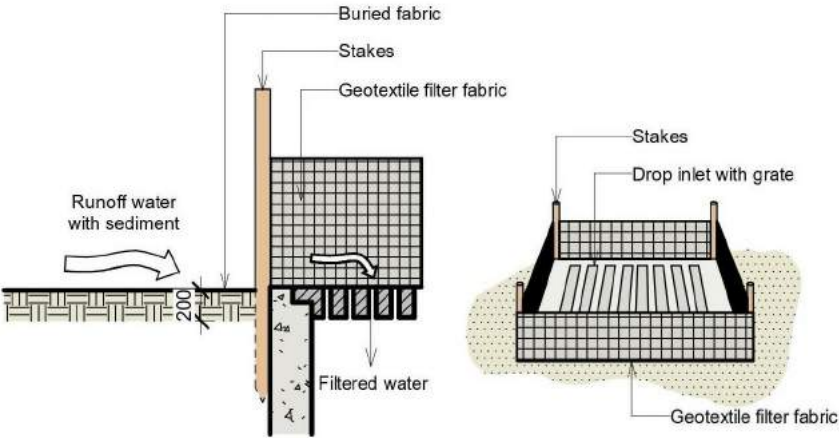
Sandbag kerb inlet sediment trap



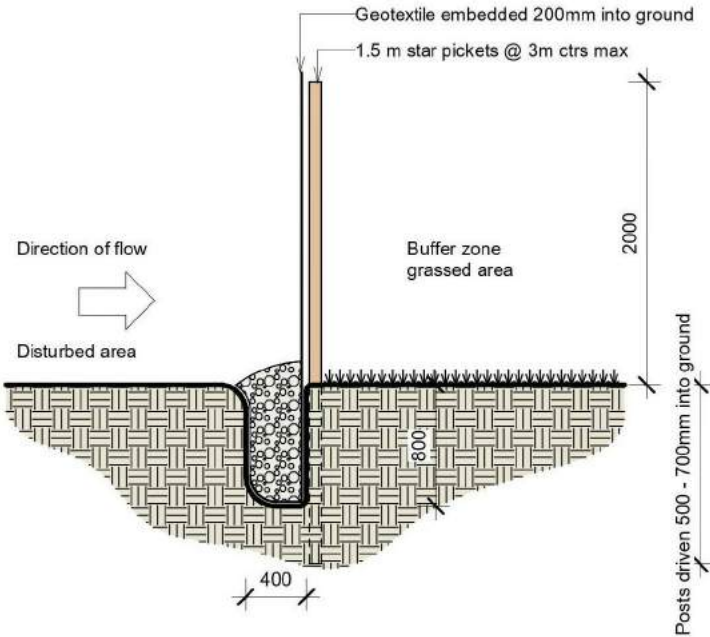
Detail of stabilised site access



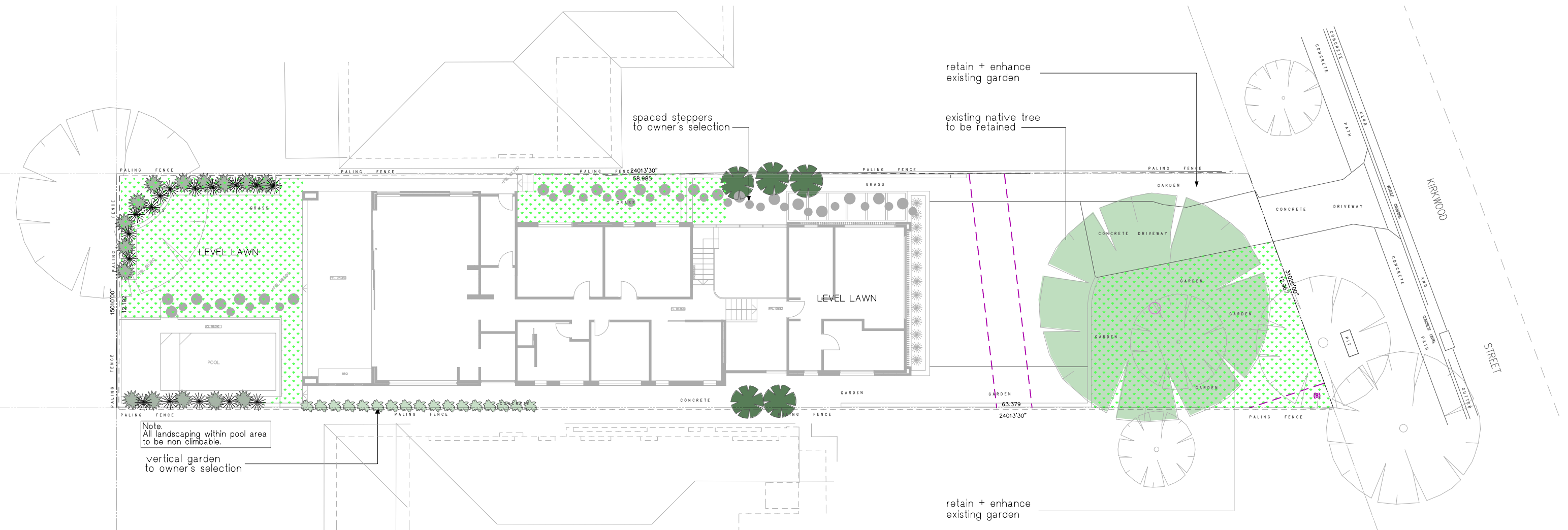
Geofabric lined silt fence (Structure type A)



