



Rapid Plans www.rapidplans.com.au
P.O. Box 6193 Frenchs Forest DC NSW 2086
Fax: (02) 9905-8865 Mobile: 0414-945-024
Email: gregg@rapidplans.com.au

SECTION 4.55 MODIFICATION DEVELOPMENT **APPLICATION**

Alterations & Additions **To Existing Residence**

For Marcus Rosenberg and Charlotte Ralph

2/25 Charles Street, Freshwater 2096

Lot 2 S.P. 51300

Project Number: RP0320ROS



BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A383346_04

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 28, October 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



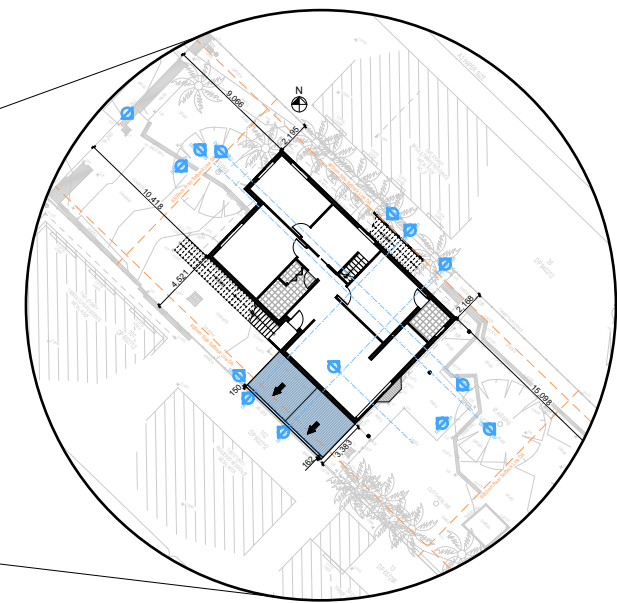
Planning,
Industry &
Environment



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER



Description of project

Project address	
Project name	Rosenberg_04
Street address	2/25 Charles Street Freshwater 2096
Local Government Area	Northern Beaches Council
Plan type and number	Strata Plan 51300
Lot number	2
Section number	
Project type	
Dwelling type	Unit
Type of alteration and addition	My renovation work is valued at \$50,000 or more.

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Rapid Plans
ABN (if applicable):	43150064592

DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DAMod1000	Cover Sheet	-	- 28-10-2021
DAMod1001	A4 NOTIFICATION PLAN	-	- 28-10-2021
DAMod1002	SITE SURVEY	-	- 28-10-2021
DAMod1003	SITE PLAN	-	- 28-10-2021
DAMod1004	Existing Lower Ground Floor Plan	-	- 28-10-2021
DAMod1005	Existing Ground Floor Plan	-	- 28-10-2021
DAMod1006	Existing First Floor Plan	-	- 28-10-2021
DAMod1007	Existing Roof Plan	-	- 28-10-2021
DAMod1008	Demolition Lower Ground Floor Plan	-	- 28-10-2021
DAMod1009	Demolition Ground Floor Plan	-	- 28-10-2021
DAMod1010	Demolition First Floor Plan	-	- 28-10-2021
DAMod1011	Demolition Roof Plan	-	- 28-10-2021
DAMod1012	Landscape Open Space Plan Existing	-	- 28-10-2021
DAMod1013	Landscape Open Space Plan Proposed	-	- 28-10-2021
DAMod1014	Landscape Plan	-	- 28-10-2021
DAMod1015	Sediment & Erosion Plan	-	- 28-10-2021
DAMod1016	Waste Management Plan	-	- 28-10-2021
DAMod1017	Stormwater Plan	-	- 28-10-2021
DAMod2001	LOWER GROUND FLOOR	-	- 28-10-2021
DAMod2002	GROUND FLOOR	-	- 28-10-2021
DAMod2003	FIRST FLOOR	-	- 28-10-2021
DAMod2004	ATTIC FLOOR	-	- 28-10-2021
DAMod2005	ROOF	-	- 28-10-2021
DAMod3000	SECTION 1	-	- 28-10-2021
DAMod3001	SECTION 2	-	- 28-10-2021
DAMod4000	ELEVATIONS 1	-	- 28-10-2021
DAMod4001	ELEVATIONS 2	-	- 28-10-2021
DAMod4002	ELEVATION FRONT FENCE	-	- 28-10-2021
DAMod5000	PERSPECTIVE	-	- 28-10-2021
DAMod5001	MATERIAL & COLOUR SAMPLE BOARD	-	- 28-10-2021
DAMod5002	SHADOW PLAN 21 JUN at 0900h	-	- 28-10-2021
DAMod5003	SHADOW PLAN 21 JUN at 1200h	-	- 28-10-2021
DAMod5004	SHADOW PLAN 21 JUN at 1500h	-	- 28-10-2021
DAMod5005	WALL ELEVATION SHADOWS	-	- 28-10-2021

NOTE:

THE BOUNDARY INFORMATION SHOWN ON THIS PLAN REGARDING THE LOCATION OF THE PROPERTY BOUNDARIES HAS BEEN TAKEN FROM THE TITLE DEPOSITED PLAN. IT HAS BEEN PLOTTED AS REQUIRED UNDER DIVISION 1, SECTION 9 (1) OF THE SURVEYING AND SPATIAL INFORMATION REGULATION 2017 AND IS ACCURATE TO ABOUT ±0.05m. IT HAS NOT BEEN DETERMINED BY AN ACCURATE BOUNDARY SURVEY.

A DETAIL & LEVEL SURVEY IS NOT A "LAND SURVEY" AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT 2002. IF ANY CONSTRUCTION OR DESIGN WORK, WHICH RELIES ON CRITICAL SETBACKS FROM THE STREET OR BOUNDARIES IS PLANNED, IT WOULD BE IMPERATIVE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.

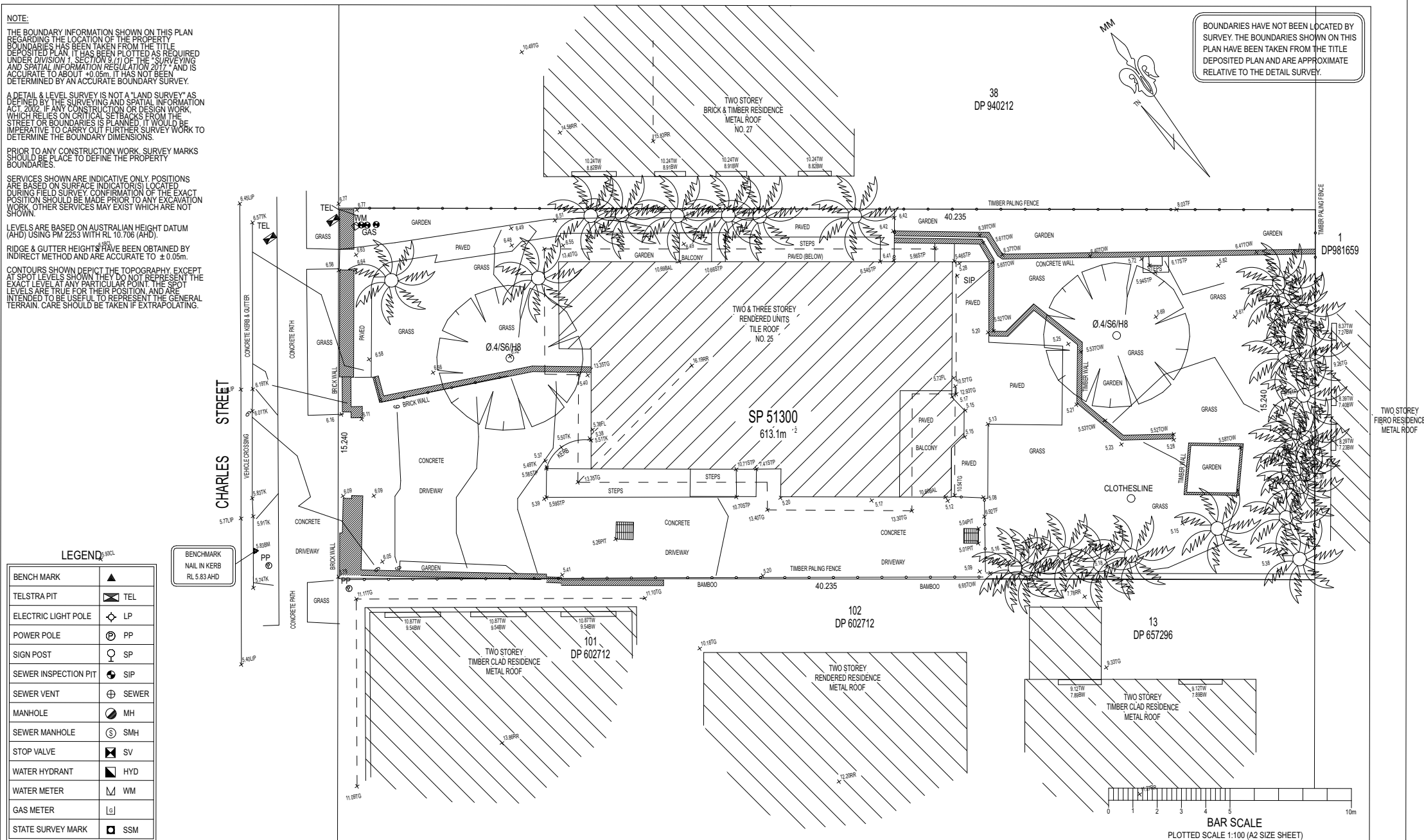
PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATORS LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING PM 2253 WITH RL 10.706 (AHD).

RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ±0.05m.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY EXCEPT AT SPOT LEVELS SHOWN. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.



TSS TOTAL SURVEYING SOLUTIONS
LANE COVE NORTH | CAMDEN | MANLY VALE

NOTE:

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LEGEND:

EC - EDGE OF CONCRETE	RR - ROOF RIDGE
EG - EDGE OF GARDEN	AWN - AWNING
TK - TOP OF KERB	BAL - BALCONY
TW - TOP OF WINDOW	FL - FLOOR LEVEL
BW - BOTTOM OF WINDOW	PL - POWER LINE
TG - TOP OF GUTTER	Ø.4/S10/H16 - TREE DIAMETER/SPREAD/HEIGHT

PLAN SHOWING DETAIL & LEVELS OVER SP 51300

CLIENT: MARILYN BOURNE	JOB No.: 191852	LGA: NORTHERN BEACHES
PROJECT: FRESHWATER	PLAN No.: 191852_A	DATUM: AHD
ADDRESS: 1/25 CHARLES STREET, FRESHWATER	DATE: 16/08/2019	SCALE: 1:100@A2
	DRAWN: SF	CONT. INTERVAL: 0.25m
	CHK: GS	SHEET 1 OF 1

JOB No.: 191852

PLAN No.: 191852_A

DATE: 16/08/2019

DRAWN: SF

CHK: GS

LGA: NORTHERN BEACHES

DATUM: AHD

SCALE: 1:100@A2

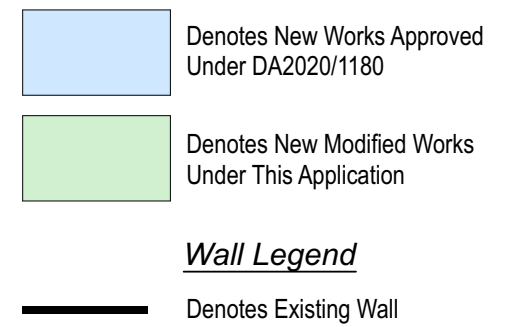
CONT. INTERVAL: 0.25m

SHEET 1 OF 1

1

SURVEY PLAN
1:200

DA APPLICATION ONLY
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DAMod100

3

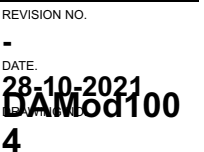
DA APPLICATION
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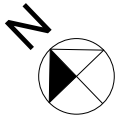
Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Denotes Existing Wall



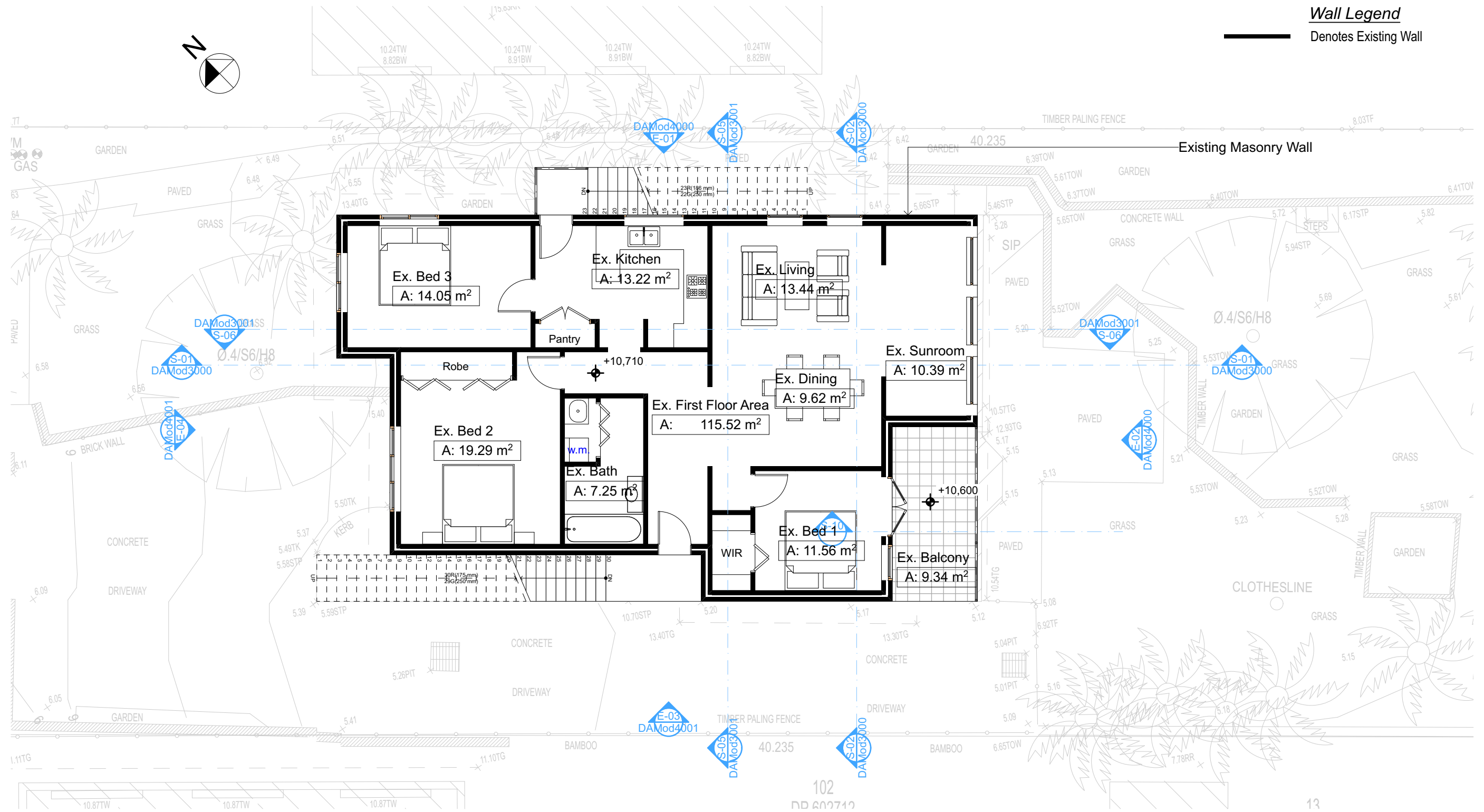
Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m2	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40%)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	(min) Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			





Wall Legend

Denotes Existing Wall



3

EXISTING FIRST FLOOR 1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.74 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A383346_04

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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

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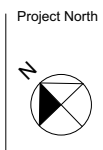
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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project Status

GBJ
7/2/22
RP0320ROS
DA Mod

Client
Site:
Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION
Existing First Floor Plan

PROJECT NAME :