Geotextile filter fabric drop inlet sediment trap

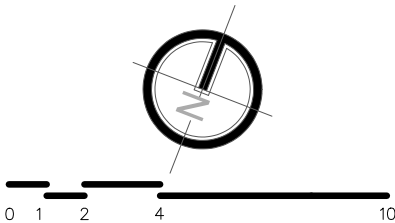
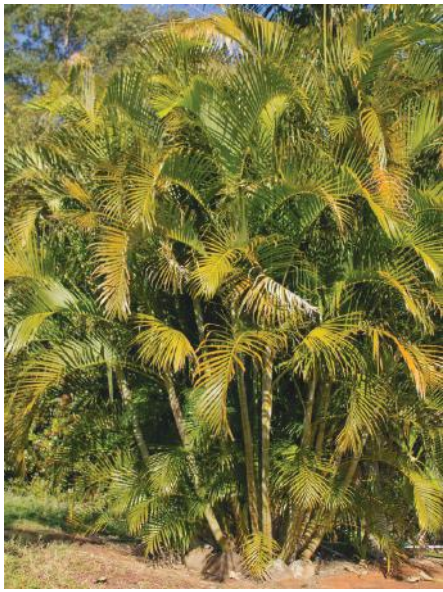


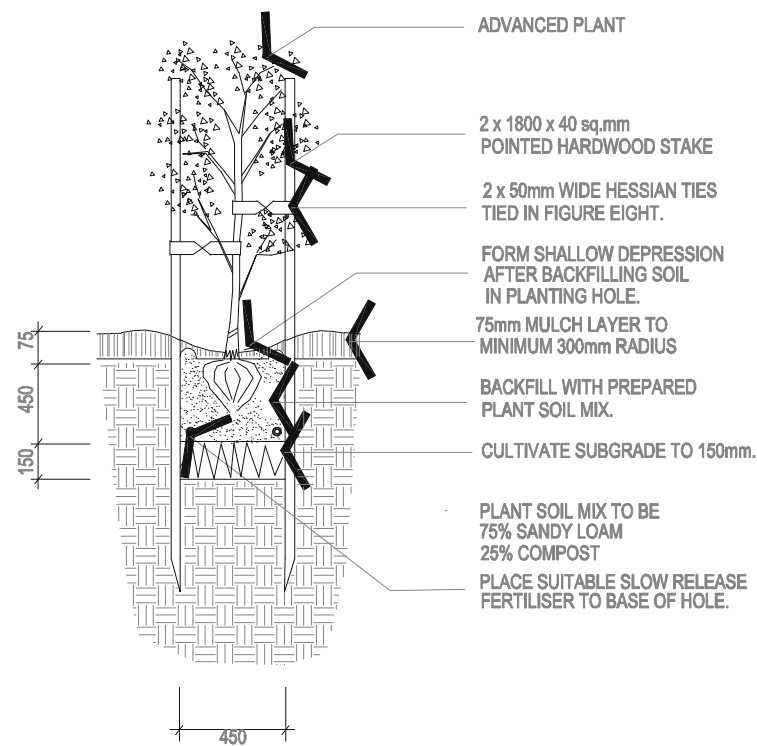
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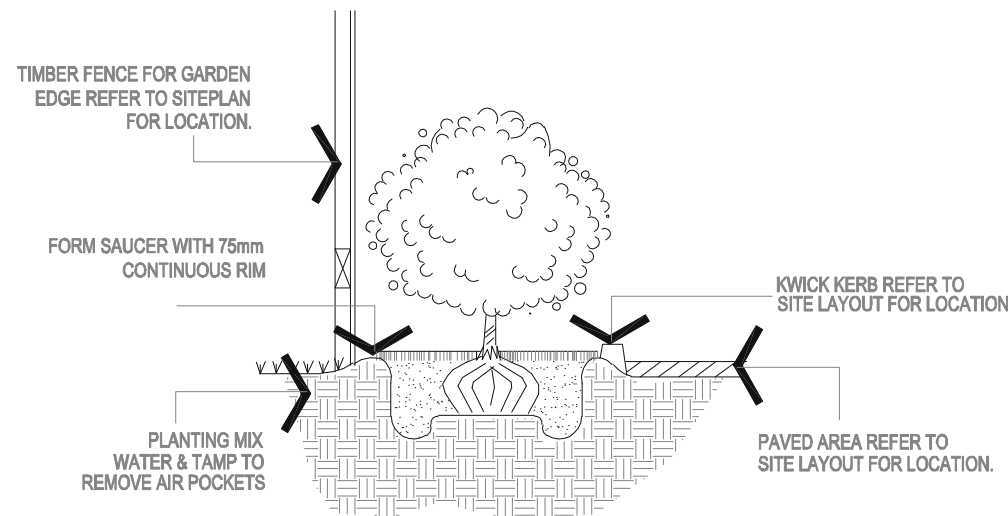
PLANT SCHEDULE					
SYMBOL	BOTANIC NAME	COMMON NAME	HEIGHT x WIDTH	No.	POT SIZE
TREES					
DL	DYPsis LUTESCENS	GOLDEN CANE PALM	8.0m x 2.5m	5	300mm
LOW SHRUBS & PLANTS					
PX	PHILODENDRON XANADU	XANADU	0.6m x 0.6m	12	250mm
SR	STRELITZIA REGINAE	BIRD OF PARADISE	1.5m x 1.0m	6	250mm
CLIMBER					
TS	TRACHELSPERMUM	STAR JASMINE	0.6m x 2.0m	15	42mm