Alterations & Additions

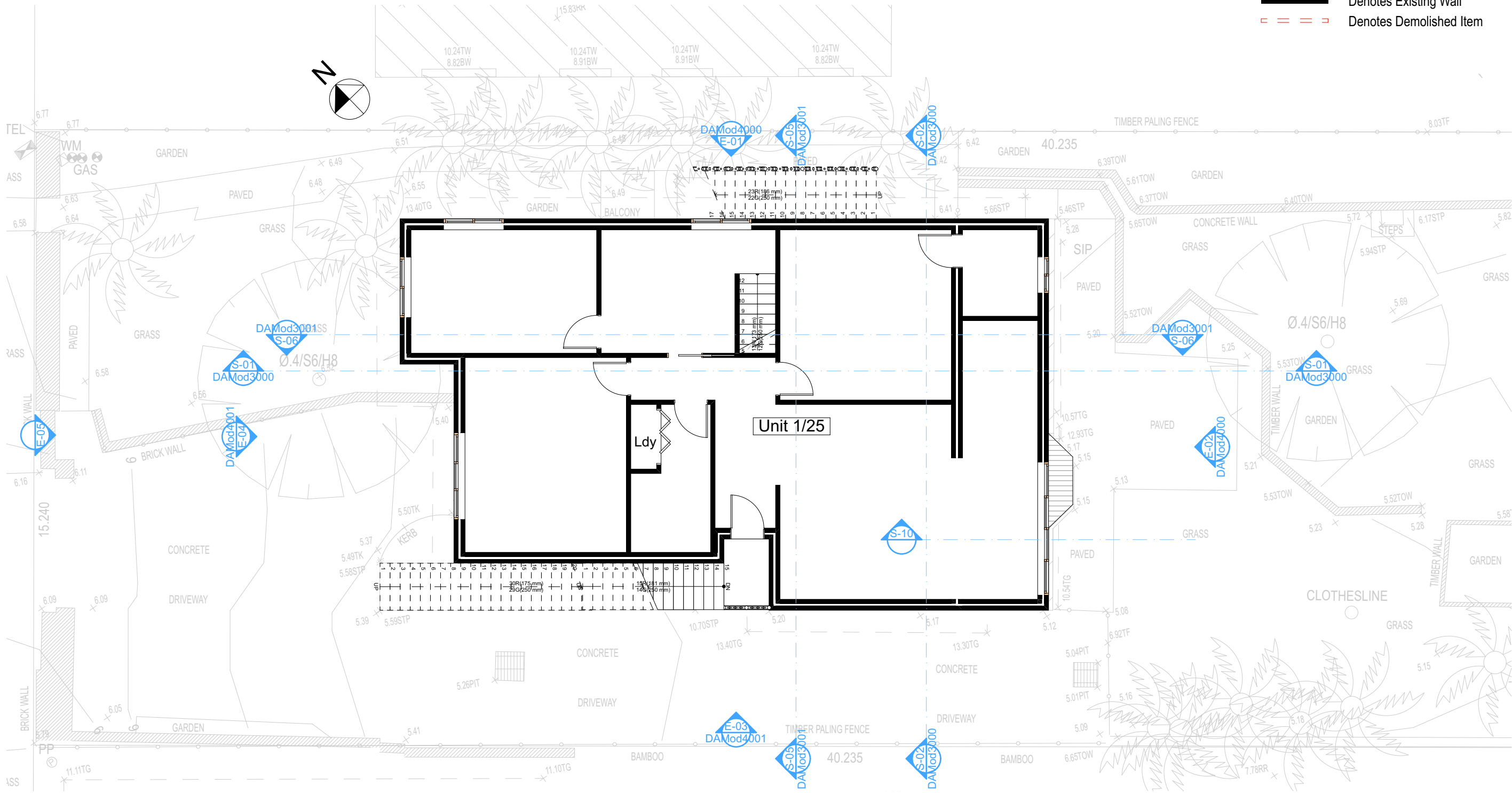
REVISION NO.

DATE
28-10-2021
DAMod100
6

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40%)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	(min) Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

Wall Legend

- Denotes Existing Wall
- Denotes Demolished Item



2 DEMOLITION GROUND FLOOR
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

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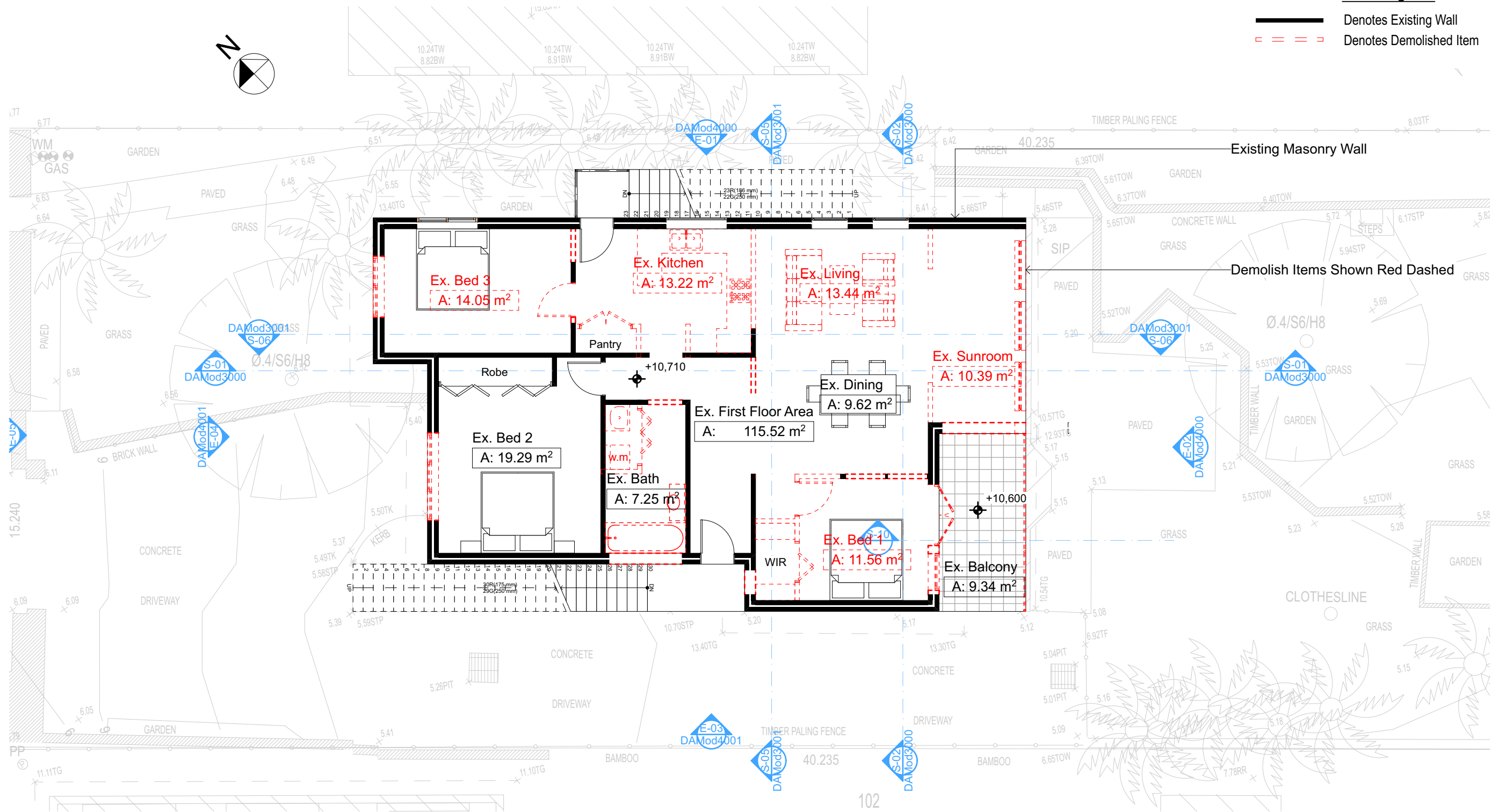
Checked
Plot Date: 7/2/22
Project NO: RP0320ROS
Project Status: DA Mod
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater
2096
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition Ground Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
28-10-2021
DA Mod100
9

Wall Legend

- Denotes Existing Wall
- - - - Denotes Demolished Item



All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

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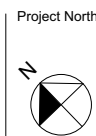


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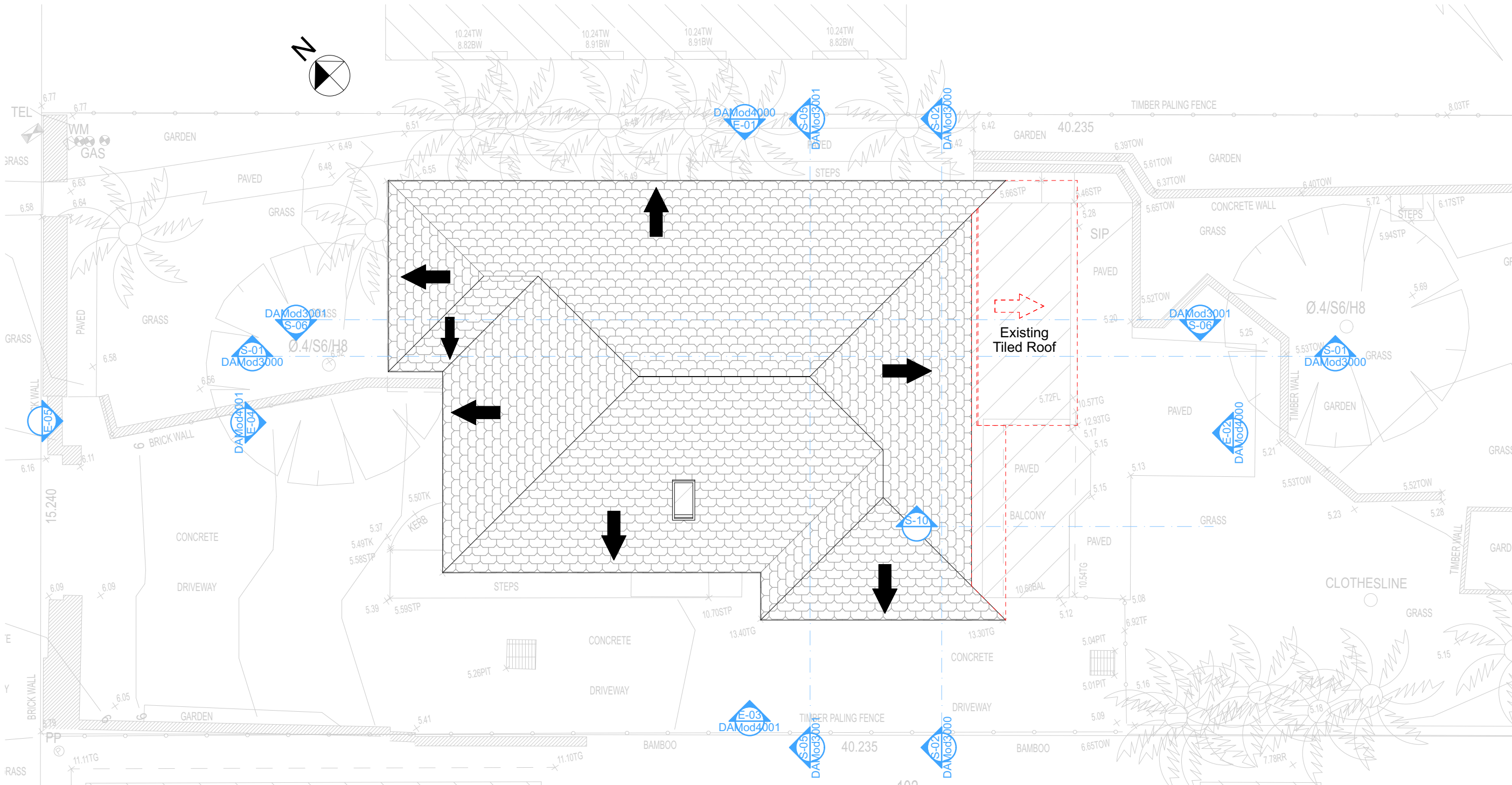
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Plot Date: 7/2/22
Project NO: RP0320ROS
Project Status: DA Mod
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition First Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE: 28-10-2021
DAMod101
0

Wall Legend

Denotes Demolished Item



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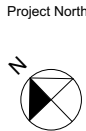


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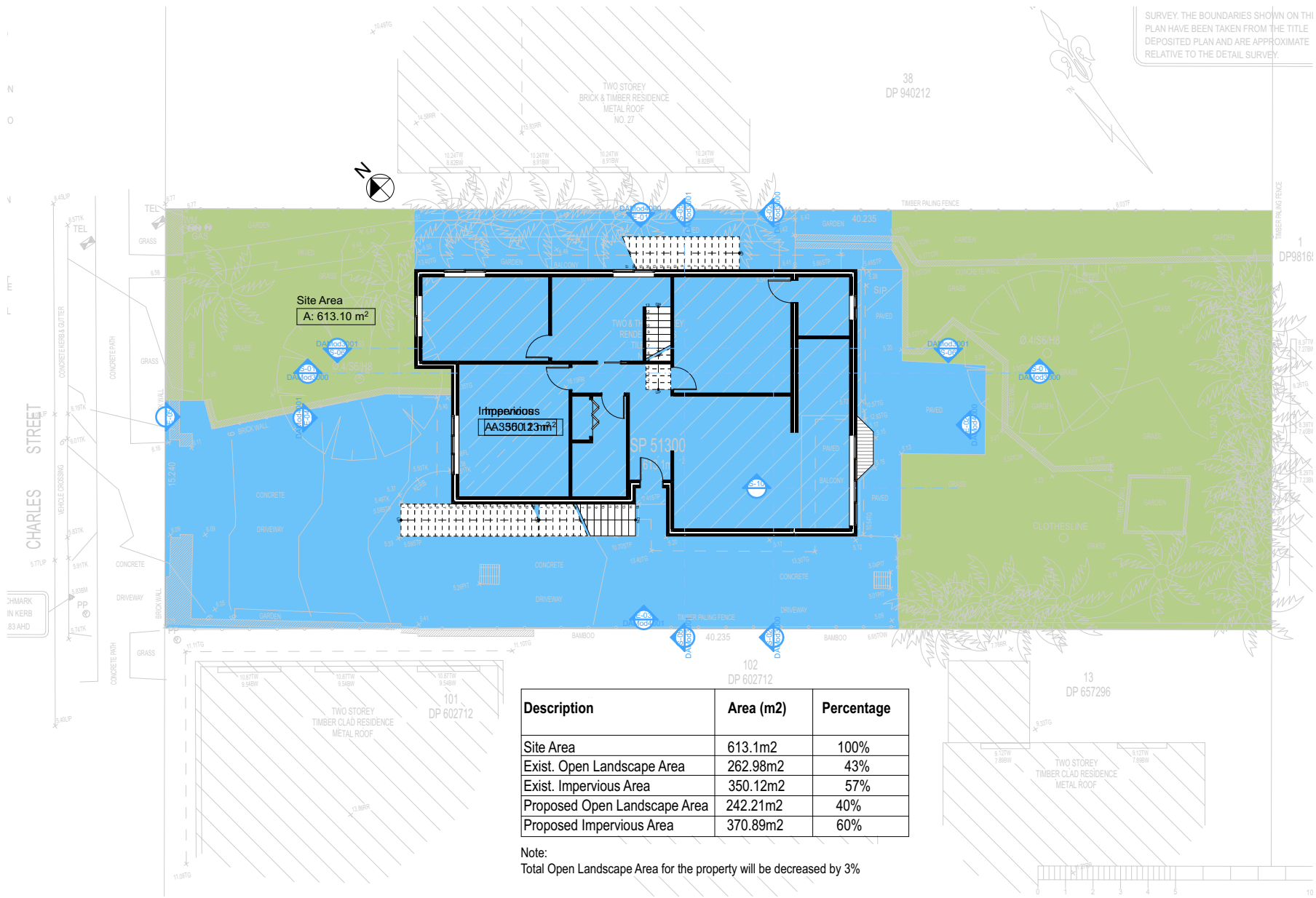
Checked
Plot Date: 7/2/22
Project NO. RP0320ROS
Project Status: DA Mod
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater
2096
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition Roof Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE: 28-10-2021
DRAWING NO.
DAMod1011

Denotes Impervious Area

Denotes Pervious Area



Description	Area (m2)	Percentage
Site Area	613.1m2	100%
Exist. Open Landscape Area	262.98m2	43%
Exist. Impervious Area	350.12m2	57%
Proposed Open Landscape Area	242.21m2	40%
Proposed Impervious Area	370.89m2	60%

Note:
Total Open Landscape Area for the property will be decreased by 3%

2

LANDSCAPE OPEN SPACE EXISTING
1:200

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Rapid Plans
Building Design and Architectural Drafting

www.rapidplans.com.au
PO Box 8102 Freshwater NSW 1513
Tel: (02) 9465-8865 Mobile: 0414-845-024
Email: greg@rapidplans.com.au

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ASSOCIATION OF AUSTRALIA


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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential.
2/25 Charles Street, Freshwater 2096 is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Rood Timber Frame to have R1.74 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
This DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A383346, 04
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 30m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each space, veranda, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 7/2/22
Project NO.: RP03220ROS
Project Status DA Mod

Client Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Existing

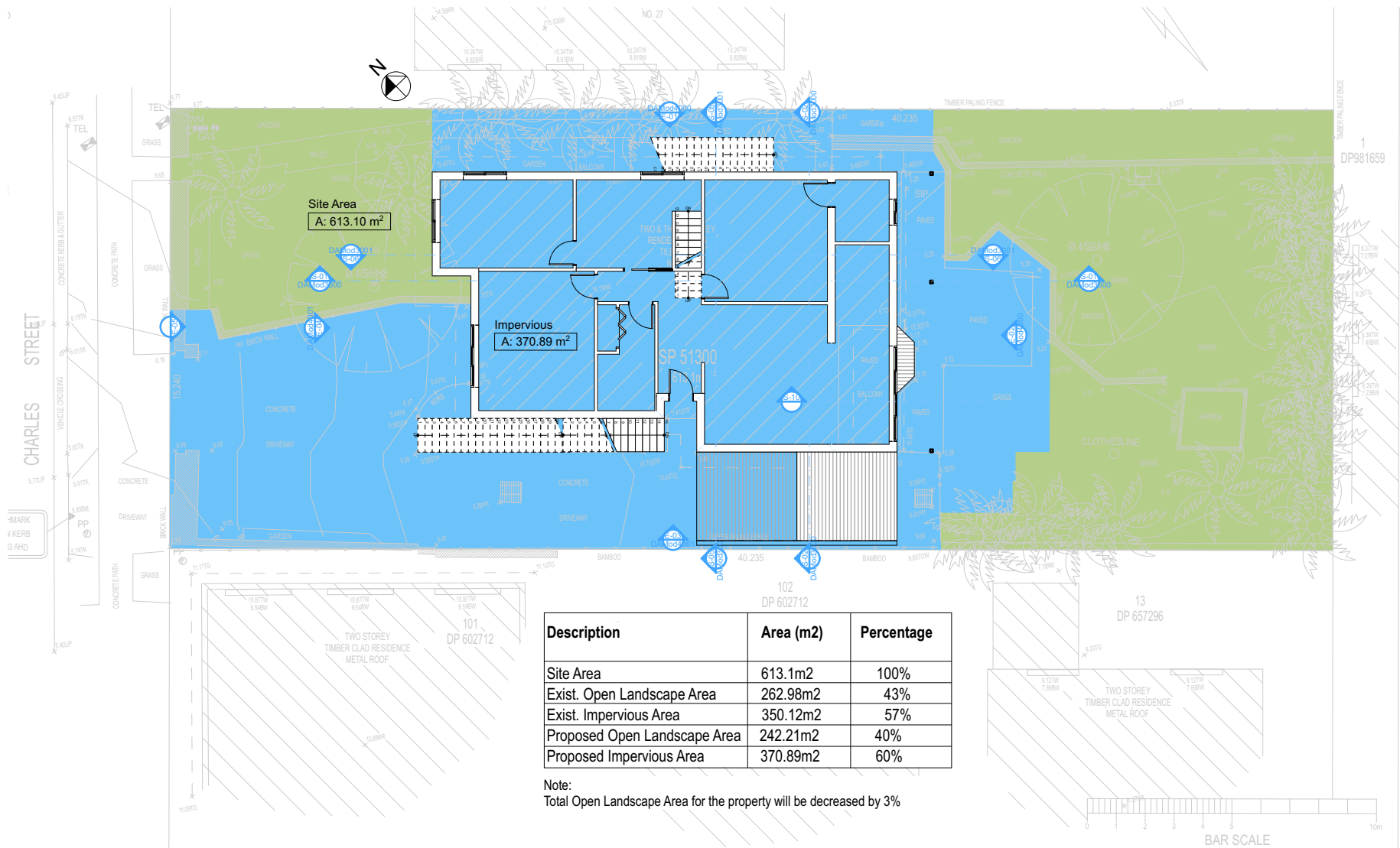
PROJECT NAME:
Alterations & Additions

REVISION NO. REVISION NO.
- 28-10-2021
DA Mod 101
2

Sheet Size: A3

Denotes Impervious Area

Denotes Pervious Area



2 LANDSCAPE OPEN SPACE PROPOSED
1:200

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NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.74 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number A383346, 04
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 30m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 7/2/22
Project NO.: RP03220ROS
Project Status DA Mod

Client: Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE: SITE AND LOCATION
Landscape Open Space Plan Proposed

PROJECT NAME:
Alterations & Additions

REVISION NO. REVISION NO.
- 28-10-2021
DA Mod 101
3

Sheet Size: A3

BOUNDARIES HAS BEEN TAKEN FROM THE TITLE DEPOSITED PLAN. IT HAS BEEN PLOTTED AS REQUIRED UNDER DIVISION 1, SECTION 3 (1) OF THE SURVEYING AND SPATIAL INFORMATION REGULATION 2017, AND IS ACCURATE TO ABOUT +0.05m. IT HAS NOT BEEN DETERMINED BY AN ACCURATE BOUNDARY SURVEY.

A DETAIL & LEVEL SURVEY IS NOT A "LAND SURVEY" AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT, 2002. IF ANY CONSTRUCTION OR DESIGN WORK, WHICH RELIES ON CRITICAL SETBACKS FROM THE STREET OR BOUNDARIES IS PLANNED, IT WOULD BE IMPERATIVE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.

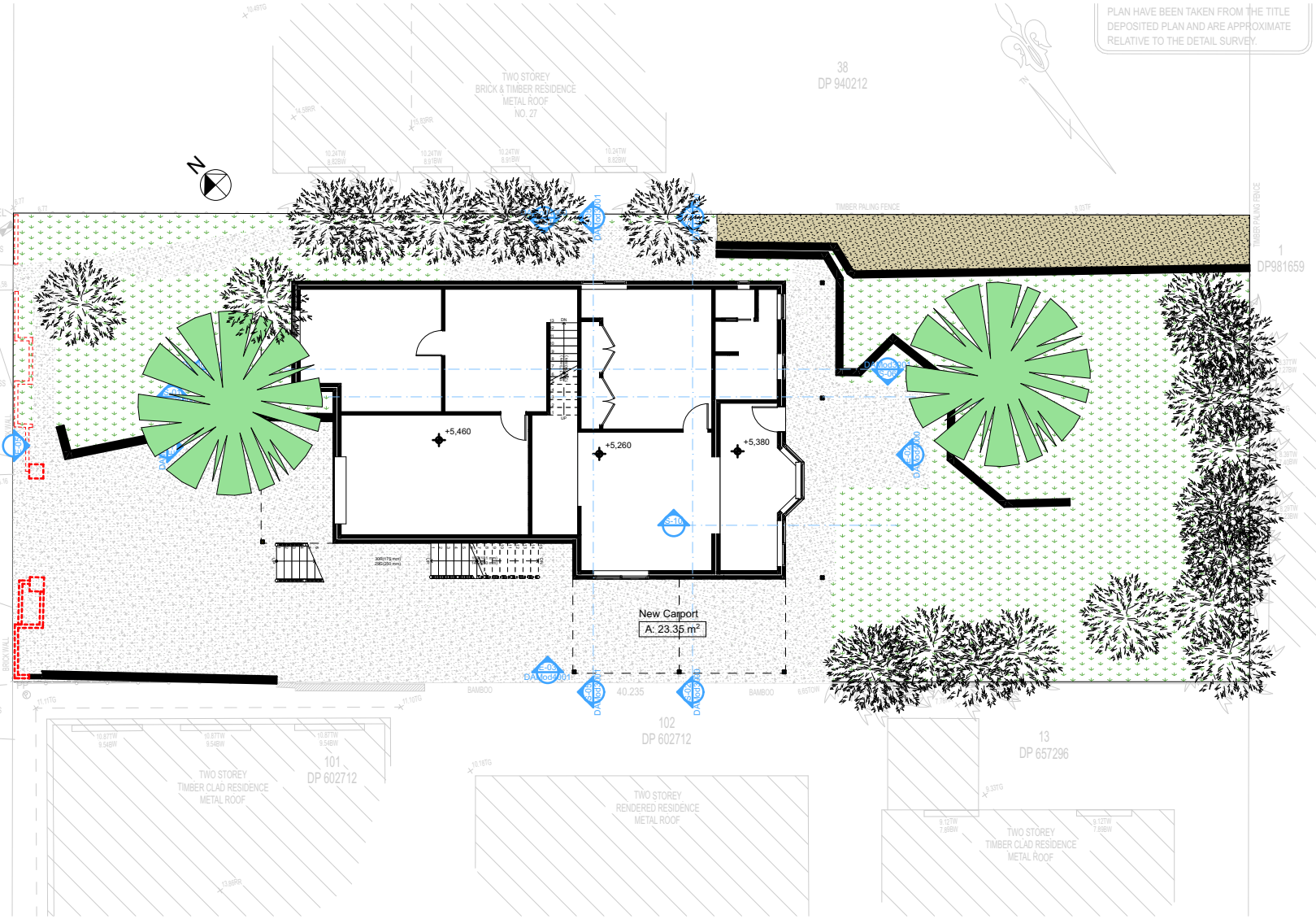
PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

SERVICES SHOWN ARE INDICATIVE ONLY POSITIONS ARE BASED ON SURFACE INDICATORS LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

Landscape Legend	
Ground Covers Schedule	
Symbol	Common Name
	Garden Area
	Existing Concrete
	New Vertical Timber Fence
	New Masonry Wall
	Existing Tree To Remain
	Existing Palms To Remain
	Existing Grass To Remain

TELSTRA PIT	TEL
ELECTRIC LIGHT POLE	LP
POWER POLE	PP
SIGN POST	SP
SEWER INSPECTION PIT	SIP
SEWER VENT	SEWER
MANHOLE	MH
SEWER MANHOLE	SMH
STOP VALVE	SV

LANDSCAPE PLAN
1:200



PLAN HAVE BEEN TAKEN FROM THE TITLE DEPOSITED PLAN AND ARE APPROXIMATE RELATIVE TO THE DETAIL SURVEY.

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

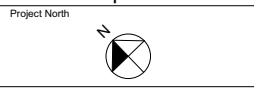
NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential.
2/25 Charles Street, Freshwater 2096 is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Rood Timber Frame to have R1.74 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS0128-2047
Waterproofing to BCA and AS 3745
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A383346, 04
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 30m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 7/2/22
Project NO.: RPO322R0S
Project Status DA Mod

Client Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE :
SITE AND LOCATION
Landscape Plan

PROJECT NAME :
Alterations & Additions

REVISION NO. REVISION NO.

28-10-2021
DA Mod 101
4

Sheet Size: A3

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DA APPLICATION ONLY
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Denotes New Works

—

Denotes Existing Wall

==

Denotes Demolished Item

Wall Legend

THE BOUNDARY INFORMATION SHOWN ON THIS PLAN REGARDING THE LOCATION OF THE PROPERTY BOUNDARIES HAS BEEN TAKEN FROM THE TITLE DEPOSITED PLAN. IT HAS BEEN PLOTTED AS REQUIRED.

Sediment Control Fence

DETERMINE THE BOUNDARY DIMENSIONS. PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATORS LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

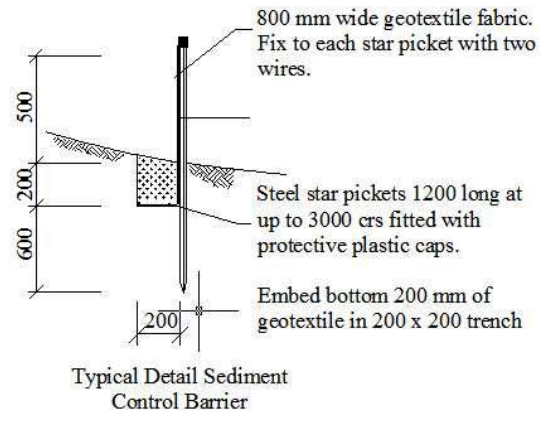
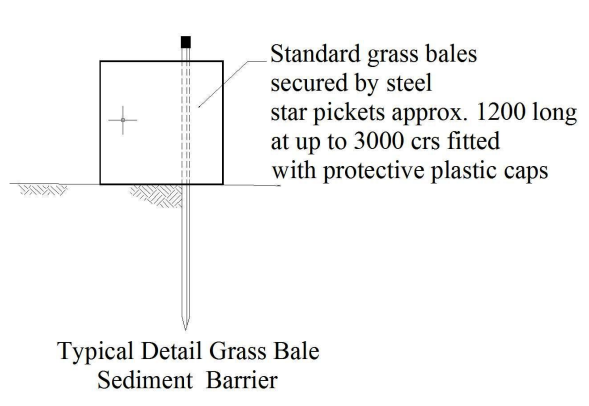
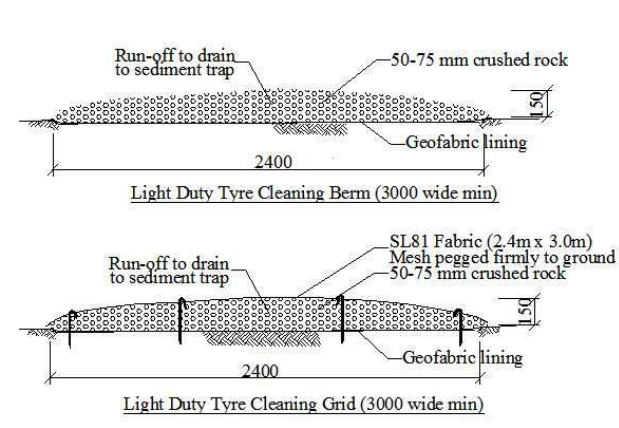
ELEVATIONS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING PM 2253 WITH RL 10.706 (AHD). RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ±0.05m.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY EXCEPT AT SPOT LEVELS SHOWN. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TO BE USED TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.

Site Safety Fence

LEGEND	
BENCH MARK	▲
TEL STRAIGHT	TEL
ELECTRIC LIGHT POLE	LP
POWER POLE	PP

1 SEDIMENT & EROSION PLAN 1:200



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Building Design and Architectural Drafting

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NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential.

2/25 Charles Street, Freshwater 2096 is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate.

New Works to be constructed shown in ShadedBlue.

Construction

Timber Frame Floor, Timber Frame Clad Walls

Road Timber Frame to have R1.74 insulation

Insulation to External Timber Frame Clad Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3745

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basic

Basic Certificate Number A383346, 04

All Plans to be read in conjunction with Basic Certificate.

The applicant must construct the new or altered construction (floor, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, veranda, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side body setback (Min.)	0.9m	Variation
Building envelope	5m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ

Plot Date: 7/2/22

Project NO.: RPO322R0S

Project Status DA Mod

Client

Marcus Rosenberg and Charlotte Ralph

Site:

2/25 Charles Street, Freshwater 2096

DRAWING TITLE:

SITE AND LOCATION

PROJECT NAME:

Sediment & Erosion Plan

REVISION NO.

REVISION NO.

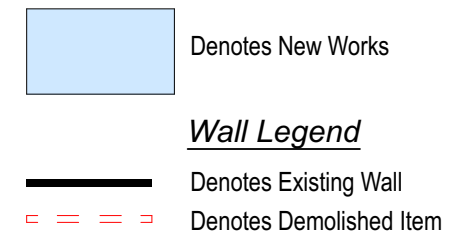
5

28-10-2021

DA Mod 101

5

Sheet Size: A3



Denotes New Works

Wall Legend

Denotes Existing Wall

Denotes Demolished Item



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NOTES
25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
25 Charles Street, Freshwater 2096 is not considered a heritage

Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
 Timber Frame Floor, Timber Frame Clad Walls
 Roof Timber Frame to have R1.74 Insulation
 Insulation to External Timber Frame Clad Walls R1.70

Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Joining to BCA and AS 01288 2017

ew Lighting to have minimum of 40% compact fluorescent lamps

certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any

supply of authorised Construction Certificate drawings by Rapid Plans
asix
Certificate Number A28246 04

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not

required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

relevant overshadowing specifications must be satisfied for each window and glazed door.

or projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m2	Yes
Existing Density (dwelling/m2)	1	Yes
Existing Ceiling Ht Above Nat. GL	7.2m	Variation
Existing Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans**



Drawn | Checked GBJ
Plot Date: 7/2/22
Project NO. RP0320ROS
Project Status DA Mod