<div><div></div><div></div><div></div><div></div></div> <div>DL SR PX TS</div>		NOTE - LANDSCAPING REMAINS CONSISTENT WITH APPROVED CDC 250041			

OPEN SPACE + LANDSCAPE CALCULATIONS		
	Required	Proposed
Site Area	746.0m2	
EXISTING OPEN SPACE AREA (OS3)	500.6m2	
PROPOSED OPEN SPACE AREA (OS3)	410.3m2	389.2m2
EXISTING LANDSCAPED AREA	424.5m2	
PROPOSED LANDSCAPED AREA	143.61m2	343.0m2

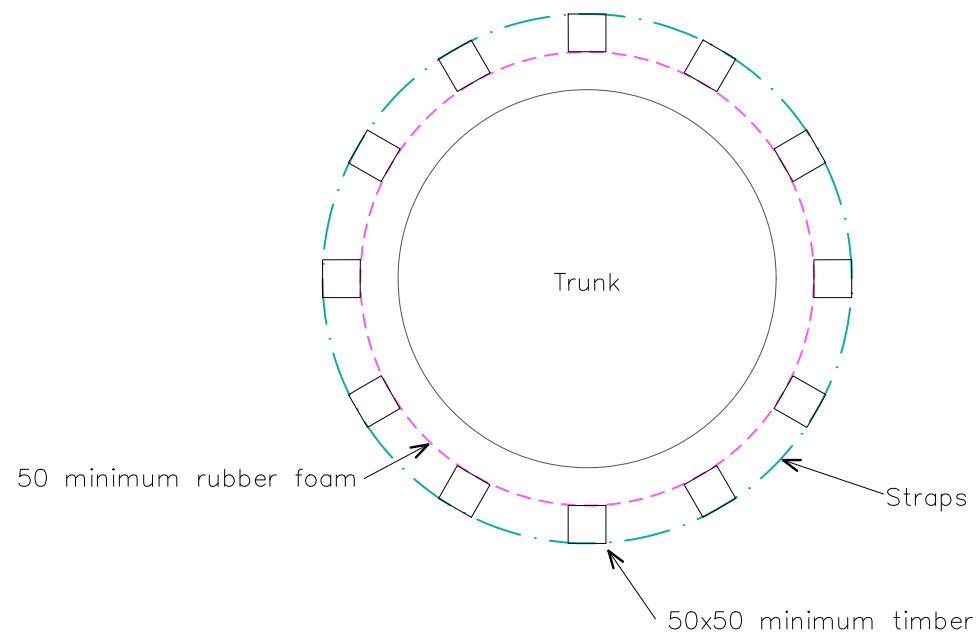




ADVANCED TREE PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING - IN MASS PLANTED AREAS
NOT TO SCALE



Height of protection to be determined on site
TREE PROTECTOR DETAIL
NTS

SPECIFICATION NOTES

PLANTING MATERIALS

Planting Mix:

Imported planting mix to planting beds is to comprise an approved soil mix of:

- 60% Soil mix (75% coarse sand and 25% blacksoil)
- 10% Mushroom compost
- 10% Composted sawdust
- 10% Pine bark fines
- 10% Composted manure

Mulch:

Mulch shall mean Hort-Bark (15mm grade), free from material derived from Privet, Willow, Poplar, Coral trees, or other noxious weeds. Any mulch exceeding the 25mm grade shall be rejected / removed from the site. Graded pine bark mulch (ANL code MHB) to be supplied by Australian Native Landscapes Pty Ltd Phone (02) 9450 1444, or approved equivalent.

Plant Material:

All plant material must be true to the species. No substitutes will be allowed. All plants shall be free of fungus and insect damage. All plants shall be healthy, well shaped, not soft or force grown and no root bound.

Tured areas:

All new turfed areas are to be selected weed free Soft Leaf Buffalo. Turf shall be laid neatly butted with staggered joints, flush with adjacent surfaces and have even running falls to all drainage points.

All new turfed area shall have a minimum 150mm depth of weed free top soil, placed and levelled prior to turfing.

PREPARATION AND HARDWORKS

Excavating for Spot Planting

To planting areas, excavate a hole for each plant large enough to provide not less than twice the depth and twice the diameter than the root ball of species to be planted.

Staking

Use durable hardwood, straight, free from knots or twists, pointed at one end. Drive stakes into the ground a minimum one third of their length, avoiding damage to the root system.

- 75 / 25 Litre trees in 2 x 38x38x1800mm Hardwood Stake with double Nylon tie

TIES: Provide a 50mm wide Nylon webbing tie per stake, fixed securely to the stakes, one tie at half the height of the main stem and the other as necessary to stabilise the plant

Decorative Pebble

MATERIAL: Decorative pebble shall be Western White pebble, gravel to be of uniform size or graded material in the size 30 - 40mm grade to nominal 75mm thickness as available from Australian Native Landscapes. Ph: (02) 9450 1444.

Concrete Edge

MATERIALS: Concrete to be off white colour.

INSTALLATION: Supply and install 100 x 250mm (width) reinforced flush concrete kerb to locations as approved on site by the Superintendent. Provide flexible joints at maximum 3 metre intervals in colour to match concrete. Lightly expose aggregate through rinsing / sponging. Tool finish exposed edges with 10mm pencil round to prevent chipping.

MAINTENANCE / PLANT ESTABLISHMENT

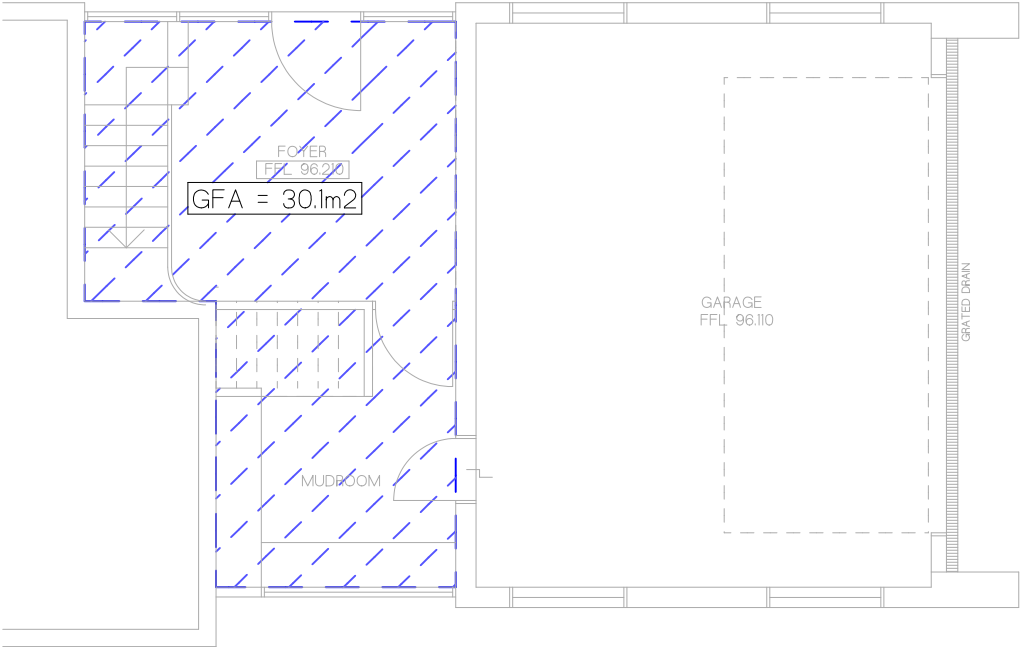
- Landscape Contractors to provide 13 weeks for maintenance / plant establishment period. Carry out recurrent works of a maintenance nature including, but not limited to, watering, mowing, weeding, rubbish removal, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivating, pruning, hedge clipping, top dressing, and keeping the site neat and tidy.