Client	Marcus Rosenberg and Charlotte Ralph
--------	---

Site: 2/25 Charles Street, Freshwater
2096

DRAWING TITLE :
SITE AND LOCATION
Waste Management Plan

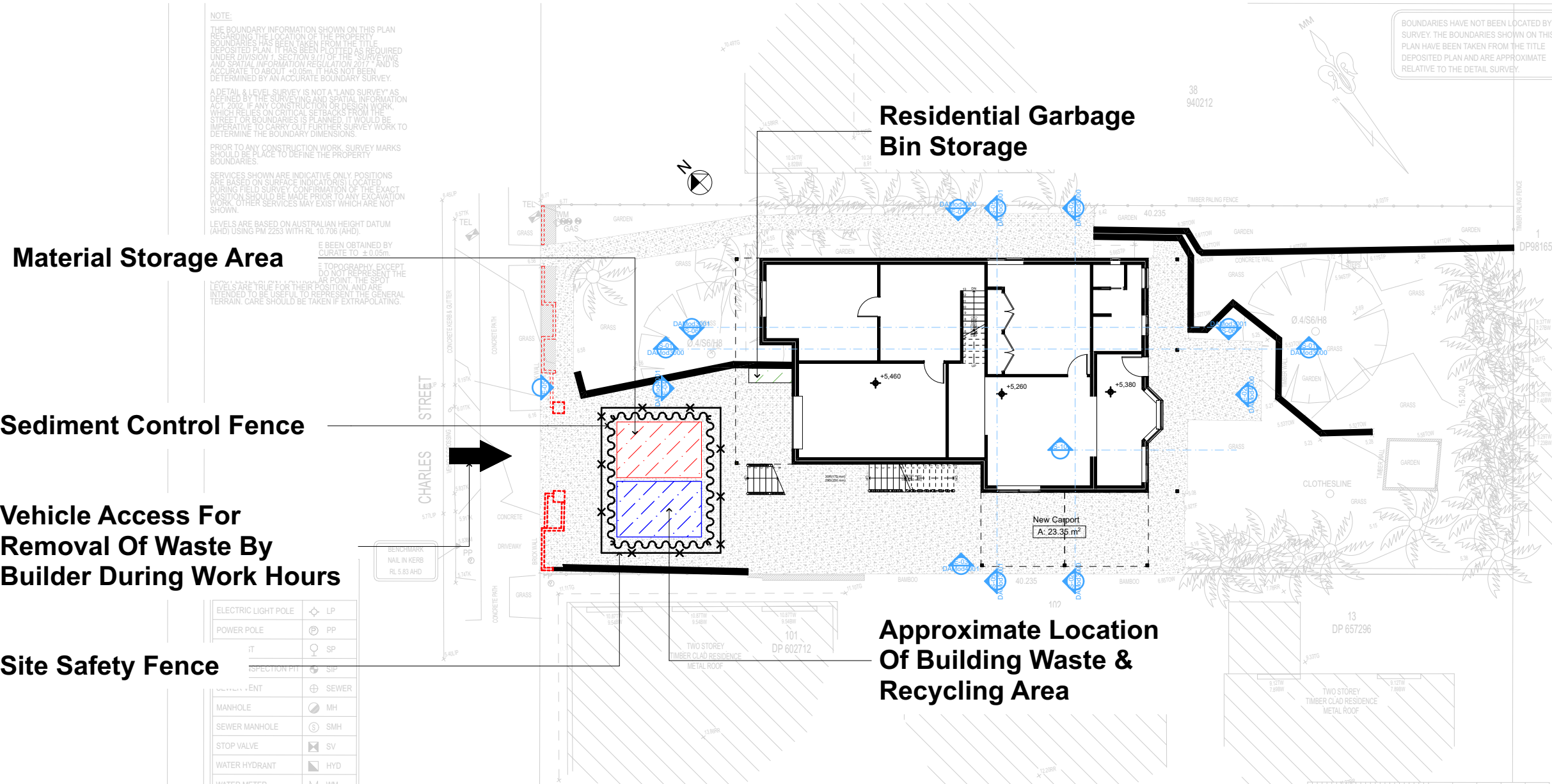
PROJECT NAME : **Alterations & Additions**

REVISION NO. REVISION NO.
- **28-10-2021**

DAMod101

6

Sheet Size: A3













Material Storage Area

Sediment Control Fence

Vehicle Access For Removal Of Waste By Builder During Work Hours

Site Safety Fence

ELECTRIC LIGHT POLE		LP
POWER POLE		PP
IT		SP
INSPECTION PIT		SIP
WATER JUNCTION		SEWER
MANHOLE		MH
SEWER MANHOLE		SMH
STOP VALVE		SV
WATER HYDRANT		HYD
WATER METER		WM

Approximate Location Of Building Waste & Recycling Area

<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate applications without the written permission of RMC.</p>	<p>2096</p>
	<p>DRAWING TITLE : SITE AND LOCATION Waste Management Plan</p>
	<p>PROJECT NAME : Alterations &</p>

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DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



 Denotes Demolished Item



▲	
✉	TEL
📶	LP
Ⓟ	PP
♀	SP
⊕	SIP
⊕	SEWER
◐	MH
Ⓢ	SMH
✉	SV
📶	LP

**Assumed Existing Stormwater.
Plumber To Confirm Location
Prior To Commencement**

4

Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement

Sheet Size: A3


These plans are for DA Application purposes only. These plans are not to be used for construction certificate applications without the written permission of Rapiplan Pty Ltd.

DRAWING TITLE : SITE AND LOCATION
Stormwater Plan

PROJECT NAME : **Alterations**

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

Project North

A compass rose with a circle and four diagonal lines. The top is labeled 'N'. A triangular area in the upper right quadrant is shaded black.

Drawn | Checked GBJ
Plot Date: 7/2/22
Project NO. RP0320RO
Project Status DA Mod

Client	Marcus Rosenberg and Charlotte Ralph
Site:	2/25 Charles Street, Freshwater 2096

DRAWING TITLE :
SITE AND LOCATION
Stormwater Plan

PROJECT NAME : **Alterations & Additions**

Additions	
REVISION NO.	REVISION NO.

- 28-10-2021
DAMod101

7

Sheet Size: A3

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Denotes New Works Approved Under DA2020/1180

Denotes New Modified Works Under This Application

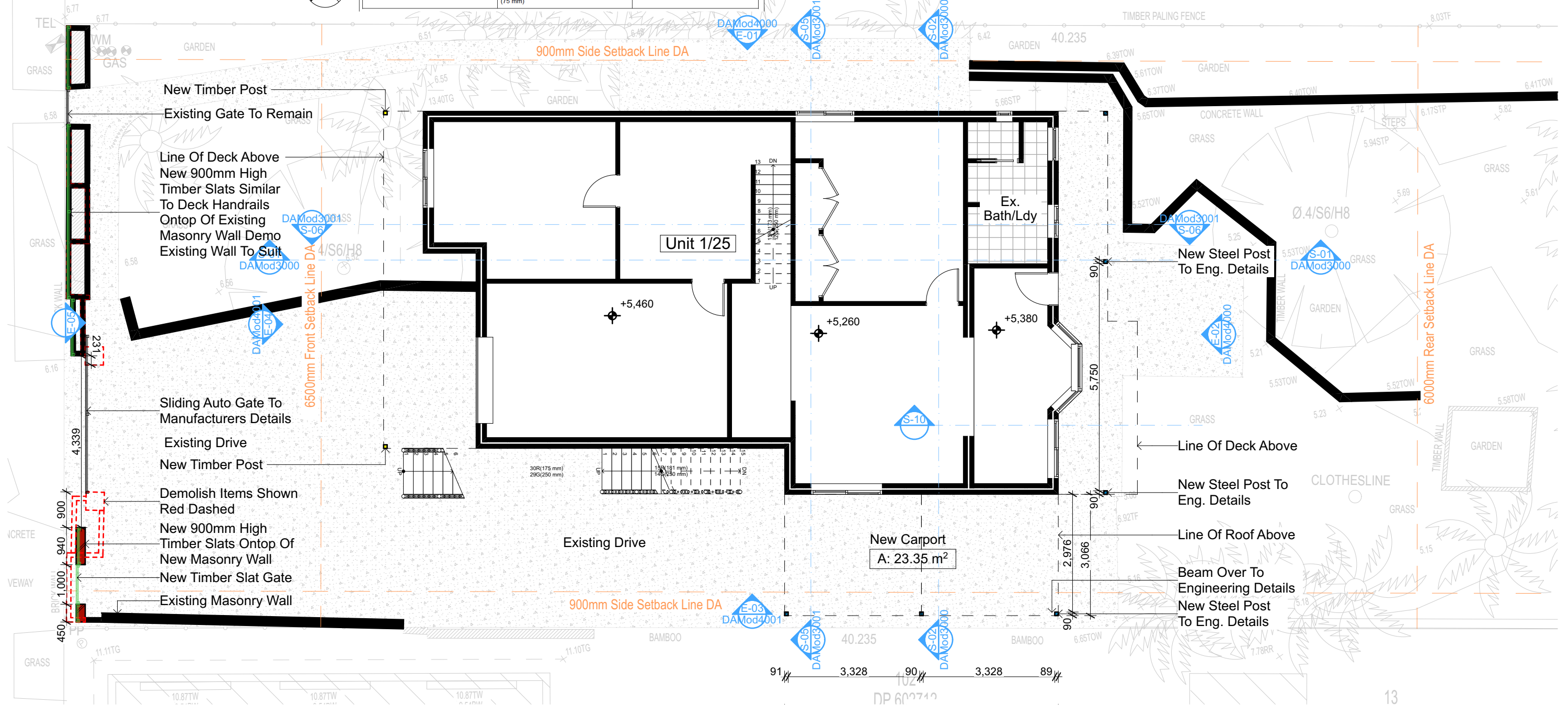
Wall Legend

Denotes New Timber Post

Denotes New Masonry Wall

Denotes Existing Wall

Denotes Demolished Item



1 BASEMENT/LOWER GROUND 1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
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Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.74 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A383346_04
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40%)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

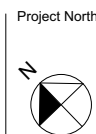


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ASSOCIATION OF AUSTRALIA

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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: 7/2/22
Project NO: RP0320ROS
Project Status: DA Mod

Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3





DRAWING TITLE :
PLANS
LOWER GROUND FLOOR
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE: 28-10-2021
DA Mod200
1

Wall Legend

- Denotes New Works Approved Under DA2020/1180
- Denotes New Modified Works Under This Application
- Denotes Existing Wall



 <p>Rapid Plans Building Design and Architectural Drafting</p>	<p>Rapid Plans www.rapidplans.com.au PO Box 5193 Frenchs Forest DC NSW 2086 Fax: (02) 9505-8865 Mobile: 0414-945-024 Email: gregg@rapidplans.com.au</p>	<p>Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.</p> <p>The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.</p>	 <p>BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</p>	 <p>ACCREDITED BUILDING DESIGNER</p>	<p>Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans</p>	<p>Project North</p> 	<p>Checked: GBJ Plot Date: 7/2/22 Project NO: RP0320ROS Project Status: DA Mod</p>	<p>DRAWING TITLE :</p> <p>PLANS GROUND FLOOR</p>	<p>REVISION NO.</p> <p>- DATE: 28-10-2021 DA Mod 200 2</p>	<p>PROJECT NAME :</p> <p>Alterations & Additions</p>
	<p>Client: Marcus Rosenberg and Charlotte Ralph Site: 2/25 Charles Street, Freshwater 2096 Sheet Size: A3</p>									

Denotes New Works Approved Under DA2020/1180

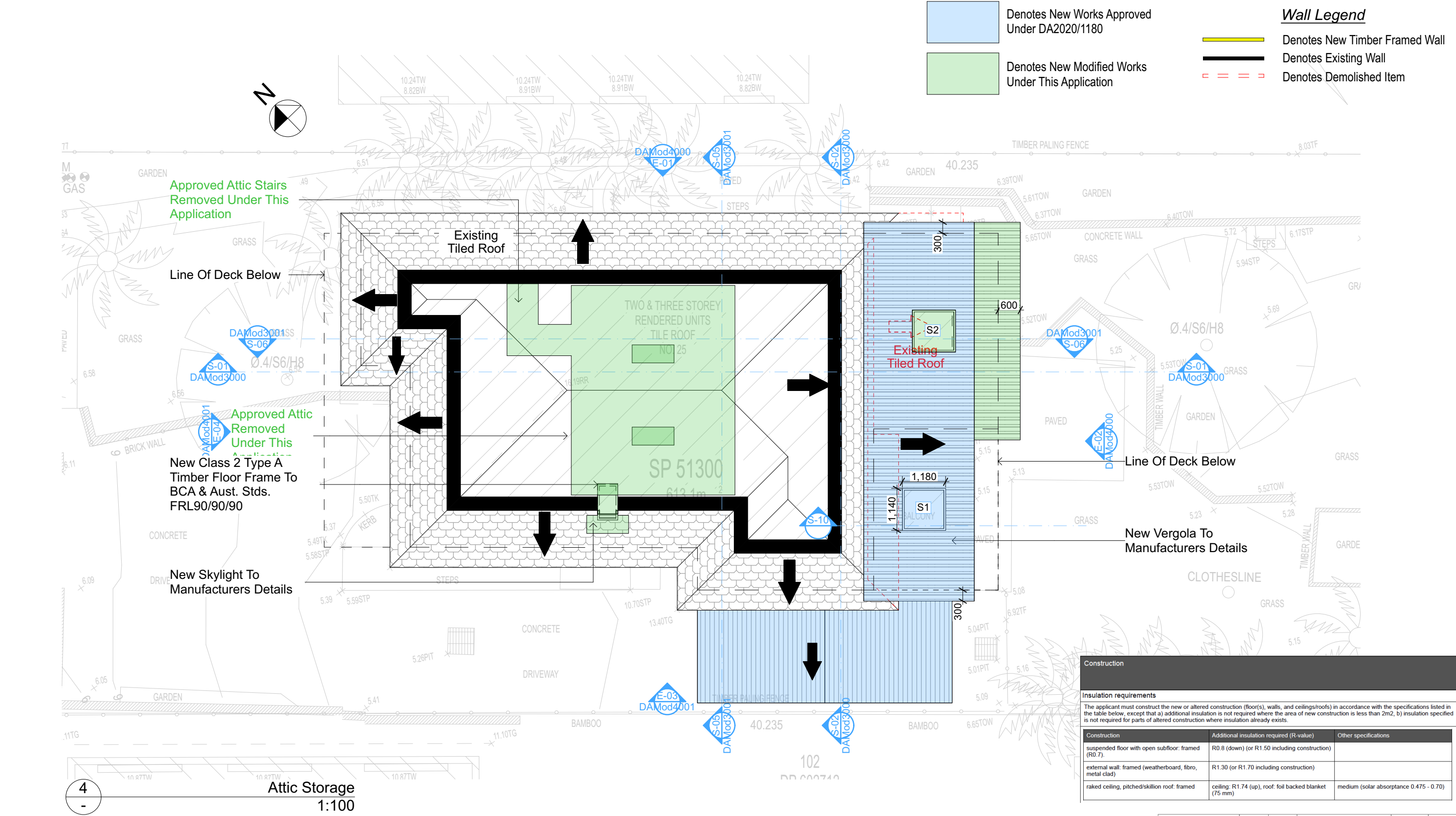
Denotes New Modified Works Under This Application

Wall Legend

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item



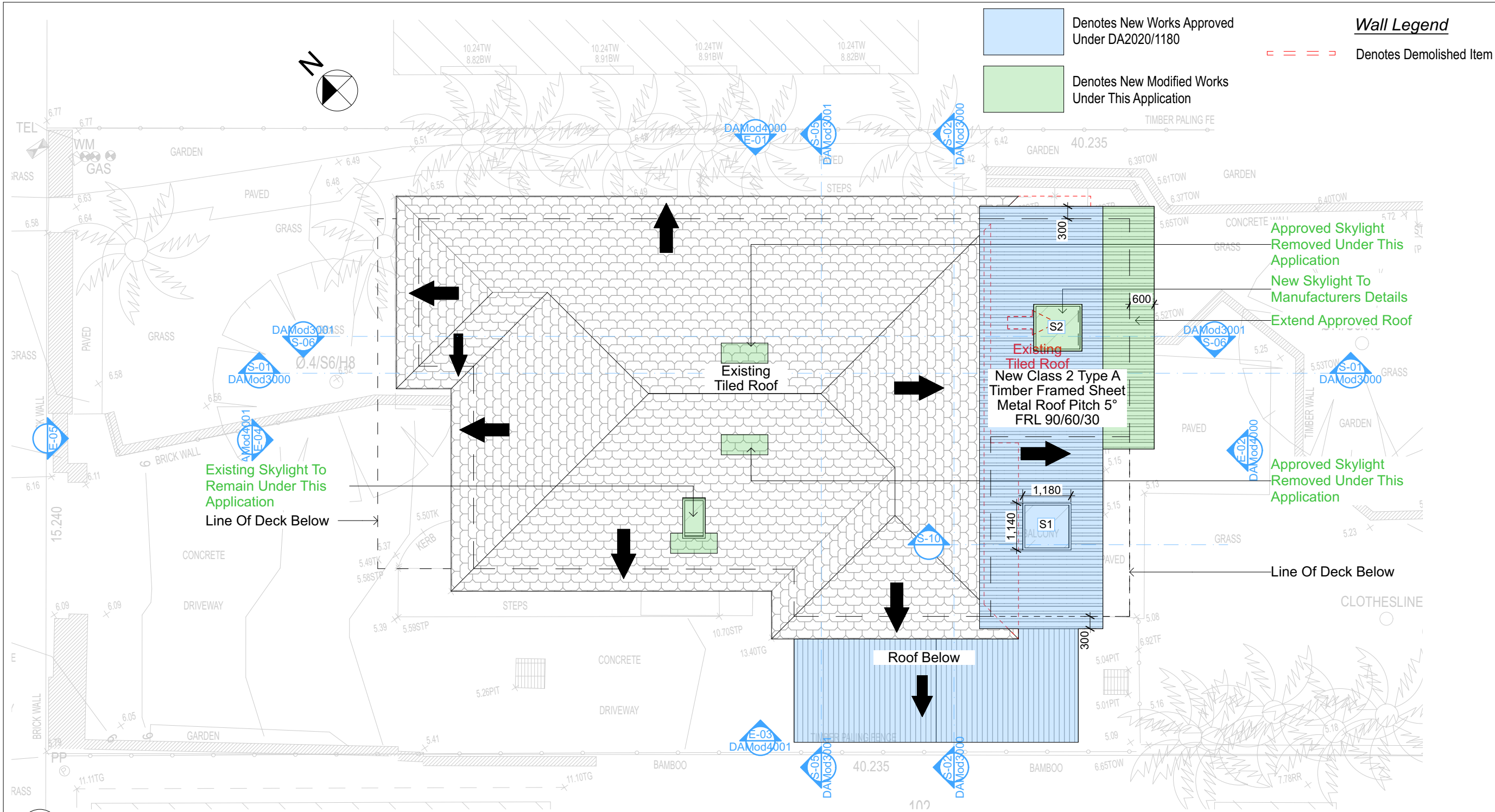
Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with open subfloor: framed (R0.7)	R0.8 (down) (or R1.50 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m2	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40%)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Minimum impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

NOTES
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Roof Timber Frame to have R1.74 Insulation
Insulation to External Timber Frame Clad Walls R1.70
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Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A383346_04
All Plans to be read in conjunction with Basix Certificate
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b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,



Roof Plan
1:100

4

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or tinted/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	SW	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	NW	0.36	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	NW	4.46	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D2	NW	3.11	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D3	SE	8.19	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylights glazing requirements						
Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type			
S2	1.35	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			

Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
D5	SW	6.51	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D6	SE	5.67	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylights glazing requirements						
Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type			
S2	1.35	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

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NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential

2/25 Charles Street, Freshwater 2096 is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in ShadedBlue

Construction

Timber Frame Floor, Timber Frame Clad Walls

Roof Timber Frame to have R1.74 insulation

Insulation to External Timber Frame Clad Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basic

Basic Certificate Number A383346, 04

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

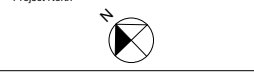
Relevant overshadowing specifications must be satisfied for each window and glazed door.

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into grd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 7/2/22
Project NO.: RP032600S
Project Status DA Mod

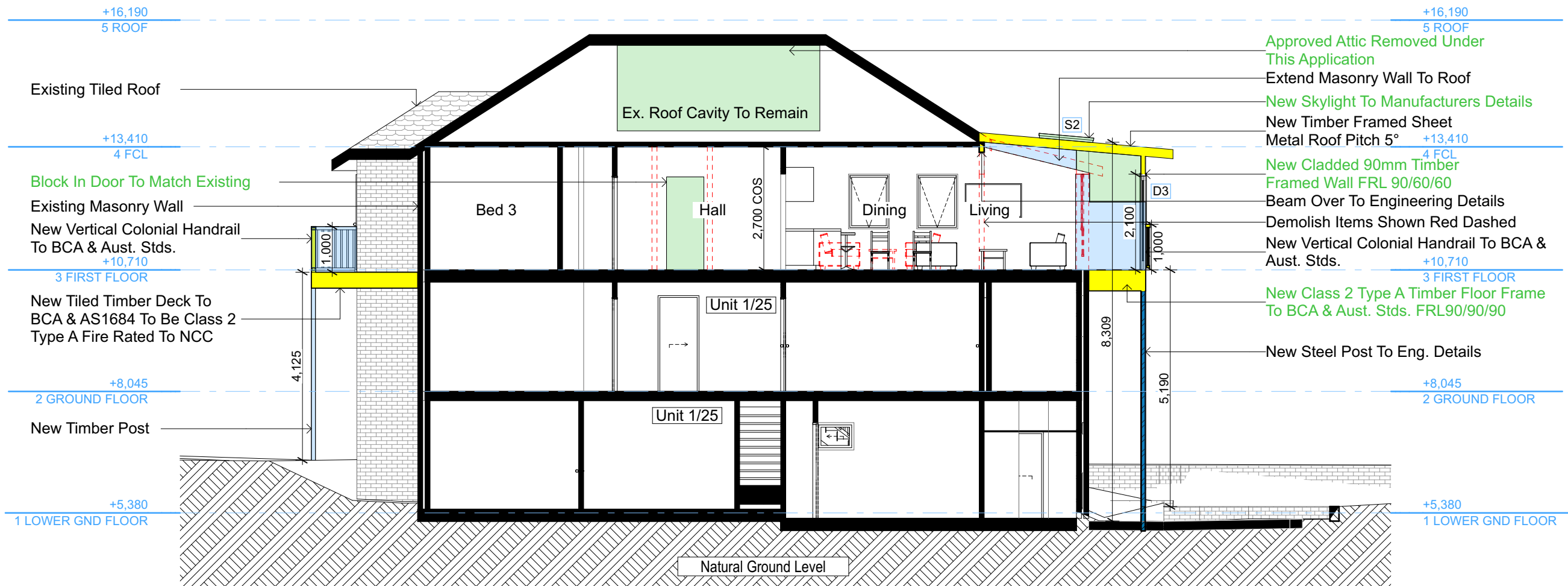
Client Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE: PLANS
ROOF

PROJECT NAME: Alterations & Additions

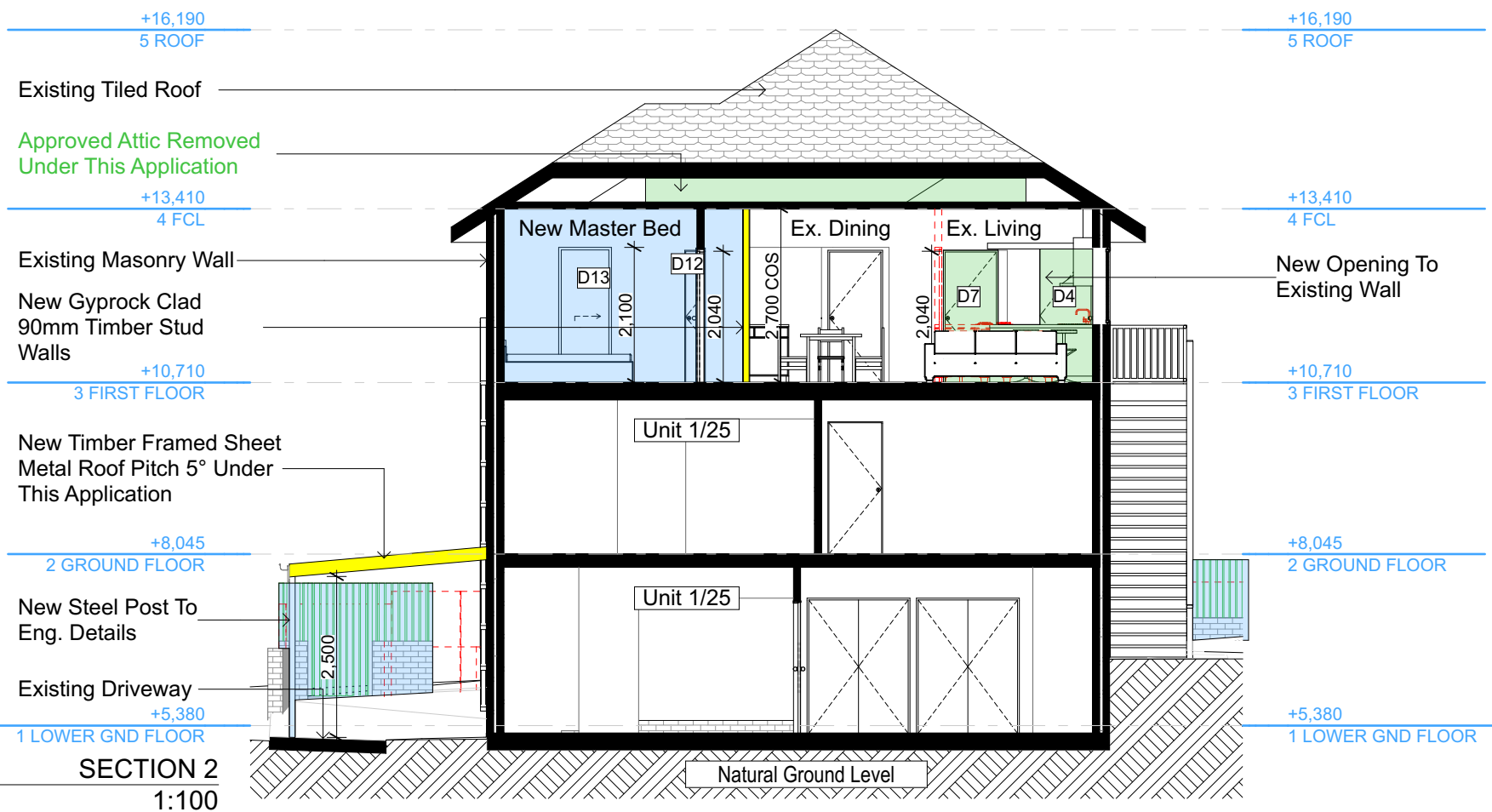
REVISION NO. REVISION NO.
- 28-10-2021
DA Mod 200
5

Sheet Size: A3



SECTION 1
1:100

S-01



SECTION 2
1:100

S-02

- Approved Attic Removed Under This Application
- Extend Masonry Wall To Roof
- New Skylight To Manufacturers Details
- New Timber Framed Sheet Metal Roof Pitch 5°
- New Cladded 90mm Timber Framed Wall FRL 90/60/60
- Beam Over To Engineering Details
- Demolish Items Shown Red Dashed
- New Vertical Colonial Handrail To BCA & Aust. Stds.
- New Class 2 Type A Timber Floor Frame To BCA & Aust. Stds. FRL90/90/90
- New Steel Post To Eng. Details

- Denotes New Works Approved Under DA2020/1180
- Denotes New Modified Works Under This Application

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

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NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential.
2/25 Charles Street, Freshwater 2096 is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Framed Floor, Timber Frame Clad Walls
Rust Timber Frame to have R1.74 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number A383346, 04
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceiling/roof) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 30m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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Relevant overshadowing specifications must be satisfied for each window and glazed door.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 7/2/22
Project NO.: RP03220ROS
Project Status DA Mod

Client: Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE: SECTIONS
SECTION 1

PROJECT NAME: **Alterations & Additions**

REVISION NO. REVISION NO.
- 28-10-2021
DA Mod300
0

Sheet Size: A3

+16,190
5 ROOF

+13,410
4 FCL

Existing Masonry Wall

New Gyprock Clad 90mm
Timber Stud Walls

+10,710
3 FIRST FLOOR

New Timber Framed Clear
Suntuff Clad Roof Pitch 5°

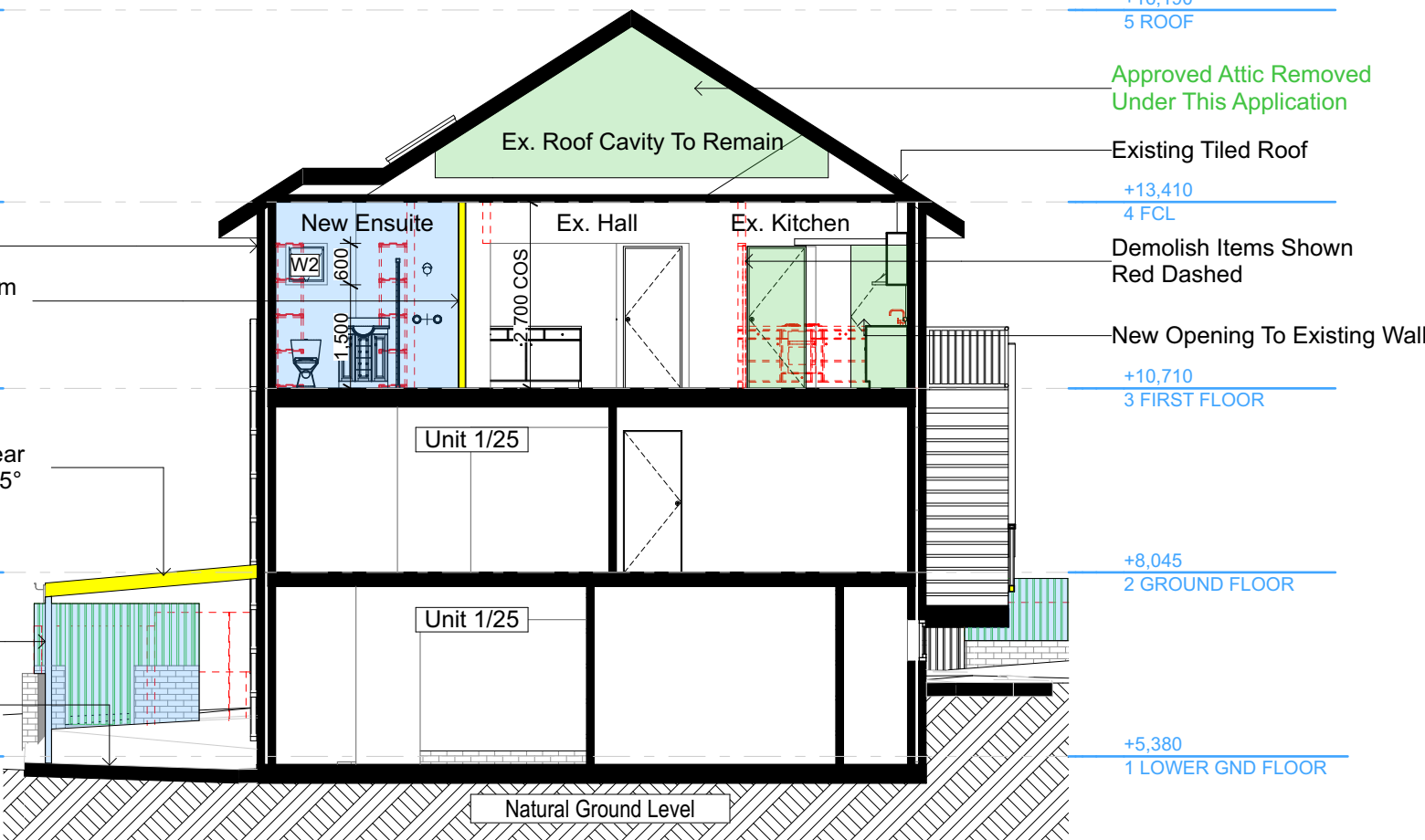
+8,045
2 GROUND FLOOR

New Steel Post To
Eng. Details

Existing Driveway

+5,380
1 LOWER GND FLOOR

S-05
-
Section Attic 1
1:100



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
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suspended floor with open subfloor: framed (R0.7)	R0.8 (down) (or R1.50 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Approved Skylight Removed Under
This Application

+16,190
5 ROOF

New Timber Framed Sheet
Metal Roof Pitch 5°
New Skylight To
Manufacturers Details
Extend Masonry Wall To Roof
Demolish Items Shown Red Dashed

+13,410
4 FCL

New Cladded 90mm Timber
Framed Wall FRL 90/60/60
Beam Over To Engineering Details

New Vertical Colonial Handrail
To BCA & Aust. Stds.