NOTE:

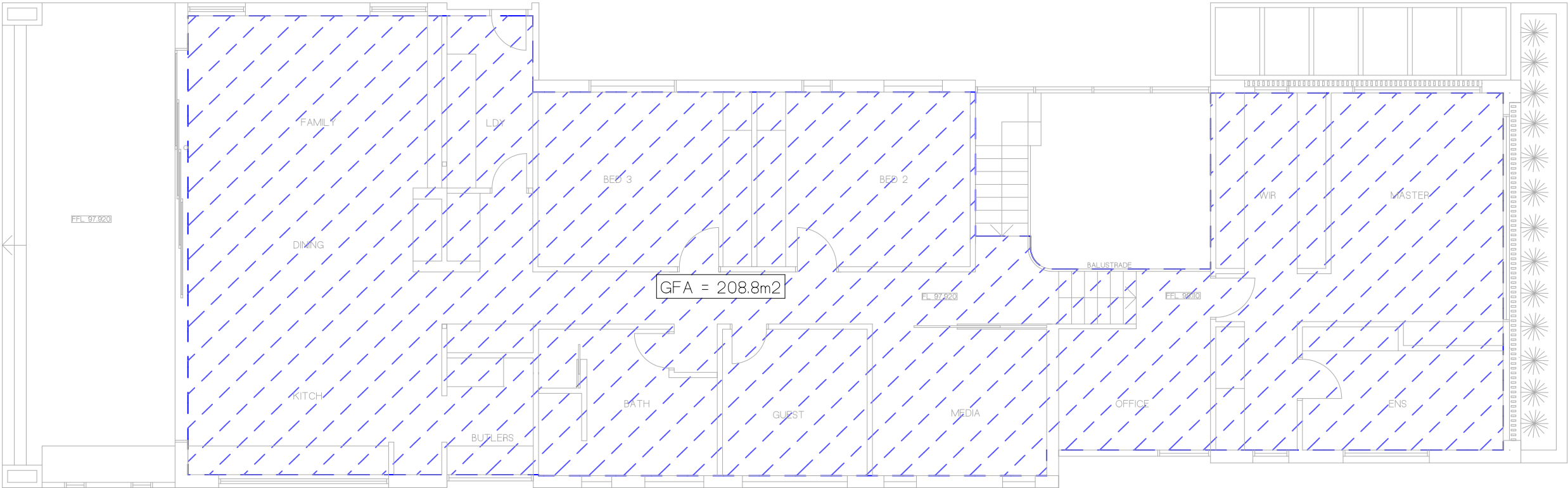
- All finished levels are to be verified by Contractor on site.
- All landscape works be in strict accordance with Council's landscape code and guidelines
- This plan to be used in conjunction with all other submitted architectural, hydraulics and engineering drawing where applicable.

GOSS FLOOR/FLOOR SPACE RATIO CALCULATIONS

Site Area	746.0m2		
Existing Garage Level (GFA)		-	
Existing Ground Floor (GFA)		96.5m2	
Proposed Garage Level (GFA)			30.1m2
Proposed Ground Floor (GFA)			208.8m2
Total (GFA)		96.5m2	238.9m2
Floor Space Ratio	Allowable	Existing	Proposed
	0.45:1	0.13:1	0.32:1



PROPOSED GARAGE LEVEL
Scale 1:100



PROPOSED GROUND FLOOR
Scale 1:100