+10,710
3 FIRST FLOOR

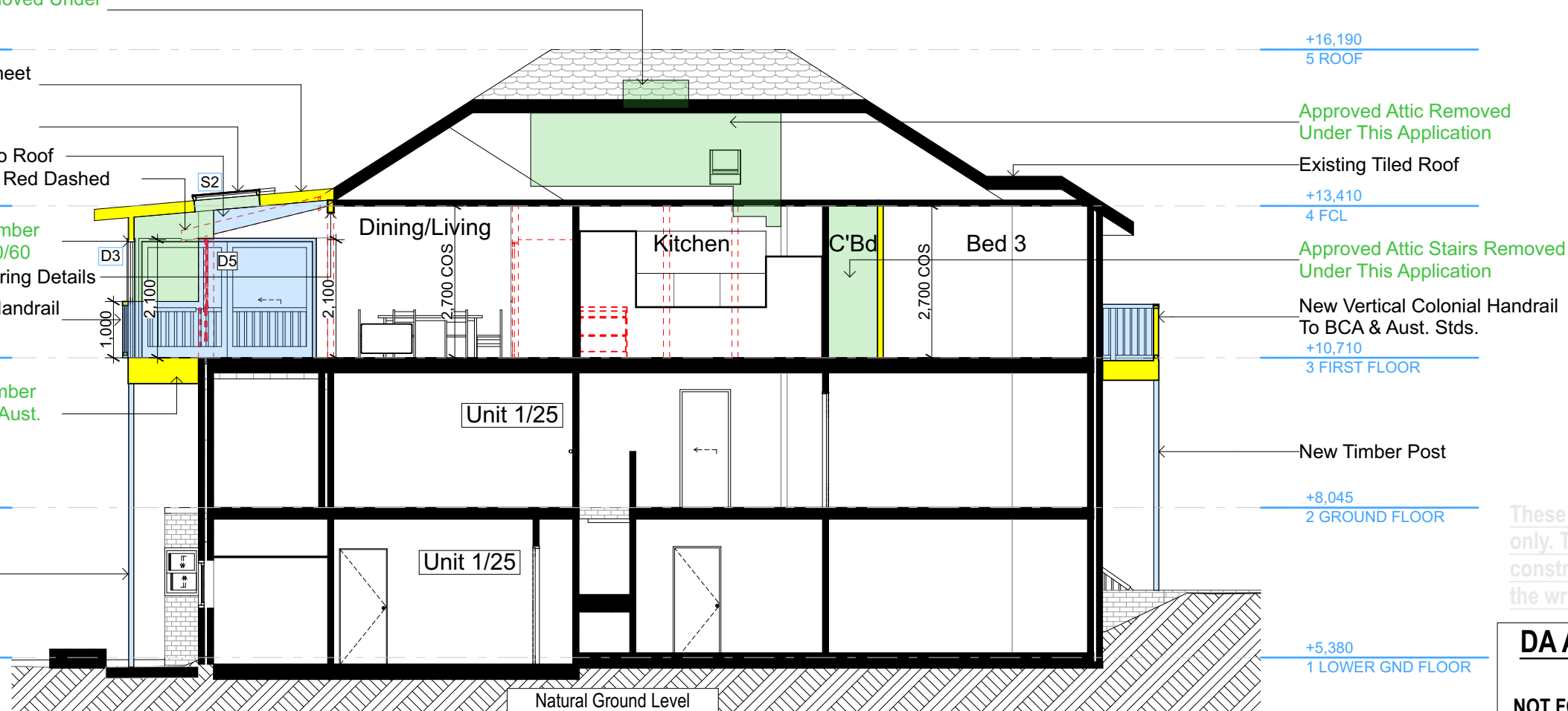
New Class 2 Type A Timber
Floor Frame To BCA & Aust.
Stds. FRL90/90/90

+8,045
2 GROUND FLOOR

New Steel Post To
Eng. Details

+5,380
1 LOWER GND FLOOR

S-06
-
Section Attic 2
1:100



- Denotes New Works Approved
Under DA2020/1180
- Denotes New Modified Works
Under This Application
- Wall Legend**
- Denotes New Timber Framed Wall
- Denotes Existing Wall
- Denotes Demolished Item

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

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BUILDING DESIGNER

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New Works to be constructed shown in Shaded/Blue
Construction
Timber Frame Floor, Timber Frame Clad Walls
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
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Basic
Basic Certificate Number A383346, 04
All Plans to be read in conjunction with Basic Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 7/2/22
Project NO.: RP03220ROS
Project Status DA Mod

Client Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE :
SECTIONS
SECTION 2

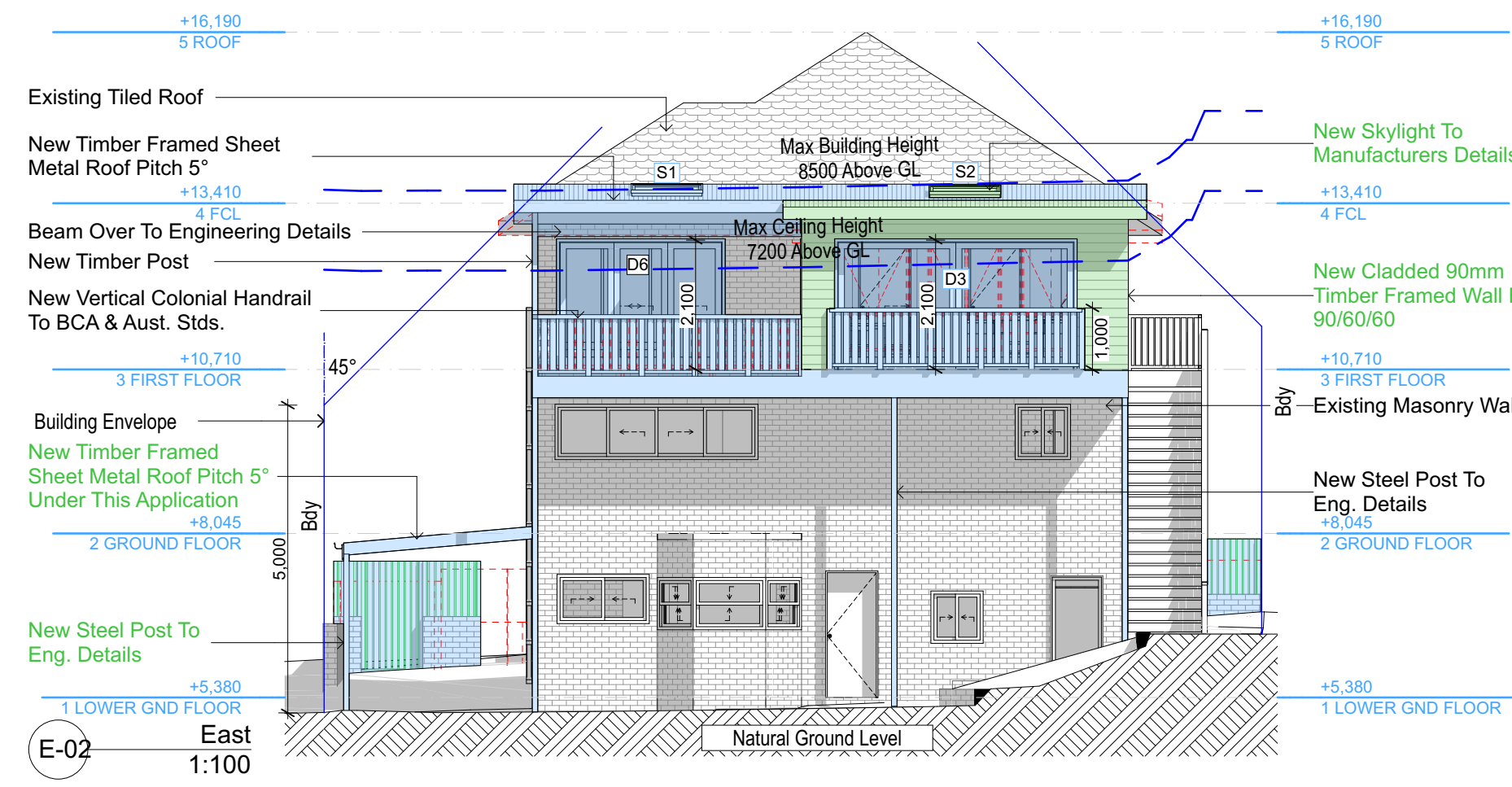
PROJECT NAME :
Alterations & Additions

REVISION NO. REVISION NO.
- 28-10-2021
DA Mod300
1

Sheet Size: A3

E-01

North
1:100



E-02
East
1:100

Denotes New Works Approved Under DA2020/1180

Denotes New Modified Works Under This Application

Wall Legend

Denotes Existing Drive

Denotes Demolished Item

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	SW	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	NW	0.36	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	NW	4.46	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D2	NW	3.11	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D3	SE	8.19	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
D5	SW	6.51	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D6	SE	5.67	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S2	1.35	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

Building Design and Architectural Drafting

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bdaa
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED BUILDING DESIGNER

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NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential

2/25 Charles Street, Freshwater 2096 is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in ShadedBlue

Construction

Timber Framing Floor, Timber Frame Clad Walls

Roof Timber Frame to have R1.74 insulation

Insulation to External Timber Frame Clad Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A383346, 04

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 7/2/22
Project NO.: RP03220ROS
Project Status DA Mod

Client: Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE: ELEVATIONS 1

PROJECT NAME: Alterations & Additions

REVISION NO. 0
REVISION NO. 28-10-2021
DAMod400

Sheet Size: A3

Existing Skylight To Remain
Under This Application
+16,190
5 ROOF

Existing Skylight To Remain
Under This Application
+13,410
4 FCL

Approved Skylight Removed
Under This Application
+10,710
3 FIRST FLOOR

Existing Masonry Wall
New Vertical Colonial Handrail
To BCA & Aust. Stds.
+10,710
3 FIRST FLOOR

New Tiled Timber Deck To BCA
& AS1684 To Be Class 2 Type
A Fire Rated To NCC
New Timber Post
+8,045
2 GROUND FLOOR

Existing Driveway
+5,380
1 LOWER GND FLOOR

E-03

South
1:100

+16,190
5 ROOF

+13,410
4 FCL

New Vertical Colonial
Handrail To BCA &
Aust. Stds.
+10,710
3 FIRST FLOOR

New Tiled Timber Deck
To BCA & AS1684 To Be
Class 2 Type A Fire
Rated To NCC
Building Envelope
+8,045
2 GROUND FLOOR

New Timber Post
+5,380
1 LOWER GND FLOOR

E-04

West
1:100

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

Natural Ground Level

+16,190
5 ROOF

+13,410
4 FCL

Existing Masonry Wall

New Timber Framed Clear
Suntuff Clad Roof Pitch 5°

+10,710
3 FIRST FLOOR

New Steel Post To Eng. Details

Existing Driveway

+8,045
2 GROUND FLOOR

+5,380
1 LOWER GND FLOOR

Natural Ground Level

Existing Tiled Roof
+16,190
5 ROOF

New Timber Framed Sheet
Metal Roof Pitch 5°

Beam Over To Engineering
Details

Extend Approved Roof
+13,410
4 FCL

New Cladded 90mm Timber
Framed Wall FRL 90/60/60

New Timber Post
New Vertical Colonial Handra
To BCA & Aust. Stds.
+10,710
3 FIRST FLOOR

New Tiled Timber Deck To
BCA & AS1684 To Be Class 2
Type A Fire Rated To NCC

New Timber Framed Sheet Meta
Roof Pitch 5° Under This Applica
+8,045
2 GROUND FLOOR

New Steel Post To Eng. Deta

New Timber Framed Clear
Suntuff Clad Roof Pitch 5°

New Steel Post To Eng. Deta

Glazing requirements

Windows and glazed doors

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Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	SW	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	NW	0.36	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	NW	4.46	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D2	NW	3.11	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D3	SE	8.19	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
D5	SW	6.51	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D6	SE	5.67	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Skylights

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Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S2	1.35	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

Denotes New Works Approved
Under DA2020/1180

Denotes New Modified Works
Under This Application

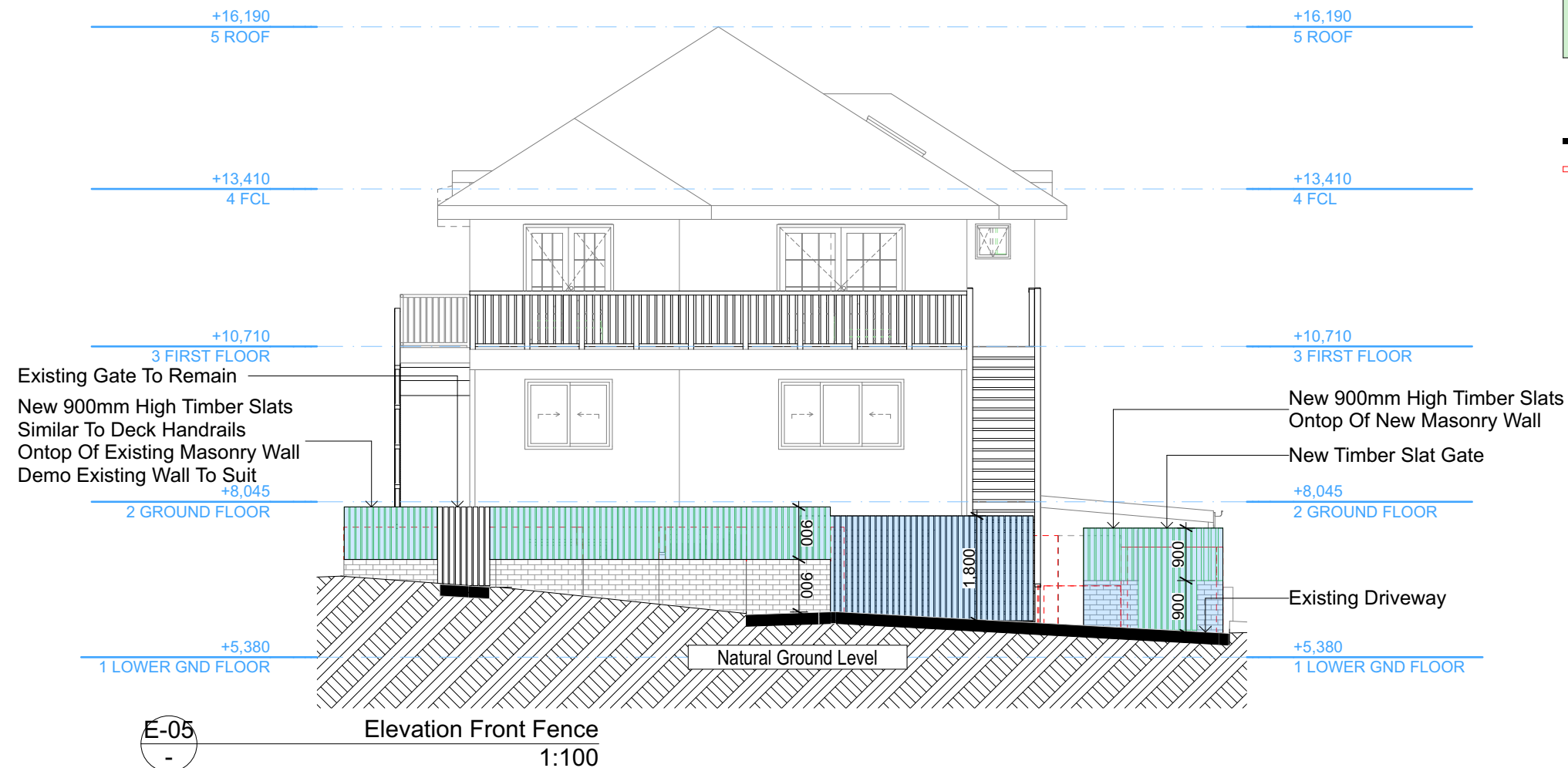
Wall Legend

Denotes Existing Wall

Denotes Demolished Item

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DA APPLICATION ONLY
NOT FOR CONSTRUCTION



Denotes New Works Approved Under DA2020/1180

Denotes New Modified Works Under This Application

Wall Legend

Denotes Existing Drive

Denotes Demolished Item

MODEL: E-8 DC SLIDING GATE

Motor Specification

Power Supply	AC 220-240V, 50Hz, Single Phase
Operating Voltage	DC 24V for Normal Speed DC 12V for Cushioning Speed
Motor Type	Oil Bath Gear Motor
Motor Rotation Speed	3000 rpm
Operating Ambient Temperature	-20°C to 80°C
Power Absorb	150 Watts
Maximum Gate Weight	600kg Force Adjustable
Gate Speed	15 Meter / min
Safety Clutch	Electronic Counter Technology Auto Reverse
Protection Class	IP24
Remote Control	2-Channel , 330 MHz UHF
Manual Override	Special Release Key for Power Failure

Typical Type Sliding Gate System. Easy Gate or Similar

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DA APPLICATION ONLY

NOT FOR CONSTRUCTION

Rapid Plans
Building Design and Architectural Drafting

www.rapidplans.com.au
PO Box 8878 Freshwater NSW 1505
Fax: (02) 9455-8888 Mobile: 0414-845-024
Email: gregg@rapidplans.com.au

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ASSOCIATION OF AUSTRALIA

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BUILDING DESIGNER

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NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential

2/25 Charles Street, Freshwater 2096 is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Timber Frame Floor, Timber Frame Clad Walls

Road Timber Frame to have R1.74 insulation

Insulation to External Timber Frame Clad Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A383346, 04

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 30m², b) insulation specified is not required for parts of altered construction where insulation already exists.

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 7/2/22
Project NO.: RP0320ROS
Project Status DA Mod

Client: Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE : ELEVATIONS

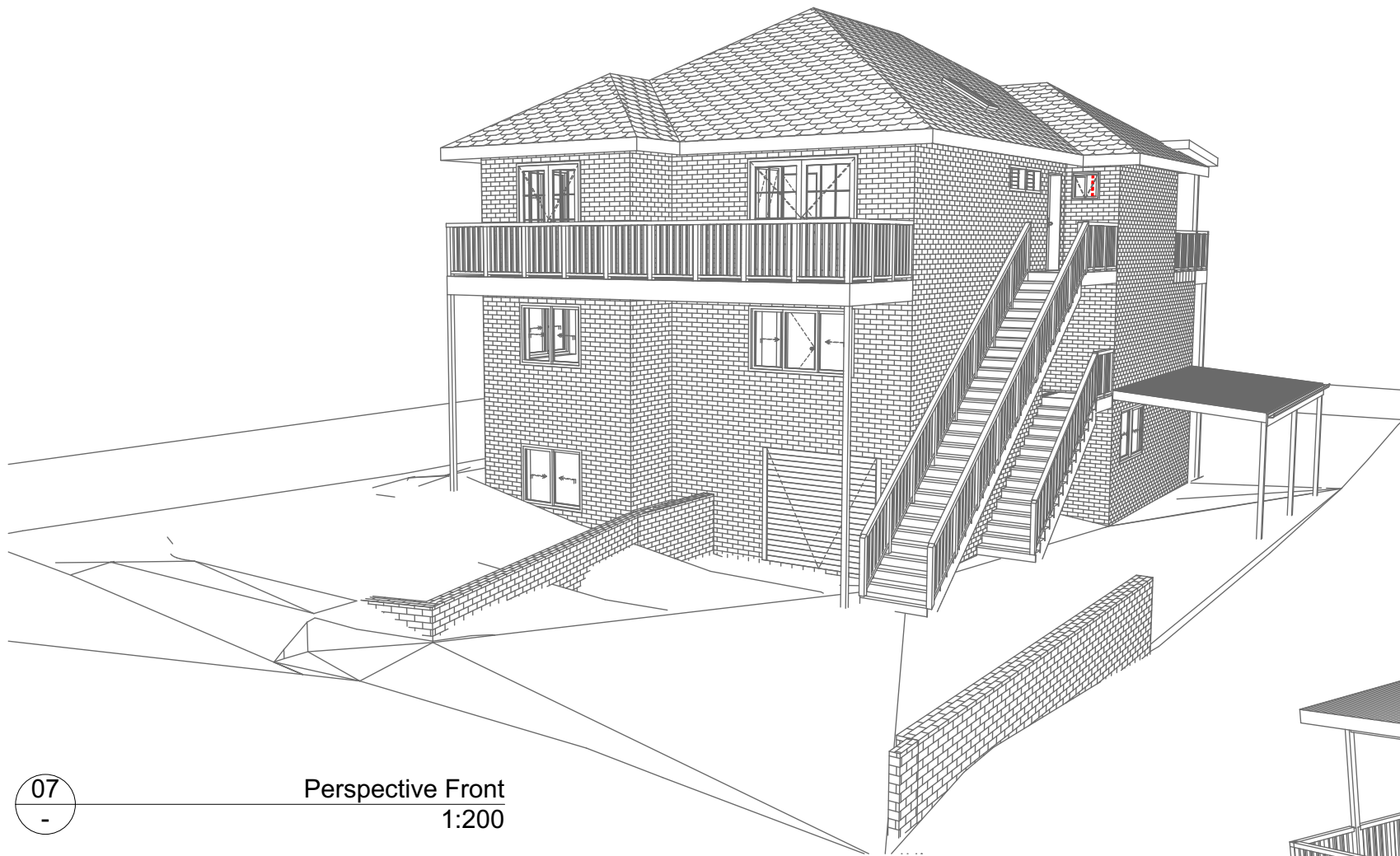
ELEVATION FRONT FENCE

PROJECT NAME :

Alterations & Additions

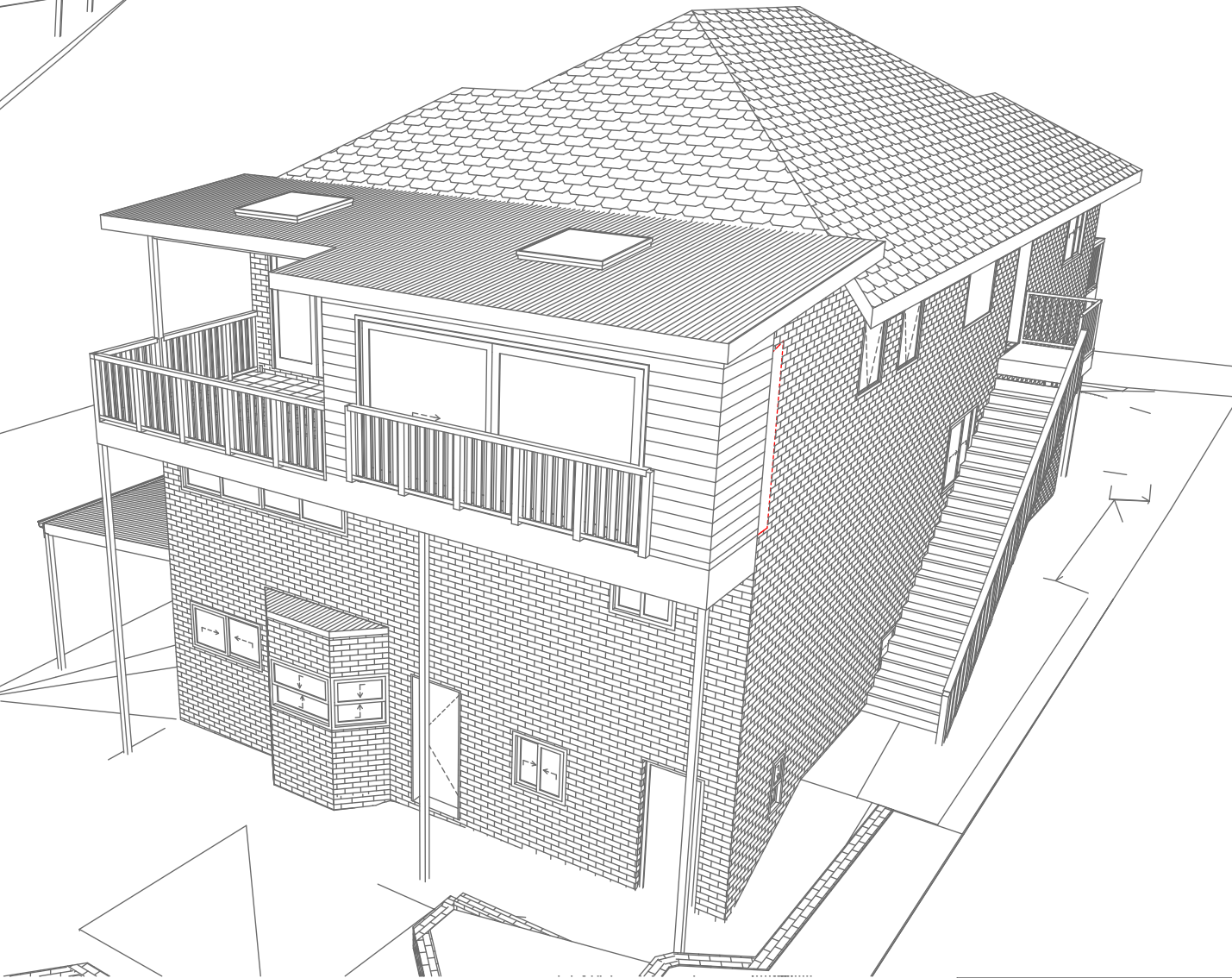
REVISION NO.	REVISION NO.
-	28-10-2021
DA Mod 400	
2	

Sheet Size: A3



07
-

Perspective Front
1:200



07
-

Perspective Rear
1:200

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**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked: GBJ
Plot Date: 7/2/22
Project NO: RP0320ROS
Project Status: DA Mod

Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater
Sheet Size: A3

DRAWING TITLE :
**SHADOW PLANS
PERSPECTIVE**

PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
28-10-2021
DAMod500
0



Denotes Masonry Wall With Vertical Timber Fence (Typical). Owner To Confirm Type & Colour



Denotes Tiled Timber Deck (Typical). Owner To Confirm Type & Colour



Denotes Sheet Metal Roof (Typical). Owner To Confirm Type & Colour



Denotes Timber Deck (Typical). Owner To Confirm Type & Colour



Denotes Deck Handrail (Typical). Owner To Confirm Type & Colour

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Rapid Plans

Building Design and Architectural Drafting

www.rapidplans.com.au

PO Box 8187 Freshwater NSW 1513

Fax: (02) 9455-8865 Mobile: 0414-945-024

Email: gregg@rapidplans.com.au

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ASSOCIATION OF AUSTRALIA



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NOTES

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2/25 Charles Street, Freshwater 2096 is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Timber Frame Floor, Timber Frame Clad Walls

Road Timber Frame to have R1.74 insulation

Insulation to External Timber Frame Clad Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basic

Basic Certificate Number A383346_04

All Plans to be read in conjunction with Basic Certificate

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ

Plot Date: 7/2/22

Project NO.: RP0320R0S

Project Status DA Mod

Client

Marcus Rosenberg and Charlotte Ralph

Site:

2/25 Charles Street, Freshwater 2096

DRAWING TITLE

SHADOW PLANS

MATERIAL & COLOUR SAMPLE BOARD

PROJECT NAME:

Alterations & Additions

REVISION NO.

REVISION NO.

28-10-2021

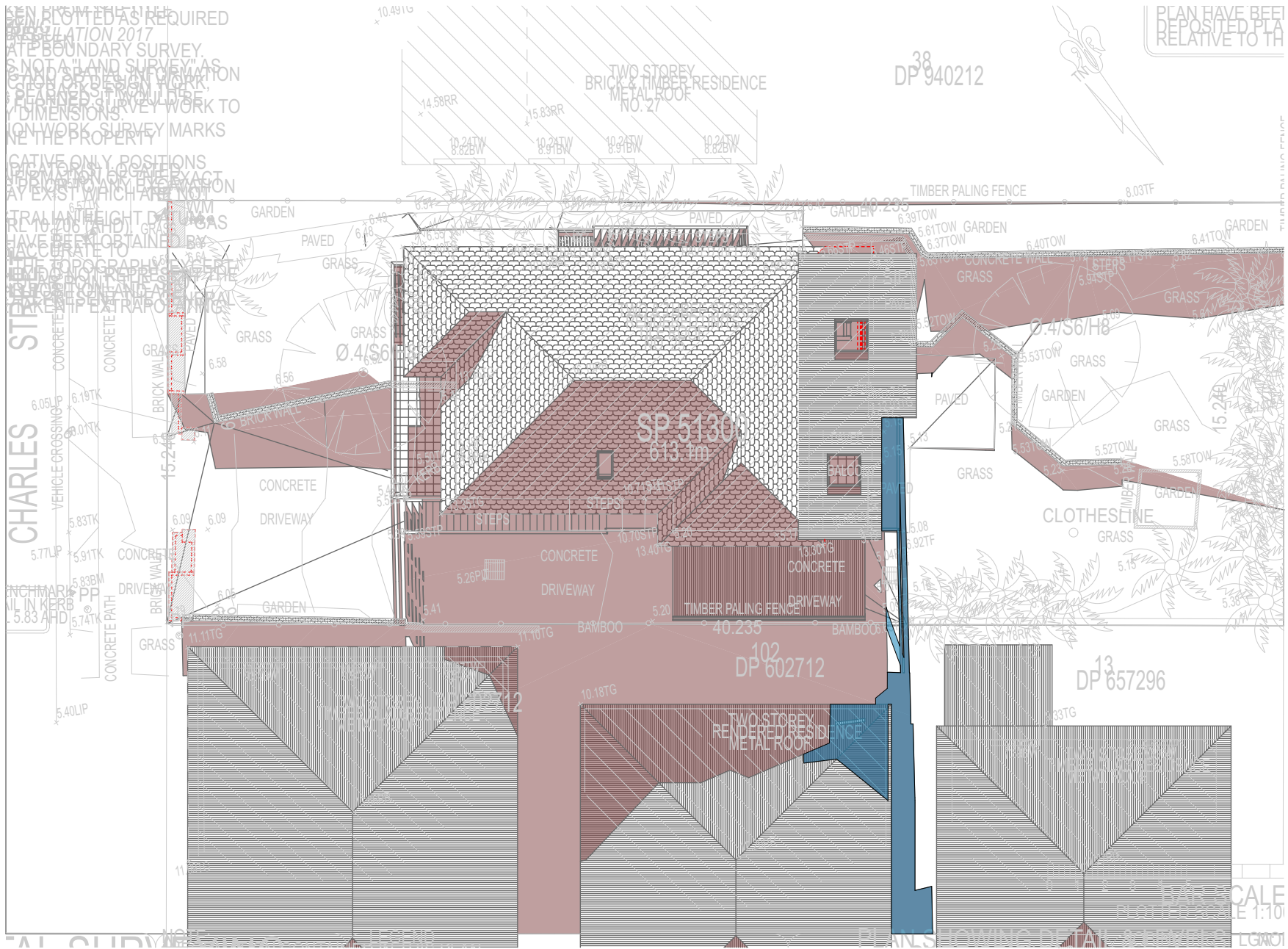
DA Mod500

1

Sheet Size: A3

Denotes Existing Shadow

Denotes Proposed Shadow



01 SHADOW PLAN 21 JUN at 0900h
1:200

NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
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Construction

Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.74 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A383346_04
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40%)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	(min) Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

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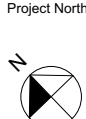
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Builder to Check and Confirm
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Immediately Report any
Discrepancies to Rapid Plans



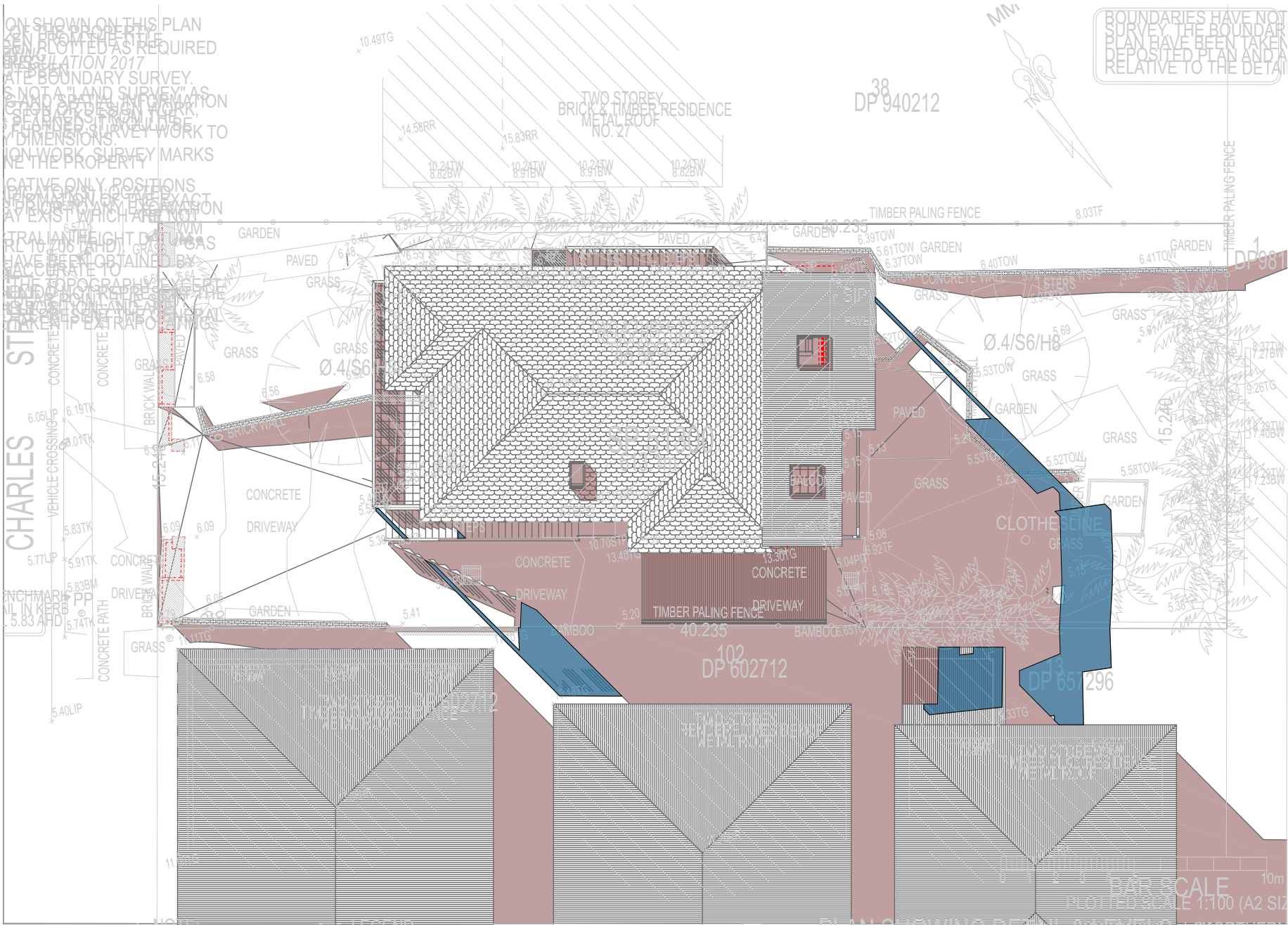
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Plot Date: 7/2/22
Project Status: RP0320ROS
DA Mod
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater
2096
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21 JUN at
0900h
PROJECT NAME : Alterations & Additions

REVISION NO.
-
DATE: 28-10-2021
DAMod500
2

Denotes Existing Shadow

Denotes Proposed Shadow



02 SHADOW PLAN 21 JUN at 1200h 1:200

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NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.74 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A383346_04
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40%)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	(min) Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

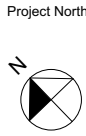


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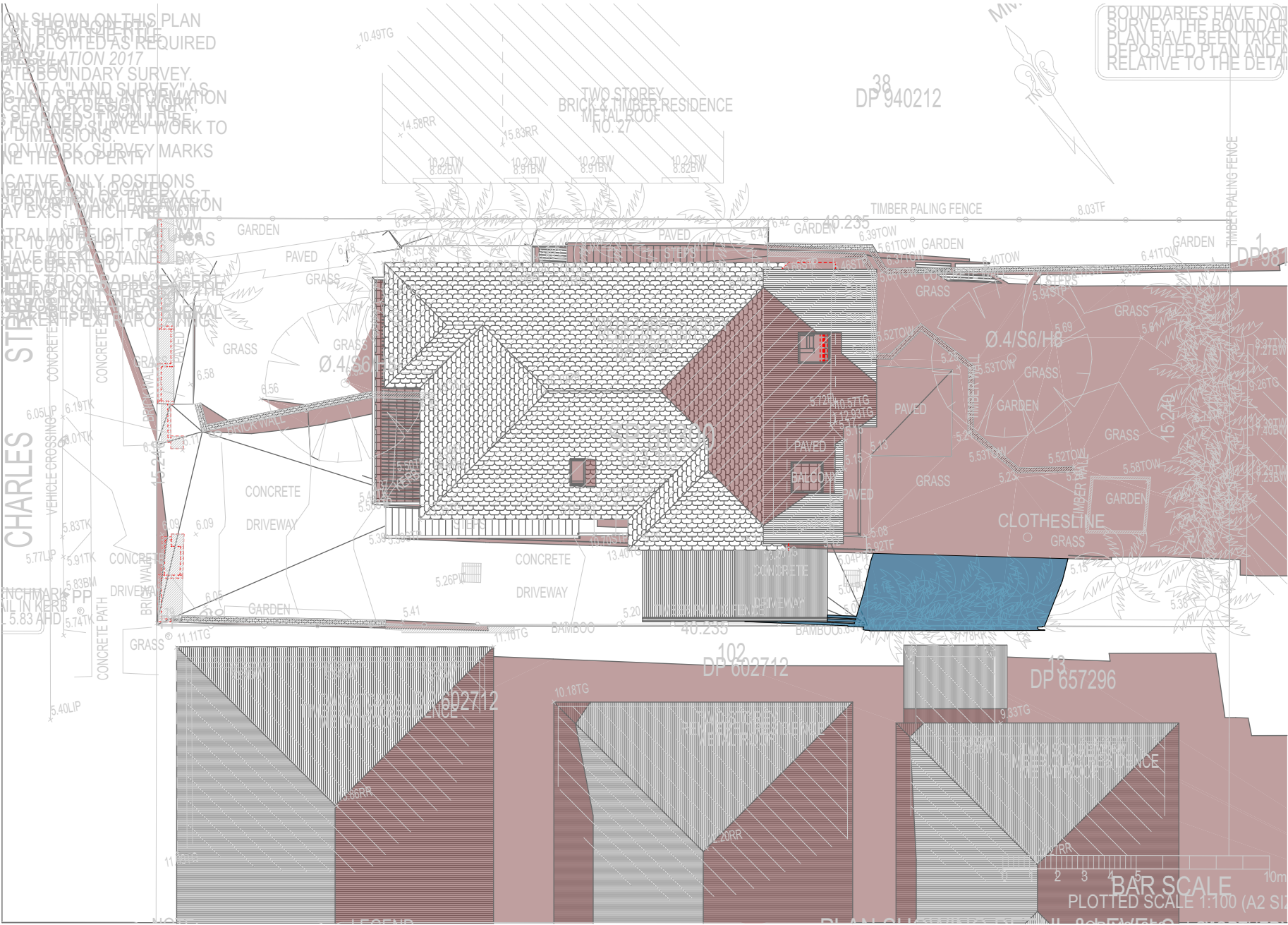
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Plot Date: 7/2/22
Project No: RP0320ROS
Project Status: DA Mod
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21 JUN at 1200h
PROJECT NAME : Alterations & Additions

REVISION NO.
-
DATE: 28-10-2021
DAMod500
3

Denotes Existing Shadow

Denotes Proposed Shadow



03 SHADOW PLAN 21 JUN at 1500h
1:200

NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
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Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.74 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A383346_04
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2.
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m2	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40%)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	(min) Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION
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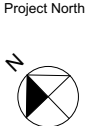


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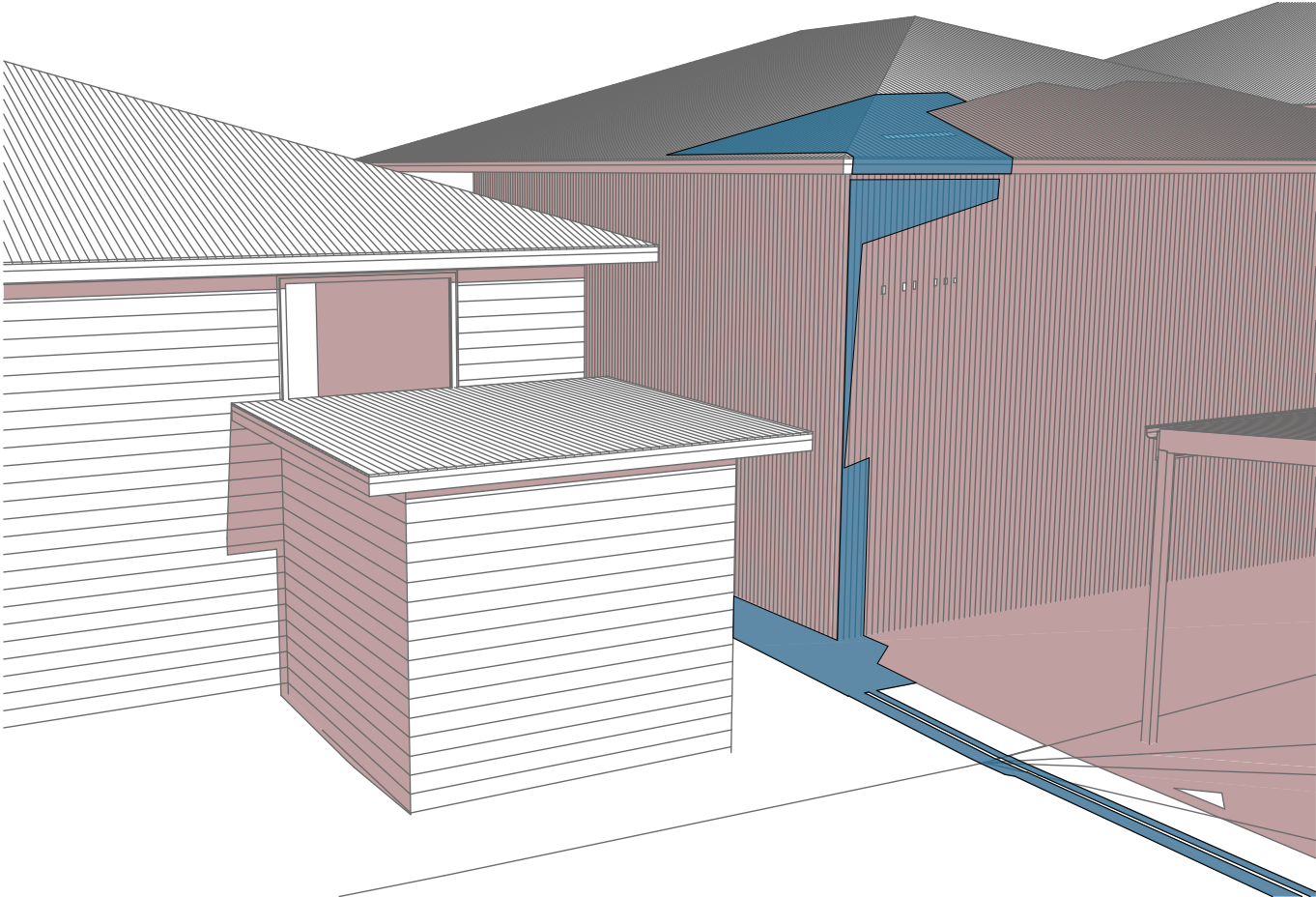
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Immediately Report any
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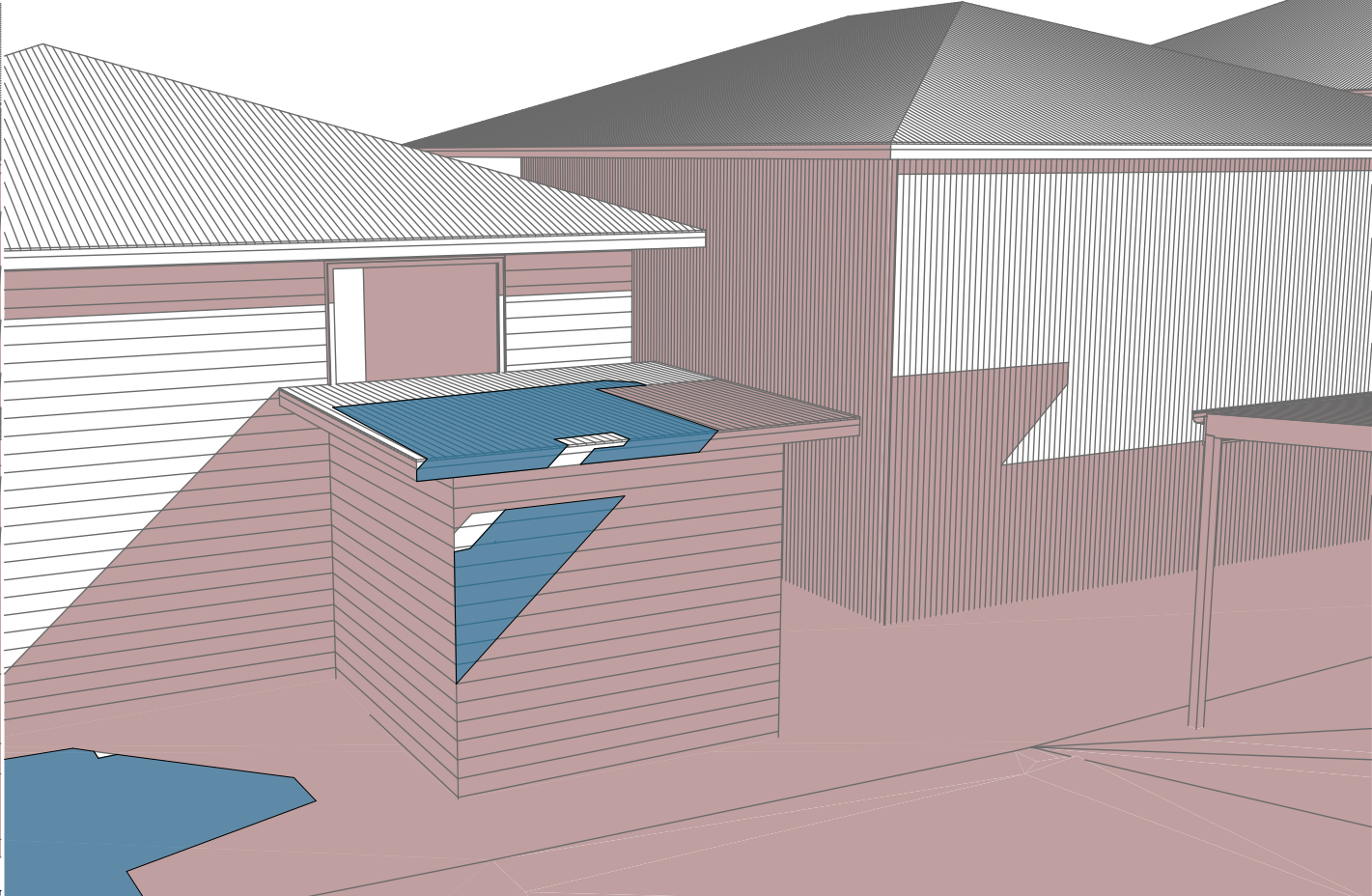
Checked
Plot Date: 7/2/22
Project NO: RP0320ROS
Project Status: DA Mod
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater
2096
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21 JUN at 1500h
PROJECT NAME : Alterations & Additions

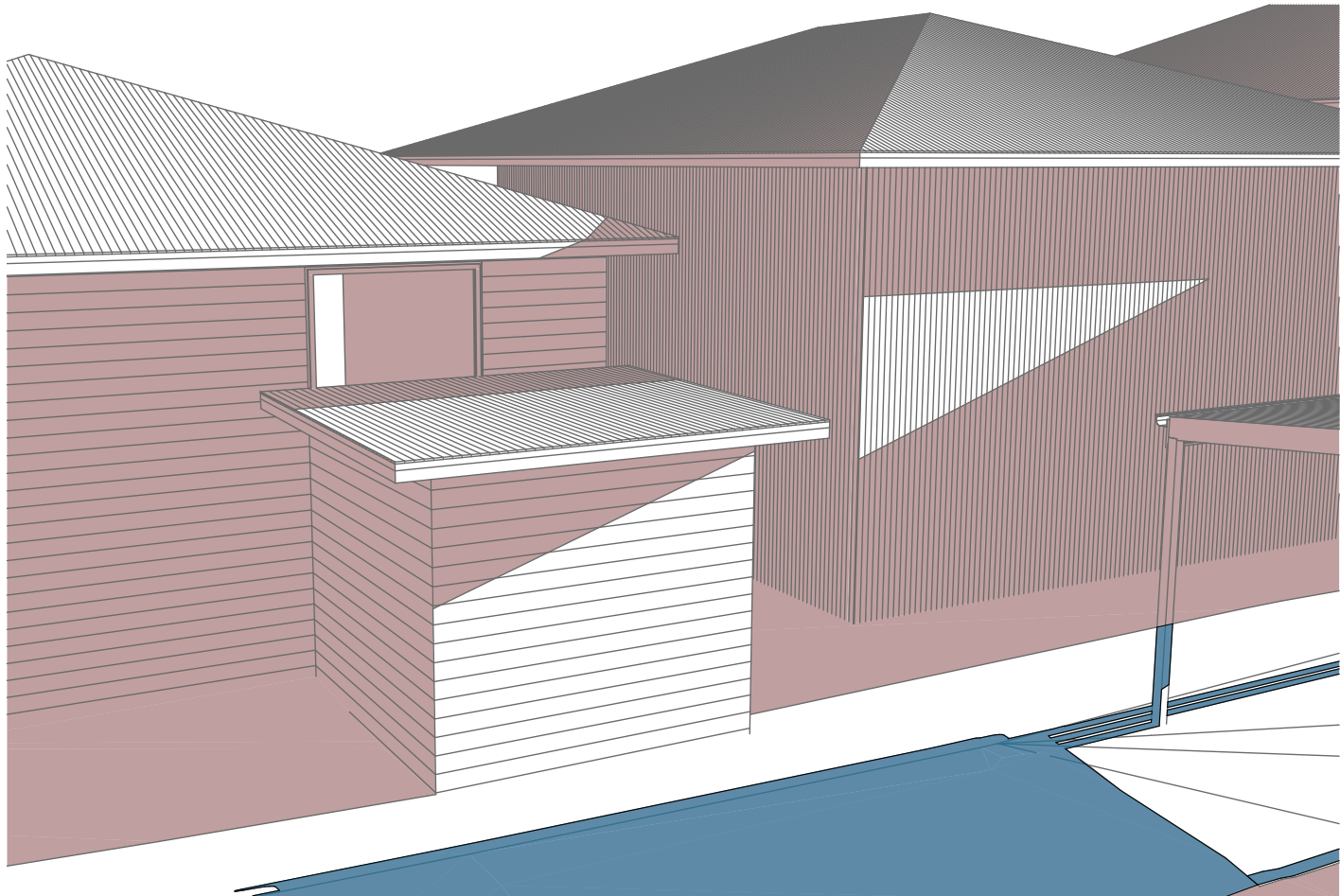
REVISION NO.
-
DATE: 28-10-2021
DAMod500
4



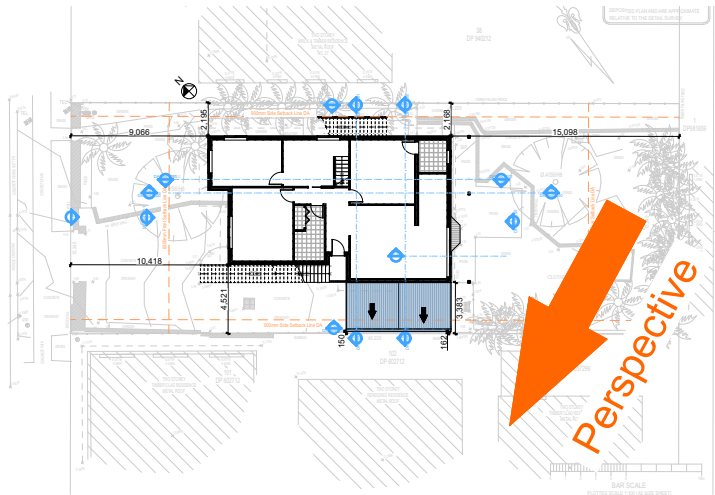
1 WALL ELEVATION 21 JUN at 0900h
1:200



2 WALL ELEVATION 21 JUN at 1200h
1:200



3 WALL ELEVATION 21 JUN at 1500h
1:200



2 SITE PLAN
1:500

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Denotes Proposed Shadow

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Building Design and Architectural Drafting

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NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Rust Timber Frame to have R1.74 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number A383346, 04
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceiling/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 30m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopple, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North


Drawn | Checked GBJ
Plot Date: 7/2/22
Project NO.: RP0320ROS
Project Status DA Mod

Client Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE SHADOW PLANS
WALL ELEVATION SHADOWS

PROJECT NAME: **Alterations & Additions**

REVISION NO. REVISION NO.
- 28-10-2021
5 **DA Mod500**

Sheet Size: A3